



Petition for Public Hearing

PLANNED DEVELOPMENTS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Development: 7 Van Buren

Address/Location of Development: 7 Van Buren Street, Oak Park, Illinois 60302

Property Identification Number(s)(PIN): 16-17-131-013-0000

Name of Property Owner(s): Oak Park Residence Corporation

Address of Property Owner(s): 21 South Boulevard, Oak Park, Illinois 60302

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Name of Applicant(s): Oak Park Residence Corporation

Applicant's Address: 21 South Boulevard, Oak Park, Illinois 60302

Applicant's Phone Number: 708-386-6061 x111 E-Mail dpope@oakparkrc.com

Other: _____

Project Contact: (if Different than Applicant) Rolando Acosta - Acosta Ezgur, LLC

Contact's Address: 1030 West Chicago Avenue, Third Floor, Chicago, Illinois 60642

Contact's Phone Number: 312-636-6937 E-Mail rolando@acostaezgur.com

Other: _____

Property Interest of Applicant: Owner Legal Representative Contract Purchaser Other

(Describe): _____

Existing Zoning: R-7 **Describe Proposal:** _____

The Applicant proposes to demolish the existing two-story residential building and construct a new, Net Zero energy efficient, Class A, 45 dwelling unit multi-family apartment. The development will feature five studio units, 35 one bedroom/one bath units, four two bedroom/two bath units, 17 garage parking spaces, and 1,000 square feet of landscaping. Twenty percent (or nine) of the dwelling units will be affordable.

Proposed Planned Development Type:

Residential PD

Non-Residential PD

Mixed Use PD

9,243.66 (11,011
sq. ft. if vacation
approved)

Size of Parcel (from Plat of Survey): _____ Square Feet

Adjacent:

Zoning Districts

Land Uses

To the North: R-7

 Residential

To the South: R-7

 Residential

To the East: N/A

 Parks and Recreation (Chicago)

To the West: R-4

 Residential

How the property in question is currently improved?

Residential Non-Residential Mixed Use OTHER: _____

Describe Improvement: two-story brick residential building with 12 units and 11 parking spaces.

Is the property in question currently in violation of the Zoning Ordinance? ____ Yes x No

If Yes, how? _____

Is the property in question presently subject to a Special Use or Planned Development? ____ Yes x No

If Yes, how? _____

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? ____ Yes x No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

 Article 14.5 Planned Developments, Article 10.4 Required Off-Street Vehicle and Bicycle Parking Space, Article 10.7 Required Loading Article, Article 4.3 Dimensional Standards - Residential Districts (MLA, height, coverage, setbacks)

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

 See Planned Development Application Addendum

**STATEMENTS IN SUPPORT OF PLANNED DEVELOPMENT APPLICATION AND
APPLICATION SUBMITTALS
APPLICANT: OAK PARK RESIDENCE CORPORATION
ADDRESS: 7 VAN BUREN STREET**

I. Narrative

The subject property (the “Property”) is owned by Oak Park Residence Corporation (“OPRC”). It contains approximately 9,247 sq. ft. of land, zoned R-7 and improved with a two-story brick building containing 12 residential units and 11 parking spaces. It is bordered by Van Buren Street on the north, South Austin Boulevard on the east, a three-story residential building to the south, and a public alley to the west. Oak Park Residence Corporation (the “Applicant”) is a 501(c)(3) not for profit created to provide affordable housing in multi-family buildings requiring rehabilitation and professional management. The Applicant proposes to demolish the existing building and construct a Net Zero energy efficient, six-story building with 45 dwelling units and 17 parking spaces. As a companion to this application, the Applicant proposes to vacate a portion of Van Buren Street containing approximately 1,838 sq. ft., resulting in a total land area for the development of 11,085 sq. ft.

The Property is a transit-served location with the CTA Blue Line Austin Station located less than a quarter mile to the south and the Austin/Van Buren bus lines running along the Property’s frontage with a southbound bus stop located approximately 80 feet to the north and a northbound stop approximately 120 feet away. The Austin/Van Buren bus route provides north-south access to both the CTA Blue Line Austin Station but also the CTA Green Line Austin Station. In addition, The Austin/Van Buren bus route provides access to east-west bus routes on Madison (PACE 320/CTA 20) and Lake Street (PACE 309). Consistent with the Property’s transit-served location and the development’s carbon-neutral goals, the building will contain 17 parking spaces for the proposed 45 units and promote alternative means of transit. The units within the project will be marketed accordingly promoting the site’s and the Village’s many nearby businesses and other services.

II. Zoning Relief

- Minimum Lot Area
 - Underlying Zoning Requirement: 5,000 sf + 700 sf/unit over 2
 - Requirement: 35,100 sq. ft.
 - Lot Area without Vacation: 9,247 sq. ft.
 - Lot Area with Vacation: 11,085 sq. ft.
 - Zoning Relief Requested

- Maximum Building Height
 - Underlying Zoning Requirements: 45.00 feet
 - Proposed Height: 71.85 feet
 - Zoning Relief Requested

- Maximum Building Coverage
 - Underlying Zoning Requirement: 70%
 - Proposed: 85.17% (which is only 50 sq. ft. greater than existing conditions)
 - Zoning Relief Requested

- Minimum Interior Side Setback
 - Underlying Zoning Requirement: 10% of lot width
 - Requirement without Vacation: 7.55 feet
 - Requirement with Vacation: 9.05 feet
 - Provided Setback: 8.30 feet
 - With Vacation, Zoning Relief Required

- Minimum Rear Setback
 - Underlying Zoning Requirements: 20% of 122.52 feet Lot Depth
 - Requirement: 24.50 feet
 - Provided Setback: 1.5 feet
 - Zoning Relief Requested

- Automobile Parking
 - Underlying Zoning Requirements: 1 space per unit less 25% for TMP
 - Zoning Requirement: 34 spaces
 - Spaces Provided: 17 spaces
 - Zoning Relief Requested

- Loading
 - Underlying Zoning Requirements: 1 loading space
 - Provided Loading: None
 - Zoning Relief Requested

III. Planned Development Standards

1. Consistency with Comprehensive Plan and Other Applicable Village Plans

The proposed development will promote the orderly development of Oak Park in accordance with the Comprehensive Plan and protect the character and maintain the stability of the Village's residential areas. *Oak Park Zoning Ordinance Article 1.2C, D*. The proposed development meets the following Comprehensive Plan Objectives and Goals by:

- Sustaining and broadening diversity and integration throughout Oak Park. *Goal 7.1 Comprehensive Plan pg. 99*. Actively marketing Oak Park to a broad spectrum of

potential residents throughout the Chicago region and ensure that all neighborhoods are appealing to all residents and potential residents. *Objective 7.1.5 Comprehensive Plan pg. 100.*

- The proposed development is an attractive housing option that meets a range of demand in terms of price and amenities as 20% of the units are affordable. The site is located across the street from Chicago's Columbus Park, a key amenity in attracting potential residents throughout the Chicago region and is close to public transportation.
- Supporting innovative building design and construction practices within the village where the government can continue to support the application of energy-efficient and resilient green building techniques. *Objective 4.2.4 Comprehensive Plan pg. 50.*
 - The proposed development could be considered as one of the most significant Net Zero energy efficient multi-family buildings in the upper Midwest.
- Encouraging the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle, and pedestrian access throughout the village. *Objective 4.3.4 Comprehensive Plan pg. 52.*
 - The subject property is located approximately 1,300 feet from the CTA Austin Blue Line Station and is located within 100 to 120 feet of stops for the Austin/Van Buren bus line. The Applicant will actively pursue residents without cars. With 17 parking spaces for a building of 45 units, 38% of the building's units will have a parking space. Furthermore, the subject site is located in a TOD Housing Development Focus Area, more specifically the Austin/Lombard Blue Line Area. *Future Land Use Plan, Comprehensive Plan pg. 57-58.* By encouraging growth and expansion of TOD, "Oak Park can benefit from expanded housing choices, decreased dependency on the automobile, and greater access to goods and services." *Comprehensive Plan pg. 52.*
- Providing mixed-income housing that is accessible, integrated, and responsive to the needs of Oak Park's diverse population. *Goal 7.3 Comprehensive Plan pg. 104.* Continuing the Village's active role in encouraging the rehabilitation and development of accessible and integrated housing through the use of municipal resources, policies and support, which includes amendments to local zoning and building regulations. *Objective 7.3.1 Comprehensive Plan pg. 104.* Encouraging housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc. *Objective 7.3.4 Comprehensive Plan pg. 105.* Furthermore, potential metrics that may be used to measure the success of the Village in developing accessible, integrated and responsive housing in Oak Park is the increased number of accessible housing units in TOD areas. *Comprehensive Plan pg. 106.*
 - The proposed development will bring new, market-rate and transit-oriented development to southeastern Oak Park bordering the Austin neighborhood. It will feature fully accessible, Class A dwelling units and common areas. Nine units will

be affordable. The proposed development is within walking distance to the Austin CTA Blue Line Station, has good bus access and is within close proximity to local business and services.

