



Application for Public Hearing VARIANCE

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): OAK PARK AND RIVER FOREST HIGH SCHOOL DISTRICT 200

Address/Location of Property in Question: 201 SCOVILLE AVE, OAK PARK, IL 60302

Property Identification Number(s)(PIN): 16-07-221-008-0000

Name of Property Owner(s): OAK PARK AND RIVER FOREST HIGH SCHOOL DISTRICT 200

Address of Property Owner(s): 201 SCOVILLE AVE, OAK PARK, IL 60302

E-Mail of Property Owner(s): FPREUSS@OPRFHS.ORG Phone: 708-434-3198

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Name of Applicant(s) (if different than Property Owner): _____

Applicant's Address: _____

Applicant's Contact Information: Phone _____ E-Mail _____

Other: _____

Property Interest of Applicant: Owner _____ Legal Representative _____ Contract Purchaser _____ Other

(If Other - Describe): _____

Property Type: 1 or 2 Family Residential Multiple-Family Commercial Mixed-Use Hospital Institutional

Zoning District: R-1 R-2 R-3(50) R-3(35) R-4 R-5 R-6 R-7

DT (1 - 2 - 3) GC HS MS NA NC RR

H OS I

Describe Variance Proposal: THIS VARIANCE PROPOSAL IS TO REPLACE THE EXISTING COURTS AND ASSOCIATED FENCING IN KIND. THE EXISTING FENCING EXCEEDS HEIGHT LIMITATIONS, AND IS WITHIN THE REQUIRED SETBACK FROM THE PROPERTY LINE ALONG LINDEN AVE AND ERIE ST.

Size of Parcel (from Plat of Survey): 60,068 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	<u>R-2 SINGLE FAMILY</u>	<u>RESIDENTIAL PROPERTY ACROSS ERIE ST</u>
To the South:	<u>I INSTITUTIONAL</u>	<u>SCHOOL DISTRICT PROPERTY, CURRENTLY BALLFIELDS</u>
To the East:	<u>I INSTITUTIONAL</u>	<u>SCHOOL DISTRICT PROPERTY, HIGH SCHOOL BUILDING</u>
To the West:	<u>R-1 SINGLE FAMILY</u>	<u>RESIDENTIAL PROPERTY ACROSS LINDEN AVE</u>

Is the property in question currently in violation of the Zoning Ordinance? Yes No
If Yes, how? REFER TO VARIANCE PROPOSAL DESCRIPTION ABOVE

Is the property in question currently subject to any zoning relief? Yes No
If Yes, how? STADIUM LIGHTS
If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? Yes No
If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: ARTICLE 6 Section: 6.2 (TABLE 6-2: DISTRICT DIMENSIONAL STANDARDS)
Article: ARTICLE 9 Section: 9.3 (L)(2)(b)
Article: _____ Section: _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

GRANTING OF THIS VARIANCE WILL RESULT IN AN AESTHETIC IMPROVEMENT TO AN EXISTING
CONDITION THAT IS A NECESSARY FUNCTION OF THE SCHOOL DISTRICT.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Fred Preuss
(Printed Name) Applicant

[Signature]
(Signature) Applicant

2-14-2022
Date

Fred Preuss
(Printed Name) Owner

[Signature]
(Signature) Owner

2-14-2022
Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS
14th DAY OF February, 2022



[Signature]
(Notary Public)

Section 14.3 Variation Standards

A written response to each of the following standards that must be met in order for a variation to be granted (Section 14.3 E of the Village of Oak Park Zoning Ordinance) must be submitted. Each standard must be quoted from the Zoning Ordinance and then followed by a reasoned response to the standard. Please note that all three standards must be met in order for the ZBA to grant any variances.

Approval Standards

1. The Zoning Board of Appeals decision must make findings to support each of the following:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

The existing tennis courts do not meet current regulations for spacing between courts, and half of them were needed to be used for construction staging during the recent construction work. As a result, the courts will need to be replaced. While this work is done, they are being expanded to the east (into District property) to provide regulation size courts. If this variance is not granted, it will permanently handicap their tennis program.

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

The District is proposing to replace the current existing setback and fence height conditions along Linden Ave. and Erie Ave. There is no space on the District's property to allow the tennis courts to shift in a manner that would be compliant with setback requirements. The fence height being installed is regulation height. Providing a fence at a lower height would be detrimental to the function of the courts, and result in a nuisance to neighbors with increased frequency of tennis balls going beyond the limits of the courts. The screening at the entry points along Erie are replacing existing in kind for this same reason.

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

The plight of the owner is a result of the needs of the high school athletics program.

2. The Zoning Board of Appeals, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate:

a. The granting of the variation will not be detrimental to the public health, safety, and welfare in the neighborhood in which the property is located.

The granting of the variance would not be detrimental as it would be allowing for the existing condition to be replaced in kind resulting in an improved aesthetic.

b. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

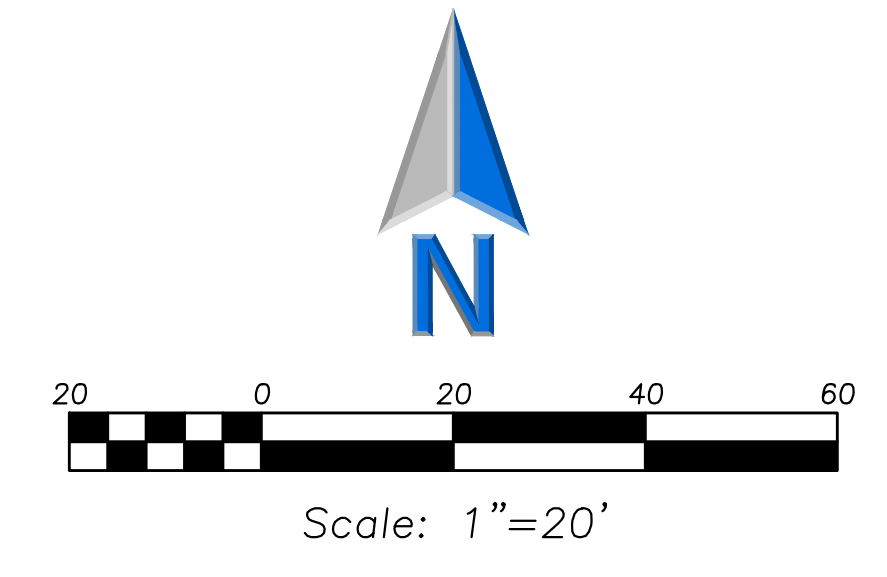
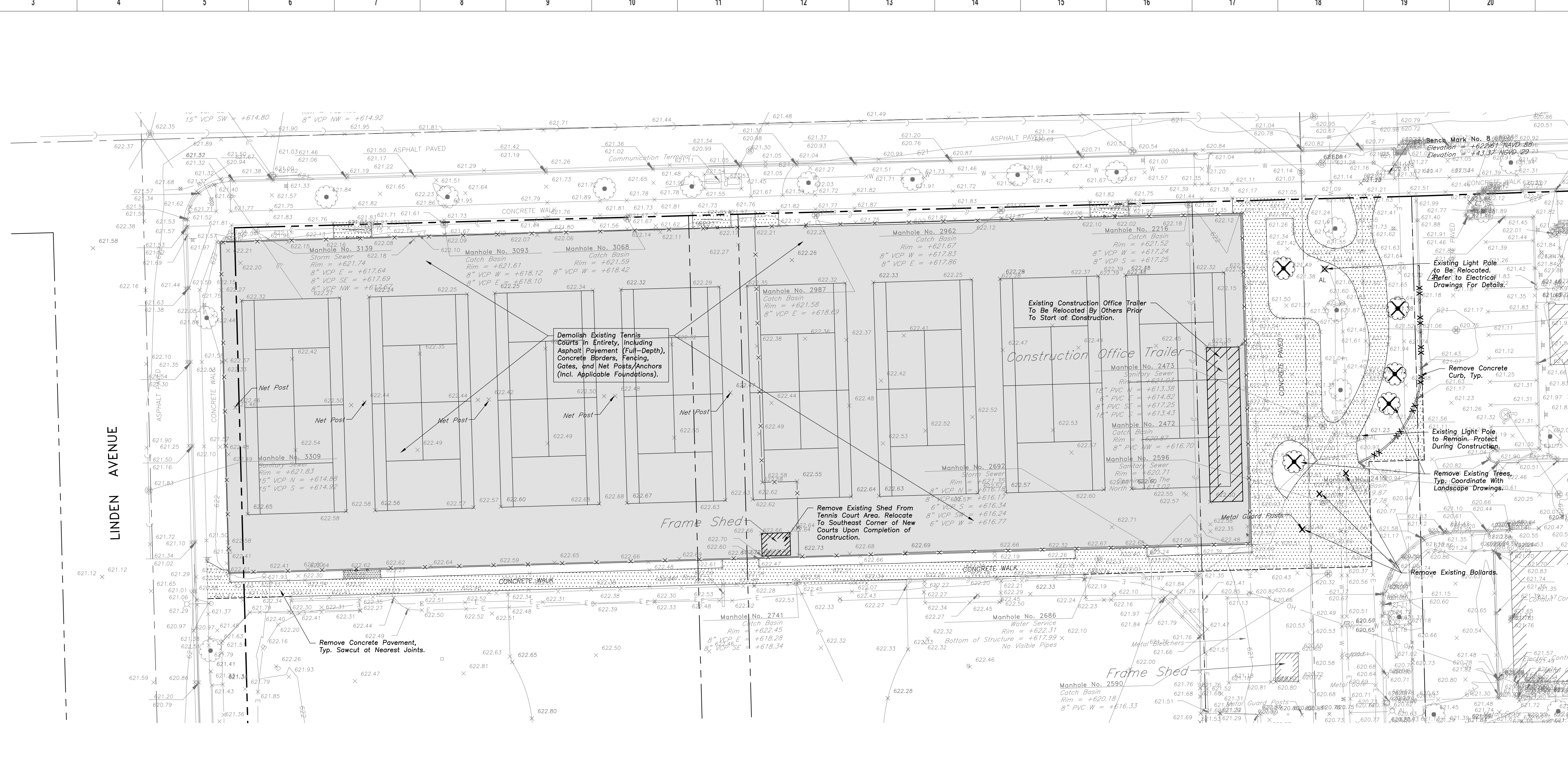
The proposed variance is to allow a replacement in kind of the existing condition. There will be no reduction in the supply of light and air to adjacent properties, nor will there be any change to the congestion of the public streets, danger of fire, or public safety. If there is any impact to property values in the neighborhood, they would be anticipated to be positively impacted by the improved aesthetic of new fencing and courts.

c. The proposed variation is consistent with the spirit and intent of this Ordinance and the adopted land use policies.

As this is a variance to replace an existing condition in kind, this variance would be consistent with the spirit and intent of the ordinance and adopted land use policies.



145 COMMERCE DRIVE, SUITE A
GRAYBLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 1B4-003220
EXPIRES: 04/30/2021



LEGEND	
EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable	Electrical Cable
Fire Hydrant	Fire Hydrant
Telephone Line	Telephone Line
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballast	Ballast
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComE5 Manhole	ComE5 Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing of Drip Line	Fencing of Drip Line

DEMOLITION LEGEND

	Bituminous Pavement Removal (Full Depth)
	Concrete Pavement Removal (Full Depth)
	Pavement Sawcut
	Structure Removal
	Tree Removal

DEMOLITION NOTES

- Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to be Removed From Private Property Shall be Removed in their Entirety, including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroaches Within The Existing Drip Line of Trees to Remain. All Trenching Within The Drip Line of Existing Trees to Remain Shall be Done Radially Away From Trunk if Roots in Excess of 1" Diameter are Exposed. Roots Must be Cut by Reputable Tree Pruning Services Prior to Any Transverse Trenching to Obtain Approval of The Architect Prior to Operations for a Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to be Removed Shall be Removed in their Entirety and Stumps Shall be Ground to Proposed Subgrade. Use as Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., as Shown on the Plans, Has been Determined From the Best Available Information and is Given For the Convenience of the Contractor. However, the Owner and the Engineer do Not Assume Responsibility in the Event that During Construction, Utilities Other than Those Shown May be Encountered, and that the Actual Location of Those Which are Shown May be Different From the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown on the Drawings.
- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify the Owner, Engineer and the Village of Oak Park a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show that Damaged Areas were Not Disturbed by Construction Operations.
- These Drawings Assume that the Contractor Will Utilize an Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize the Information Contained Within These Drawings Without Written Approval from Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing these Drawings For Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Media Shall Verify All Dimensions and Locations of Buildings With the Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist the User of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared by a Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, And All Addenda Thereof, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by Marchese and Sons, Inc. For Oak Park & River Forest High School District 200 on November 11, 2019 (Revised December 24, 2019). Order Number 19-16635.

