



Application for Public Hearing SPECIAL USE PERMITS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if applicable): The Michael Gray Foundation of Dreams

Address/Location of Property in Question: 6435 W. North Ave

Property Identification Number(s)(PIN): 16-06-206-005-0000

Name of Property Owner(s): Trust #1869

Address of Property Owner(s): 1000 Lake St Oak Park, IL 60301

E-Mail of Property Owner(s): chetrandae@yaho.com Phone: 773-758-0504

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Chetranda Gray

Name of Applicant(s): Chetranda Gray

Applicant's Address: 1000 Lake St Oak Park, IL 60301

Applicant's Phone Number: 773-758-0504 E-Mail chetrandae@yaho.com

Other: _____

Project Contact: (If Different than Applicant) Aaron Garza

Contact's Address: 1538 W Chase 2N Chicago, IL 60626

Contact's Phone Number: 773-629-3797 E-Mail ag2819@gmail.com

Other: _____

Property Interest of Applicant: Owner Legal Representative Contract Purchaser Other

(If Other - Describe): _____

Existing Zoning: _____ Describe Proposal: _____

Size of Parcel (from Plat of Survey): 9,150 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	_____	<u>Residential</u>
To the South:	_____	<u>Residential</u>
To the East:	_____	<u>Commercial</u>
To the West:	_____	<u>Commercial</u>

How the property in question is currently improved?

Residential
 Non-Residential
 Mixed Use
 OTHER: _____
 Describe Improvement: _____

Is the property in question currently in violation of the Zoning Ordinance? ___ Yes No
 If Yes, how? _____

Is the property in question presently subject to a Special Use Permit? Yes ___ No
 If Yes, how? Seeking a Special Use for banquet hall
 If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? ___ Yes No
 If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: _____ Section: _____
 Article: _____ Section: _____
 Article: _____ Section: _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

We are seeking a Special Use to operate a banquet hall - occupancy of less than 100 people. We currently have (11) designated parking spaces available.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Chetrandra Gray
(Printed Name) Applicant

Chetrandra Gray
(Signature) Applicant

4-28-2022
Date

Chetrandra Gray
(Printed Name) Owner

Chetrandra Gray
(Signature) Owner

4-28-2022
Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS
28th DAY OF April, 2022

Sharon Au
(Notary Public)



Project Summary For 6435 W. North Ave

The Michael Gray Foundation is seeking a Special Use permit to operate a banquet hall/recreational space at 6435 W. North Ave. The space was built out under a previous permit which was approved by the Village of Oak Park.

Our goal with our space is to offer the community and residences a space that they can use for family parties, birthdays, small reunions, baby showers or any other type of small gathering that would adhere to our current occupancy allowance.