Spreadsheets showing specific compliance with the Village's Comprehensive Plan and other Village plans and reports is attached as **Exhibit 1**.

2. Lack of Material Detrimental Impact on Public Health, Safety and Welfare

The proposed development is designed and will be constructed in accordance with all applicable building code regulations. Given the TOD nature of the Property, it will not generate significant additional traffic and will promote public transit use by increasing density near transit. In addition, and significantly, the proposed development, as a Net-Zero Energy building will decrease the development's reliability on existing non-sustainable energy sources and set a standard for sustainable development.

3. Adequate Utilities, Village Services and Other Necessary Facilities Exist or Will Be Provided

A review of the required utility and Village services by the project team has concluded that all requisite utilities either exist or can and will be provided. Civil drawings indicating the needed utility services are included with the Application.

4. Adequate Ingress and Egress Exists or Will Be Provided Avoiding Additional Congestion and Promoting a Safe and Comfortable Pedestrian Environment

The drawings included with the Application indicate that vehicular access will be provided via the existing Van Buren right-of-way with alley access to the west of the proposed building that will serve to provide access to the development's parking garage. Adequate maneuvering space and turning radii will be maintained. As part of the development a portion of Van Buren Street will be vacated and incorporated into the development. The remaining northern portion of Van Buren Street will have sufficient dimensions to accommodate the existing parking along such portion and provide adequate aisle width. The southern curb of Van Buren Street east of the alley post-vacation will be configured to align with the existing south curb of Van Buren Street west of the alley. Pedestrian access to Austin Boulevard along the southern sidewalk on Van Buren will be maintained via a colonnade under the building's upper floors. The main entrance to the proposed building will be located at the eastern end of the building, with direct access to the sidewalk. A landscape area will be provided along the building's front setback from Austin providing enhanced visual interest.

5. Proposed Use Will Not Substantially Diminish Use or Enjoyment of Other Property

The proposed multi-family use of the Property is consistent with its zoning and the character of the surrounding area, which particularly along Austin has a multi-family character. The building maintains a sufficient separation from the closest neighboring building located to the south, providing more than the required setback were it not for the proposed Van Buren Street vacation. Additionally because the proposed building is located to the north of its closest neighboring building, it does not have any negative sun impact on that building. In addition, the proposed development will adhere to all applicable building code provisions. As a transit-oriented development it is focused on decreasing vehicular traffic and accordingly will not generate any significant new traffic. As a result, of its compatibility with the neighborhood, the nature of the development and its compliance with building codes, the proposed development will not substantially diminish the use or enjoyment of other area properties.

6. Design and Use of the Development Complements Character of the Surrounding Area

The proposed use is multi-family residential, which is consistent with the character of the surrounding area, particularly along Austin Boulevard. The proposed design is driven to a great extent by the Net-Zero Energy goal for the development. While it is admittedly modern in appearance, it maintains a traditional rhythm with a flat roof, a clear base, middle and top and uses compatible materials in terms of color.

7. The Applicant Has the Financial and Technical Capacity to Complete the Proposed Development

The Applicant is a 501(c)(3) corporation founded in 1966 with a goal of promoting Oak Park as a diverse and economically balanced community by providing high-quality multi-family rental housing at reasonable rates to all income levels. The Applicant currently owns and manages 32 multi-family building with a total of nearly 700 units. A comprehensive team of experienced professionals has been assembled to design and undertake the development. The Applicant owns the site and has a significant amount of equity in the property. Given the Applicant's experience, the Property's attributes, including its location in Oak Park, and the Net-Zero Energy nature of the development, the Applicant has received substantial interest from different regional banks for both short and long term debt financing.

8. The Proposed Development Is Financially Feasible and Does Not Pose a Current or Potential Burden on the Village that Is Not Balanced by Benefits from the Development

The Applicant has extensively reviewed the financial feasibility of the development and concluded, after consultation with other professionals and financing sources that

the development is feasible. The development is not anticipated to impose any significant burden on Village resources. The development will result in a six-fold increase in real property taxes from the current (2020) amount of approximately \$25,000 to an estimated amount of approximately \$152,000 at stabilization. The tax benefit as well as the benefits from a new transit-oriented, Net Zero Energy multi-family building being developed in the area significantly more than balance any potential burden on Village resources.

IV. Allowances and Compensating Benefits

1. Standards

a. Enhances the overall merit of the planned development

The requested allowances are sought to enable the development of a Net-Zero Energy building at a transit-served location. There are initial additional costs, such as for solar energy panels, that must be absorbed by the development. To accommodate such costs, and simultaneously achieve the Applicant's goal of providing high-quality housing attractive to all income levels, a certain magnitude of development must be achieved. In addition, among the principles of transit-oriented development, as well as sustainable development, is to develop higher density buildings where public transit is available and to do so in a way that increases the use of existing facilities that serve developments where capacity for such increase exists – as opposed to supporting lower density developments that tend to promote “urban sprawl”. Because the requested planned development embodies a forward looking approach to development that complies with such transit-oriented and sustainable policies, and the requested allowances enable its viability, the requested allowances enhance the overall merit of the planned development.

b. Promotes objectives of both the Village and the development

The development, and the requested allowances that enable the development to proceed, promote multiple Village objectives (as stated in the response to compliance with the Village's Comprehensive Plan), including:

1. Sustaining and broadening diversity and integration by providing an attractive housing option with 20% of the units being affordable;
2. Supporting innovative building design and construction practices through the development of a Net Zero Energy building;
3. Encouraging the growth of transit-oriented development by locating the development near transit, discouraging auto usage through marketing and decreased auto parking spaces; and
4. Expanding the availability of housing in southeastern Oak Park.

c. Enhances the quality of the design of the structures and site plan

As mentioned above, the development's lofty goals of achieving Net Zero Energy and being a sustainable development that uses existing infrastructure capacity, necessitate the requested allowances. The allowances allow for a size of development that support the costs of creating a Class A building notwithstanding the increased capital costs associated with constructing a Net Zero Energy Building. They allow for the use of quality materials and creation of suitably sized units. The reduction in parking and loading avoid the construction of larger parking areas, as well as discouraging auto use.

d. Will not cause such an adverse impact on neighboring properties so as to outweigh the benefits of the development

A review of the project by the development has discerned no appreciable adverse impact on neighboring properties. The development represents a multi-family residential development in an area that is zoned and developed with multi-family residences. The increase in unit count does not result in any appreciable traffic impact given the transit-oriented nature of the project. As the building is located to the north of its nearest neighbor, the increased height does not affect sunlight to that building and has no greater impact on vistas from that building than would a building at the permitted 45 ft. height. The land coverage is effectively the same as it is today. The interior side setback to be provided is greater than would be required absent the proposed right-of-way vacation and results in a not uncommon setback condition along this portion of Austin Boulevard. As there is an alley to the west of the Property a significant separation is maintained to the nearest property to the west and given the location of that home on its parcel, the effective separation is approximately 70 feet. The loading variation will not have an adverse impact as the move-in/move-out activity can be scheduled so as to be able to be accommodated in the garage or curb side. The parking reduction is reflective of the transit-oriented nature of the site, the development sustainability goals and the Applicant's experience in parking demand by its residential portfolio. In addition, a survey of the municipal lots within approximately 3 blocks of the site reveals a 22-space capacity, including six space capacity in Lot 30 (one block north), four space capacity in Lot 47 (2.5 blocks north), six spaces in Lot 54 (2 blocks south) and four spaces in Lot 114 (1 block south). In addition, there is on-street parking along Austin Boulevard that can be used by guests, except during the weekday rush hours of 7 to 9 a.m. and 4 to 6 p.m. Given the lack of significant adverse impact, the project's benefits clearly preponderate.