PROJECT BENCHMARKS

- Site Bench Mark No. 8
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. East Avenue with Erie Street.
Elevation = +622.61 (NAVD88) / +43.37 (NGVD29)
- Site Bench Mark No. 9
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. Scoville Avenue with Ontario Street.
Elevation = +621.13 (NAVD88) / +41.90 (NGVD29)
- Site Bench Mark No. 11
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. East Avenue with Erie Street.
Elevation = +620.74 (NAVD88) / +41.46 (NGVD29)
- Site Bench Mark No. 13
Bolt on Fire Hydrant Located to West of South Cafeteria Building to East of Concrete Driveway.
Elevation = +621.05 (NAVD88) / +41.82 (NGVD29)

J.U.L.I.E.

Note: The Exact Location of All Utilities Shall be Verified by the Contractor Prior to Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

NO.	DATE	DESCRIPTION	ISSUANCE
1	11/04/2020	ISSUED FOR BIDD AND PERMIT	
2	11/13/2020	ADDENDUM #1 (B95)	

FGM ARCHITECTS
1511 W. 105th St. Suite 200
Oak Brook, IL 60452
630.574.8300 (C) 630.574.7070(F)
ILLINOIS PROFESSIONAL DESIGN FIRM
106-060550

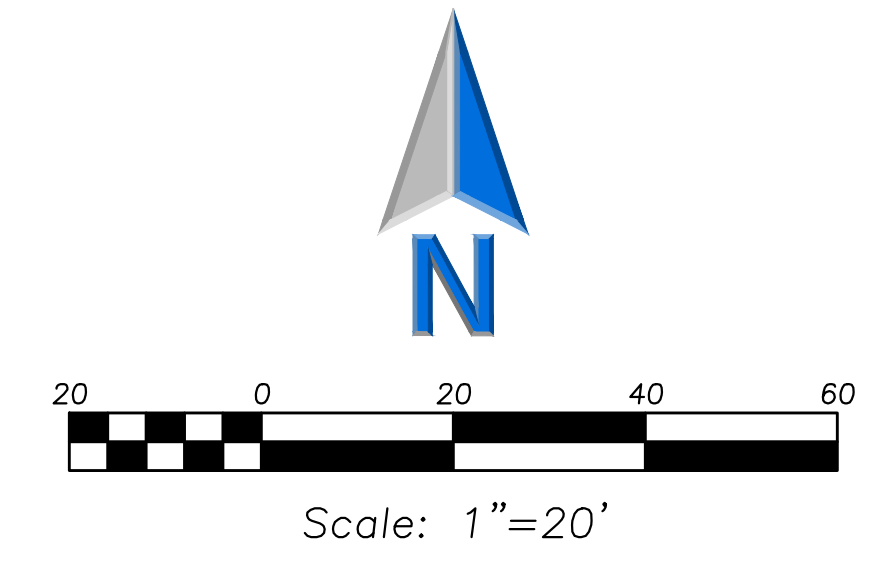
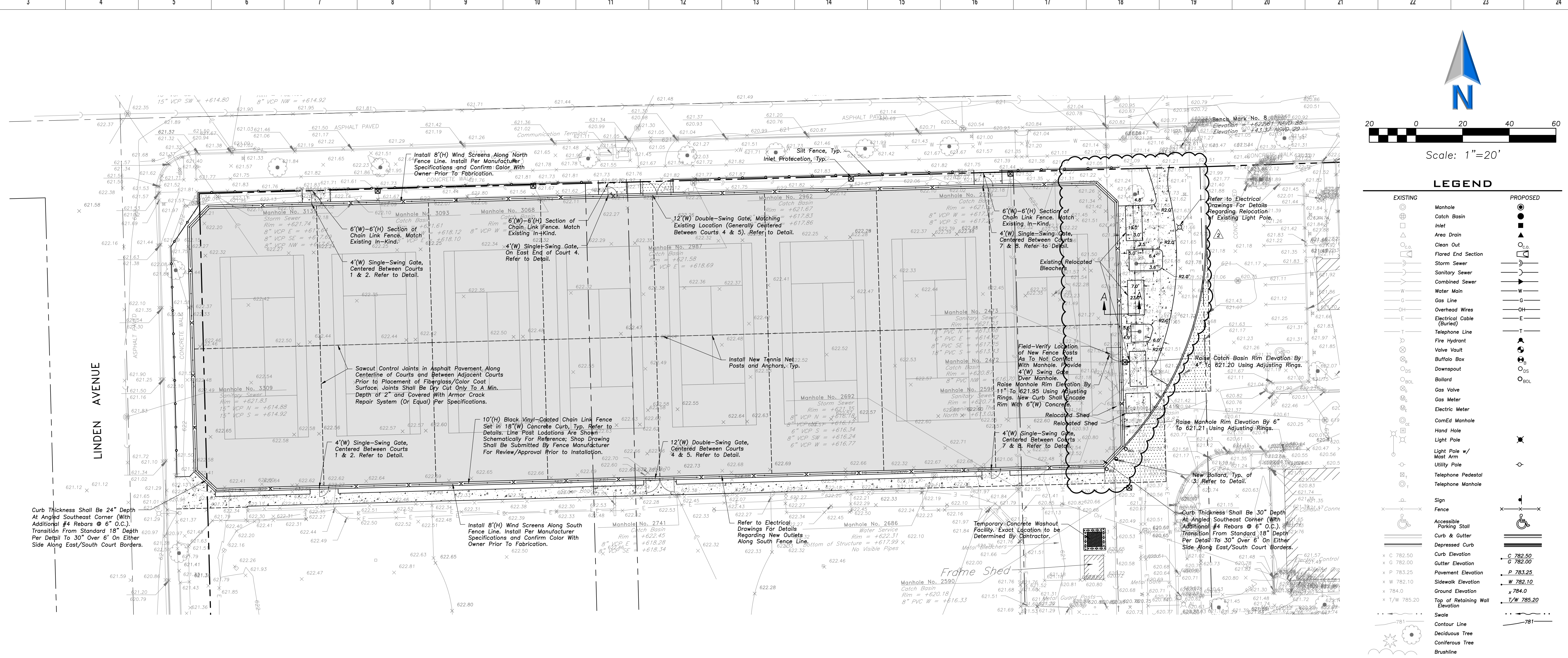
Oak Park and River Forest High School District 200
Project 1 / Phase 2: Main Entry, Welcome Center, Student Commons and Classroom Renovations (Bid Period 6)
201 Scoville Ave, Oak Park, IL 60302
SITE DEMOLITION PLAN - TENNIS COURTS

SHEET NO.
C103
JOB NO. 19-2701.01
© 2019 FGM Architects Inc.

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145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
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EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 1B4-003220
EXPIRES: 04/30/2021



LEGEND	
EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Gas Valve	Gas Valve
Electric Meter	Electric Meter
Cont'd Manhole	Cont'd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
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Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drp. Line	Fencing at Drp. Line

PAVING & SURFACE LEGEND

Tennis Court Pavement Section	Surface Coating (Dens-Turf Or Approved Equal)
Outer Court Color: US Open Green	
Inner Court Color: US Open Green	
Plexiglass Membrane With Flexbond Coating	
1 1/2" Hot Mix Asphalt, Mix C, IL-4.75, NS0	
2 1/2" Hot Mix Asphalt, Mix C, IL-19.0, NS0	
Prime Coat (0.25 gal/sq yd)	
5" Aggregate Base Course, Type B, Crushed CA-6	
10 oz. Polypropylene Non-Woven Geotextile Fabric	
Concrete Sidewalk Section	
5" Portland Cement Concrete	
6"x6" W1.4xW1.4 Welded Wire Fabric	
2" Aggregate Base Course, Type B, Crushed	
Concrete Driveway Section	
8" Portland Cement Concrete	
6"x6" W1.4xW1.4 Welded Wire Fabric	
6" Aggregate Base Course, Type B, Crushed	

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Soil Disturbance Shall Be Conducted in Such a Manner as to Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until the Site is Permanently Stabilized. And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary and Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved or After the Temporary Measures Are No Longer Needed, Trapped Sediment and Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization is Defined By the EPA General Permit as Meaning That All Soil Disturbing Activities At the Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density of 70 Percent of the Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated to Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Watties Around The Grate in Landscaped Areas and "Catch-All" Inlet Protectors (or equal, such as Park Chop Sediquard) in Paved Areas To Prevent Siltation and Discharge Into Waterways.
- All Temporary and Permanent Sediment and Erosion Control Measures Must Be Maintained, Repaired, and Inspected in Conformance With All Applicable EPA-NPDES Phase II Requirements.
- Install and Maintain Silt Fence At the Perimeter of the Construction Zone and Wetland Areas As Shown On the Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials if they Occur in Accordance with EPA NPDES Requirements.
- All Concrete Washout Shall Conform To the Temporary Concrete Washout Facility Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- Deswearing of Excavations Shall be Performed in a Manner Such that the use of Filter Bags or Polymer Treated Deswearing Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face of Building Foundation Unless Otherwise Noted.

GRADING NOTES

- Install and Maintain Silt Fence at the Perimeter of the Construction Zone. Install "Catch-All" Inlet Protection Filter Baskets (Or Approved Equal) At All Proposed and Existing Structures Receiving Drainage From Disturbed Areas. Silt Fabric Under the Lid is Not an Acceptable Alternative.
- The Grading and Construction of Proposed Improvements Shall Be Done In a Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Seeded Unless Noted Otherwise On the Landscape Drawings. Refer to Architectural Drawings For Limits of Sodding. Note That All Seed Shall Be Installed in Conjunction With Erosion Control Blanket.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.9%. Contact Engineer if Conflicts Exist.

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- Install Stabilized Construction Entrance
- Install All Downslope and Sidewalk Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb an Area Until it is Necessary For Construction To Proceed.
- Cover and Stabilize Disturbed Areas as Soon as Possible.
- When Practical, Time Construction Activities To Limit Impact from Seasonal Climate Changes or Weather Events.
- Construct Sedimentation Basins and Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Basins and Along Silt Fence.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On the Plans, Has Been Determined From the Best Available Information and is Given For the Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That the Actual Location of Those Which Are Shown May Be Different From the Location As Shown On the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On the Drawings.
- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify the Owner, Engineer and the Village of Oak Park A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Construction Drawings, Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed by Construction Operations.
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- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Aids and Threats, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by Marchese and Sons, Inc. For Oak Park & River Forest High School District 200 on November 11, 2019 (Revised December 24, 2019). Order Number 19-16626.

PROJECT BENCHMARKS

- Site Bench Mark No. 8
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. Scoville Avenue with Erie Street.
Elevation = +622.61 (NAVD88) / +43.37 (NGVD29)
- Site Bench Mark No. 9
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J.U.L.I.E.