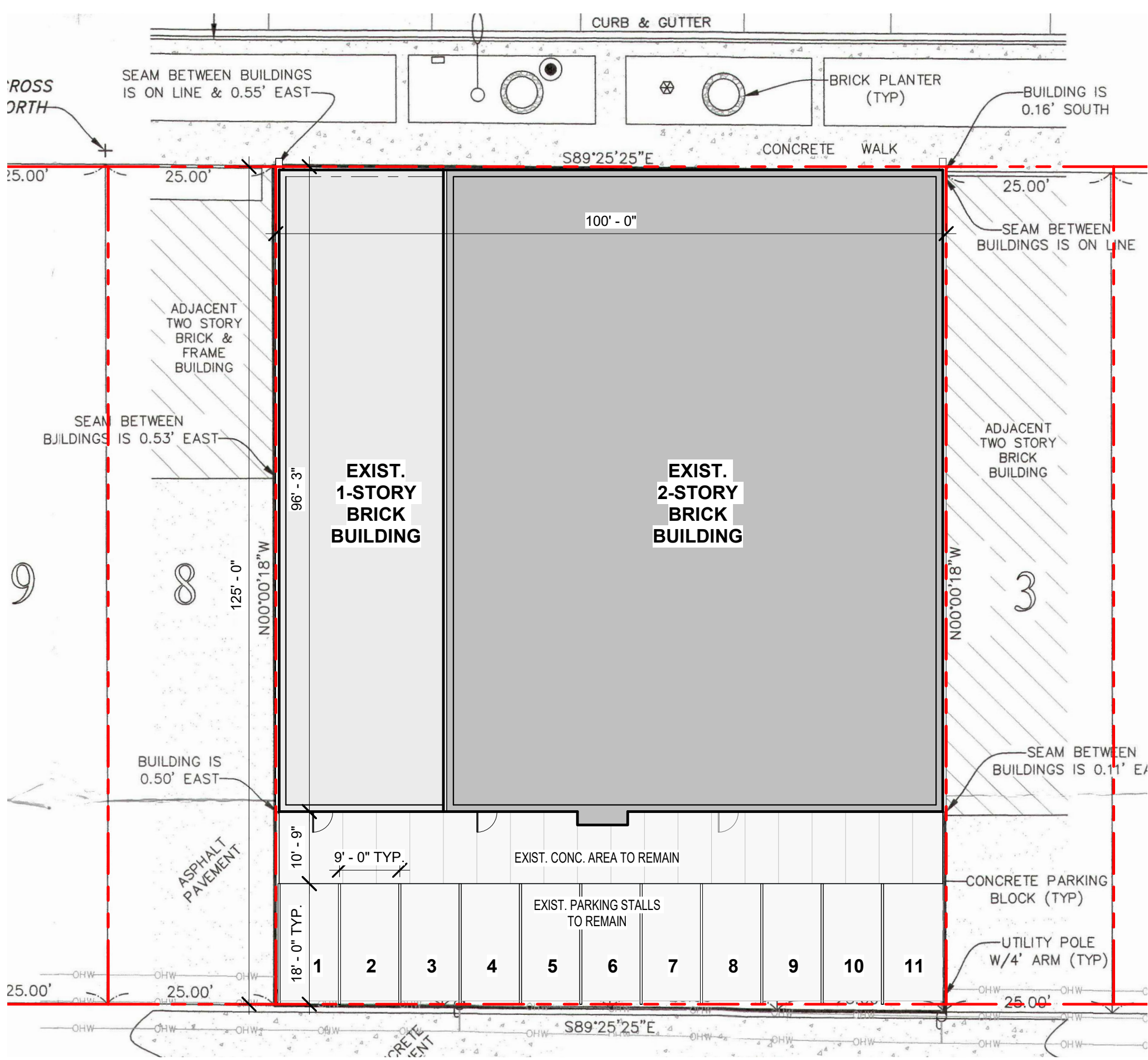
We would also be open to working with nonprofit organizations in the area that need space to meet or offer services to the community. This space would allow us to partner with different agencies in the area and further expand our community impact.

Our hours of operation will follow those of the existing day care operation that currently utilizes part of the first floor. The hall will operate from 6pm-10pm Monday through Friday, and normal business hours on the weekend.

Thank you in advance for hearing our request for this allowance.

Special Use Standards 6435 W North Ave

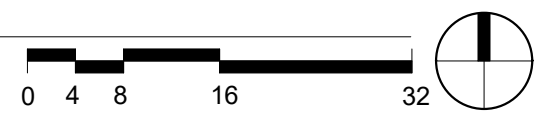
1. The establishment, maintenance, and operation of the proposed special use will not have a substantial or unduly adverse impact on the neighborhood or endanger the public health, safety, or welfare. The building currently adheres to strict safety protocols due to it currently housing a federally inspected daycare. We will also limit the number of guests allowed into the hall based on our current occupancy allowance. We will not adversely impact our neighbors or endanger anyone in the surrounding community. We will maintain the building to the highest standards and always look out for the safety of both our guests and neighbors.
2. The proposed special use is compatible with the general land use of adjacent properties and other property within the immediate vicinity. Yes, our request for a is compatible. We are in a commercial district and we will not interfere with their hours of operation. Plus, we have designated off street parking for our guests – 11 spaces.
3. The special use in the specific location proposed is consistent with the spirit and intent of this Ordinance, adopted land use policies and the Comprehensive Plan. Our goal is to make the hall a space that the community would be able to utilize. Our residential neighbors would be encouraged to rent the space, as well as our commercial neighbors. We take pride in the property and have invested in it to make it as friendly and enjoyable as possible.
4. The special use meets the requirements for such classification in this Ordinance. Yes, we wish to come before the board to further elaborate on our vision for this space.