e. Are compatible with adopted Village land use policies

As summarized in the response to item b above, the proposed development is in keeping with the Village's Comprehensive Plan. It also is compatible with the Village general land use policy, as evidenced in the Comprehensive Plan, to promote innovative and sustainable as well as transit-oriented development.

f. Provide a public benefit to the Village, as described below

i. Compensating Benefits

Among the projects compensating benefits are:

1. **Affordability** – Consistent with the mission of the Oak Park Residence Corporation, 20% of the units (9 units in total) in this development will be affordable.
2. **Design** – This building will feature high-quality compelling architectural design as a showcase for Oak Park's continuing commitment to architectural excellence. It will also include a compelling pedestrian colonnade providing a visual link that will serve to connect and strengthen the ties between the Oak Park and Austin communities and the natural environmental jewel that is Columbus Park.
3. **Economic Development and Geographic Expansion of Investment** – This building will result in substantial new investment in the residential building stock of southeastern Oak Park, and specifically along Austin Blvd. constituting the first multifamily investment in 50 years along this important gateway corridor.
4. **Sustainability** – This will be the most significant Net Zero Energy building in the upper Midwest. It will be a national model.
5. **Transit-oriented Development** – This will bring additional units and residents to a walkable, transit-friendly portion of Oak Park. In addition, it will add needed public bike parking and thereby will enhance the active transportation network of the Village.
6. **Model Development** – This development will serve as a model for both the Village and for other future developers, highlighting opportunities and possibilities regarding new development that advances high quality multi-family apartment development with an emphasis on affordability, accessibility, diversity, and sustainability.

ii. Village Improvements

As part of this Planned Unit Development, we have discussed a number of changes to Village Infrastructure and Improvements that are contemplated as part of this application. These include:

1. **Street Vacation:** We will acquire 15 feet of public property including some right of way to the north of the existing property line. We will compensate the Village for this acquisition at a market rate price to be determined by an appraisal conducted in accordance with the Village's established and directed procedure.
2. **Sidewalk Expansion:** We will expand the publicly accessible sidewalk area as part of a colonnade to be established on the north side of the new development. This sidewalk area will continue to be maintained by us going forward.
3. **Curb and Alley Adjustments:** We will reconfigure the curb line and radius into the alley in accordance with Village direction to reflect changes in the expansion of the width of the sidewalk commensurate with the street vacation.
4. **Street Resurfacing:** We will resurface the portion of the street designated as a construction staging area following the completion of construction.
5. **Compensation for Impacts:** We will compensate the Village for impacts due to any temporary loss of parking due to the development.

iii. Public Art

The OPRC will identify, commission, and install a piece of public art or sculpture either:

- 1) on site; or
- 2) in an appropriate off-site location within the immediate vicinity - possible options could include:
 - a. Along the Harrison Street Arts District corridor
 - b. Across the street along Austin Blvd in Columbus Park

In addition, OPRC intends to work with the Chicago Park District to explore opportunities to enhance the west side of Columbus Park to help encourage even greater utilization of this beautiful natural asset by residents from both Austin and Oak Park.

V. Sustainability

The proposed development is designed to be a Net Zero Energy building and to meet the Phius+ standard for energy use. Attached as **Exhibit 2** is a brief explanation of

the Phius+ standard, an energy model and a preliminary review of the project by Phius.

VI. Owner Information

A. Contact Information

David Pope
President
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21 South Boulevard, Oak Park, IL 60302
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B. Title Policy

Attached as **Exhibit 3** is a Title Policy showing the Applicant in title to the property and an affidavit of ownership.

C. Owner's Statement

The Applicant is the owner of the property.

D. Professional Qualifications

OPRC has assembled a full development team and has completed the Concept Design, Schematic Design, and Design Development phases of the development process. The Collective project team consists of each of the following entities:

The Oak Park Residence Corporation (OPRC)

The Oak Park Residence Corporation is a locally based, 501(c)3 not for profit community development corporation that exists exclusively for charitable purposes. OPRC was founded in 1966 to serve as the affordable housing partner agency of the Village of Oak Park, a role it has continued to play for the past 55 years. During that period, OPRC has acquired and rehabilitated more than 30 multi-family buildings. OPRC's primary mission is to promote Oak Park as a diverse and economically balanced community by providing high-quality multi-family rental housing at reasonable rates for households of all income levels.

OPRC currently owns and manages 32 multi-family residential buildings containing nearly 700 residential apartment units. Most of OPRC's traditional apartment portfolio consists of vintage 1920's apartment buildings. OPRC also owns and manages a 76-Unit senior housing building (The Oaks – 114 S. Humphrey Ave. – redeveloped, owned, and managed by OPRC) and a 21-Unit building serving persons with disabilities (the Farrelly-Muriello Apartments – 435 S. Humphrey Ave – also developed, owned, and managed by OPRC). In addition, at the request of the Village, OPRC serves as the manager of the Small Condominium Management Program (advising Boards and owners from condominium associations with fewer than 12-units regarding questions and issues pertaining to articles of incorporation, bylaws, operational policies, management practices, financial practices, dispute resolution, etc.).

OPRC also serves by contract as the day-to-day management entity for the operations of the Oak Park Housing Authority. In that role, OPRC has management and oversight responsibility for an additional 198 OPHA-owned Public Housing units at Mills Park Tower (housing dedicated for seniors and persons with disabilities) and six more units at Sojourner House (housing dedicated for persons experiencing or at risk of experiencing homelessness – through a program managed by Housing Forward). The Oak Park Residence Corporation is governed by a nine-member Board of Directors composed of dedicated Oak Park residents who serve without compensation. OPRC's thirty five staff members provide high quality, reasonably priced, well-maintained and well-managed housing, thereby supporting the health and wellbeing of our residents and our community. Together with its residents, OPRC staff partner to create living environments that are vibrant, diverse, and inclusive. OPRC's staff has extensive professional experience in housing and property management and is fully accredited and licensed in accordance with State of Illinois real estate statutes and federal fair housing law. OPRC also partners with several organizations including the Village of Oak Park, The Oak Park Housing Authority, Oak Park Township, The Oak Park Regional Housing Center, Housing Forward, and others in addressing housing issues in Oak Park.

Cullen Construction Management –Cullen specializes in commercial construction projects like that of 7 Van Buren and has worked on a variety of projects throughout the Midwest. Cullen is a certified Women's Business Enterprise (WBE) and Disadvantaged

Business Enterprise (DBE) based out of Chicago. The Cullen CM team of consultants consist of Architects, Engineers and Construction Managers. Cullen has spent the last twenty years working for national and global General Contractors. This previous experience allows their team to provide insight into the development process from the earliest phase of project planning through substantial completion and occupancy.

Ware Malcomb - In 1972, Ware Malcomb was founded by Bill Ware and Bill Malcomb. Their philosophy of great design, excellent client service and relationship-focused business still rings true today. The firm has a long history of leading design for commercial and corporate real estate. The firm is now an international, award-winning design firm for commercial and corporate real estate, Ware Malcomb offers integrated design services including architecture, planning, interior design, civil engineering, branding, and building measurement to diverse clients in both the private and public sectors. Ware Malcomb has offices located throughout North America.

Tom Bassett-Dilley Architecture – Energy Modeling. Tom Bassett-Dilley (TBDA) was founded in 2006 to pursue sustainability as contemporary design based on region, climate, and context. TBDA designs for end users seeking quality. Their projects include single- and multi-family residences (new and remodel), historic preservation, institutional buildings (park buildings, schools), and commercial buildings primarily in the Midwest (Illinois, Wisconsin, Indiana, Michigan). TBDA, Ltd. is a leader in Passive House and Zero Energy design in the Chicago region, having designed and modeled numerous certified Passive House, PH Source Zero, and LEED projects in the area.

dbHMS – Mechanical/Electrical/Plumbing Systems Design and Engineering. dbHMS is a Minority-Owned Business Enterprise, incorporated in 2002, with offices in Chicago, Grand Rapids, Philadelphia, Davenport, and Boston. Their staff of talented individuals and unique characters is united in their dedication to deliver high-performance, efficient, and sustainable buildings worldwide. The firm is active in the following sectors: education, civic and government, commercial and office, mixed use, multifamily residential, cultural and spiritual, aviation and transportation, hospitality, industrial, retail, health and science, and recreation and sporting.