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NO.	DATE	DESCRIPTION	ISSUANCE
1	11/04/2020	ISSUED FOR BIDD AND PERMIT	ISSUED FOR BIDD AND PERMIT
2	01/24/2021	ISSUED FOR RFP-012 (RF-5)	ISSUED FOR RFP-012 (RF-5)

FGM ARCHITECTS
1011 W. WIS. ST. SUITE 700
OAK BROOK, ILLINOIS 60452
ILLINOIS PROFESSIONAL DESIGN FIRM #106-060550

Oak Park and River Forest High School District 200
Project 1 / Phase 2: Main Entry, Welcome Center, Student Commons and Classroom Renovations (Bid Period 6)
201 Scoville Ave., Oak Park, IL 60302
PROPOSED SITE PLAN - TENNIS COURTS

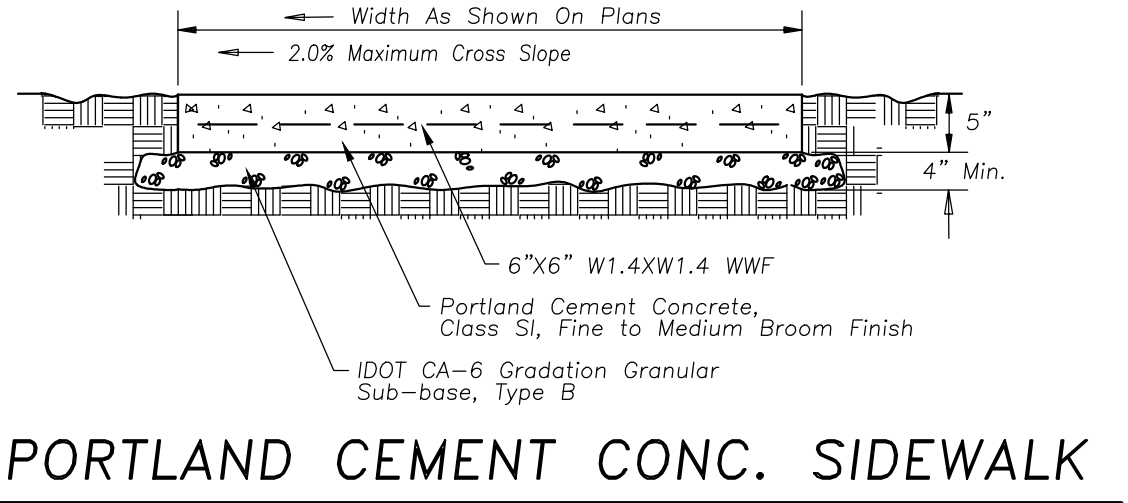
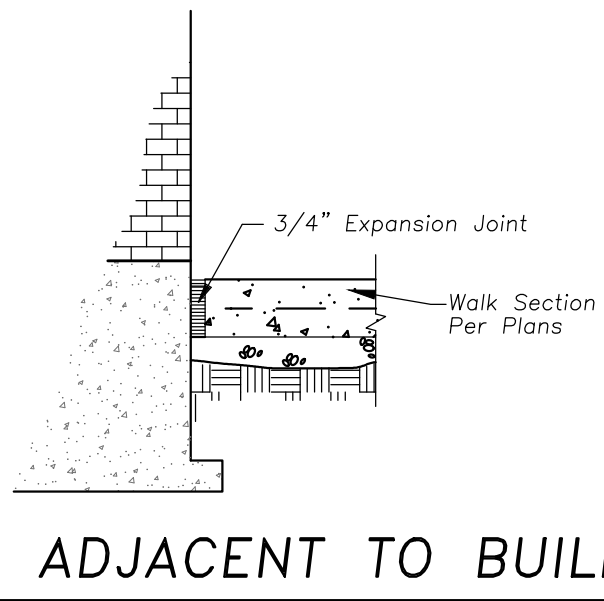
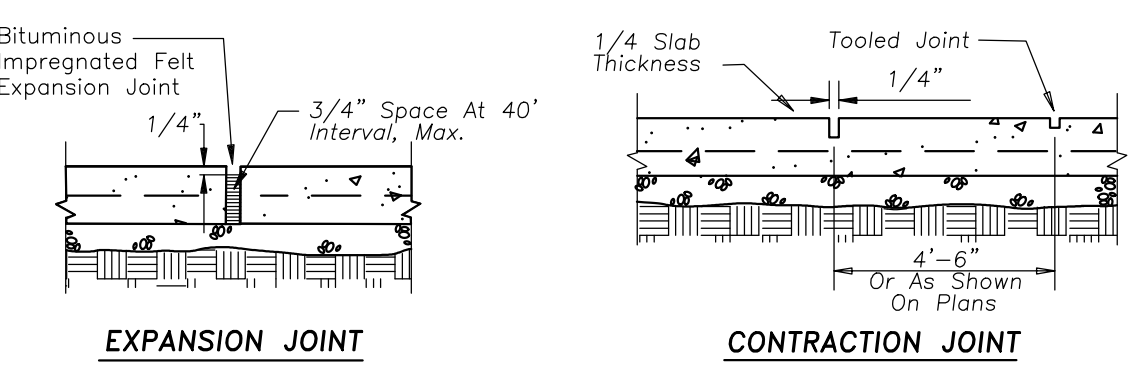
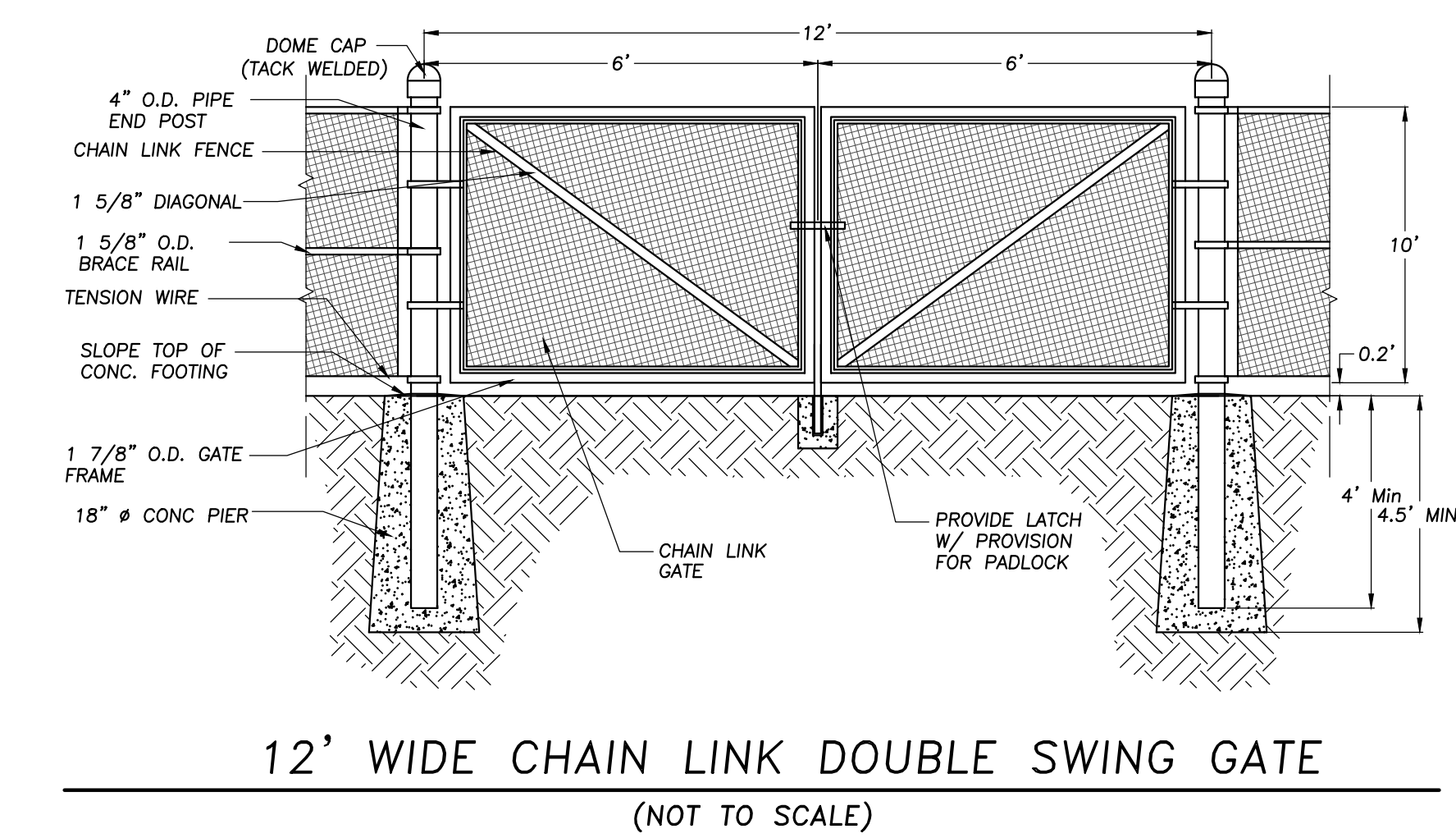
