



SHEET LIST

| | | |
|--------|-----|-----------------------------|
| PD 00 | PUD | COVER SHEET |
| PD 01 | PUD | ZONING MAP AND CHART |
| PD 02 | PUD | VIEW FROM NORTHEAST - NIGHT |
| PD 3A | PUD | VIEW FROM NORTHEAST |
| PD 4A | PUD | VIEW FROM NORTHWEST |
| PD 5A | PUD | VIEW FROM SOUTHEAST |
| PD 6A | PUD | VIEW FROM EAST |
| PD 7A | PUD | VIEW FROM SOUTHWEST |
| PD 08 | PUD | LOWER LEVEL |
| PD 09 | PUD | FIRST FLOOR PLAN |
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| PD 11 | PUD | THIRD FLOOR PLAN |
| PD 12 | PUD | FOURTH FLOOR PLAN |
| PD 13 | PUD | FIFTH FLOOR PLAN |
| PD 14 | PUD | SIXTH FLOOR PLAN |
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| PD 22 | PUD | SHADOW STUDY |
| PD 23 | PUD | SECTION STUDY |

PLAN DEVELOPMENT SUBMITTAL 1.13.2019



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD.00
COVER SHEET

01.13.20



Special Use - Residential Care Facility/Multi-Family

Density:

- Multi-Family = 750sf/du
- Proposed = 36,590sf/174du = 210sf/du

Unit Mix:

- 65 - Assisted Living
- 33 - Memory Care
- 76 - Independant Living
- 174 Total

Building Height:

- Zoning Max Height 50'-0"
- Proposed Height of 79'-0" (Top of Roof)

Street Setback:

- 0-5 feet required
- 0 provided

Interior Side Setback:

- none required
- 15 feet provided (Utility Easement)

Rear Setback:

- 25' from property line of lot to the rear, inclusive of alley.
- Proposed setback of 16' from property line of lot to the rear, inclusive of alley.

Parking:

- Multi Family = 1 per du = 76 spaces
- Residential Care = 117 beds = 1 per 5 beds = 24 spaces
- Required Parking Spaces = 100 spaces
- Proposed Space = 125 spaces

Bicycle Spaces:

- Multi Family = 1 per 4 du (76du) = 19 bike spaces required
- Residential Care = no requirements
- 1 per 4 du (76du) = 19 bike spaces required
- Proposed 20 spaces (16 interior / 4 street)

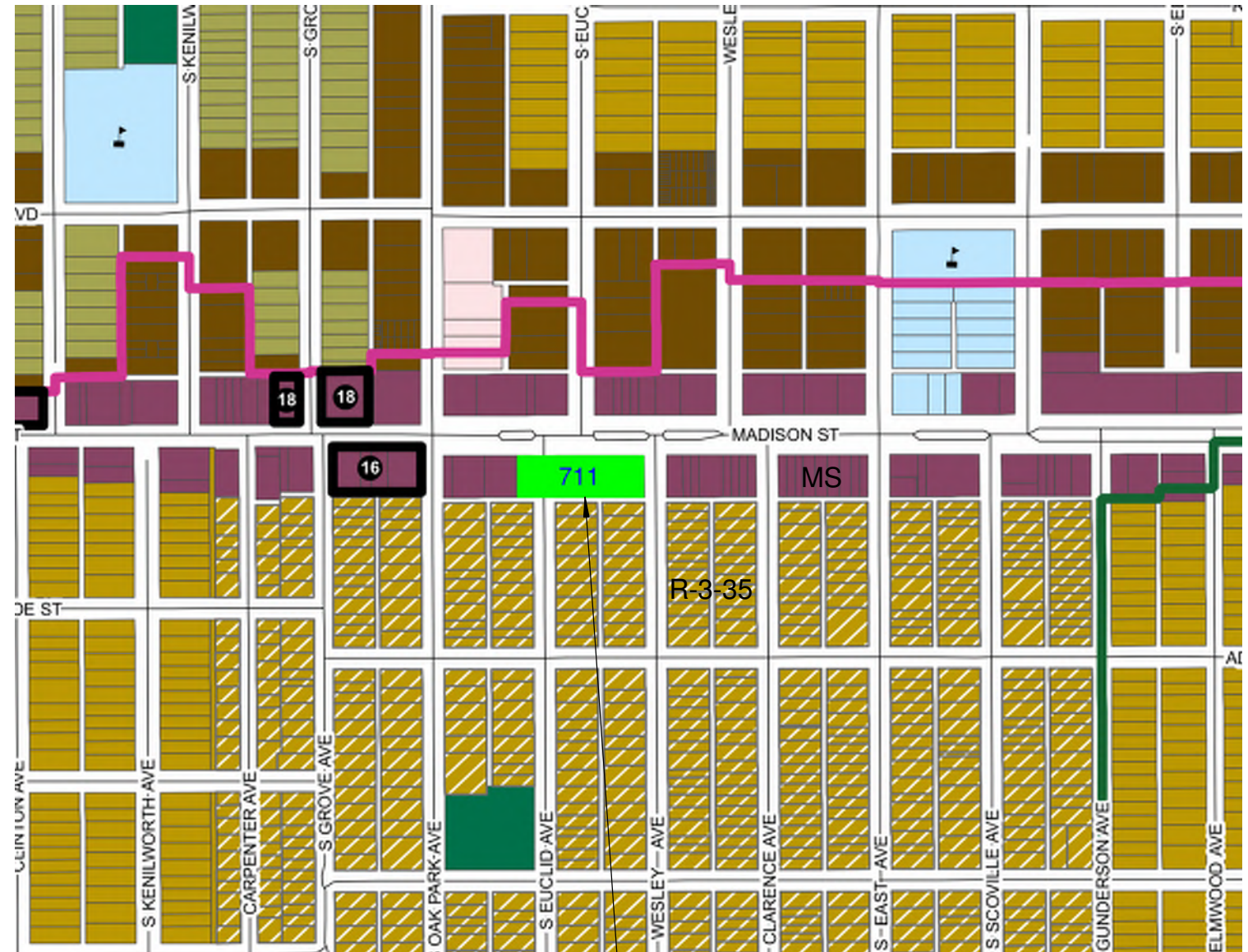
Loading Dock:

- Required 10x25 area - Provided

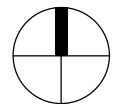
Site Lighting:

- Requirement – maximum allowed is 1 footcandle at lot line.
- Proposed - Lighting includes illumination of sidewalk, utility easement, alley for community and residence safety which exceeds the allowable zoning limit.
- See photometric plan for levels and locations.
- Cut offs and shields will be used to limit illumination onto any adjacent residential property.

ZONING ORDINANCE RELIEF



PROPOSED PUD
711 MADISON ST



OAK PARK ZONING MAP



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 01
ZONING MAP AND CHART
12" = 1'-0"

01.13.20





REDICO

OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD.02
VIEW FROM NORTHEAST - NIGHT

01.13.20

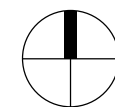
MA
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ARCHITECTS
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REDICO

OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 3A
HEIGHT REDUCTION OPTION - VIEW FROM NORTHEAST



0 15' 30' 60'

01.13.20

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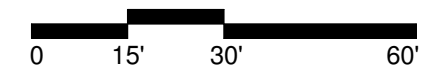
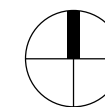


REDICO

OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

HEIGHT REDUCTION OPTION -

PD 4A
VIEW FROM NORTHWEST



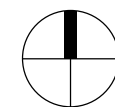
01.13.20

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OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 5A
HEIGHT REDUCTION OPTION - VIEW FROM SOUTHEAST



0 15' 30' 60'

01.13.20

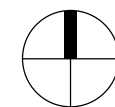




REDICO

OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 6A
HEIGHT REDUCTION OPTION - VIEW FROM EAST



0 15' 30' 60'

01.13.20

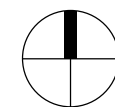
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OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

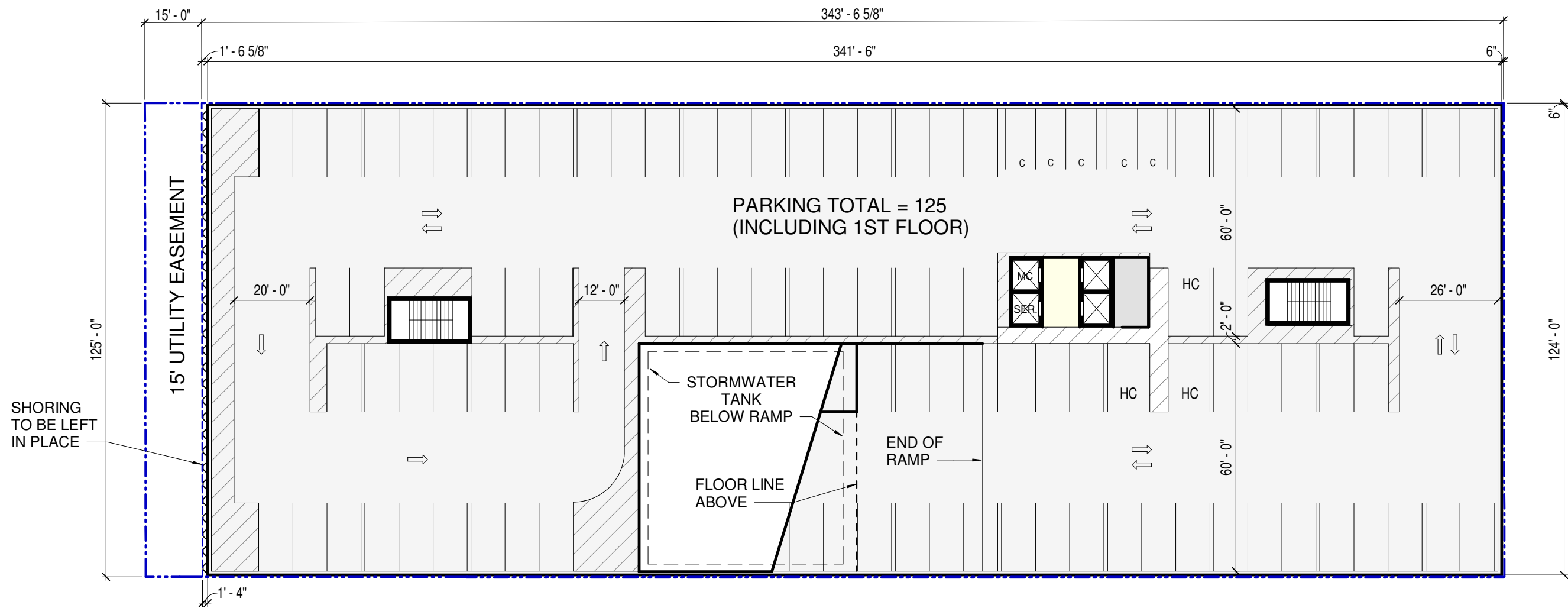
PD 7A
HEIGHT REDUCTION OPTION - VIEW FROM SOUTHWEST



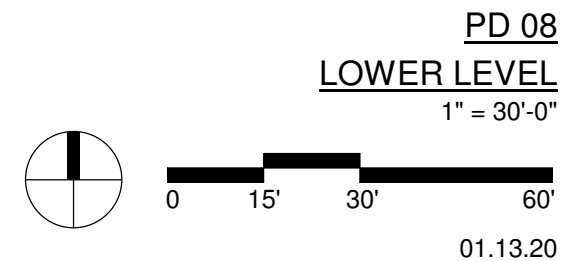
0 15' 30' 60'