Synergy Construction – Pricing/Project Management/Construction/Administration. Synergy Construction Group, LLC is a multi-faceted general contracting, design build, reconstruction management firm based in Chicago, IL, since December 2010. Their project team is experienced in all phases of the construction process with collective experience spanning well over 80 years. Their focus is effective communication and the importance of completing projects on time and within budget. They are committed to sustainability and ensure that a project follows best practices.

Ericksson Engineering Associates, Ltd. – Civil engineering. Ericksson Engineering Associates. Ltd. (EEA) was founded in 1995 with client connections in mind – looking beyond each individual project to long-term growth and relationships. Since their inception, EEA has developed both professional and personal bonds with their clients and each new client is a relationship in the making. They work to understand client goals, and

then they dig deeper. Some things remain the same across market areas, but each project benefits from an understanding of industry-related issues and trends. EEA consultants keep these nuances in mind to deliver thoughtful solutions that provide real value.

CAGE Engineering – Surveying. With offices in three major U.S. markets, CAGE is able to leverage national relationships and provide top tier consulting, design, and development advisory services across most of the continental United States. CAGE is adept in topographic surveys, ALTA surveys, platting, easement coordination, legal description, and construction staking. CAGE also partakes in civil engineering and consulting and design, construction management and development and entitlement coordination.

Applied GeoScience, Inc. - Environmental Engineering. Since 1994, Applied GeoScience, Inc. (AGI) has provided geotechnical engineering, environmental engineering, and materials testing services to a wide range of clients both locally and nationally. AGI engineers hold Professional Engineer licenses in Illinois, Wisconsin, Indiana, Ohio, Kansas, Missouri, Michigan, and Texas. Their professional staff has certifications and licenses issued by the Illinois Department of Transportation (IDOT), American Concrete Institute (ACI), the Illinois Capital Development Board (CDB), and Illinois Department of Public Health (IDPH), among others, and hold bachelors or master's degrees in various areas of engineering, environmental science, and geology.

Pioneer Engineering – Geotechnical Reporting. Pioneer's geotechnical engineering staff becomes actively involved in the planning stages of a project, often in consort with the architects, civil and structural engineers. They evaluate subsurface conditions to determine technically sound and cost effective options for projects ranging from a straightforward soil investigation for the construction of a single-family residence to the complex engineering analysis for the design and construction of a high-rise building using a caisson and grade beam foundation system. Pioneer's soil testing laboratory performs an array of physical tests for soils, including unconfined compressive strength, permeability, grain size analysis, and density and moisture content.

KLOA – Parking and Traffic Modeling and Analysis. KLOA, Inc. provides traffic engineering services that result in improved traffic operations, safer and more efficient access by all modes of travel, better circulation, and enhanced forms of traffic control. Their traffic engineers are well-versed in local regulations and national standards, enabling effective communication with reviewing agencies and innovative solutions to addressing traffic issues. These solutions can range broadly in cost and scope, and KLOA, Inc. has proven most effective at working with their clients to develop a fair balance between public desires and improvements that can be feasibly supported financially. KLOA, Inc. utilizes state-of-the-art computer simulation tools to analyze traffic flow and roadway operations, such as SYNCHRO and Sim Traffic, and is adept at documenting and presenting these technical studies in easy-to-understand terms.

Darrow Peck Investment & Consulting – Project Finance Advisory Services. Darrow Peck Investments & Consulting (DPI&C) focuses on opportunities to stabilize

underserved areas in Chicago. DPI&C succeeds at this by bringing financing sources, community organizations, property owners and developers together to support sustainable investments. Their short-term success provides quality, well-managed, affordable housing stock to Chicago. Their long-term achievement will be the growth of vibrant middleclass neighborhoods with engaged residents which will create a healthy living environment and grow wealth for all who live there.

Acosta Ezgur, LLC - Land Use Law Firm focusing on zoning and entitlements, TIF and municipal transactions for real estate owners, investors, and developers.

E. Financing

OPRC currently owns the site and has accrued a significant amount of equity in the property. OPRC will also make a substantial equity investment into the project. In addition, the project has qualified for funding support of \$2.0MM from the Illinois Community Clean Energy Foundation as one of the most important Net Zero Energy projects in the country. In financing the 7 Van Buren project, OPRC will obtain a construction loan from a regional bank or financial institution. Upon project completion and occupancy stabilization, OPRC will arrange long-term debt financing. The project will qualify for HUD 223(f) take-out financing or long-term private debt. OPRC has had substantial interest to date from different regional banks in the greater Chicago area with regard to the placement of both the short-term and the long-term debt for the development.

F. Anticipated Development Investment

- Development Budget: \$14,211,218
- Average Rent/Unit/Month: \$1,795
 - 20% of the units, 9 units, will be affordable units
- Expense Ratio: 37.32%
- Unleveraged Return on Cost: 4.03% (excludes grant money and land is at market value)
- Unleveraged Return on Cost: 5.36% (includes \$2.0 MM in grant money and land is in at OPRC basis)
- Illinois Clean Energy Community Foundation (ICECF) Grant of \$2.0 MM, paid in three tranches:
 - \$600,000: Construction begins.
 - \$600,000: Building achieves stabilized occupancy.
 - \$800,000: Property achieves 12 consecutive months of net zero energy performance (within 18 months of occupancy)

- Tax Impact
 - Anticipate in excess of \$150,000 in Property Tax (compared to approximately \$25,000 in Tax Year 2020, \$19,387 in Tax Year 2019 and \$18,660 in 2018). Additional second order tax contributions (Sales Tax, Use Taxes, etc.).

VII. Property Information

A. Property Restrictions

There are no restrictions of record that would affecting the development of the property and no new restrictions other than those contained in the requested planned development are contemplated at this time.

B. Plat of Survey

Attached as **Exhibit 4**.

C. Historic Preservation Review

The existing structures on the property are not of historical significance. However, because the property is immediately of a building with local landmark status, the project was reviewed by the Architectural Review Committee of the Historic Preservation Commission, which provided input on the design, and then the development, as modified to address such design input, was presented to the Historic Preservation Commission. A letter summarizing the Commission's review is attached as **Exhibit 5**.

VIII. Report and Studies

A. Environmental Assessment

Attached indicating there are no environmental conditions on the property that would preclude the proposed development. An asbestos inspection revealed that there are asbestos containing floor tiles in the existing building. The applicant will remove and dispose of those floor tiles and the related mastic in accordance with all applicable regulations and procedures. A copy of the environmental reports is attached as **Exhibit 6**.

B. Village Services

Attached as **Exhibit 7** are letters from the Village's Fire and Police indicating no impact on those services. The necessary utility/public works facilities exist as determined by the project engineers. Also included in **Exhibit 7** is a summary of the development's anticipated property tax generation. As the development consists primarily of studio and one-bedroom apartment no appreciable additional student population is anticipated.

C. Market Feasibility Report

Attached as **Exhibit 8** is a report from Kretchmer Associates indicating that the proposed development will be competitive with other Class A properties in the Village.

IX. Traffic and Parking Study

Attached as **Exhibit 9** is a report prepared by KLOA indicating no detrimental traffic impact and that suitable parking to meet anticipated demand will be provided based on the available transit options in the area. KLOA's report notes that given the availability of public transportation, the project consisting of primarily one-bedroom apartments and the reliability of ride and car sharing services, the proposed parking would be sufficient to satisfy anticipated demand. Also included in **Exhibit 9** is a chart showing the nearby Village lots and their respective available spaces.

X. Development Drawings

Attached as **Exhibit 10** are the following drawings:

- 1) Site Plan;
- 2) Landscape Plans;
- 3) Engineering Plans;
- 4) Exterior Photometrics Plan;
- 5) Floor Plans;
- 6) Building Elevations;
- 7) Building Renderings;
- 8) Streetscape Elevation;
- 9) Shadow Study;
- 10) Construction Logistics Plan; and
- 11) Project Schedule.

XI. Inclusionary Housing Plan

Pursuant to Section 12-5-2 of the Village Code, the subject development is excluded from the inclusionary housing requirement in that section's definition of "TOD Area". Nonetheless, the development will include 20% affordable housing as consistent with OPRC's mission.