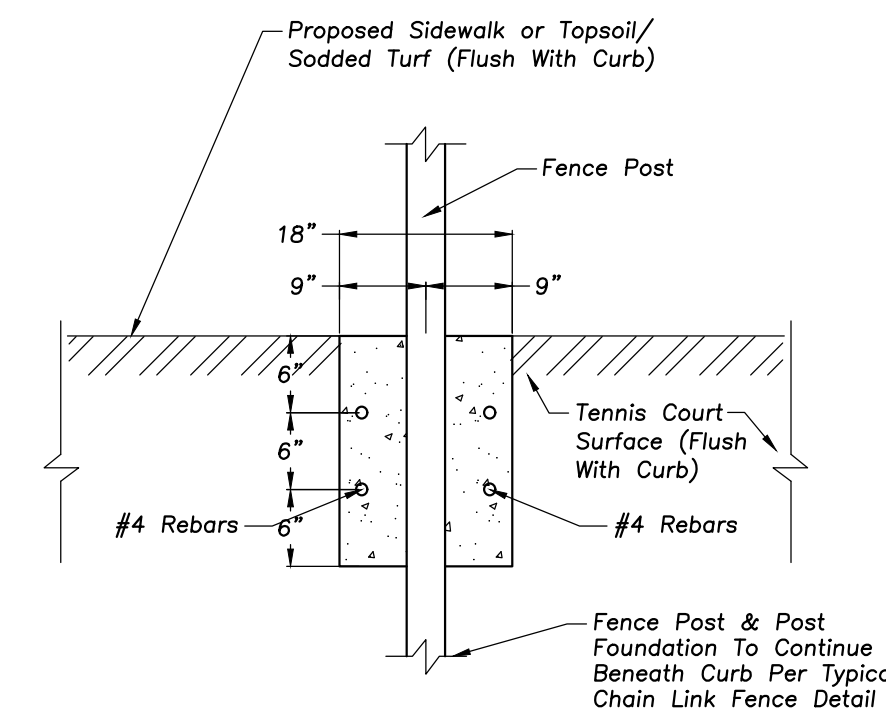
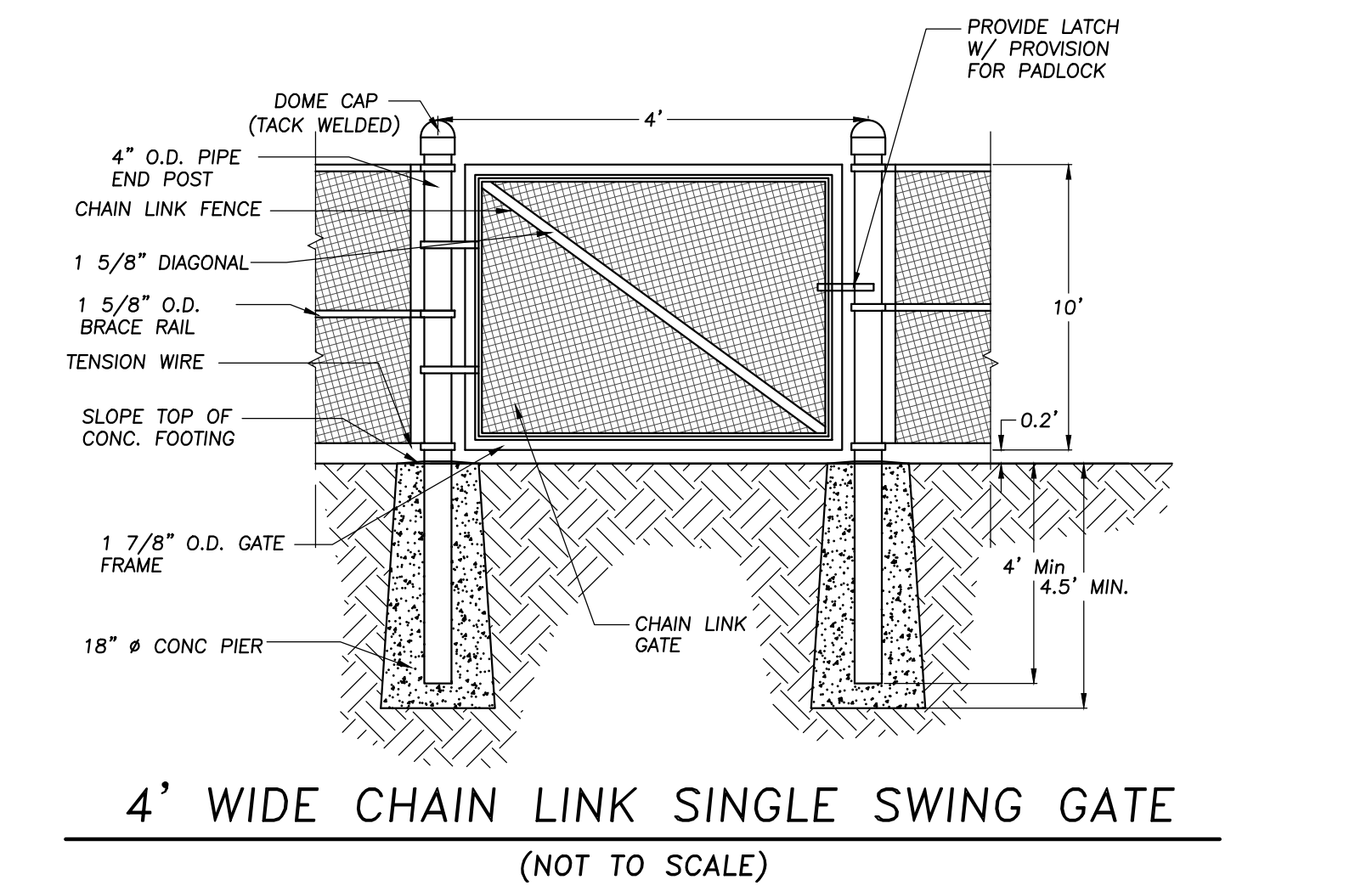
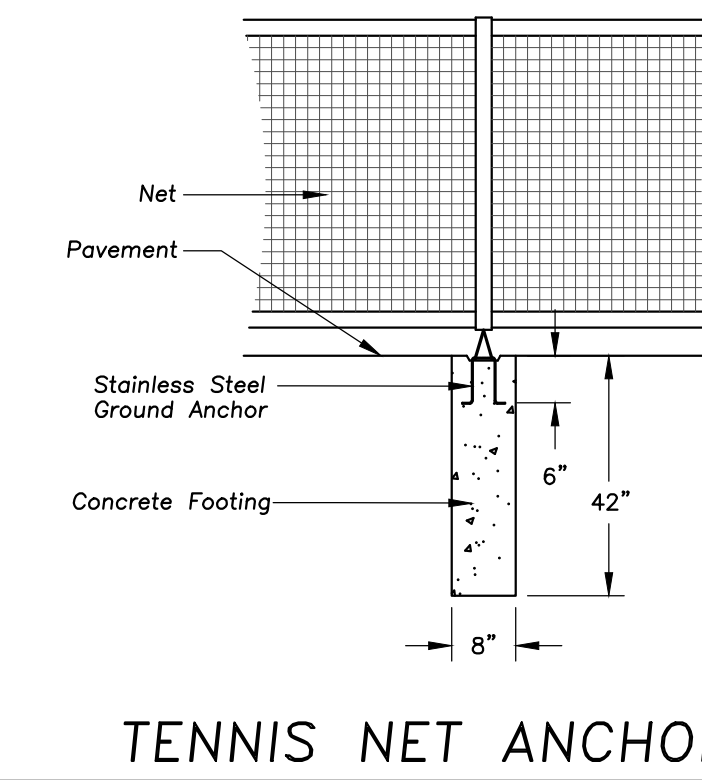
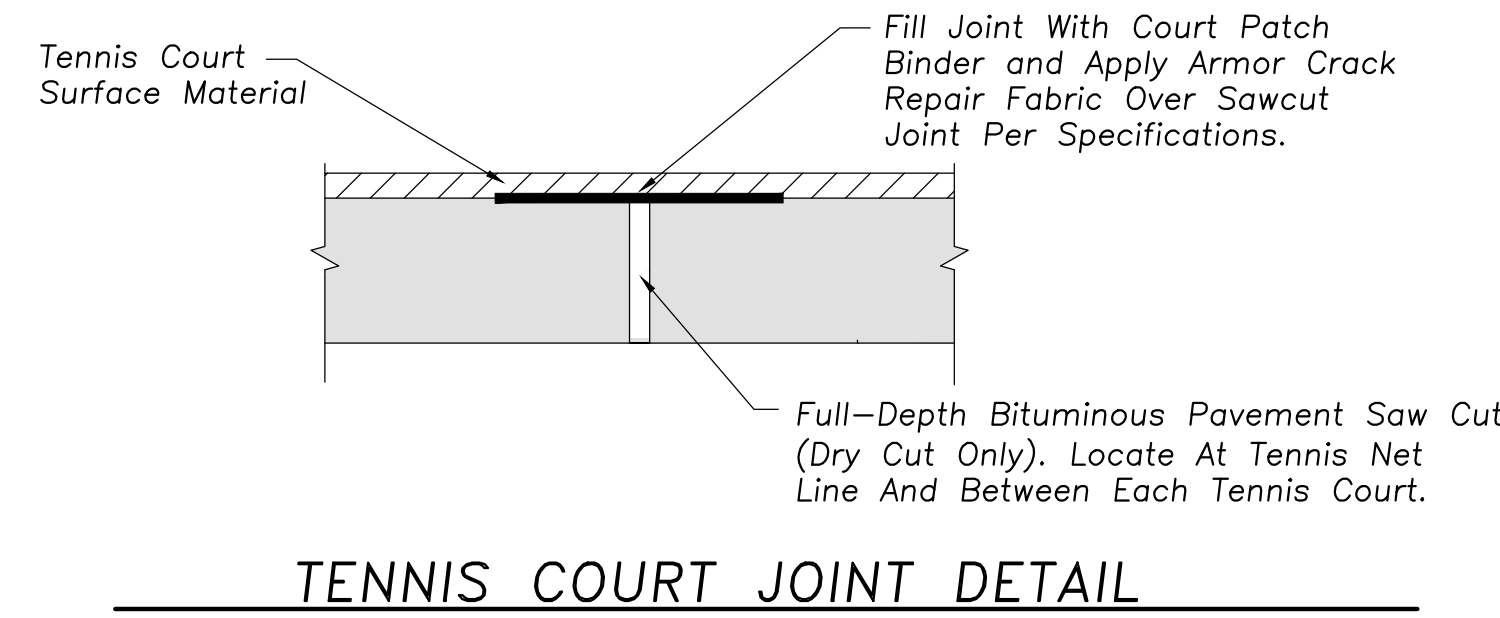
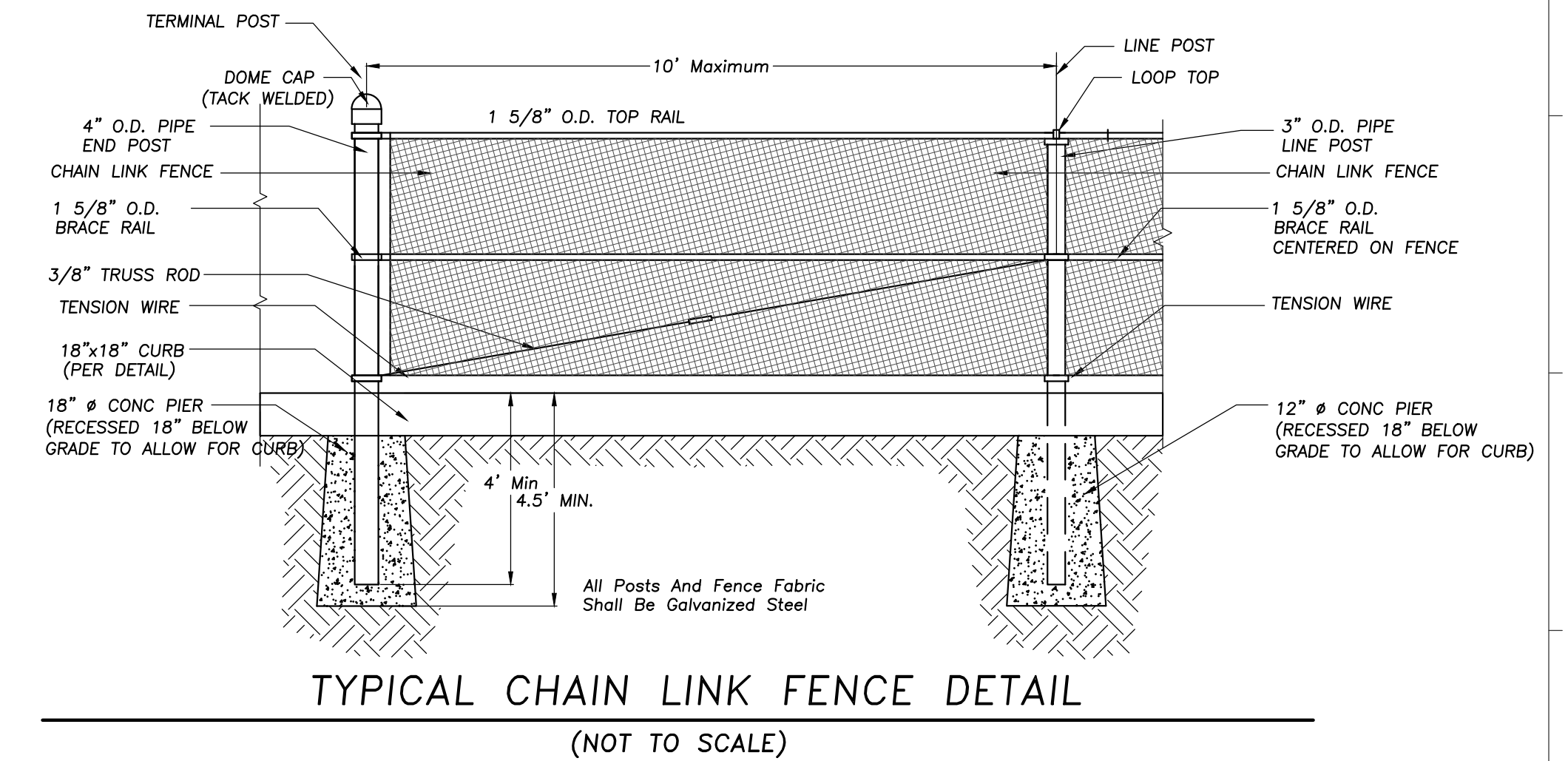
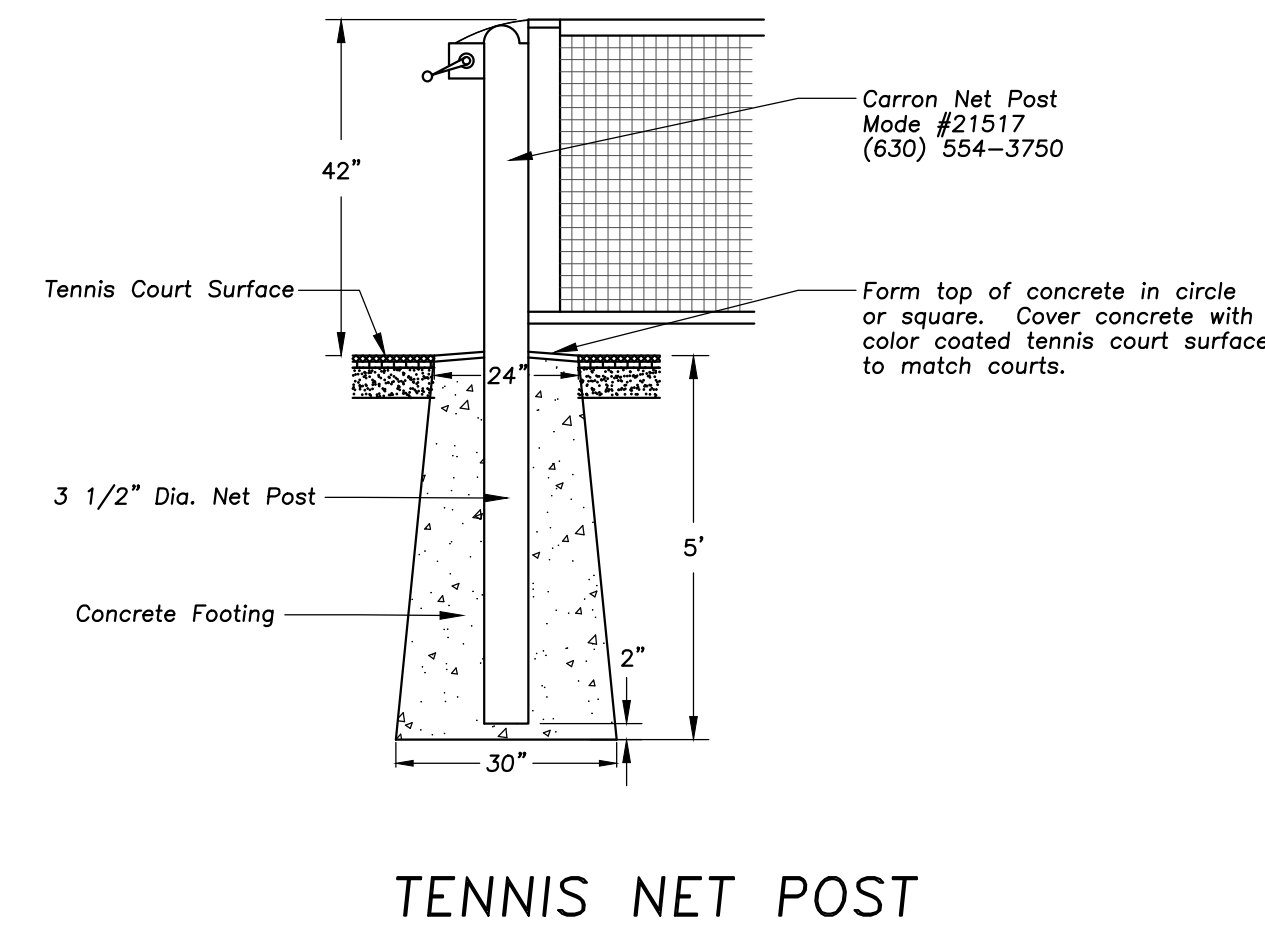
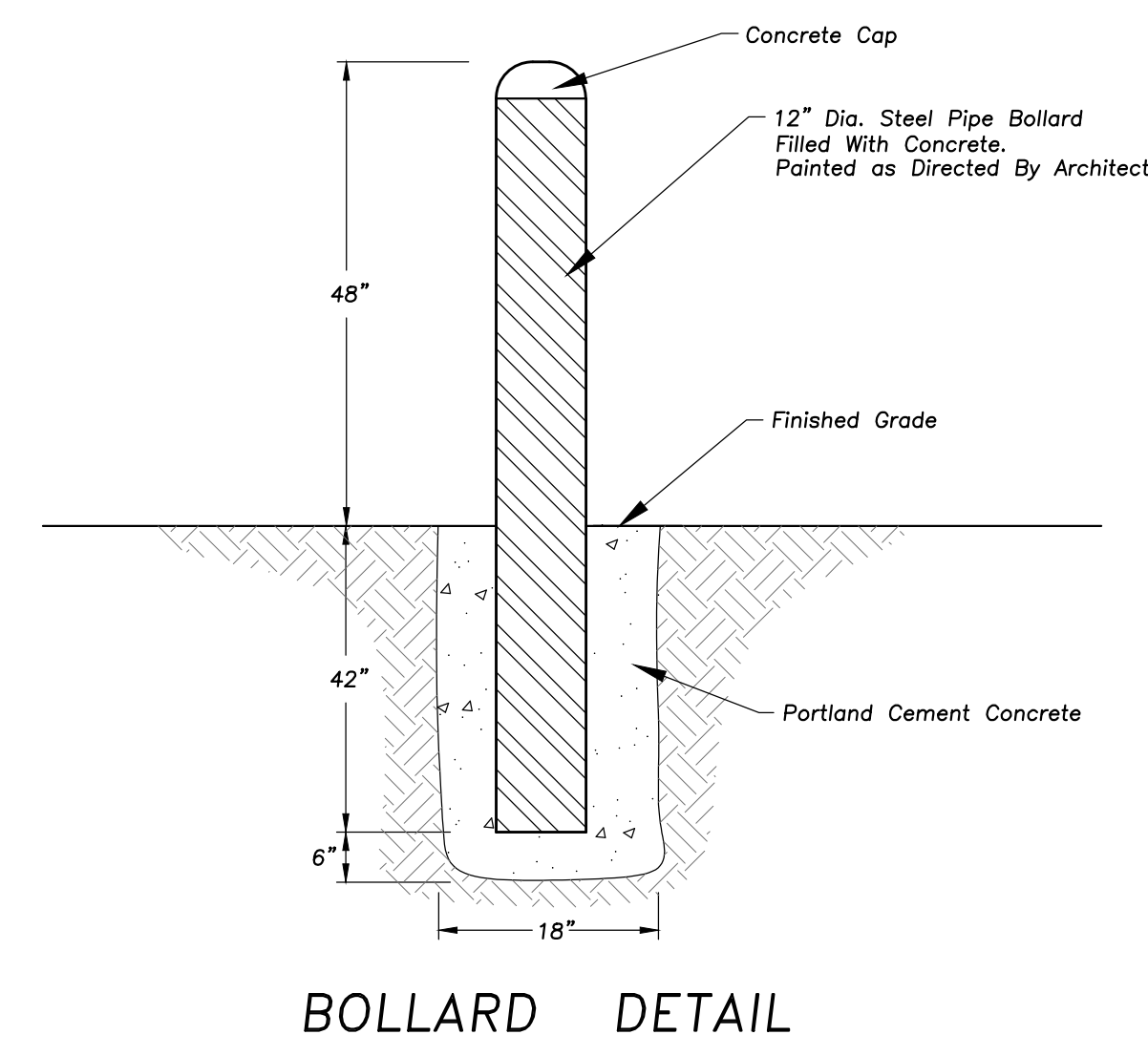
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LICENSE NO. 184-003220
EXPIRES: 04/30/2021