01.13.20

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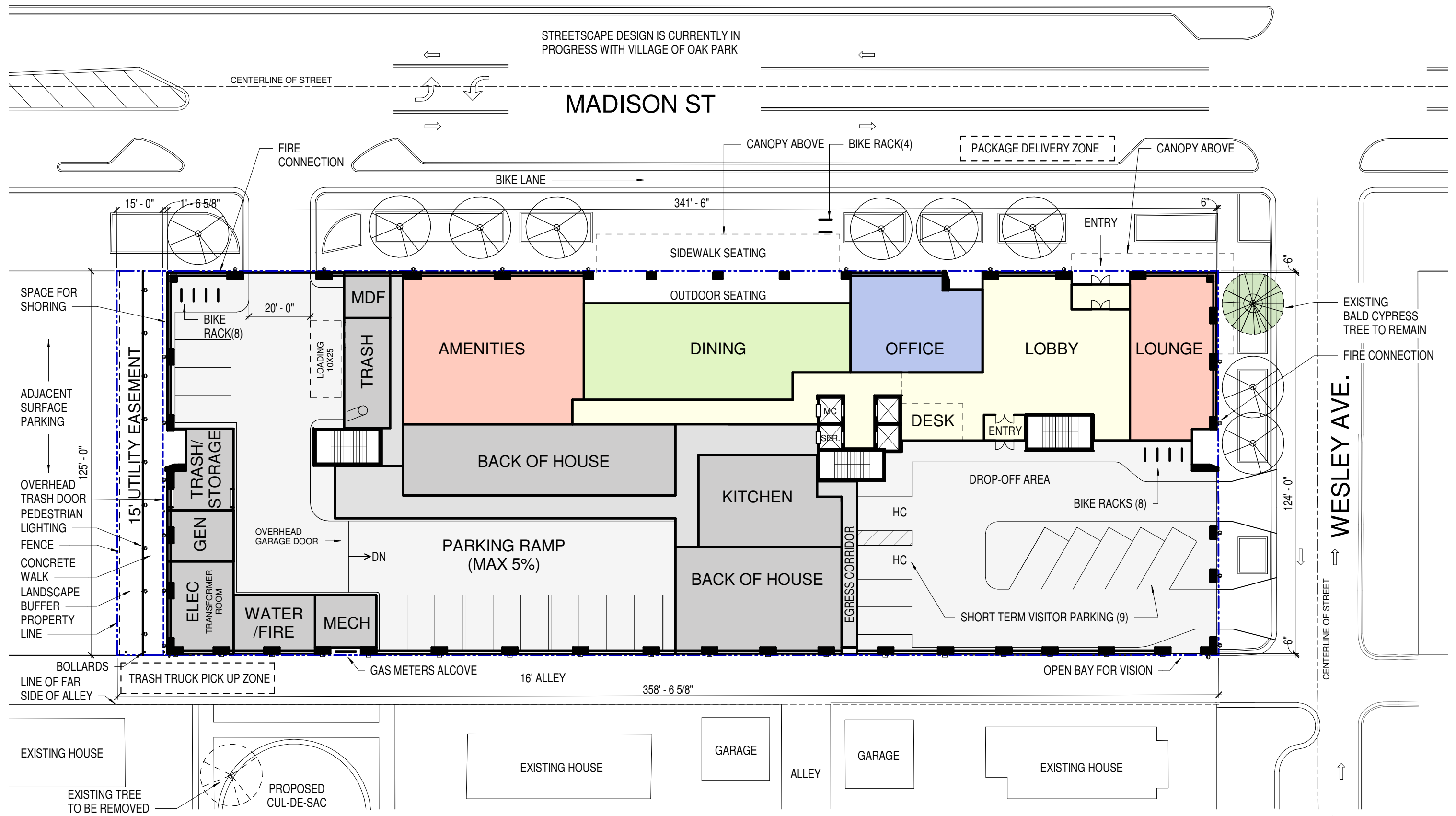


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK



STREETSCAPE DESIGN IS CURRENTLY IN
PROGRESS WITH VILLAGE OF OAK PARK

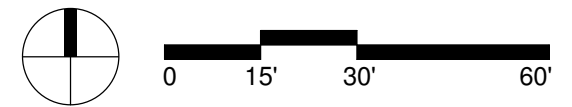
MADISON ST



OAK PARK SENIOR LIVING

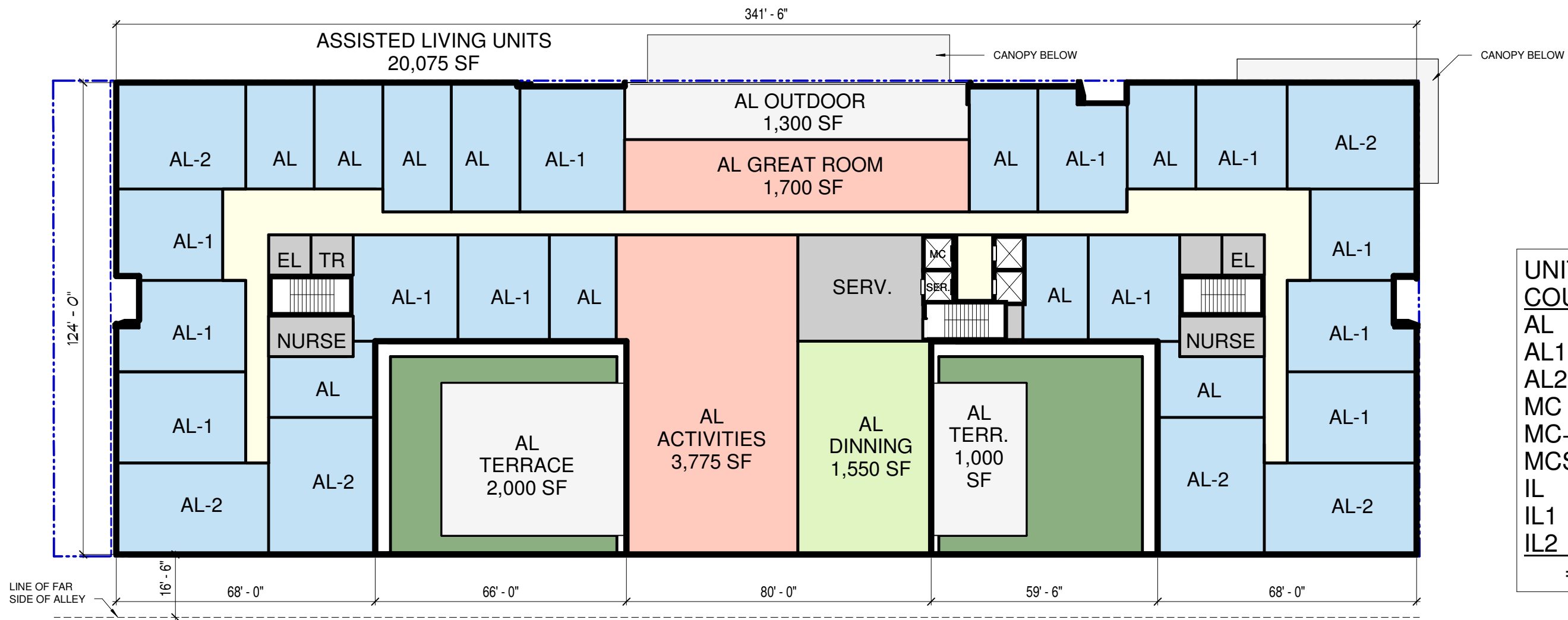
711 MADISON ST, OAK PARK

PD 09
FIRST FLOOR PLAN
1" = 30'-0"



01.13.20

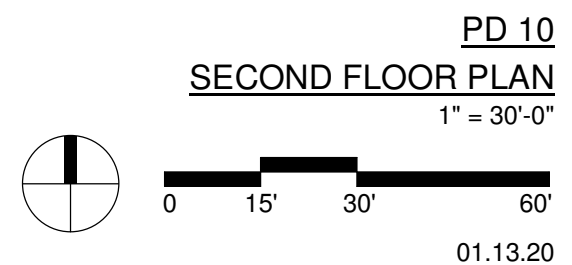


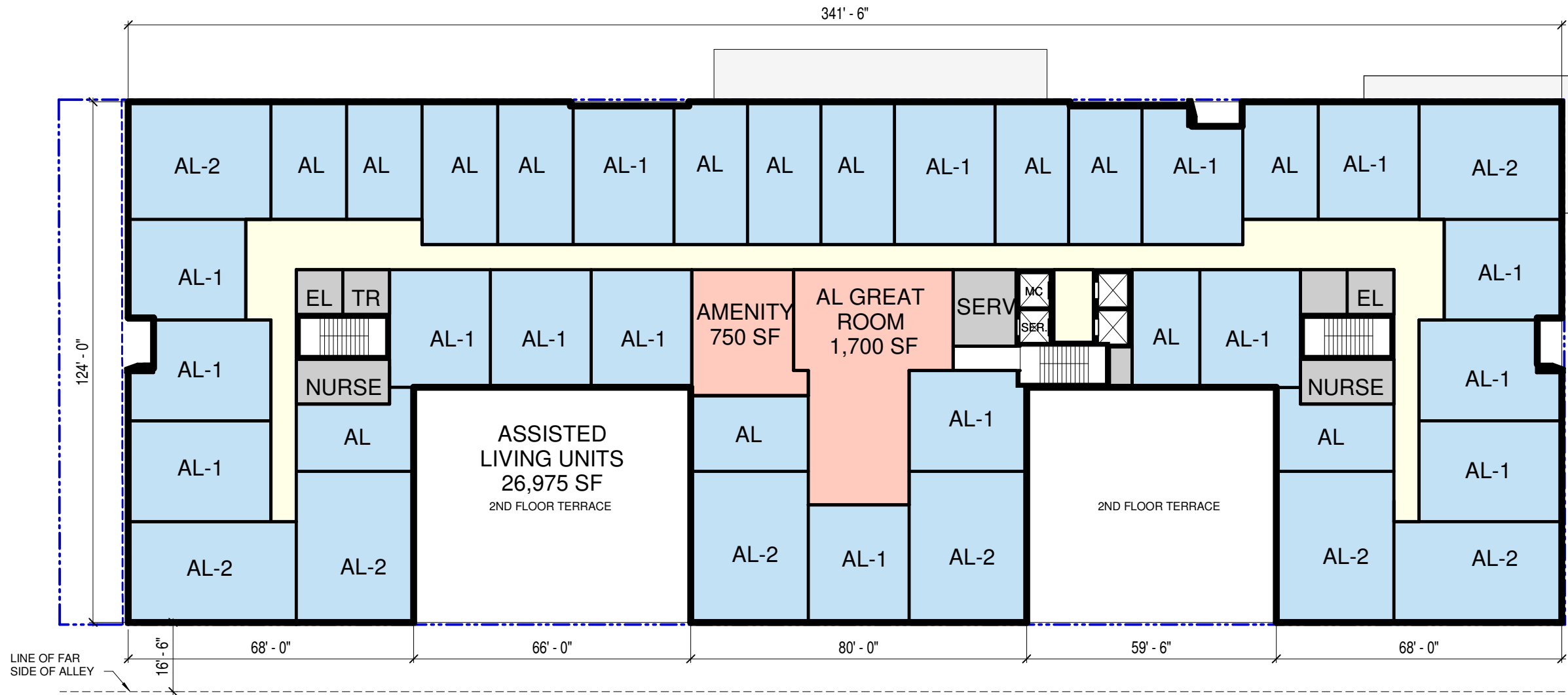


| UNIT COUNT | |
|--------------|------|
| AL | - 24 |
| AL1 | - 28 |
| AL2 | - 14 |
| MC | - 13 |
| MC+ | - 12 |
| MCS | - 09 |
| IL | - 05 |
| IL1 | - 42 |
| IL2 | - 27 |
| = 174 | |



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK





| UNIT COUNT | |
|--------------|------|
| AL | - 24 |
| AL1 | - 28 |
| AL2 | - 14 |
| MC | - 13 |
| MC+ | - 12 |
| MCS | - 09 |
| IL | - 05 |
| IL1 | - 42 |
| IL2 | - 27 |
| = 174 | |