XII. Responsibility to Record

Attached as **Exhibit 11** is an executed acknowledgement of the Applicant's responsibility to record a certified copy of the planned development ordinance.

XIII. Property Owner Notices

Attached as **Exhibit 12** are the cover letter from the title company that provided the notice list, a copy of the map for showing the properties within 300 feet of the site, a list of property owners to be notified, a copy of the notice and an affidavit of notice. Also included are copies of the notice for the community meeting.

XIV. Vacation Application and Plat

Attached as **Exhibit 13** is a copy of the Vacation Application and the Vacation Plat.

EXHIBIT 1

COMPLIANCE WITH VILLAGE PLANS SPREADSHEETS

Item #	Source-VOP Planning Document	Plan Element	Page # (Plan Section)	Plan Goal	Plan Objectives	Description	Compensating Benefits-Applicability to 7 Van Buren Development
1	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-DIVERSITY:</u> All actions should result in a community that is welcoming and accessible to all people, supportive of integrated social and physical interaction, and respectful of different lifestyles and opinions.	The Oak Park Residence Corporation is committed to maintaining and improving diversity and integration throughout Oak Park by creating housing opportunities for people of all backgrounds and reversing historic patterns of segregation. This development will support that effort.
2	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-URBAN SUSTAINABILITY:</u> All actions should advance Oak Park's mission to be a community that minimizes the impact of urban development on the environment, enhances active and healthy lifestyles for all residents, ensures social justice for every citizen, and maintains locally-based fiscal stability over time.	This development will be the most significant Net Zero multifamily development in the upper Midwest and, given our climatic zone, will make it one of the most important new developments in the country.
3	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2015</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-THRIVING NEIGHBORHOODS:</u> All actions should support the maintenance and enhancement of Oak Park's neighborhoods. All portions of the community – neighborhoods, open spaces, institutions, and commercial areas – help define quality of life in Oak Park. However, the village's neighborhoods play a primary role in defining community character, supporting diversity and accessibility, and fostering an engaged and integrated citizenry.	This development is structured specifically to support diversity, accessibility, and integration of households of different backgrounds and experiences.
4	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2016</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-TRANSIT ORIENTED DEVELOPMENT (TOD):</u> The community cited the need for targeted transit-oriented development (TOD) as a key issue in Oak Park. Citizens feel it is an important way to address related issues of availability and affordability of housing, a lack of local commercial services, and the image of several of the Village's entry points.	This development will be located next to a local bus stop and within 1/4 mile (2 blocks) of the Blue Line - Austin CTA rail station. As such, it will be a perfect example of thoughtful, contextual, and appropriate Transit-Oriented Development.
5	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-OVERALL LAND USE:</u> Participants feel as if the overall land use character of the community is established and unlikely to change, with its well-defined residential areas and commercial districts. To that end, they feel that one issue in the Village is the lack of development sites due to the built-out nature of the community and small parcels along many of its key corridors.	This development will provide for creative, efficient investment along Austin Blvd, one of the Village's key corridors (which the VOP Master Plan correctly indicates faces challenges regarding prospective development due to the small size and lack of availability of sites along this key border gateway).
6	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-COMMERCIAL DISTRICTS:</u> Local commercial districts were discussed as an important issue related to neighborhood vitality and quality of life. Residents would like to see stronger local commercial districts with uses that support daily shopping and dining needs. They stressed the desire for these activities within walking distance of their homes, and that the thriving business districts are often too far away in other portions of the Village.	This development will increase density and the associated purchasing power of its residents within easy walking distance of both the Harrison Street Arts District and the Madison Street Business District, thereby helping to support local commercial districts within Oak Park.
7	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Land-Use and Built Environment.	p.14			<u>SUMMARY OF PUBLIC INPUT-DEVELOPMENT CHARACTER:</u> Many feel it is a critical issue to address, as many of the Village's important corridors (i.e. Madison Street, Austin Boulevard and Harlem Avenue) convey a less-than-ideal character for visitors from other communities.	This development would be the first new multifamily investment in more than 50 years along the entirety of Oak Park's critically important Austin corridor. It will bring compelling, leading-edge design, architecture, and sustainability to the corridor, and will serve as an example and catalyst for more thoughtful future investment.
8	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Land-Use and Built Environment.	p.47 (4.1.2)	Strengthen and protect the character, integrity, and cohesion of the Village and its neighborhoods.	Strengthen the community's urban fabric through context-sensitive infill development that is complementary to the scale and character of surrounding residential neighborhoods.	<u>STRENGTHENING THE URBAN FABRIC:</u> While Oak Park is a mature community that is nearly built out, there are opportunities for infill development in residential and commercial areas. In addition to vacant parcels, there are buildings and sites in some areas suffering from disinvestment and functional obsolescence, providing excellent opportunities for redevelopment. If properly managed, designed, and constructed, new investment and reinvestment can help strengthen the fabric and vitality of the neighborhoods.	This development will replace a deteriorating mid-century California-style apartment building with a beautiful, functional, leading-edge replacement that will certainly "strengthen the fabric and the vitality of the neighborhood".
9	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2019</i>	Land-Use and Built Environment.	p.50 (4.2.4)	Enhance the architectural integrity of the village through both preservation and innovation.	Support innovative building design and construction practices within the village and continue an award program to recognize innovative design and the application of "green" building techniques	<u>SUPPORTING INNOVATIVE AND ENVIRONMENTAL DESIGN:</u> Oak Park's rich architectural history and commitment to quality architecture is a strong source of civic pride. This commitment, alongside advancements in design and construction, creates a climate uniquely suited for architectural innovation. Given its rich tradition in architecture, Oak Park is uniquely poised to be a model of preservation and innovation in design. Village government can continue to support the application of energy-efficient and resilient green building techniques by reviewing and amending ordinances as needed to remove barriers to innovation....	This development, given its dual role in advancing affordability and environmental sustainability in ways that are unique nationally, will immediately become one of the most important buildings constructed within Oak Park. It will help to advance Oak Park's continuing interest in serving as a model community and a laboratory for leading-edge innovation in these areas.
10	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2020</i>	Land-Use and Built Environment.	p.52 (4.3.4)	Diversify the economy and strengthen the tax base through land use and development	Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle and pedestrian access throughout the village.	<u>LEVERAGING REGIONAL TRANSIT:</u> Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle, and pedestrian access throughout the village... by encouraging growth and expansion of TOD, Oak Park can benefit from expanded housing choices, decreased dependency on the automobile, and greater access to goods and services.	This development will advance each of the Transit-Oriented Development (TOD) objectives identified in the VOP Comprehensive Plan, and clearly reflects a realization of the Village objectives to "expand housing choices, decrease dependency on the automobile, and provide greater access to goods and services."
11	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2021</i>	Land-Use and Built Environment.	p.53 (4.4.3)	Seek innovative and creative solutions to provide redevelopment opportunities and to recapture open space at a variety of scales.	Encourage redevelopment and revitalization of underused and underdeveloped property while promoting the preservation of historical resources and character.	<u>MAXIMIZING FULL POTENTIAL:</u> Encourage redevelopment and revitalization of underused and underdeveloped property while promoting the preservation of historical resources and character. Even within communities that are essentially 100% built-out, there exist opportunities for new desirable in-fill development. Redevelopment of these "opportunity sites" can serve as catalysts for neighborhoods, corridors, downtowns, TOD areas, and more. They present the opportunity to provide needed and desirable land uses in strategic locations, such as affordable housing, senior housing, mixed-use development, institutional uses, and more, and can help a community realize the full potential of underutilized properties.	The Village's description of this goal/objective is just about a perfect definition for the 7 Van Buren redevelopment project. This is an "opportunity site". It will serve as a positive "catalyst" for Austin Blvd, the neighborhood, and the Harrison Street Arts District. It will provide "needed and desirable land uses" in a "strategic location" including "affordable" housing, and "senior" and accessible "housing".
12	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2022</i>	Arts and Culture	p.75 (5.4.2)	Strengthen the existing arts environment and integrate artistic uses of space throughout the village.	Promote and support local Oak Park artists when commissioning public projects, including design, construction, maintenance, etc.	<u>PRIORITIZING LOCAL ARTISTS:</u> Part of Oak Park's long-term legacy will be the contributions of today's artist community. Village government can seek opportunities to work with local partners to commission public art with the intention of purchasing pieces created by local artists.	The Oak Park Residence Corporation will identify, commission, and install a piece of public art or sculpture either 1) on site, or 2) in an appropriate off-site location within the immediate vicinity (possibly along the Harrison Street Arts District corridor or across the street along Austin Blvd in Columbus Park).
13	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2023</i>	Parks, Open Space, and Environmental Features	p.85 (6.2.3)	Support an active and involved community by engaging Oak Park's citizens and providing easy access to parks, open space, and environmental features.	Accommodate easy access and provide amenities to parks and open spaces for pedestrians and bicyclists.	<u>SUPPORTING ACCESS FOR ALL RESIDENTS:</u> Inclusive design is an important part of supporting a diverse population. All residents should be able to enjoy open spaces throughout the village.	This development will create one of the only elevator accessible buildings in the entire Southeastern quadrant of Oak Park. The elevator's roof access and the associated sightlines of Columbus Park will ensure that views of this Jens Jensen designed jewel of a city park will be accessible to all residents.