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NO.	DATE	DESCRIPTION	ISSUED FOR	BY	PERMIT
1	11/04/2020	ISSUED FOR BID AND PERMIT			
2	11/13/2020	ADDENDUM #1 (BIF)			

FGM ARCHITECTS
1511 W. WIS. ST. SUITE 700
OAK BROOK, ILLINOIS
630.574.8300 (C) & (S) 574.7070(F)
ILLINOIS PROFESSIONAL DESIGN FIRM
106-066550

Oak Park and River Forest High School District 200
Project 1 / Phase 2: Main Entry, Welcome Center, Student Commons
and Classroom Renovations (Bid Period 6)
201 Scoville Ave, Oak Park, IL 60302
SITE WORK DETAILS

SHEET NO.
C303
JOB NO. 19-2701.01
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PLANT LIST

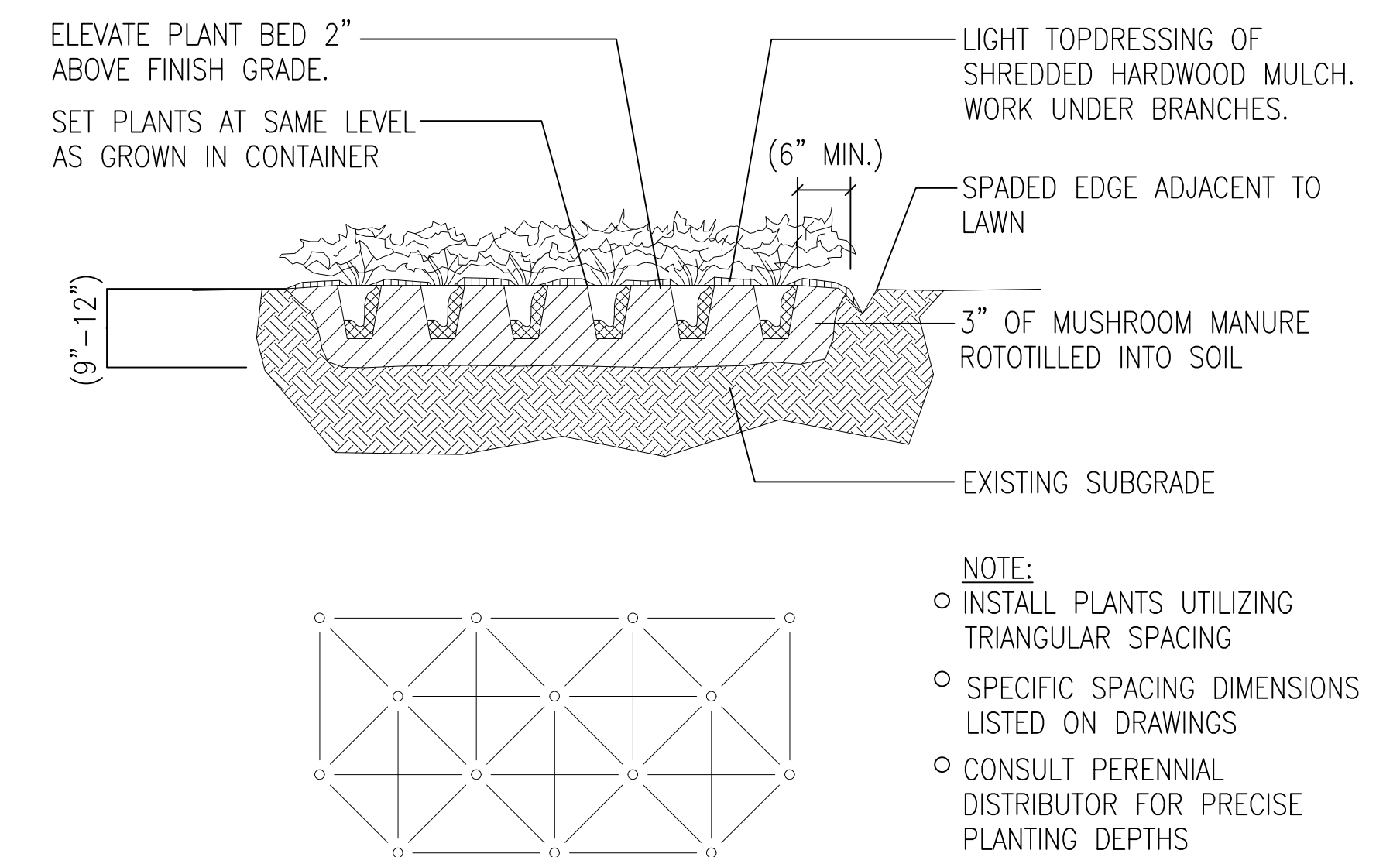
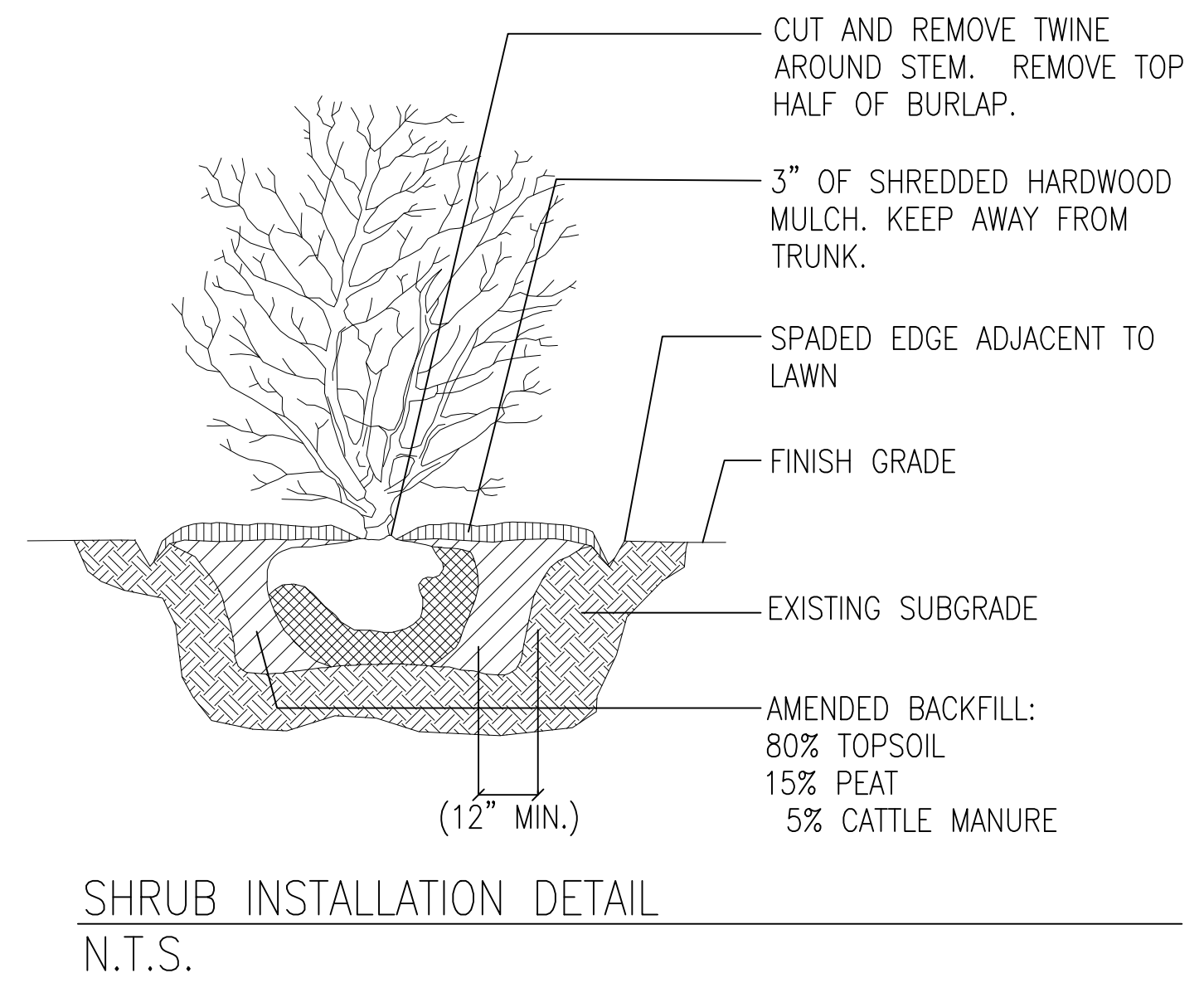
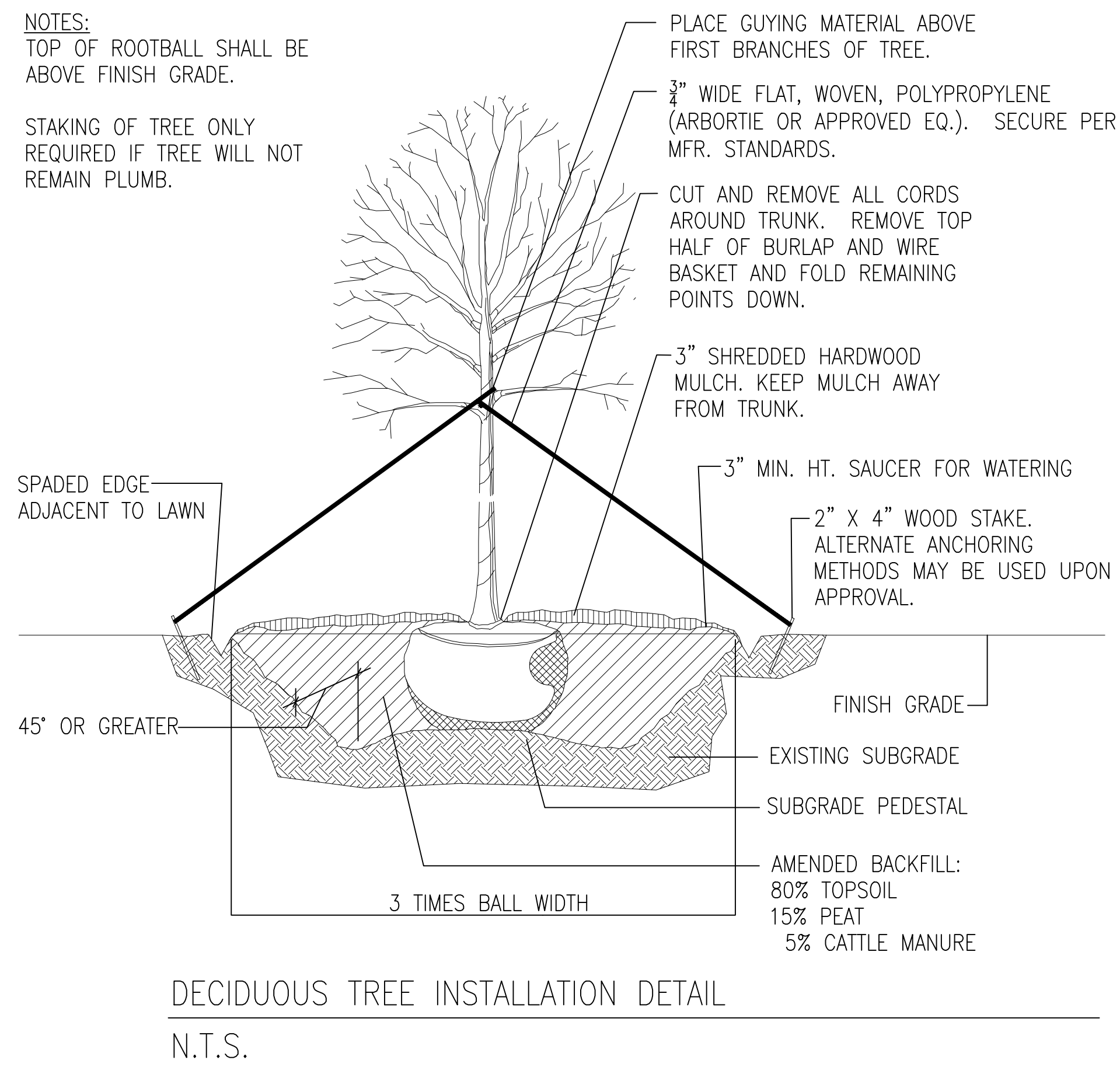
KEY	QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS SHADE TREES					
GPS	2	GINKGO B. 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3"	BB (1) (3)
LARGE DECIDUOUS SHRUBS					
AP	3	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	4'	BB
VDS	9	VIBURNUM D. 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	4'	BB
DWARF DECIDUOUS SHRUBS					
PDM	40	PHYSOCARPUS O. 'DONNA MAY'	LITTLE DEVIL NINEBARK	#5	CONTAINER
RGM	12	RIBES A. 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	#5	CONTAINER
EVERGREEN SHRUBS					
TMD	12	TAXUS M. 'DENSIFORMIS'	DENSE YEW	24"	BB
TMD	13	TAXUS M. 'DENSIFORMIS'	DENSE YEW	30"	BB
PERENNIALS, GROUNDCOVERS & ORNAMENTAL GRASSES					
ASB	65	ALLIUM 'SUMMER BEAUTY'	SUMMER BEAUTY ALLIUM	1 GAL.	18" O.C.
HHR	125	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 GAL.	18" O.C.
HP	50	HOSTA 'PATRIOT'	PATRIOT HOSTA	1 GAL.	24" O.C.
HRS	39	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	1 GAL.	24" O.C.
PGC	528	PACHYSANDRA T. 'GREEN CARPET'	GREEN CARPET JAPANESE SPURGE	3" POT	8" O.C.
RDK	12	ROSA 'RADTKO'	DOUBLE KNOCK OUT SHRUB ROSE	#3	CONTAINER
SSC	27	SCHIZACHRYLIUM S. 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	1 GAL.	
SHT	27	SPOROBOLUS H. 'TARA'	DWARF PRAIRIE DROPS EED	1 GAL.	

REMARKS

- MALE ONLY
- MULTI-STEM, CLUMP FORM
- MATCHING SPECIMENS

MATERIAL SCHEDULE

KEY	QUANTITY	MATERIAL	REMARKS
--	21 C.Y.	MULCH	SHREDDED HARDWOOD
--	14 C.Y.	COMPOST	MUSHROOM COMPOST
--	AS REQ.	SOD - KENTUCKY BLUEGRASS BLEND	SEE GENERAL NOTE #6
--	AS REQ.	SEED - KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS AND FESCUE BLEND	SEE GENERAL NOTE #6
△	4	CONCRETE BENCHES	SEE GENERAL NOTE #8



H1 MATERIAL SCHEDULES

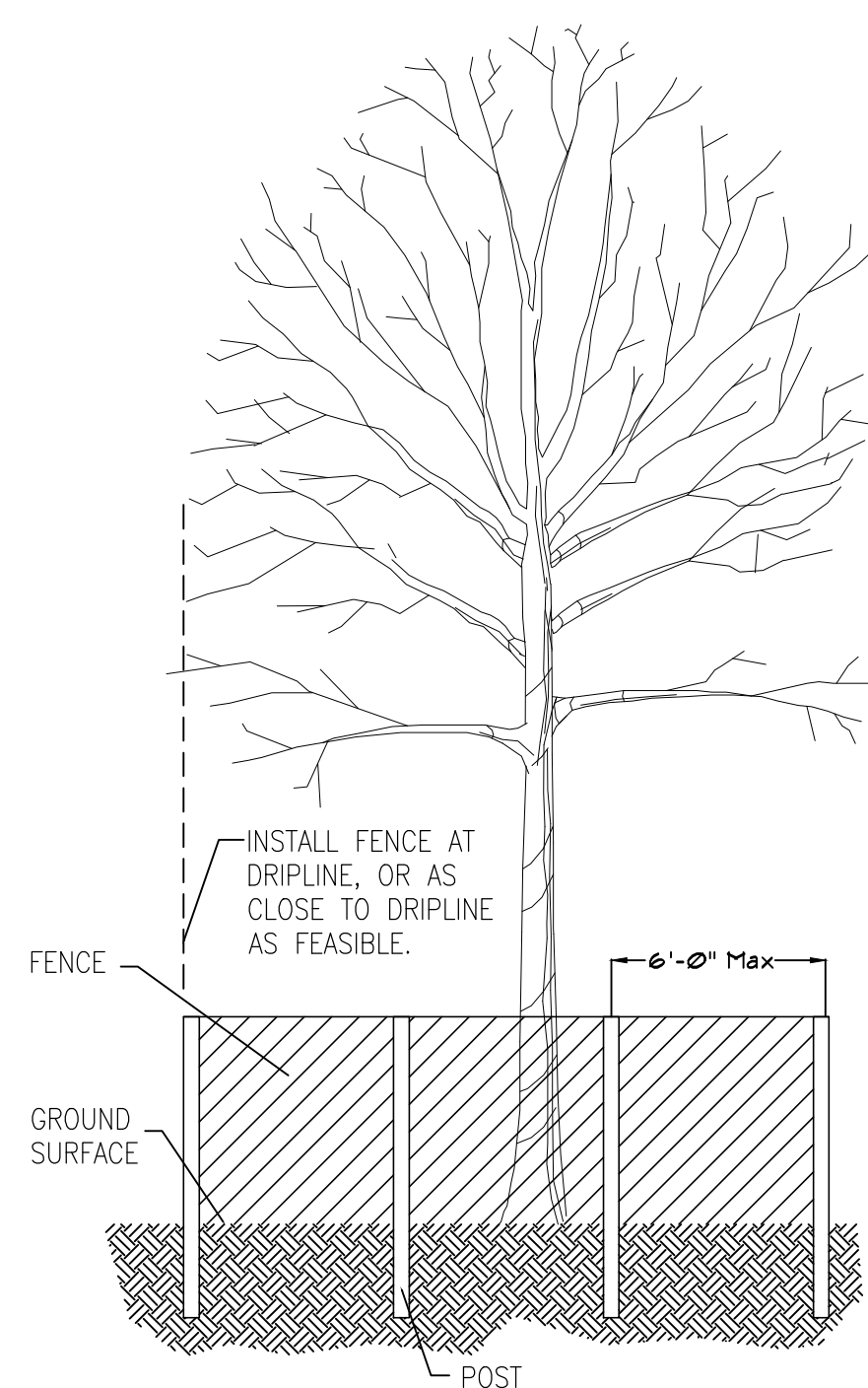
N.T.S.