PROPERTY OWNER:
THE MICHAEL GRAY FOUNDATION OF DREAMS
 CHETRANDA GRAY
 6435 West North Avenue, Oak Park, IL 60302
 chetrandaeg@yahoo.com | 773.758.0504

ARCHITECT:
YU & ASSOCIATES COLLABORATIVE
 WEI YU, AIA, LEED AP BD+C
 3121 North Halsted Street, Chicago, IL 60657
 weiyu@yuacollab.com | 773.234.1866

1 **SITE PLAN**
 1/16" = 1'-0"



VILLAGE OF OAK PARK STATEMENT OF COMPLIANCE

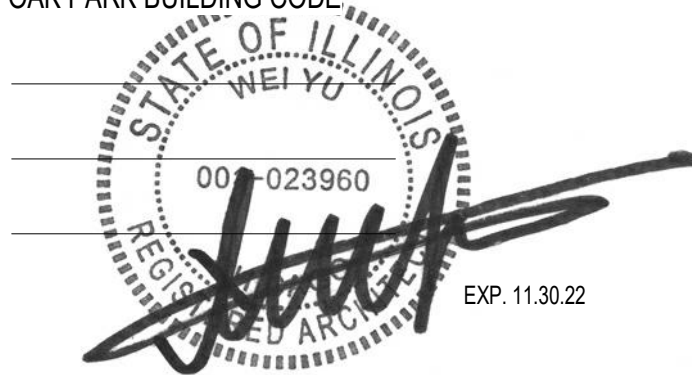
I CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE VILLAGE OF OAK PARK BUILDING CODE.

SIGNED:

ILLINOIS REGISTRATION NO.:

DATE:

ARCHITECT



GENERAL ARCHITECTURAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE BUILDING CODES, ORDINANCES AND ENVIRONMENTAL REGULATIONS OF THE GOVERNING LOCAL AND STATE JURISDICTIONS.
- ANY CONFLICTS IN THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION OF THE ITEM.
- CONTRACTOR SHALL STAKE SITE OUT AND CONFIRM BUILDING LOCATION ON SITE RELATIVE TO PROPERTY LINES AND ZONING SETBACKS AS DESCRIBED IN THE OWNER'S SURVEY AND THE CONTRACT DOCUMENTS PRIOR TO START OF CONSTRUCTION.
- ALL DIMENSIONS ARE TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE (UNO). ALL DIMENSIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF WORK. MAINTAIN DIMENSIONS MARKED "CLEAR", AND ALLOW FOR THICKNESS OF FINISHES.
- DRAWINGS ARE NOT TO BE SCALED. IF FIELD VERIFIED DIMENSIONS DIFFER FROM THE WRITTEN DIMENSIONS ON THE DRAWINGS, THE CONTRACTOR IS TO IMMEDIATELY CONTACT THE DESIGNER FOR VERIFICATION.
- ANY APPLIED LIVE LOADINGS ON THE STRUCTURE DURING THE CONSTRUCTION PROCESS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR CONFIRMATION THAT SUCH LOADING CAN BE ACCOMMODATED BY THE BUILDING STRUCTURAL DESIGN.
- ALL INTERIOR STRUCTURAL STEEL, THAT IS NOT FIREPROOFED, SHALL BE PRIME PAINTED UNO.
- ALL STRUCTURAL STEEL WITH DIRECT EXTERIOR EXPOSURE, THAT IS NOT FIREPROOFED, SHALL RECEIVE THE SPECIFIED HIGH-PERFORMANCE COATING.
- ALL CONCRETE SLABS ON GRADE SHALL HAVE A MINIMUM CLASS A VAPOR RETARDER.
- CONTROL JOINTS ON CONCRETE SLABS ON GRADE SHALL BE CAULKED WITH A CONCRETE COLORED SEALANT AS SPECIFIED.
- CONCRETE FLOOR SLAB FINISHES SHALL MEET THE APPLIED FLOOR FINISH MATERIAL MANUFACTURER'S REQUIREMENTS.
- ALL SURFACES TO BE PAINTED SHALL BE PREPPED PER THE PAINT MANUFACTURER RECOMMENDATIONS.
- FIRE EXTINGUISHER CABINETS, ELECTRICAL PANELS, AND HVAC AND MECHANICAL GRILLES, ETC. TO BE PAINTED TO MATCH THE BACKGROUND COLOR OF THE ADJACENT WALL COVERING OR WALL, UNLESS LOCAL CODES REQUIRE OTHERWISE.
- MAINTAIN MINIMUM CODE REQUIRED VERTICAL CLEARANCE IN ALL EGRESS PATHS.
- NO BUILDING MATERIAL SHALL BE INSTALLED IN AN ENVIRONMENT THAT IS NOT ACCEPTABLE TO THE MANUFACTURER OF SUCH A PROJECT.
- SUBMIT REQUEST FOR SUBSTITUTIONS, REVISIONS, OR CHANGE TO THE ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- IT IS RESPONSIBILITY OF THE OWNER AND CONTRACTORS TO SCHEDULE ALL INSPECTIONS AND TO OBTAIN AN OCCUPANCY PERMIT OR CERTIFICATE.
- CONTRACTOR SHALL BE RESPONSIBLE TO CARRY WORKMAN'S COMPENSATION, PUBLIC LIABILITY PROPERTY DAMAGE, HOLD HARMLESS, ETC. REQUIRED INSURANCE SHALL BE SUBMITTED TO OWNER/ARCHITECT BEFORE COMMENCEMENT OF WORK.
- THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR JOB SITE SAFETY. THE CONTRACTOR SHALL HAVE FULL AND SOLE AUTHORITY FOR ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE WORK. WHEN THE ARCHITECT IS PRESENT AT THE SITE, WHETHER PARTICIPATING IN MEETINGS OR OBSERVING ANY OF THE WORK, SUCH PRESENCE SHALL ONLY BE FOR THE PURPOSE OF ENDEAVORING TO PROTECT AGAINST ANY DEVIATIONS OR DEFECTS IN THE COMPLETED WORK. THE ARCHITECT SHALL HAVE NO AUTHORITY TO TAKE ANY ACTION WHATSOEVER ON THE SITE REGARDING SAFETY PRECAUTIONS OR PROCEDURES.

BUILDING DATA

OCCUPANCY CLASSIFICATION (CHAPTER 3, SECTION 303):
GROUP A-3, ASSEMBLY

TYPES OF CONSTRUCTION (CHAPTER 6, SECTION 602):
TYPE II-B (EXIST. TO REMAIN)

OCCUPANCY LOAD (CHAPTER 10, SECTION 1004):
ASSEMBLY - CONCENTRATED CHAIRS ONLY: 622 SF/7 NET = 89 OCC.

EXIT ACCESS TRAVEL DISTANCE (CHAPTER 10, SECTION 1015):
200 FT W/O SPRINKLER SYSTEM

NUMBER OF EXITS REQUIRED / PROVIDED (CHAPTER 10, SECTION 1018):
2 REQUIRED / 2 PROVIDED

LIST OF CODES

2018 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE CURRENT EDITION OF THE STATE OF ILLINOIS PLUMBING CODE
CURRENT EDITION OF THE STATE OF ILLINOIS ENERGY CONSERVATION CODE
CURRENT EDITION OF ILLINOIS ACCESSIBILITY CODE

GENERAL GRAPHIC SYMBOLS

- AREA NOT IN SCOPE
- EXISTING WALLS AND COLUMNS TO REMAIN
- EXISTING AREA TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS

GENERAL GRAPHIC SYMBOLS - EXITING

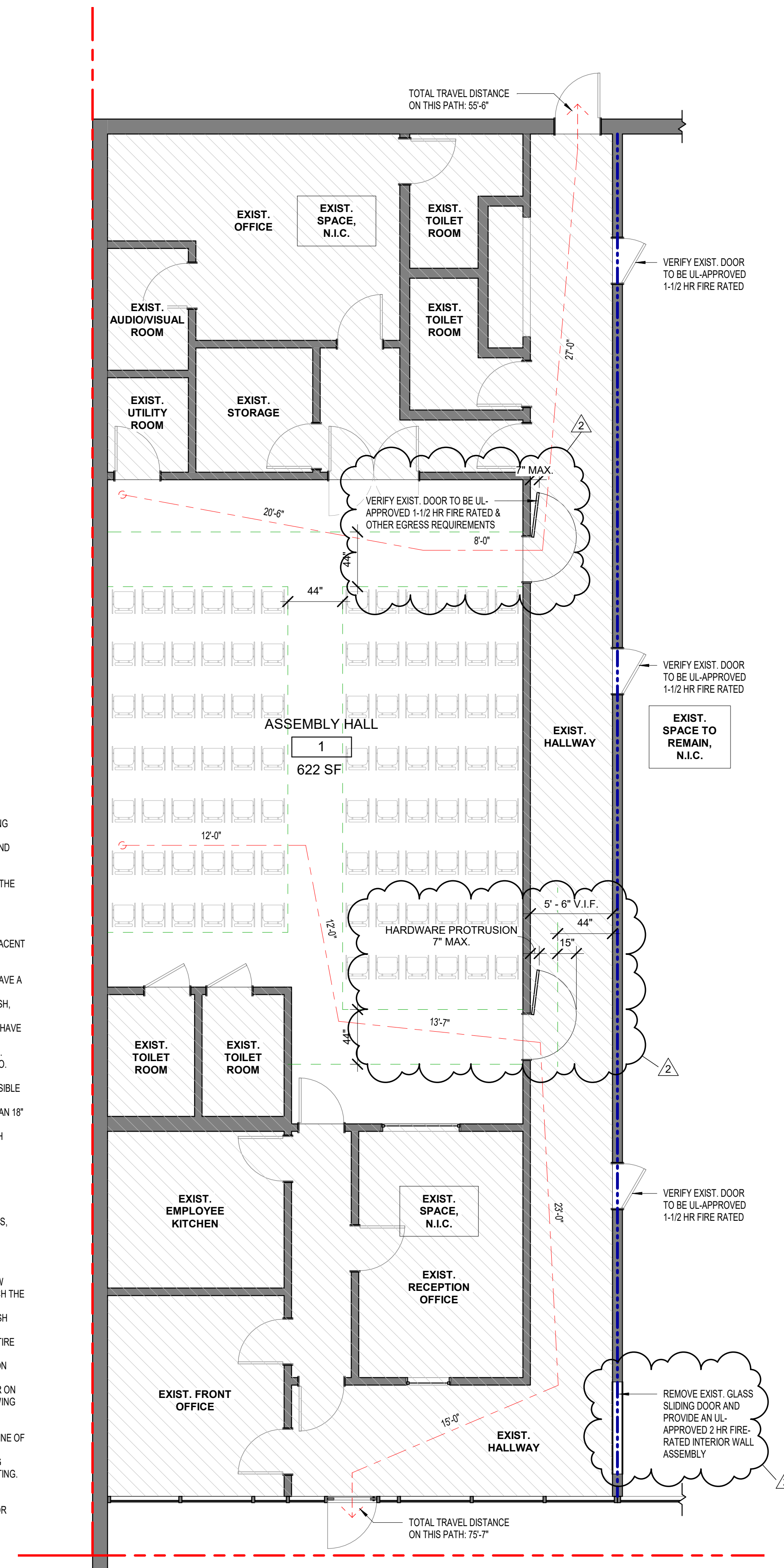
- EXIST. 1 HOUR FIRE RATING
- EXIST. 2 HOUR FIRE RATING
- EXIST. 4 HOUR FIRE RATING
- TRAVEL DISTANCE