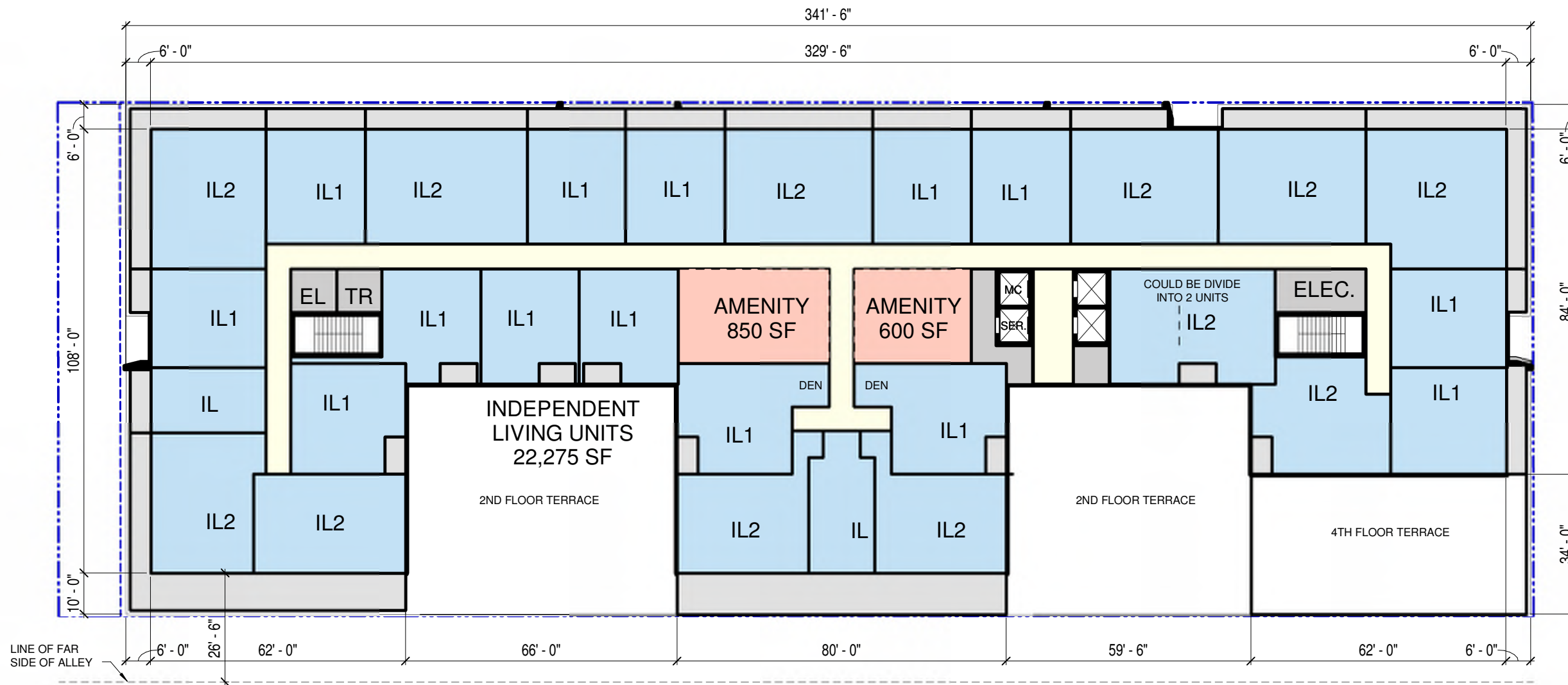


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 11
THIRD FLOOR PLAN
1" = 30'-0"

01.13.20

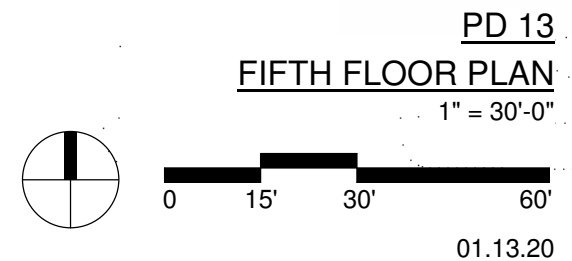




| UNIT COUNT | |
|--------------|------|
| AL | - 24 |
| AL1 | - 28 |
| AL2 | - 14 |
| MC | - 13 |
| MC+ | - 12 |
| MCS- | 09 |
| IL | - 05 |
| IL1 | - 42 |
| IL2 | - 27 |
| = 174 | |

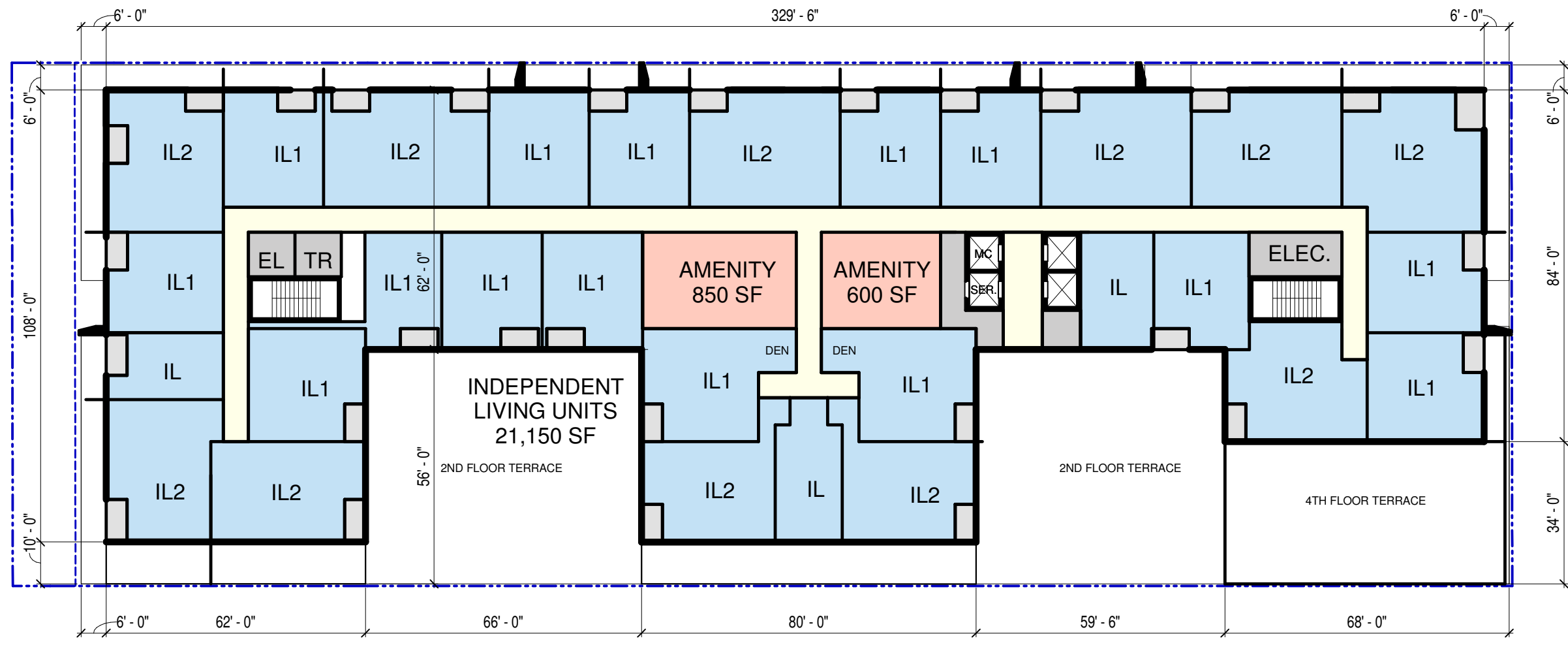


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK



PD 13
FIFTH FLOOR PLAN
1" = 30'-0"
01.13.20





| UNIT COUNT | |
|--------------|------|
| AL | - 24 |
| AL1 | - 28 |
| AL2 | - 14 |
| MC | - 13 |
| MC+ | - 12 |
| MCS | - 09 |
| IL | - 05 |
| IL1 | - 42 |
| IL2 | - 27 |
| = 174 | |

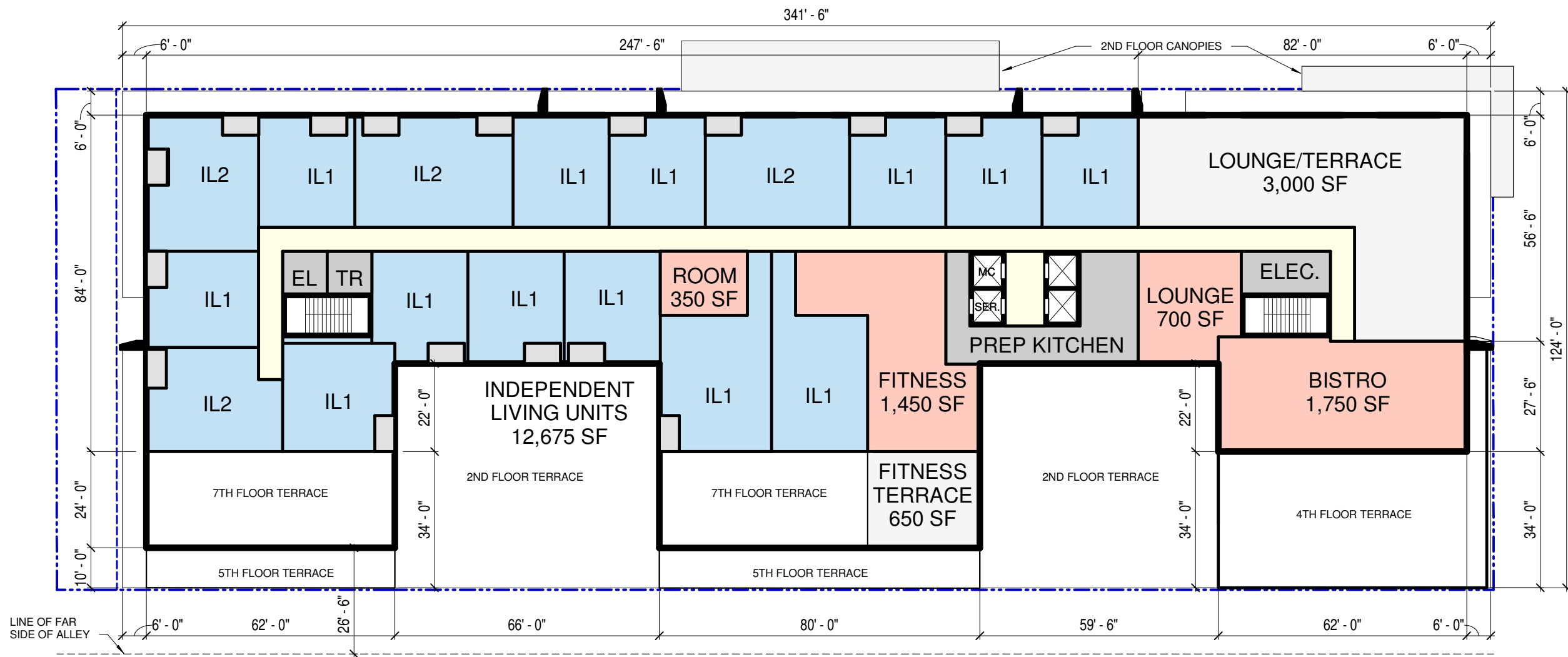


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 14
SIXTH FLOOR PLAN
1" = 30'-0"