14	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING AND TRANSIT: Residents cited the opportunity for transit-oriented development to provide a broader choice in housing stock in areas with higher access to jobs and commercial services. They stated this could address both affordable housing needs and senior housing needs. ...	This development is a definitional example of transit-oriented development. As noted, it will "provide a broader choice in housing stock in areas with higher access to jobs and commercial services" and will "... address both affordable housing needs and senior housing needs. "
15	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING CHOICE: Residents stated that the diversity in housing choice is a valued asset to the Oak Park community. However, the Village needs to be proactive in ensuring that a broad range of housing choices remain available. They specifically cited the need for quality senior housing in the middle-income range.	This development will increase housing choice both generally throughout the Village, and specifically in this eastern Oak Park and Harrison Arts District neighborhood.
16	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING QUALITY: Generally, citizens feel the housing stock in Oak Park is of a high quality. However, they expressed concerns about maintenance of some areas.	This development will provide high quality newly constructed accessible apartments in an area of the Village that doesn't have any similar offerings. In turn, it will elevate the overall quality of the housing stock in the area.
17	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-NEIGHBORHOOD PERCEPTION AND IMAGE: Residents discussed the varying perception of neighborhoods throughout the Village. They feel residential areas east of Ridgeland and south of I-290 are often viewed differently than other portions of the community. The area east of Ridgeland is perceived to be unsafe due to its close relationship with Chicago's Austin neighborhood.	This development, together with our efforts to partner with the Chicago Park District and the Austin community, will be a visible demonstration of the confidence that we have, not only in eastern Oak Park, but also in the importance of helping to bridge the perceptual divide that too often separates residents from the Oak Park and Austin neighborhoods.
18	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-AFFORDABLE HOUSING: Affordable housing was a common topic among workshops and meetings. Residents feel that providing local affordable housing is an important element in maintaining the overall diversity of the community. Residents cited the need for both affordable rental units and affordable owner-occupied housing	This development will advance affordability by ensuring that 20% of the units in the building will be rented by low-income individuals or households.
19	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-SENIOR HOUSING: Participants cited the need for greater senior housing options in the Village. They stated that there are currently high-end and low-income senior housing units, but nothing that will meet the growing demand for middle-income senior housing that will allow long-time residents to stay in their neighborhood or community	This development will offer units that will help to meet some of the Village's "demand for middle-income senior housing that will allow long-time residents to stay in their neighborhood or community. "
20	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-DEMOGRAPHICS: Residents pointed out that Oak Park's current population is lower than its peak population by about 12,000 people. Generally, participants feel the Village's residential density is a key asset, and are concerned that any further loss in population or de-densifying of neighborhoods would harm local commercial districts.	This development will bring a modest increase in density that will help to support the Austin/Harrison neighborhood and the Harrison Street Arts District.
21	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-DIVERSITY: Diversity was an often mentioned issue and asset in Oak Park. Residents stated the importance of diversity and its role in creating vibrant neighborhoods, active commercial districts, and a greater sense of community pride. Participants stated that the Village needs to be proactive about maintaining and growing its diversity. In fact, some stated that while the Village is diverse, it needs to be more integrated.	This development will help to increase diversity and integration by introducing a new type of housing stock to this neighborhood. One of the central purposes underlying the existence of the Oak Park Residence Corporation is to encourage and foster diversity throughout all of Oak Park for people of all backgrounds.
22	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Neighborhood's Housing and Diversity.	p.101 (7.1.6)	Sustain and broaden diversity and integration throughout Oak Park.	Support all programs and projects that encourage, require, or incentivize the development of housing, neighborhood services, or other outcomes that foster diversity, inclusion, and integration throughout Oak Park.	SUPPORTING DIVERSITY INITIATIVES: In many instances, Village government may not have direct control over a project or initiative that has the potential to advance local diversity and integration. However, it may have the ability to support certain actions undertaken by agencies, institutions, developers, or others. Village government could utilize both fiscal and non-fiscal tools for projects that meet the community's goal of a more diverse and integrated community	This development presents the Village with a perfect opportunity to directly advance this Goal/Objective.
23	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2019</i>	Neighborhood's Housing and Diversity.	p.102 (7.2.3)	Ensure all Oak Park neighborhoods foster social interaction and inclusiveness.	Adopt policies or regulations that require housing for residents with specific needs to be integrated into all portions of the Village, and encourage social interaction among all residents.	ACCOMODATING RESIDENTS WITH SPECIFIC NEEDS: Integrating residents that have unique needs with the larger population fosters independence and a greater sense of inclusion. Rather than isolating these residents from the rest of the community, the Village should support the development of housing that responds to specific needs and is integrated among traditional housing. This can be accomplished by providing incentives or bonuses for projects that include housing for residents with specific needs, working closely with public or quasi-public housing providers to acquire land and develop such housing, and assisting residents with the conversion of traditional housing into units that meet the specific needs of tenants	This development, as a modern accessible apartment building, will create units that are accessible to individuals who are mobility impaired, and that helps the Village to "Ensure all Oak Park neighborhoods foster social interaction and inclusiveness. "
24	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2020</i>	Neighborhood's Housing and Diversity.	p.104 (7.3.1)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population	Continue the Village's active role in encouraging the rehabilitation and development of accessible and integrated housing through the use of municipal resources, policies and support.	ENCOURAGING ACCESSIBLE HOUSING PROGRAMS: Housing that is truly accessible includes options that are responsive to potential residents with various levels of income, physical capability, family size, age, and other characteristics. Providing this level of housing choice throughout the village is critical in sustaining neighborhoods that are as diverse and integrated as possible. The Village can continue to be proactive in encouraging the rehabilitation and development of accessible and integrated housing. While this may include financial resources or incentives, it may also include advocacy for supportive local or regional policies, the pursuit of grant funding in partnership with developers and not-for-profits, and amendments to local zoning and building regulations.	This development will, in the words of this Goal, "Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population" and provides the Village with an opportunity to "Continue the Village's active role in encouraging the rehabilitation and development of accessible and integrated housing through the use of municipal resources, policies and support. "
25	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2021</i>	Neighborhood's Housing and Diversity.	p. 105 (7.3.4)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population.	Encourage housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc.	EXPANDING LOCAL HOUSING DIVERSITY: In order to support local diversity and integration, accessible housing should be provided in each portion of the community. This will increase the likelihood that all residents benefit from equal access to public services, commercial goods and services, transit, and other amenities that support a high quality of life. The Village could support this objective by providing fiscal and non-fiscal incentives, such as density bonuses, expedited development review and permitting, etc., to housing developers who include accessible housing in underserved areas, and through the continued collaboration with public or not-for-profit partners.	This development will foster accessibility in a TOD area. It is a perfect fit with the stated objective that the Village "Encourage housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc. " The description specifically states that the Village could "support this objective by providing fiscal and non-fiscal incentives, such as density bonuses, expedited development review and permitting, etc., to housing developers who include accessible housing in underserved areas, and through the continued collaboration with public or not-for-profit partners. " That's exactly what this project, and the Oak Park Residence Corporation, are.