GENERAL NOTES - DOOR

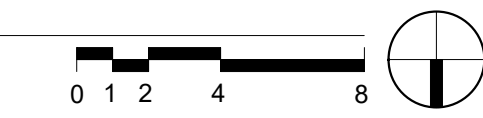
- ALL NEW, ALTERED, REPAIRED OR REPLACED DOORS LEADING INTO REQUIRED ACCESSIBLE ROOMS OR SPACES SHALL BE A MINIMUM OF 2'-0" WIDE WITH LEVER OPERATED HARDWARE AND COMPLY WITH ADA/JC/ANSI A117.1 2003.
- ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT A KEY FROM THE SIDE OF EGRESS INTO THE DIRECTION OF TRAVEL.
- ALL DOORS LEADING INTO HAZARDOUS ROOMS SHALL HAVE KNURLED HARDWARE.
- UL LABELS ON DOOR AND FRAMES SHALL NOT BE PAINTED.
- ALL EXPOSED TO VIEW DOOR FRAME ANCHORAGE INTO ADJACENT WALL CONSTRUCTION SHALL BE PATCHED TO CONCEAL THE FASTENER HEAD.
- ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED AND HAVE A 12" HIGH THRESHOLD MATCHING DOOR FRAME WIDTH.
- ALL DOOR HARDWARE COMPONENTS SHALL BE OF LIKE FINISH, U.N.O.
- ALL INTERIOR DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE A SLB MAX OPENING FORCE. ALL EXTERIOR DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE A 5.5LB MAX OPENING FORCE.
- EXTERIOR DOORS AND FRAMES SHALL BE GALVANIZED, U.N.O.
- INTERIOR DOORS SHALL BE PRIME PAINTED, U.N.O.
- THE BOTTOM RAIL ON STEEL RAIL DOORS ALONG AN ACCESSIBLE ROUTE SHALL BE 10" HIGH.
- ALL GLAZED DOORS, AND ANY GLAZED PANEL GREATER THAN 16" IN WIDTH WITH A SILL LESS THAN 24" ABOVE THE FLOOR, AND IMMEDIATELY ADJACENT TO ANY DOOR SHALL BE GLAZED WITH SAFETY GLAZING.

GENERAL NOTES - FINISH

- ALL PLUMBING FIXTURES AND COUNTERTOPS (TOILET ROOMS, KITCHENS, VENDING AREAS, ETC.) SHALL BE CAULKED TO THE ADJACENT MATERIAL WITH AN ANTIMICROBIAL SEALANT.
- TILE JOINTS AT CHANGES IN PLANE SHALL BE SEALED WITH SEALANT.
- ALL JOINTS BETWEEN THE TILE FINISHES AND DOOR/WINDOW FRAMES SHALL BE CAULKED WITH A SEALANT COLOR TO MATCH THE GROUT JOINT COLOR.
- CEILING ACCESS PANELS SHALL BE PAINTED TO MATCH FINISH CEILING.
- WHERE TOUCH-UP PAINTING IS REQUIRED, REPAINT THE ENTIRE WALL TO MAINTAIN CONSISTENT COLOR.
- ALL OUTLETS, SWITCHES AND COVERPLATES TO BE WHITE ON LIGHT BACKGROUNDS, AND BLACK ON DARK BACKGROUNDS.
- ITEMS REQUIRING FINISH SELECTIONS THAT DO NOT APPEAR ON THE FINISH SCHEDULE SHALL BE SELECTED FROM SHOP DRAWING SUBMITTALS AND/OR SAMPLES AS REQUIRED BY THE ARCHITECTURAL SPECIFICATIONS.
- FLOOR FINISH TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF THE DOOR, U.N.O.
- REFERENCE CODE MATRIX FOR INTERIOR WALL AND CEILING FINISHES FLAME SPREAD RATING AND SMOKE DEVELOPED RATING. REFERENCE CODE MATRIX FOR FLOOR COVERING CRITICAL RADIANT FLUX RATING.
- SPRINKLER HEADS AND COVERS SHALL NOT BE FACTORY OR FIELD PAINTED.



1 EXISTING FLOOR PLAN
3/16" = 1'-0"



NO.	DESCRIPTION	DATE
2	CORRECTIONS PER FIRE MARSHAL COMMENTS	2022.03.30
1	ISSUE FOR ZONING BOARD HEARING	2021.12.20

YU & ASSOCIATES
Collaborative

PROJECT NUMBER 21-33

THE MICHAEL GRAY FOUNDATION OF DREAMS
6435 West North Avenue
Oak Park, IL 60302

EXIST. FLOOR PLAN

A100

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