H11 LANDSCAPE INSTALLATION DETAILS

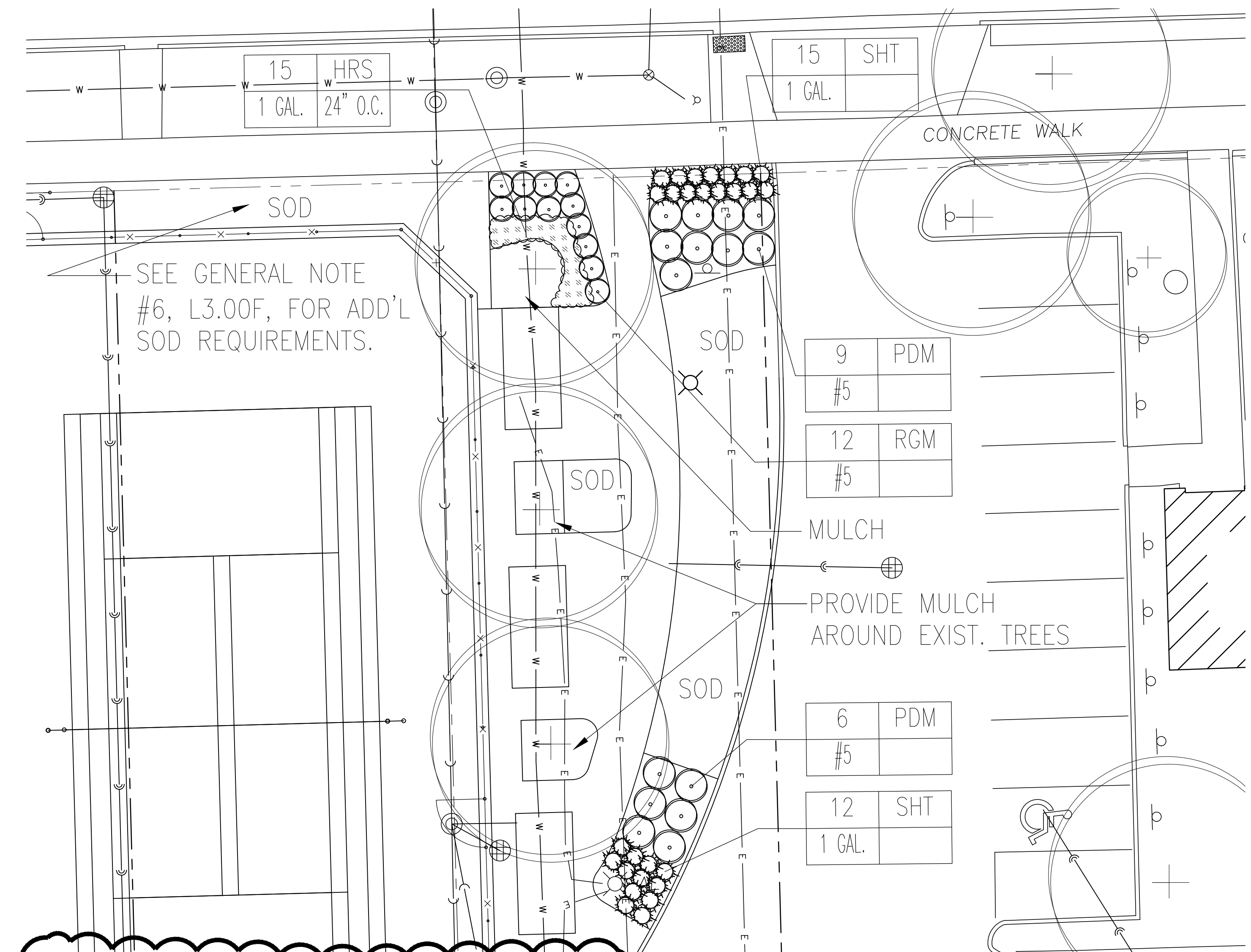
N.T.S.

GENERAL NOTES

- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. CONTACT "J.U.L.I.E" (JOINT UTILITY LOCATING FOR EXCAVATORS) 1-800-892-0123.
- PLANTING BEDS SHALL BE ELEVATED SLIGHTLY TO PROVIDE FOR PROPER DRAINAGE. ROOTBALLS OF TREES SHALL BE ELEVATED ABOVE FINISHED GRADE AS ILLUSTRATED ON INSTALLATION DETAILS. ALL GRADING SHALL PROVIDE SLOPES WHICH ARE SMOOTH, CONTINUOUS AND HAVE POSITIVE DRAINAGE IN ALL AREAS. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER DRAINAGE PROBLEMS WHICH MAY BE DETRIMENTAL TO THE GROWTH OF THE SPECIFIED PLANT MATERIALS, THE OWNER SHALL BE NOTIFIED ACCORDINGLY, PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL BE NURSERY GROWN AND BE EITHER BALL AND BURLAPPED OR CONTAINER GROWN. SIZES INDICATED ON PLANT LIST REPRESENT MINIMUM REQUIREMENTS. THE REQUIREMENTS FOR MEASUREMENT, BRANCHING AND BALL SIZE SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (LATEST EDITION) BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIALS FOR GROUPINGS OR WHERE SYMMETRY IS CRITICAL, SHALL BE MATCHED AS NEARLY AS POSSIBLE.
- CONTRACTOR SHALL OBTAIN ONE (1) COMPLETE SOIL EVALUATION PERFORMED BY A CERTIFIED SOIL TESTING LABORATORY, INCLUDING RECOMMENDATIONS FOR SPECIFIC SOIL AMENDMENTS. SAMPLES ARE TO BE TAKEN PRIOR TO INSTALLATION OF PLANT MATERIALS AND ANY ADDITION OF SOIL AMENDMENTS.
- CONTRACTOR SHALL RESTORE ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITIES ON AND OFF-SITE. ALL DISTURBED AREAS AROUND THE IMMEDIATE BUILDING PERIMETER SHALL BE RESTORED WITH SOD UNLESS NOTED OTHERWISE. SIMILARLY, ALL DISTURBED AREAS IMMEDIATELY ADJACENT TO THE NEWLY CONSTRUCTED TENNIS COURTS SHALL BE SODDED. ALL REMAINING RESTORATION AREAS BEYOND THE BUILDING AND TENNIS COURT PERIMETERS SHALL BE SEEDDED.
- WHERE MULTIPLE PERENNIAL SPECIES ARE SHOWN FOR THE SAME AREA, RANDOMLY INTERPLANT TOGETHER.
- CONTRACTOR TO PROVIDE AND INSTALL FOUR (4) CONCRETE BENCHES AS MANUFACTURED BY WAUSAU MADE (WWW.WAUSAUMADE.COM), MODEL #IF5021. PROVIDE STANDARD ACID WASH FINISH. COLOR TO MATCH BENCHES INSTALLED AT SCOVILLE AVENUE MAIN ENTRANCE. ANCHOR TO CONCRETE PER MANUFACTURER'S SPECIFICATIONS UTILIZING FOUR (4) STANDARD THREADED INSERTS AT EACH CORNER OF BENCH. PROVIDE AND INSTALL ONE (1) SKATE BOARD DETERRENT PER BENCH: MODEL FR 0.12 BY SKATE STOPPERS (WWW.SKATESTOPPERS.COM) OR APPROVED EQUAL FINISH TO BE TYPE 2 CLEAR ANODIZE. INSTALL IN CENTER OF EACH BENCH.



- TREE PRESERVATION NOTES**
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS. FENCE SHALL BE 40" HIGH SNOW FENCE, PLASTIC WEB FENCING OR ANY OTHER APPROVED MATERIAL. REFER TO TREE PRESERVATION NOTES AND TECHNICAL SPECIFICATION SECTION 015639 (TEMPORARY TREE AND PLANT PROTECTION) FOR ADDITIONAL INFORMATION. REMOVE PROTECTIVE FENCE ONLY AFTER ALL CONSTRUCTION WORK HAS BEEN FINISHED.
 - EXISTING TREES TO BE PRESERVED SHALL BE BARRICADED IN A MANNER THAT WILL EFFECTIVELY PROTECT THEM DURING CONSTRUCTION OPERATIONS. PRIOR TO ANY ON-SITE CONSTRUCTION, PROTECT EXISTING TREES DESIGNATED TO REMAIN AGAINST UNNECESSARY CUTTING, BREAKING, SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN THE DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN THE DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES TO BE LEFT STANDING. PROTECTIVE ORANGE SNOW FENCING SHALL BE INSTALLED. REFER TO TREE PROTECTION FENCING DETAIL. CONFIRM REMOVALS OF ANY VEGETATION WITH OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
 - LOCATIONS OF EXISTING TREES ARE APPROXIMATE. CONTRACTOR TO CONFIRM ACTUAL LOCATIONS PRIOR TO CONSTRUCTION ACTIVITIES.



A1 GENERAL NOTES

N.T.S.

A9 TREE PRESERVATION DETAIL

N.T.S.

A15 TENNIS COURT LANDSCAPE PLANTING

1" = 10'

ISSUANCE

NO	DATE	DESCRIPTION
1	11/24/2024	ISSUED FOR BID AND PERMIT
2	11/24/2024	ISSUED FOR RFP-011 FOR RFP-6
3	01/24/2025	ISSUED FOR RFP-017 FOR RFP-6

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WWW.FGMARCHITECTS.COM
#184-000350

FIRST LAST NAME - ARCHITECT
ST #XXXXXXX

The professional architect seal affixed to this sheet applies only to the noted and items shown on this sheet. All drawings, specifications or other documents not exhibiting this seal shall not be considered approved by the architect, and the architect disclaims any liability or responsibility for such plans, drawings or specifications not exhibiting this seal.