26	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2022</i>	Neighborhood's Housing and Diversity.	p.106 (7.3.6)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population.	Encourage Transit-Oriented Development with appropriate housing types and densities as a means of broadening housing choice, responding to local and regional markets, providing more direct access to goods and services, and strengthening the village's business districts	FOSTERING TRANSIT ORIENTED DEVELOPMENT: Residents who occupy affordable or accessible housing are often reliant upon easy and direct access to local goods and services and public transit. Accessible housing that is located near and connected to transit centers by comprehensive pedestrian systems enjoy reduced transportation costs, increased local and regional mobility, and greater access to a variety of commercial land uses. The Village could identify potential sites for accessible housing within ¼-mile radius of its rail transit stations, and utilize a variety of incentives, including tax rebates, expedited development review, density bonuses, parking reductions, and others, in order to encourage development in these areas. Chapter 4: Land Use and Built Form of this Comprehensive Plan includes Housing Opportunity Focus Area Plans that identify potential sites that could be considered for accessible housing.	This development specifically calls for "accessible housing within ¼-mile radius of [the Village's] rail transit stations." This PUD application presents an opportunity for the Village to support such accessible TOD housing by utilizing "density bonuses" and "parking reductions" as specifically provided for by this plan element.
27	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Community Health and Safety.	p.18			SUMMARY OF PUBLIC INPUT-TRANSPORTATION AS EXERCISE: Participants expressed an interest in enhancing community-wide mobility for non-motorized vehicles. They stated that removing barriers to bicycling and walking for recreation or everyday needs could reduce obesity and enhance individual health.	This development will encourage and foster use of alternative modes of transportation rather than simply relying on automobile ownership. Marketing materials will be tailored to attract individuals without vehicles, and supporting infrastructure investments and education will be provided to encourage biking and walking.
28	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Community Health and Safety.	p.130 (9.1.4)	Make Oak Park a safe environment for citizens to live.	Create an environment that is safe, attractive, and conducive to biking and walking	BIKING AND WALKING SAFETY: The Village of Oak Park is working to create a comprehensive, integrated, and connected transportation network where every roadway user can travel safely and comfortably and where sustainable transportation options are available to everyone by planning, designing, operating, and maintaining a network of Complete Streets. Complete Streets are facilities designed, operated, and maintained to assure safe mobility for users of all ages and abilities, including pedestrians, cyclists, transit riders, and motorists, appropriate to the function and context of the facility. Village government could continue to promote a safe environment for bicyclists and pedestrians where roads are designed and constructed in a manner that promotes safety. This could include presenting cycling as an attractive option for local transport as well as recreation, educating families about biking safely, encouraging families to explore the local area and contributing to an overall message of healthy living. As the village becomes a safer place to cycle for all ages, Village government could work with local partners to eliminate physical or policy barriers that prevent local active transportation.	This development will encourage active transportation alternatives by increasing the amount of bicycle parking available in the neighborhood, and by establishing improved biking and walking connections between the surrounding neighborhood and Columbus Park. It will also increase the perceived vibrancy along Austin Blvd., thereby increasing the attractiveness of using Austin as a pedestrian thoroughfare at different times during the day.
29	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Transportation, Infrastructure and Communication Systems.	p.19			SUMMARY OF PUBLIC INPUT-PEDESTRIAN MOBILITY AND SAFETY: Oak Park was described by participants as a highly walkable community. Residents feel it is important to maintain the pedestrian network in order to support the Village's neighborhoods and business districts. Residents cited specific pedestrian crossing issues where intersections have to be improved with either more visible surfaces or signage to inform motorists.	This development effort will include outreach to IDOT to investigate options to improve pedestrian safety for individuals walking along or seeking to cross Austin Blvd.
30	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Transportation, Infrastructure and Communication Systems.	p. 146 (10.2.5)	Design transportation networks that protect, support and enhance the safety and heritage of Oak Park's neighborhoods and business districts.	Encourage travel demand management to support use of the street by all modes and encourage employers to offer incentives to employees to carpool or take transit to work.	ENCOURAGING ALL MODES OF TRAVEL: Travel demand management encourages the use of all modes of transportation as a means of commuting. Some people may not be aware of their travel options and could benefit from information and encouragement by their employer. This can lead to personal economic benefits as well as local and regional environmental benefits.	This development and the associated marketing plan will support travel demand management objectives by attracting residents predisposed to considering alternative modes of travel, by encouraging the use of such alternative modes, and by restricting the creation of excess parking supply.
31	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2019</i>	Transportation, Infrastructure and Communication Systems.	p. 150 (10.5.2)	Support a strong infrastructure system that leverages new sustainable technologies	Use renewable energies that are easily scalable, environmentally sound, efficient, and adaptable to environmental change and community demand.	UTILIZING RENEWABLE RESOURCES: A community's energy sources can greatly impact the environment and the community. Renewable energies have a lower impact than older, "dirty" energy sources. Using solar energy, wind energy, geothermal heating, biofuels, and other renewable energy sources significantly decreases the village's environmental impact caused by energy consumption. In order to allow for renewable energies, Village government could review and amend its zoning code to ensure that it permits residents to utilize these energy sources. Village government could also continue to identify sources of and purchase renewable energy for public distribution and use through local utilities.	This development will be the most significant Net Zero multifamily development in the upper Midwest and, given our climatic zone, will make it one of the most important new developments in the country. As stated in the description of this Village objective " <i>Using solar energy ... and other renewable energy sources significantly decreases the village's environmental impact caused by energy consumption. In order to allow for renewable energies, Village government could review and amend its zoning code to ensure that it permits residents to utilize these energy sources.</i> "
32	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2020</i>	Community Life & Engagement	p.161 (11.3.1)	Facilitate regular dialogue between non-for-profit organizations and all sectors to ensure their missions and services are responsive to community interests and needs	Support the roles of not-for-profits that help accomplish community objectives.	SUPPORTING EXISTING NOT-FOR-PROFITS: Existing not-for-profits have demonstrated a level of commitment to Oak Park by putting forth effort and investment to establish a presence and provide services to the community. Village government could continue to support local not-for-profits through advocacy and partnerships that result in the greater capacity to serve Oak Park citizens.	This development is being advanced by the Oak Park Residence Corporation, a 55-year long not-for-profit partner of the Village of Oak Park, specifically to "help accomplish community objectives" of advancing quality multifamily housing, affordability, diversity, accessibility, sustainability, and increasing investment along Austin Blvd. and in southeastern Oak Park.
33	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Economic Health and Vitality.	p.20			SUMMARY OF PUBLIC INPUT-BALANCING GROWTH AND CHARACTER: While historic preservation and community character are high priorities in Oak Park, many stated that approval processes related to these issues can deter new development or redevelopment from occurring in the Village. They feel there must be a balance in order to foster growth in a responsible way, and make the process predictable for developers.	This development epitomizes " <i>foster[ing] growth in a responsible way.</i> "
34	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Economic Health and Vitality.	p.173 (12.1.1)	Ensure that economic vitality is spread throughout the Village.	Determine Oak Park's appropriate and supportable market mix to maximize economic potential.	MAXIMIZING MARKET POTENTIAL:- Determine Oak Park's appropriate and supportable market mix to maximize economic potential. Oak Park's commercial development market is supported by residents both within the village and from surrounding communities. However, despite its good positioning with regards to transportation, the village is competing with its neighbors to capture such development. Village government should regularly reexamine its potential to address changing market and economic conditions. Special consideration should be given to local land use or market demand that can serve as a foundation for neighborhood-based economic development throughout the village.	This development serves as a good example of " <i>local land use or market demand that can serve as a foundation for neighborhood-based economic development throughout the village.</i> "
35	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2019</i>	Economic Health and Vitality.	p.176 (12.3.3)	Expand and promote business support services.	Recognize businesses that invest in projects that accomplish broader goals of the Oak Park community.	ENCOURAGING POSITIVE INVESTMENT: Recognize businesses that invest in projects that accomplish broader goals of the Oak Park community. While businesses are inherently driven by profit, many recognize the benefit of giving back to the community in which they are located. However, doing so is not always affordable or feasible. Village government could encourage positive actions by rewarding business with publicity, local recognition, or small monetary awards that motivate others to take a community-oriented perspective to business growth and development.	This development is being pursued in order to advance mission goals and objectives of the Oak Park Residence Corporation that align with long-standing objectives of the community and the Village of Oak Park. This development will serve as a model, and will help to advance knowledge and interest regarding these Village objectives (economically integrated housing, diversity, environmental sustainability, and the spending of new investment capital on development projects located in areas outside of Downtown Oak Park). Public support from the Plan Commission and the Village Government for this project will help to encourage similar investment by others.