01.13.20

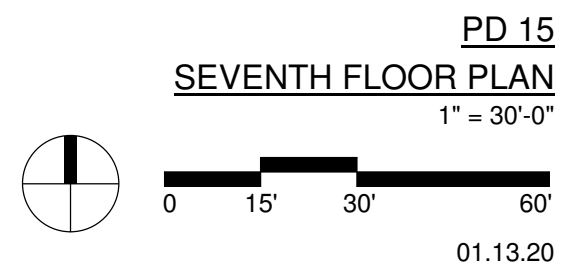


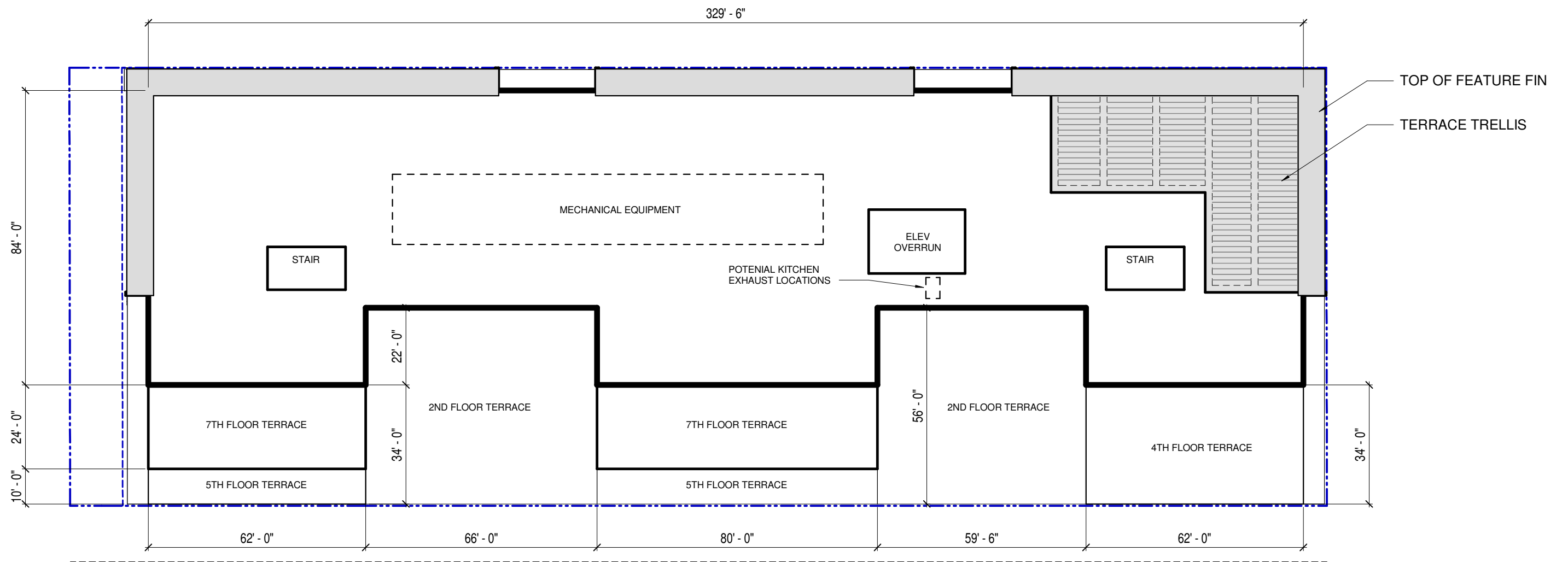


| UNIT COUNT | |
|--------------|------|
| AL | - 24 |
| AL1 | - 28 |
| AL2 | - 14 |
| MC | - 13 |
| MC+ | - 12 |
| MCS | - 09 |
| IL | - 05 |
| IL1 | - 42 |
| IL2 | - 27 |
| = 174 | |

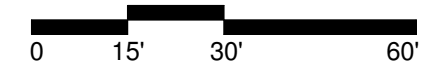
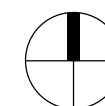


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK





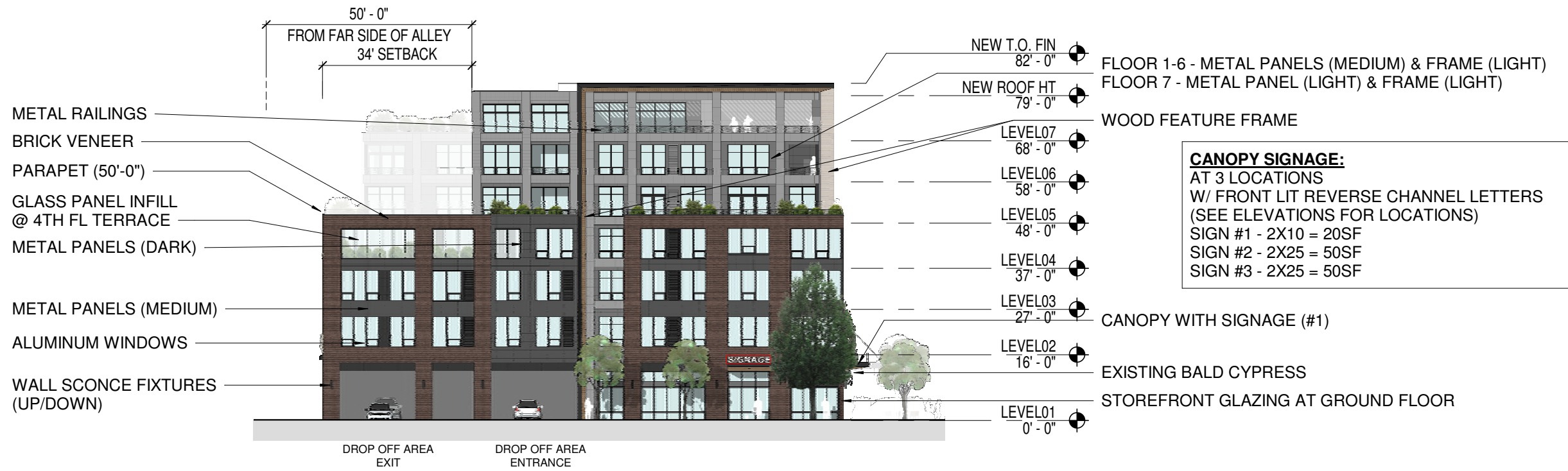
OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK



PD 16
ROOF PLAN
1" = 30'-0"

01.13.20





CANOPY SIGNAGE:
AT 3 LOCATIONS
W/ FRONT LIT REVERSE CHANNEL LETTERS
(SEE ELEVATIONS FOR LOCATIONS)
SIGN #1 - 2X10 = 20SF
SIGN #2 - 2X25 = 50SF
SIGN #3 - 2X25 = 50SF

EAST EXTERIOR ELEVATION

SCALE: 1" = 30'-0"



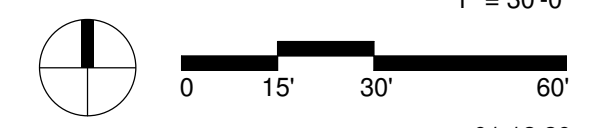
NORTH EXTERIOR ELEVATION

SCALE: 1" = 30'-0"

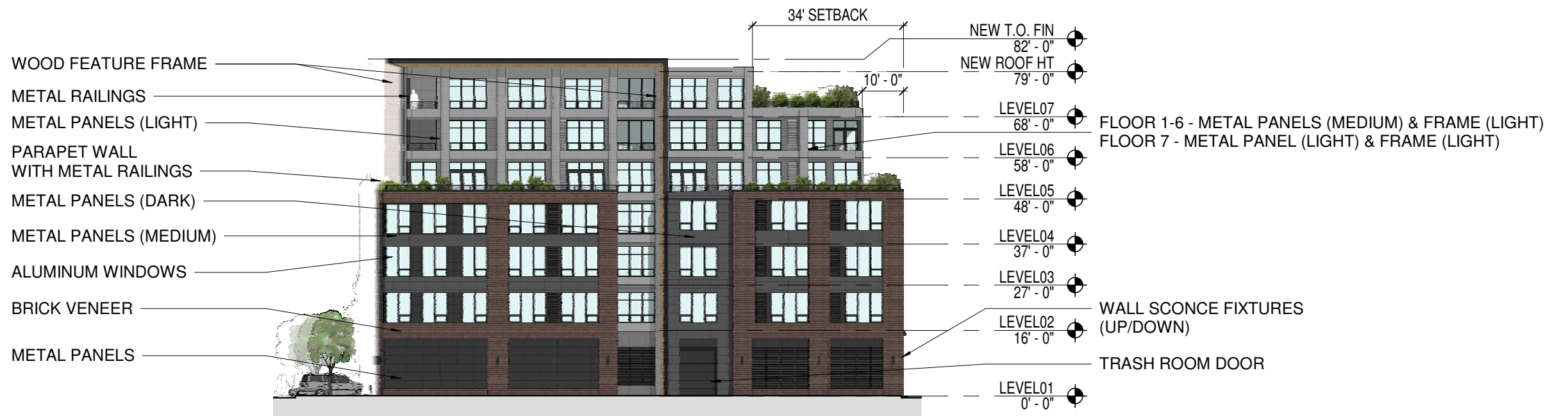


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 17A
HEIGHT REDUCTION OPTION - EXTERIOR ELEVATIONS
1" = 30'-0"



01.13.20



WEST EXTERIOR ELEVATION

SCALE: 1" = 30'-0"



SOUTH EXTERIOR ELEVATION

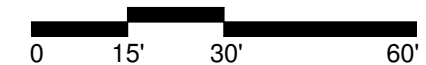
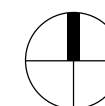
SCALE: 1" = 30'-0"



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

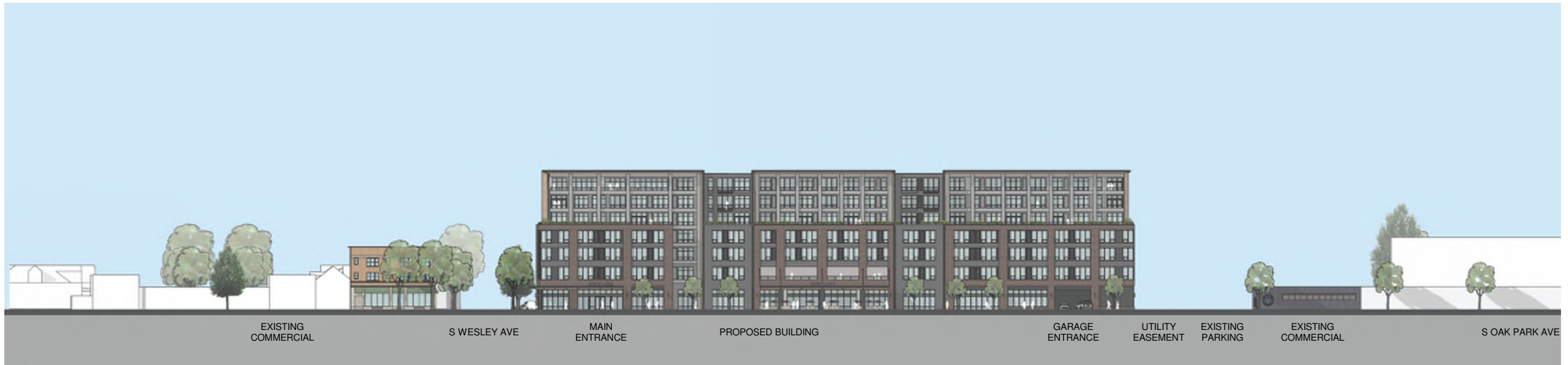
PD 18A
HEIGHT REDUCTION OPTION - EXTERIOR ELEVATIONS

1" = 30'-0"



01.13.20





NORTH ELEVATION (MADISON ST)



SOUTH ELEVATION (ALLEY)