DATE mm/dd/yyyy

Oak Park & River Forest High School District 200
Project 1 / Phase 2: Main Entry, Welcome Center, Student Commons and Classroom Renovations (Bid Period 6)
201 Scoville Ave., Oak Park, IL 60302

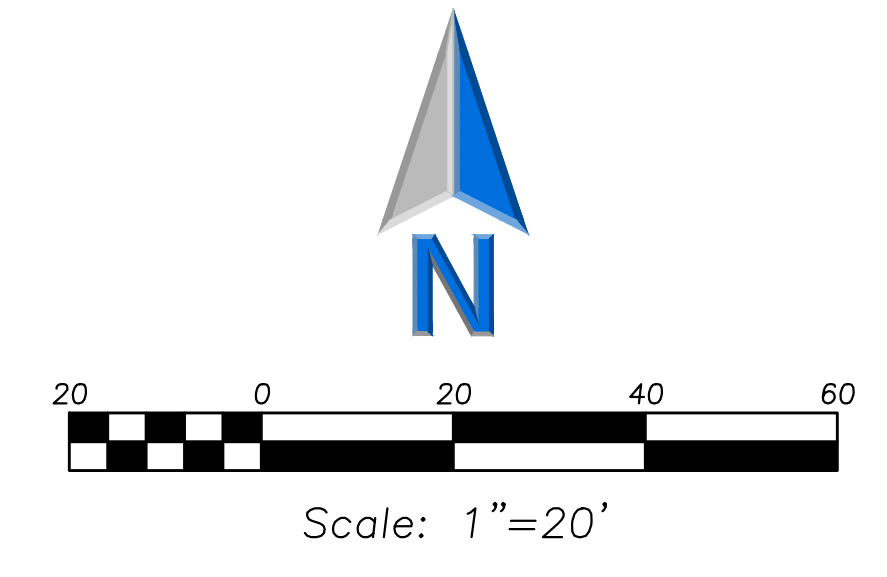
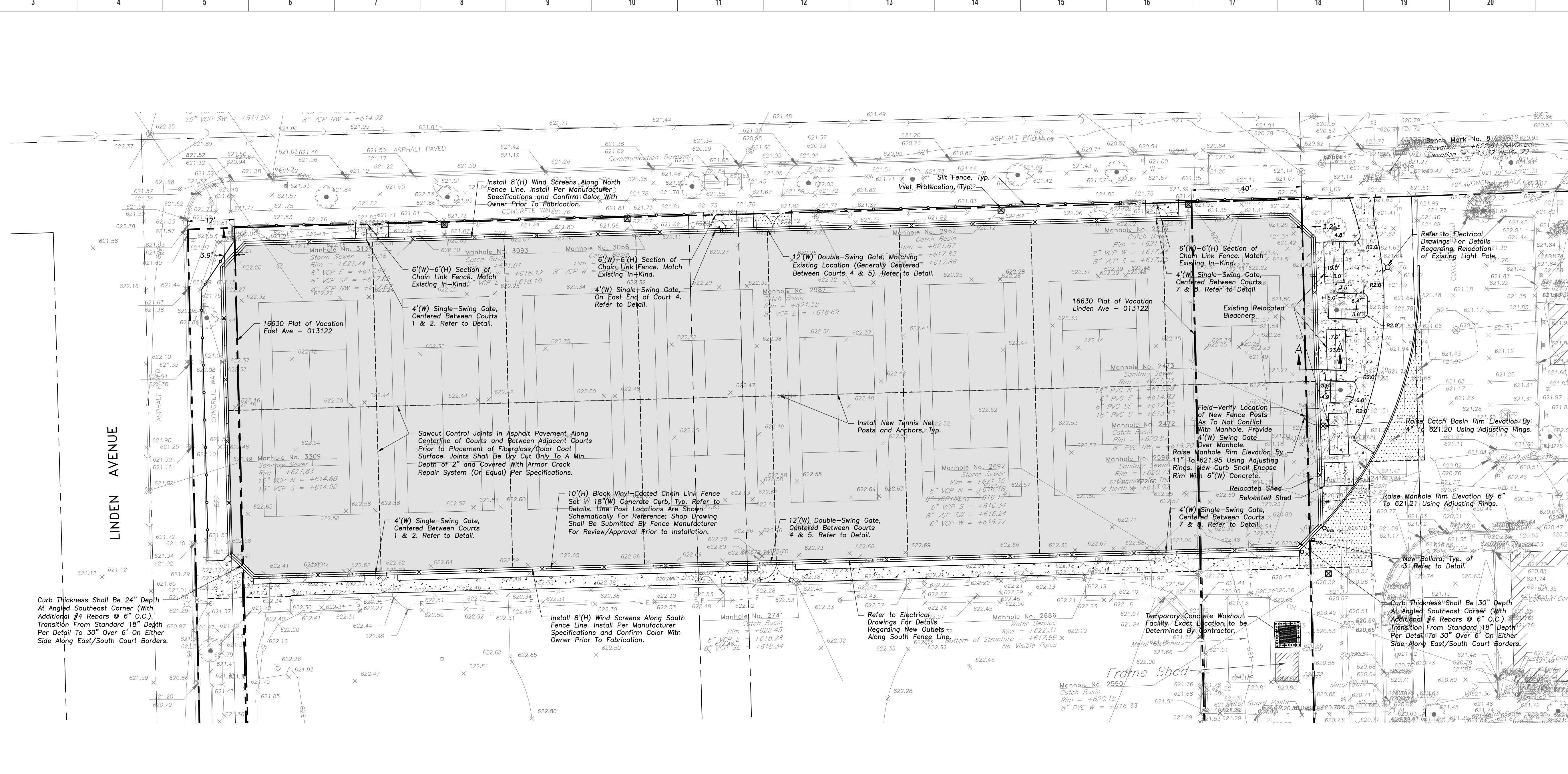
LANDSCAPE DETAILS - BID PACKAGE 6

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PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 1B4-003220
EXPIRES: 04/30/2021



LEGEND	
EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballast	Ballast
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Cont'd Manhole	Cont'd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drp. Line	Fencing at Drp. Line

PAVING & SURFACE LEGEND

Tennis Court Pavement Section	Surface Coating (Dens-Turf Or Approved Equal)
Outer Court Color: US Open Green	
Inner Court Color: US Open Blue	
Plexiglass Membrane With Flexbond Coating	
1 1/2" Hot Mix Asphalt, Mix C, IL-4.75, NS0	
2 1/2" Hot Mix Asphalt, Mix C, IL-19.0, NS0	
Prime Coat (0.25 gal/sq yd)	
5" Aggregate Base Course, Type B, Crushed CA-6	
10' Oz. Polypropylene Non-Woven Geotextile Fabric	
Concrete Sidewalk Section	
5" Portland Cement Concrete	
6"x6" W1.4xW1.4 Welded Wire Fabric	
2" Aggregate Base Course, Type B, Crushed	
Concrete Driveway Section	
8" Portland Cement Concrete	
6"x6" W1.4xW1.4 Welded Wire Fabric	
6" Aggregate Base Course, Type B, Crushed	

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- Illinois Urban Manual Shall Govern All Soil Erosion and Sediment Control, and Related Work.
- Soil Disturbance Shall Be Conducted in Such a Manner as to Minimize Erosion. Soil Stabilization Measures Shall Consider the Time of Year, Site Conditions, and the Use of Temporary or Permanent Measures.
- Soil Erosion and Sediment Control Features Shall Be Constructed Prior to the Commencement of Upland Disturbance.
- Temporary Soil Stabilization Shall Be Applied to Topsoil Stockpiles and Disturbed Areas, Where Construction Activity Will Not Occur For A Period of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days of the End of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until the Site is Permanently Stabilized. And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days after Completion of Final Grading of Soil.
- All Temporary and Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization is Achieved Or After The Temporary Measures Are No Longer Needed, Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
- Final Site Stabilization is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Perennial Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
- All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use and Maintain "Dandy Pop" Inlet Protectors (or equal) and Filter Watties Around The Grate in Landscaped Areas And "Catch-All" Inlet Protectors (or equal, such as Park Chop Sediquard) in Paved Areas To Prevent Siltation and Discharge Into Waterways.
- All Temporary and Permanent Sediment and Erosion Control Measures Must Be Maintained, Repaired, And Inspected in Conformance With All Applicable EPA-NPDES Phase II Requirements.
- Install and Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
- Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green BioNet SC150BN Erosion Control Blanket, or Approved Equal.
- Report Releases of Reportable Quantities of Oil or Hazardous Materials if They Occur in Accordance with EPA NPDES Requirements.
- All Concrete Washout Shall Conform To The Temporary Concrete Washout Facility Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
- Deswearing of Excavations Shall be Performed in a Manner Such as Through the use of Filter Bags or Polymer Treated Deswearing Swales, so as to Not Discharge Sediment Laden Water into Storm Sewers Tributary to Open Water.

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face of Building Foundation Unless Otherwise Noted.

GRADING NOTES

- Install and Maintain Silt Fence at the Perimeter of the Construction Zone. Install "Catch-All" Inlet Protection Filter Baskets (Or Approved Equal) At All Proposed and Existing Structures Receiving Drainage From Disturbed Areas. Silt Fabric Under the Lid is Not an Acceptable Alternative.
- The Grading and Construction of Proposed Improvements Shall Be Done in a Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Seeded Unless Noted Otherwise On The Landscape Drawings. Refer to Architectural Drawings For Limits of Sodding. Note That All Seed Shall Be Installed in Conjunction With Erosion Control Blanket.
- Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.9%. Contact Engineer if Conflicts Exist.

INTENDED SEQUENCE OF MAJOR SEDIMENT AND EROSION CONTROL MEASURES

- Install Stabilized Construction Entrance
- Install All Downslope and Sidewalk Perimeter Controls Before Commencement of Any Ground Disturbing Activity.
- Do Not Disturb an Area Until it is Necessary For Construction To Proceed.
- Cover and Stabilize Disturbed Areas as Soon as Possible.
- When Practical, Time Construction Activities To Limit Impact from Seasonal Climate Changes or Weather Events.
- Construct Sedimentation Basins and Structures.
- Perform Grading Operations and Installation of Site Infrastructure and Pavement.
- Install Permanent Seeding and Plantings.
- Remove Accumulated Sediment From Basins and Along Silt Fence.
- Remove Temporary Sediment and Erosion Control Measures Following Final Stabilization of All Disturbed Areas.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between The Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Oak Park A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Herein Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That the Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As a Convenience To The Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings For Construction Purposes, The User of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As A Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Aids/Drawings, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided by Marchese and Sons, Inc. For Oak Park & River Forest High School District 200 on November 11, 2019 (Revised December 24, 2019). Order Number 19-16626.

PROJECT BENCHMARKS

- Site Bench Mark No. 8
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. East Avenue with Erie Street.
Elevation = +622.61 (NAVD88) / +43.37 (NGVD29)
- Site Bench Mark No. 9
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. East Avenue with Erie Street.
Elevation = +621.13 (NAVD88) / +41.90 (NGVD29)
- Site Bench Mark No. 11
Bolt on Fire Hydrant Located Near Southeast Corner of Intersection of N. East Avenue with Erie Street.
Elevation = +620.74 (NAVD88) / +41.46 (NGVD29)
- Site Bench Mark No. 13
Bolt on Fire Hydrant Located to West of South Cafeteria Building to East of Concrete Driveway.
Elevation = +621.05 (NAVD88) / +41.82 (NGVD29)

J.U.L.I.E.

Note: The Exact Location of All Utilities Shall Be Verified by the Contractor Prior to Construction Activities. For Utility Locations Call: J.U.L.I.E., 1 (800) 892-0123

NO.	DATE	DESCRIPTION	ISSUANCE
1	11/04/2020	ISSUED FOR BIDD AND PERMIT	
2	11/13/2020	ADDENDUM #1 (BP-5)	
3	01/24/2021	ISSUED FOR RFP-012 (BP-6)	

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OAK BROOK, ILLINOIS 60452
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ILLINOIS PROFESSIONAL DESIGN FIRM
#106-000550

Oak Park and River Forest High School District 200
Project 1 / Phase 2: Main Entry, Welcome Center, Student Commons and Classroom Renovations (Bid Period 6)
201 Scoville Ave., Oak Park, IL 60302
PROPOSED SITE PLAN - TENNIS COURTS

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