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 19
STREETSCAPE ELEVATIONS

01.13.20





EAST ELEVATION



WEST ELEVATION



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 20
STREETSCAPE ELEVATIONS

01.13.20





3/20 9:00AM



6/21 9:00AM



3/20 3:00PM



6/21 3:00PM



OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 21
SHADOW STUDY

01.13.20





9/22 9:00AM



12/21 9:00AM



9/22 3:00PM



12/21 3:00PM

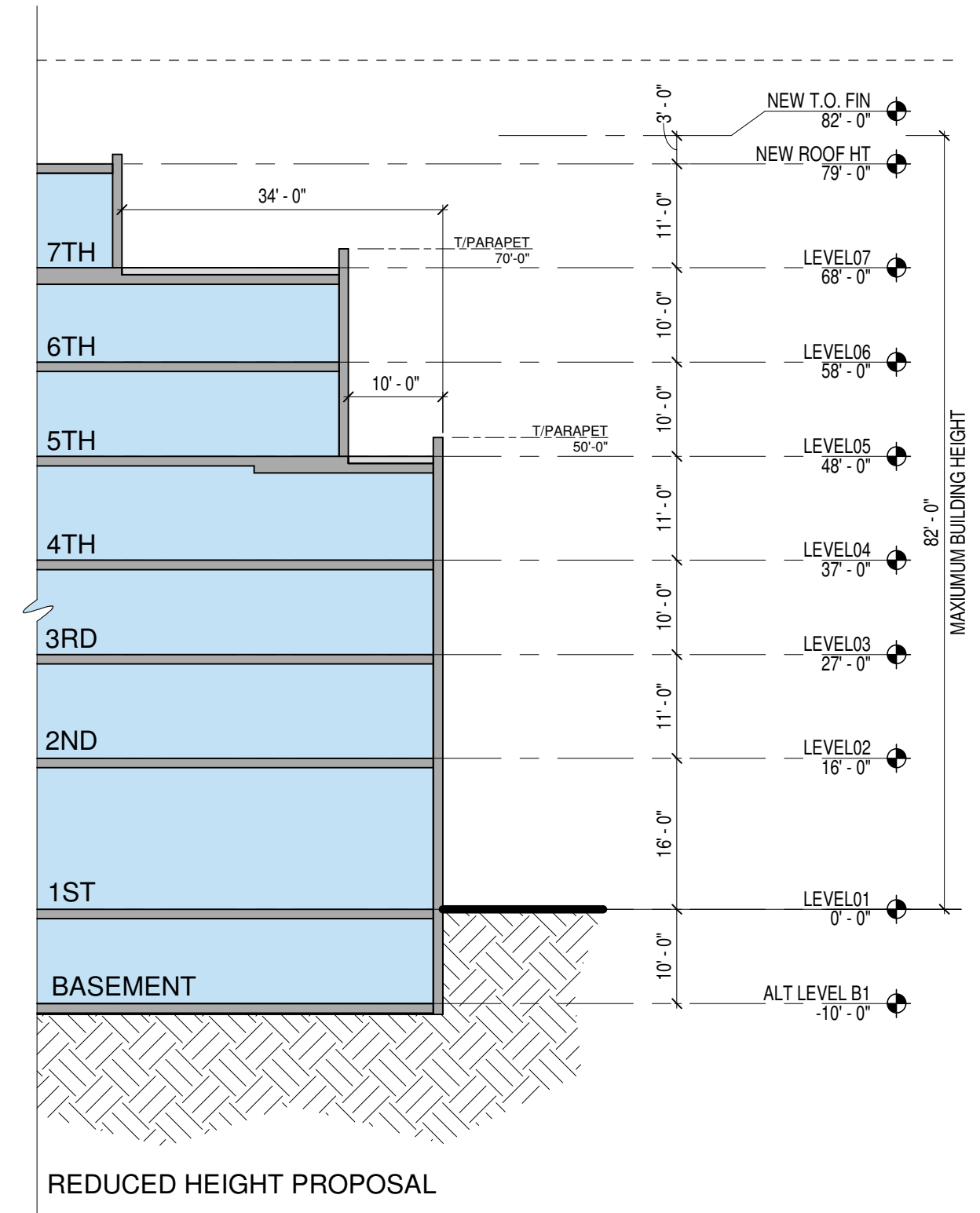
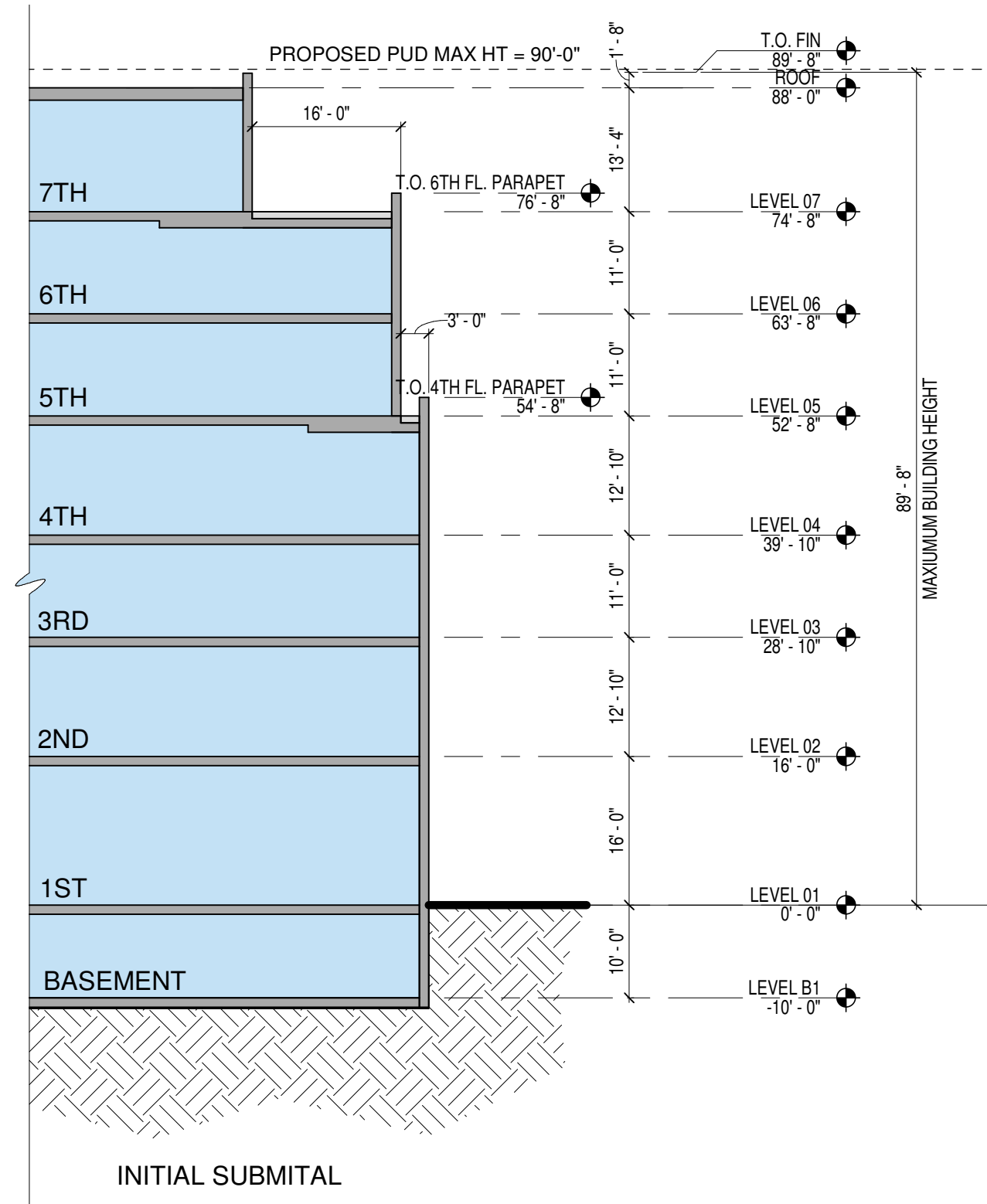


OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 22
SHADOW STUDY

01.13.20





OAK PARK SENIOR LIVING
711 MADISON ST, OAK PARK

PD 23
SECTION STUDY
1/16" = 1'-0"

01.13.20



PRELIMINARY ENGINEERING PLANS

FOR

OAK PARK SENIOR LIVING

711 - 725 MADISON STREET
OAK PARK, ILLINOIS

PROJECT TEAM

OWNER/DEVELOPER

REDICO
One Towne Square, Suite 1600
Southfield, MI 48076
248 827 1700
Contact: Alan Coy

ARCHITECT

Myefski Architects, Inc.
400 North Michigan Ave, Suite 400
Chicago, Illinois 60611
312 763 2400
Contact: Jeremiah Diamond

ENGINEER

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Andrew Uttan, P.E., LEED AP
auttan@v3co.com
Project Engineer: Jared Bowen, E.I.T.
jbowen@v3co.com

LANDSCAPE ARCHITECT

Daniel Weinbach & Partners, Ltd.
53 West Jackson Boulevard, Suite 250
Chicago, IL 60604
312 427 2888
Contact: Wendy Schulenberg

BENCHMARKS

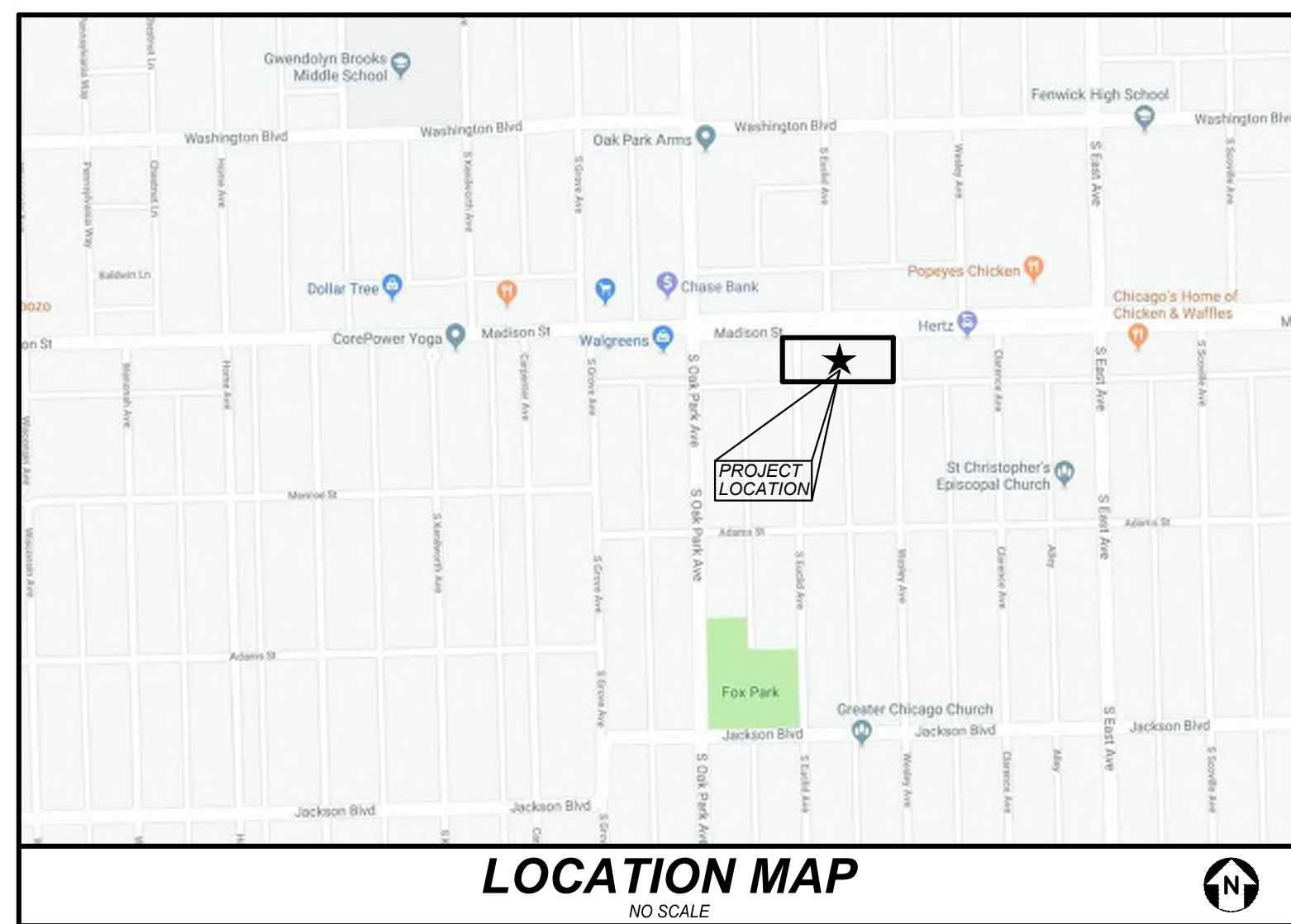
BM PER VILLAGE OF OAK PARK BM SHEET

STATION DESIGNATION: BM#1
ESTABLISHED BY: VILLAGE OF OAK PARK
DATE: N/A

ELEVATION: 41.20 (PUBLISHED AND HELD)
DATUM: CCD
DESCRIPTION: HYDRANT (NE BOLT-TAGGED) AT THE NE CORNER OF MADISON ST AND OAK PARK AVE.

STATION DESIGNATION: BM#2
ESTABLISHED BY: VILLAGE OF OAK PARK
DATE: N/A

ELEVATION: 41.38 (PUBLISHED AND HELD)
DATUM: CCD
DESCRIPTION: HYDRANT (1ST BOLT PAST ARROW) AT THE NE CORNER OF WASHINGTON AND OAK PARK AVE.



INDEX

CIVIL ENGINEERING PLANS

- C0.0 TITLE SHEET
- C1.0 EXISTING CONDITIONS AND DEMO PLAN
- C2.0 PRELIMINARY LAYOUT AND PAVING PLAN
- C3.0 PRELIMINARY GRADING PLAN
- C4.0 PRELIMINARY UTILITY PLAN

SUPPORTING DOCUMENTS

- ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY
- L1.0 LANDSCAPE PLAN
- P1.0 PHOTOMETRIC / ELECTRIC PLAN

REVISIONS

DESCRIPTION

NO. DATE

PROJECT NO.: 19040

PROJECT MANAGER: AU

DESIGNED BY: JB

DRAWN BY: BD

TITLE SHEET

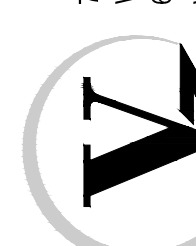
OAK PARK SENIOR LIVING

PRELIMINARY

OAK PARK

ILLINOIS

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



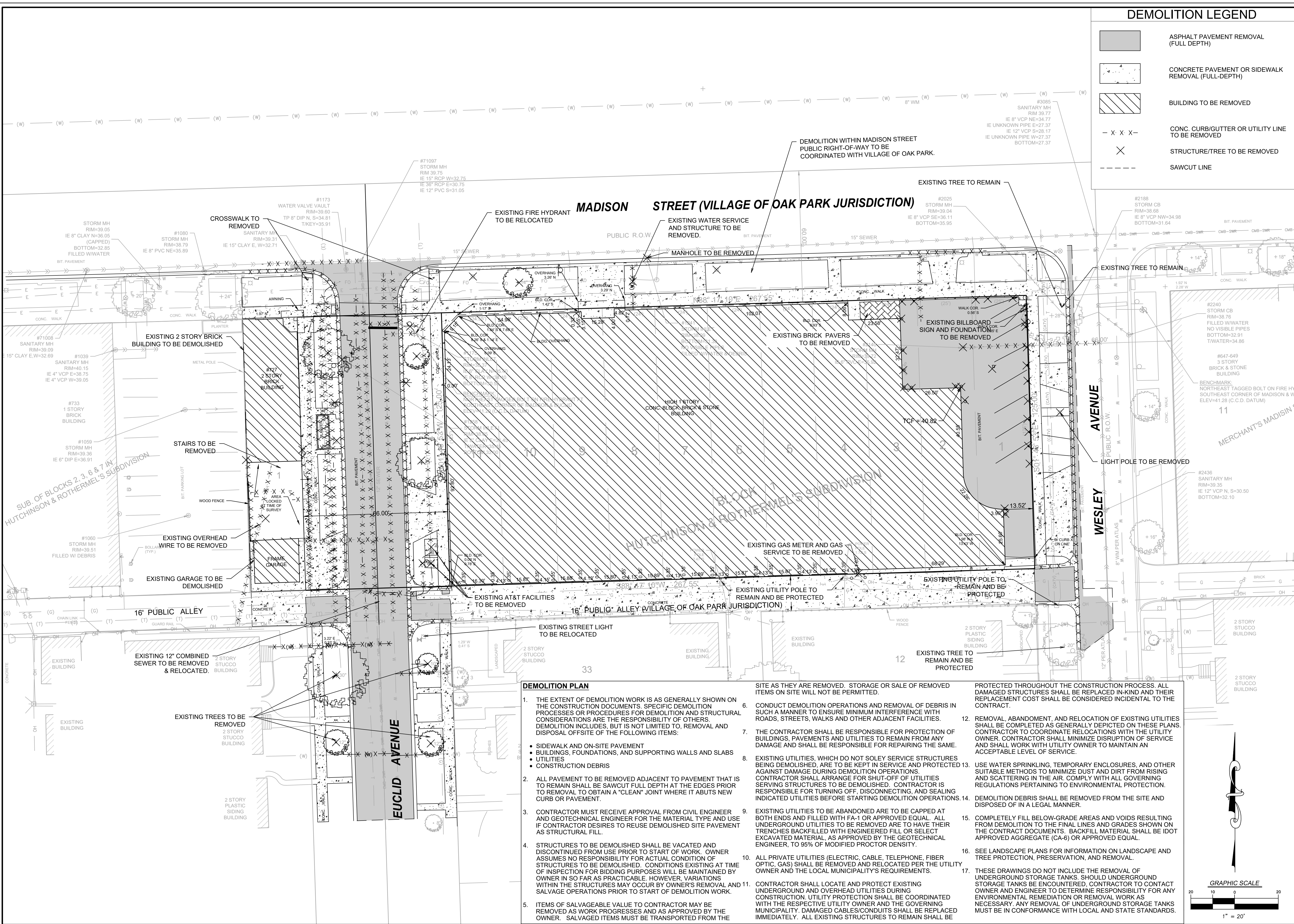
DRAWING NO.

C0.0



Call **800.892.0123**
48 hours before you dig

Joint Utility Locating Information for Excavators



| DEMOLITION LEGEND | |
|-------------------|--|
| | ASPHALT PAVEMENT REMOVAL (FULL DEPTH) |
| | CONCRETE PAVEMENT OR SIDEWALK REMOVAL (FULL-DEPTH) |
| | BUILDING TO BE REMOVED |
| | CONC. CURB/GUTTER OR UTILITY LINE TO BE REMOVED |
| | STRUCTURE/TREE TO BE REMOVED |
| | SAWCUT LINE |

| REVISIONS | | |
|-----------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |

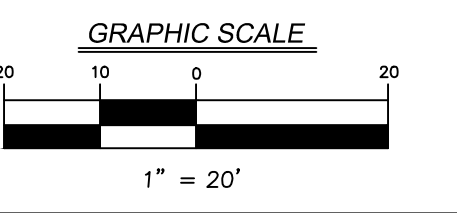
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|-----------------------------------|---------------------|-----------------|--------------|
| PROJECT NO. 19040 | PROJECT MANAGER: AU | DESIGNED BY: JB | DRAWN BY: BD |
| ORIGINAL ISSUE DATE: 08-01-19 | | | |
| EXISTING CONDITIONS AND DEMO PLAN | | | |
| OAK PARK SENIOR LIVING | | | |
| PRELIMINARY | | | |
| ILLINOIS | | | |
| OAK PARK | | | |

DEMOLITION PLAN

- THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
- ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE

- SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
- EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
- EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
- ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE

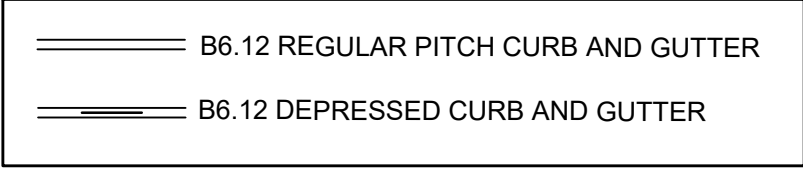
- PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
- SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
- THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



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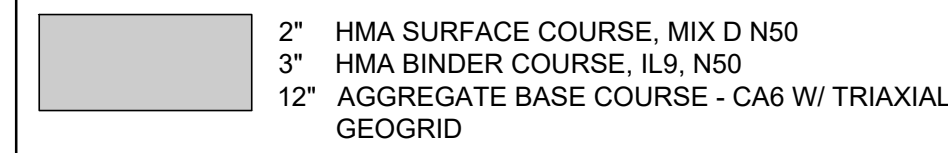
DRAWING NO.
C1.0

CURB LEGEND

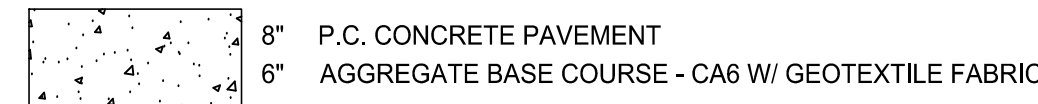


PAVING LEGEND

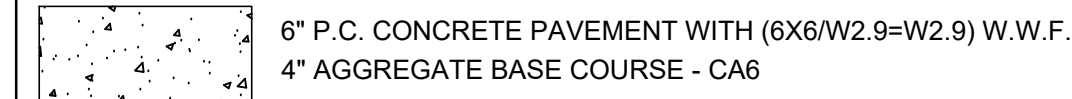
HEAVY DUTY HMA PAVEMENT



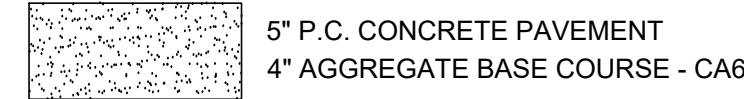
CONCRETE PAVEMENT (ALLEY)



CONCRETE PAVEMENT (DRIVE APRON)

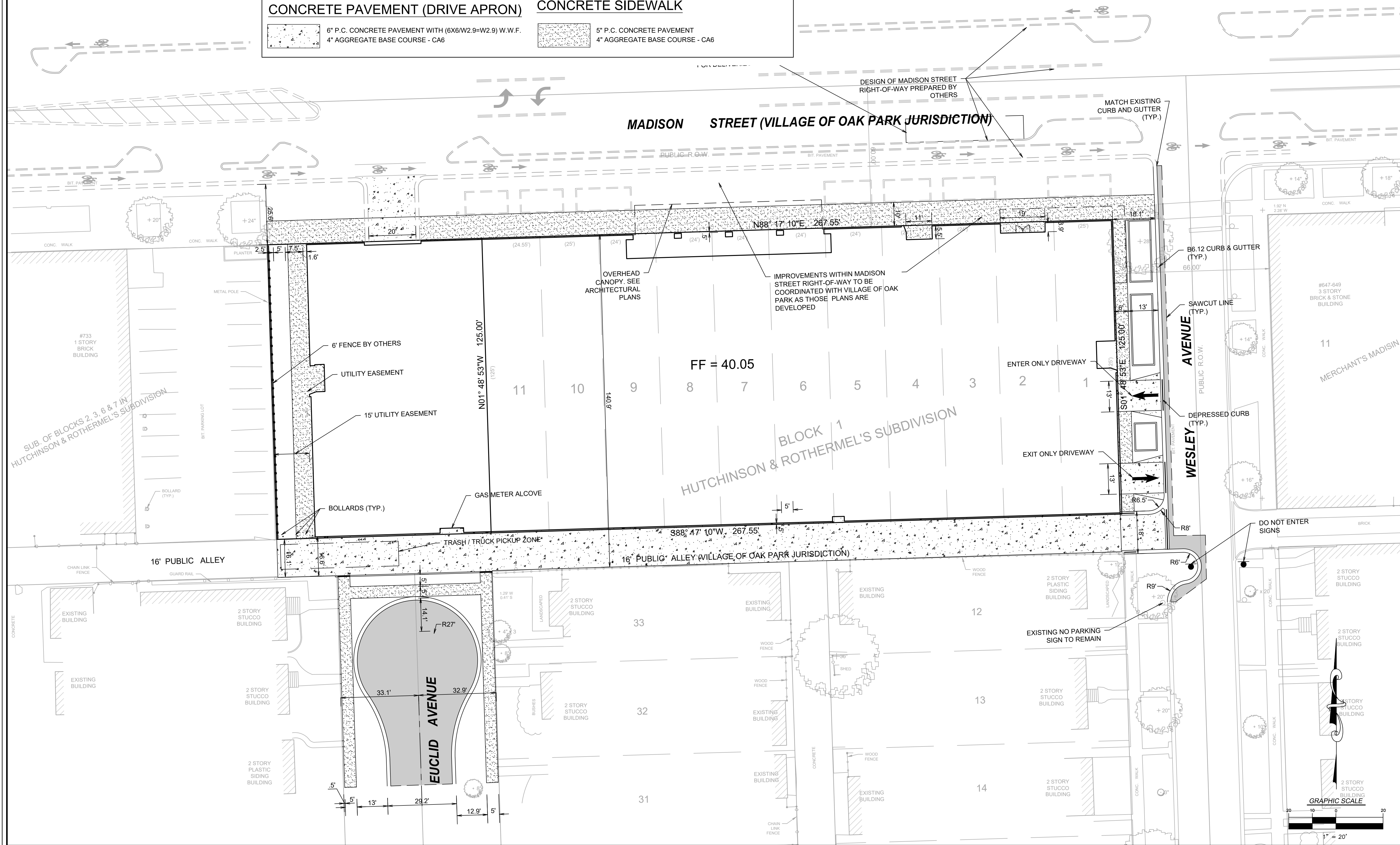


CONCRETE SIDEWALK



NOTES:

1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.



| REVISIONS | | DESCRIPTION |
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| PROJECT NO.: | 19040 |
| PROJECT MANAGER: | AU |
| DESIGNED BY: | JB |
| DRAWN BY: | BD |

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| ORIGINAL ISSUE DATE: | 08-01-19 |
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PRELIMINARY LAYOUT AND PAVING PLAN

OAK PARK SENIOR LIVING

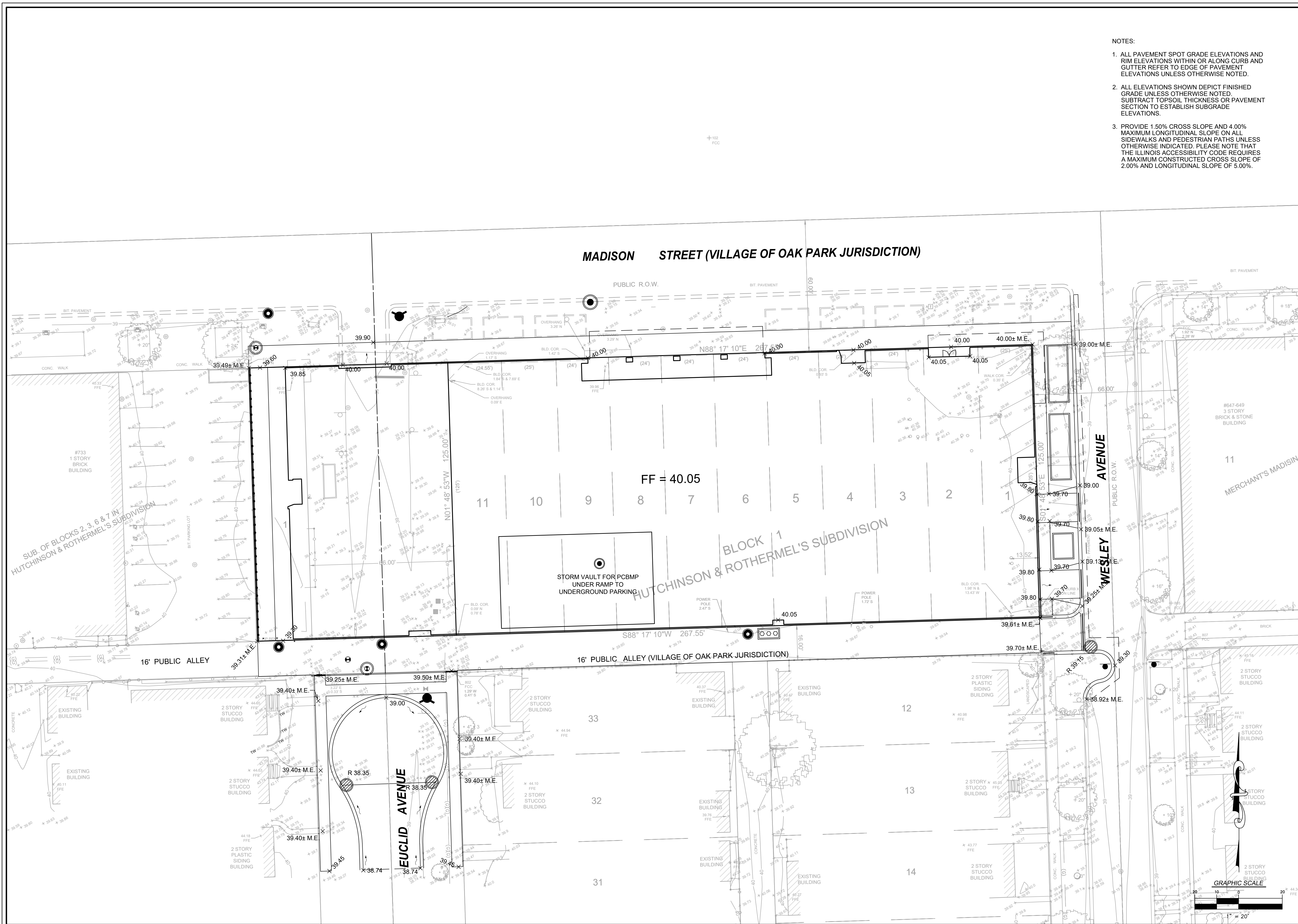
PRELIMINARY

OAK PARK ILLINOIS

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| 7325 James Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com |
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DRAWING NO. **C2.0**

- NOTES:
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.



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| PROJECT NO.: | 19040 |
| PROJECT MANAGER: | AU |
| DESIGNED BY: | JB |
| DRAWN BY: | BD |

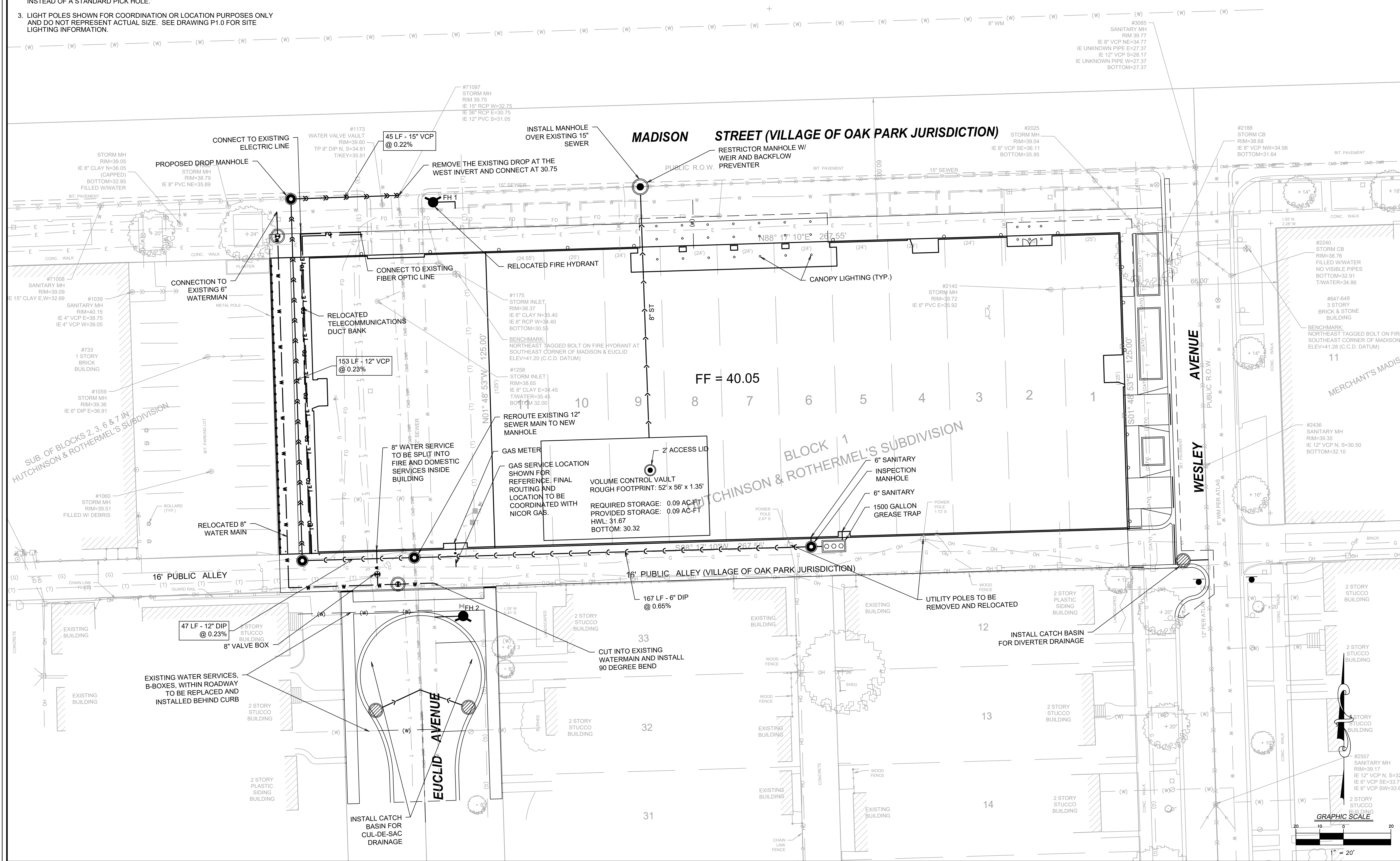
PRELIMINARY GRADING PLAN
OAK PARK SENIOR LIVING
PRELIMINARY

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DRAWING NO.
C3.0

NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE "NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE."
3. LIGHT POLES SHOWN FOR COORDINATION OR LOCATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE DRAWING P1.0 FOR SITE LIGHTING INFORMATION.



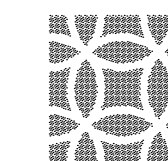
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| ORIGINAL ISSUE DATE: 08-01-19 | | |
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PRELIMINARY UTILITY PLAN
OAK PARK SENIOR LIVING
 PRELIMINARY

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DRAWING NO.
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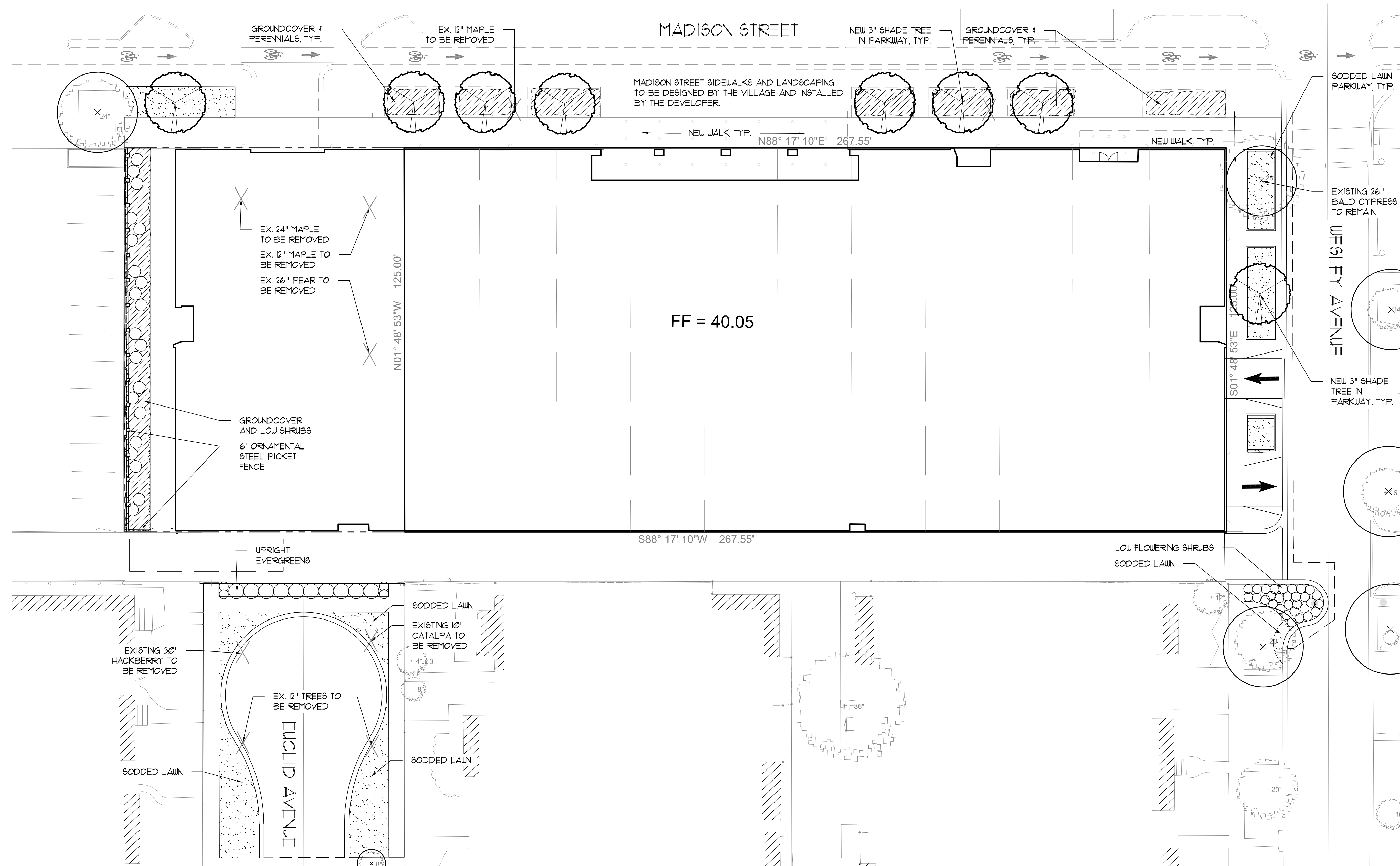


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PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 16'-0"

| Revisions | |
|-----------|---------------------------------------|
| 8. | |
| 7. | |
| 6. | |
| 5. | |
| 4. | SITE REVISIONS 1/10/20 |
| 3. | ISSUED FOR VILLAGE SUBMITTAL 12/05/19 |
| 2. | ISSUED FOR REVIEW 11/04/19 |
| 1. | ISSUED FOR REVIEW 08/27/19 |

Project

**OAK PARK
SENIOR LIVING**

711-725 MADISON STREET
OAK PARK, ILLINOIS

Sheet Title
**PRELIMINARY
LANDSCAPE
PLAN**

| | |
|----------------------|---------------------------|
| Date 08/27/19 | Project No. DWP 19-157 |
| Scale 1" = 16'-0" | Sheet No. L-1.0 |
| Drawn By EH | |
| Approved WS | |

| CALCULATED LIGHTING LEVELS (FOOT CANDLES) | | | | | |
|---|---------|-----|-----|---------|---------|
| | AVERAGE | MAX | MIN | AVG/MIN | MAX/MIN |
| NORTH AND EAST SIDEWALK | 1.29 | 5.1 | 0.0 | N/A | N/A |
| SOUTH ALLEY PAVEMENT | 1.33 | 2.5 | 0.2 | 6.65 | 12.50 |
| SOUTH PROPERTY LINE | 0.10 | 0.1 | 0.0 | N/A | N/A |
| WEST SIDEWALK | 2.61 | 5.7 | 0.7 | 3.73 | 8.14 |
| CANOPY AREA | 5.32 | 6.7 | 4.2 | 1.27 | 1.60 |

| PROPOSED SITE LIGHTING FIXTURE SCHEDULE | | | | | | | |
|---|--|----------|------|-------|-----------------|-----------|--------------------------------|
| SYMBOL | DESCRIPTION | QUANTITY | LLF | COLOR | MOUNTING | CONFIG. | CATALOG NO. & NOTES |
| SL-1 | EATON LANTERRA 9004 LED CYLINDRICAL FLOOD LIGHT, UPLIGHT AND DOWNLIGHT, 20W (10W PER LIGHT), 9'-0" MOUNTING HEIGHT | 20 | 0.90 | 4000K | WALL MOUNTED | 1 FIXTURE | 9002-W2-RW-LED 4080-W-W-L1-UNV |
| SL-2 | EATON LANTERRA 9004 LED CYLINDRICAL FLOOD LIGHT, UPLIGHT AND DOWNLIGHT, 20W (10W PER LIGHT), 9'-0" MOUNTING HEIGHT | 9 | 0.90 | 4000K | FENCE MOUNTED | 1 FIXTURE | 9002-W2-RW-LED 4080-W-W-L1-UNV |
| SL-3 | EATON HALO COMMERCIAL HC6 SERIES LED DOWNLIGHT, MEDIUM DISTRIBUTION, 16'-0" MOUNTING HEIGHT | 22 | 0.90 | 4000K | CEILING MOUNTED | 1 FIXTURE | HC6-10-DO10-HM6-12-940 |
| SL-4 | EATON LUMARK XTOR CROSSTOUR SERIES LED WALL MOUNT LUMINAIRE, 12W, FULL CUTOFF, 8'-0" MOUNTING HEIGHT | 14 | 0.90 | 4000K | WALL MOUNTED | 1 FIXTURE | XTOR1B-W |

NOTES:

- THE LIGHT FIXTURE LOCATIONS ON THIS PLAN SHOW THE RECOMMENDED PLACEMENT. ADJUSTMENTS TO THESE LOCATIONS MAY BE REQUIRED TO ACCOMMODATE SITE CONDITIONS.
- THE PHOTOMETRIC PLAN WAS PREPARED USING ONLY THE PROPOSED FIXTURES IN THE SCHEDULE ON THIS SHEET. NO EXISTING STREET LIGHTS WERE INCLUDED.

Halo Commercial

DESCRIPTION
The Halo Commercial LED lighting provides superior, modern, and reliable lighting solutions for commercial applications. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency. Halo Commercial LED lighting is available in a variety of mounting heights and beam spreads to meet your specific needs.

APPLICATIONS
Halo Commercial LED lighting is ideal for a wide range of commercial applications, including retail stores, offices, restaurants, and hotels. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency.

FEATURES
Halo Commercial LED lighting features a variety of mounting heights and beam spreads to meet your specific needs. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency.

COMPLIANCE
Halo Commercial LED lighting is designed to meet all applicable regulatory requirements. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency.

INSTALLATION
Halo Commercial LED lighting is designed to be easy to install. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency.

WARRANTY
Halo Commercial LED lighting is backed by a 5-year warranty. Halo Commercial LED lighting is designed to provide superior performance and energy efficiency.

Lumark

DESCRIPTION
The Lumark LED lighting provides superior, modern, and reliable lighting solutions for commercial applications. Lumark LED lighting is designed to provide superior performance and energy efficiency. Lumark LED lighting is available in a variety of mounting heights and beam spreads to meet your specific needs.

APPLICATIONS
Lumark LED lighting is ideal for a wide range of commercial applications, including retail stores, offices, restaurants, and hotels. Lumark LED lighting is designed to provide superior performance and energy efficiency.

FEATURES
Lumark LED lighting features a variety of mounting heights and beam spreads to meet your specific needs. Lumark LED lighting is designed to provide superior performance and energy efficiency.

COMPLIANCE
Lumark LED lighting is designed to meet all applicable regulatory requirements. Lumark LED lighting is designed to provide superior performance and energy efficiency.

INSTALLATION
Lumark LED lighting is designed to be easy to install. Lumark LED lighting is designed to provide superior performance and energy efficiency.

WARRANTY
Lumark LED lighting is backed by a 5-year warranty. Lumark LED lighting is designed to provide superior performance and energy efficiency.

Lumiere

DESCRIPTION
The Lumiere LED lighting provides superior, modern, and reliable lighting solutions for commercial applications. Lumiere LED lighting is designed to provide superior performance and energy efficiency. Lumiere LED lighting is available in a variety of mounting heights and beam spreads to meet your specific needs.

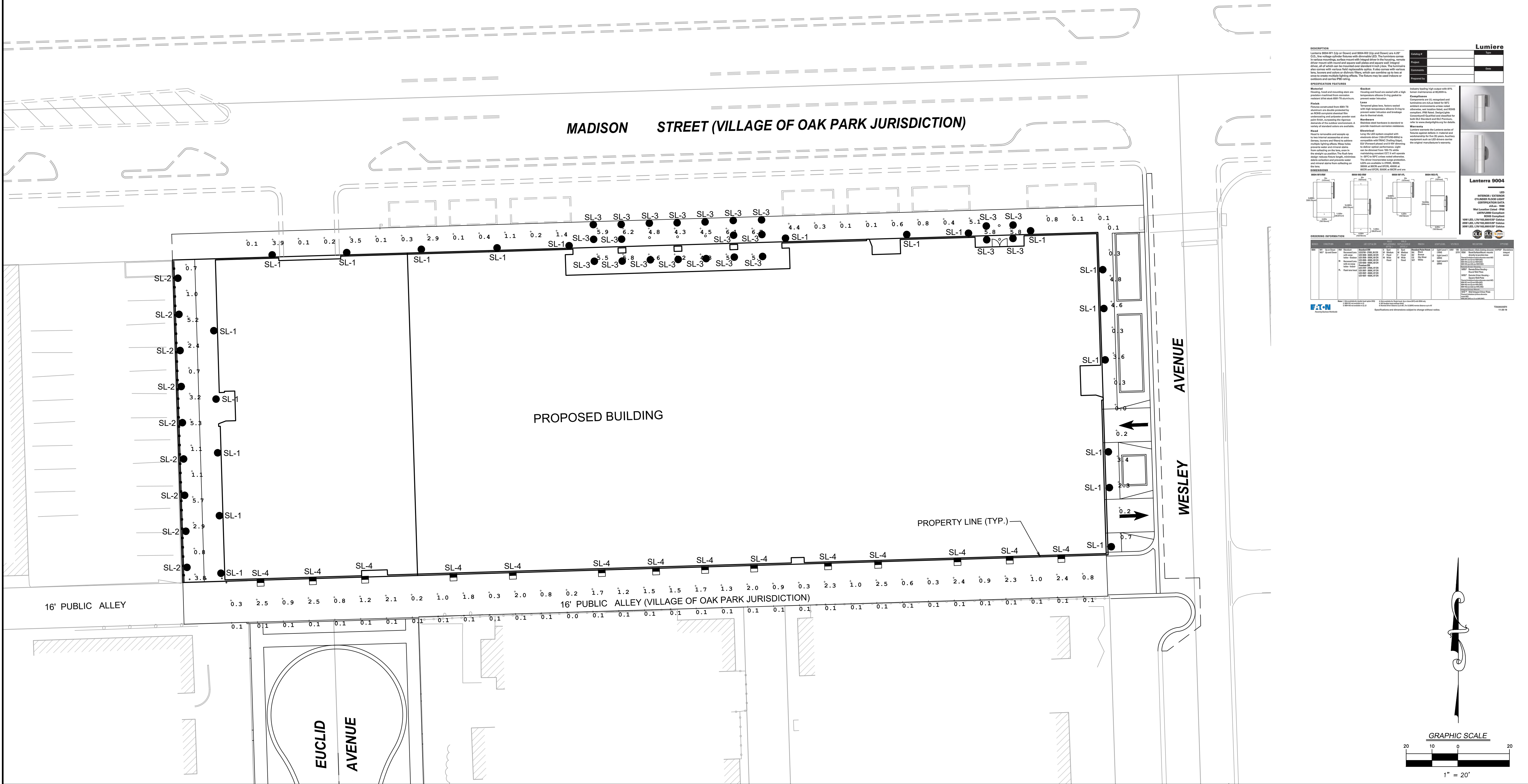
APPLICATIONS
Lumiere LED lighting is ideal for a wide range of commercial applications, including retail stores, offices, restaurants, and hotels. Lumiere LED lighting is designed to provide superior performance and energy efficiency.

FEATURES
Lumiere LED lighting features a variety of mounting heights and beam spreads to meet your specific needs. Lumiere LED lighting is designed to provide superior performance and energy efficiency.

COMPLIANCE
Lumiere LED lighting is designed to meet all applicable regulatory requirements. Lumiere LED lighting is designed to provide superior performance and energy efficiency.

INSTALLATION
Lumiere LED lighting is designed to be easy to install. Lumiere LED lighting is designed to provide superior performance and energy efficiency.

WARRANTY
Lumiere LED lighting is backed by a 5-year warranty. Lumiere LED lighting is designed to provide superior performance and energy efficiency.



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| PROJECT NO.: 19040 PROJECT MANAGER: AU DESIGNED BY: MGS DRAWN BY: MGS | ORIGINAL ISSUE DATE: 08-01-19 | NO. DATE NO. DATE NO. DATE | DESCRIPTION DESCRIPTION DESCRIPTION |
| | PHOTOMETRIC PLAN OAK PARK SENIOR LIVING PRELIMINARY | ILLINOIS | OAK PARK |
| | 7325 James Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com | | DRAWING NO. P1.0 |