36	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2020</i>	Economic Health and Vitality.	p.178 (12.4.2)	Diversify and stabilize the Village's tax base.	Actively recruit businesses and development that addresses gaps in local land use and tax revenue balance.	CAPTURING MARKET SHARE AND INCREASING TAX REVENUE: Actively recruit businesses and development that addresses gaps in local land use and tax revenue balance. Previous objectives in this chapter describe the importance of monitoring unmet gaps in local market demand and the balance of tax revenue. With these analyses in place as a foundation, Village government could work with local partners to target specific types of businesses or tenants for local economic development. This may involve forging relationships with potential investors, maintaining an inventory of available properties, and providing assistance in understanding development review and business licensing procedures and requirements.	This development will help to address a gap in local land use related to new multifamily construction in southeastern Oak Park and along the Austin Blvd. corridor and gateway into Oak Park.
37	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2021</i>	Economic Health and Vitality.	p.178 (12.4.3)	Diversify and stabilize the Village's tax base.	Continually review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends.	RESPONDING TO A CHANGING ECONOMIC CONDITIONS: Continually review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends. Development regulations can sometimes be misaligned with the needs or objectives of the business community. Village government could maintain communication with the business community and regularly review requests for variations or relief from development standards in order to better understand specific regulations that inhibit local investment. Amendments should be made as appropriate, recognizing that the regulations must balance a number of local goals beyond economic development, including historic preservation, neighborhood character, and the local provision of goods and services.	This development, and the associated Planned Unit Development application, presents an opportunity to "review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends." This will specifically be the case regarding lessons that the Village can learn through this development process, and the identification of corresponding steps that the Village can take to encourage future developments to make more significant efforts to advance affordability, accessibility, and sustainability.
38	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-SUSTAINABLE POLICY: Sustainability was a theme consistent among workshops. Participants discussed the importance of advancing the initiatives contained in PlanIt Green, and ensuring that sustainable development practices are implemented through municipal policies and regulations.	This development, with approval of this PUD application, will help set a higher bar regarding what is possible in the area of sustainability not only here in Oak Park, but throughout this upper Midwest climatic region.
39	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-GREEN BUILDING AND DESIGN: Residents feel green building techniques should be implemented throughout the Village. They cited several recent successes, such as the Public Works Building and the Walgreen's at Oak Park Avenue and Madison Street. However, they feel the Village can take a more prominent leadership role in demonstrating the value and feasibility of green buildings.	This development will enable the Village to "take a more prominent leadership role in demonstrating the value and feasibility of green buildings."
40	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-ENERGY: The community as a whole expressed an interest in reducing energy use. Residents gave specific examples of how to address this, including...passive heating and cooling through building design.	This development will present the most important and significant model of "passive heating and cooling through building design" in a 500-mile radius.
41	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2017</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-ENVIRONMENTAL FEATURES: Given Oak Park's lack of major environmental features, residents discussed environmental preservation from the perspective of reducing the impacts of urban development and lifestyle choices. However, preservation of the Village's tree canopy was mentioned in workshops by residents of all ages, and is seen as an important character-defining aspect of the community.	This development will help to support environmental preservation by serving as a model of achievable, thoughtful, future-oriented urban development that advances responsible lifestyle choices (net zero energy, transit-oriented, pedestrian focussed rather than auto-centric, and advancing high-quality designed living environments that respect surrounding natural environments).
42	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2018</i>	Environmental Sustainability.	p.187 (13.1.2)	Minimize overall energy consumption and increase investment in renewable energy sources.	Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations.	ADVANCING GREEN BUILDINGS AND RENEWABLE ENERGY: Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations. Oak Park built the first LEED-certified Public Works facility in Illinois, and has since incorporated LEED green building criteria into policy and planned unit development compensating benefits. Through its own geothermal and solar panel installations and its decision to procure 100% renewable energy through Community Choice Aggregation, the Village of Oak Park is leading the shift to renewable energy by example. As a leader in innovation and historic preservation, Oak Park has the opportunity to forge new ground that blends these important values as we move toward a sustainable and resilient future. Village government should explore various funding sources including the procurement of outside grant funding, that facilitate green building and renewable energy installations for residents, businesses and institutions, and make green technologies more affordable and easier to access.	This development is everything that is mentioned in this important Village objective: "Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations."
43	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2019</i>	Environmental Sustainability.	p.188 (13.1.4)	Minimize overall energy consumption and increase investment in renewable energy sources.	Advocate for and maintain 100% renewable energy procurement through community choice aggregation.	MAINTAINING 100% RENEWABLE COMMITMENT: Advocate for and maintain 100% renewable energy procurement through community choice aggregation. With voter approval in April 2011, Oak Park adopted a program to bundle — or aggregate — all residential and small business electric accounts and seek bids for electricity on the open market, an option many large industrial and commercial enterprises long had used to reduce electricity costs. Oak Park launched its Community Choice Aggregation in 2012 and became the first municipality in Illinois and the nation to require its supplier to provide 100% renewable energy for its residents and small business operators. Village government could maintain its 100% renewable energy procurement policy as part of our community's ongoing effort to transition to a renewable energy economy.	This development is a Net Zero Energy building.
44	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2020</i>	Environmental Sustainability.	p.189 (13.1.5)	Minimize overall energy consumption and increase investment in renewable energy sources.	Support policies and programs that increase local grid reliability, diversify Oak Park's energy sources and strengthen its resiliency from local impacts of climate change	STRENGTHENING ENERGY DIVERSITY AND RESILIENCE: Support policies and programs that increase local grid reliability, diversify Oak Park's energy sources and strengthen its resiliency from local impacts of climate change. Village government's Smart Grid Initiative mainly targets the modernization of electric power systems. The technology is designed to enhance energy efficiency, address climate change issues, and be a catalyst for a green energy economy. Smart Grid integrates information technology with the existing power network to optimize energy efficiency through the interactive exchange of real-time information between the supplier, the distributor and the consumer, and has an automated recovery system which will ensure a reliable high-quality power supply in the case of natural or human-induced disasters. Village government could continue the application of this and other technologies within the community to increase local grid reliability, diversify Oak Park's energy sources and strengthen the community's resiliency against the impacts of climate change.	This development will help the community to "diversify Oak Park's energy sources and strengthen the community's resiliency against the impacts of climate change."

45	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2021</i>	Environmental Sustainability.	p.195 (13.4.5)	Advance regulations and programs for green infrastructure to build a resilient, sustainable community.	Amend local regulations so that they support sustainable development and design.	<p><u>SUPPORTING SUSTAINABLE DEVELOPMENT:</u> Amend local regulations so that they support sustainable development and design. The Oak Park community will continue to experience development and redevelopment of its neighborhoods, commercial districts, parks, and public facilities. This on-going investment provides the opportunity to enhance the sustainability of the village and region by incrementally integrating appropriate tools and techniques. Village government could amend regulations to support sustainable development and design, and adopt sustainability criteria for all future development within the community.</p>	<p>Yes. All of this: <i>"The Oak Park community will continue to experience development and redevelopment of its neighborhoods, commercial districts, parks, and public facilities. This on-going investment provides the opportunity to enhance the sustainability of the village and region by incrementally integrating appropriate tools and techniques. Village government could amend regulations to support sustainable development and design, and adopt sustainability criteria for all future development within the community."</i> This development will serve as a model for all of these efforts.</p>
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Item #	Source-VOP Planning Document	Plan Element	Page # (Plan Section)	Plan Goal	Plan Objectives	Description	Compensating Benefits-Applicability to 7 Van Buren Development
1	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-DIVERSITY:</u> All actions should result in a community that is welcoming and accessible to all people, supportive of integrated social and physical interaction, and respectful of different lifestyles and opinions.	The Oak Park Residence Corporation is committed to maintaining and improving diversity and integration throughout Oak Park by creating housing opportunities for people of all backgrounds and reversing historic patterns of segregation. This development will support that effort.
2	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-URBAN SUSTAINABILITY:</u> All actions should advance Oak Park's mission to be a community that minimizes the impact of urban development on the environment, enhances active and healthy lifestyles for all residents, ensures social justice for every citizen, and maintains locally-based fiscal stability over time.	This development will be the most significant Net Zero multifamily development in the upper Midwest and, given our climatic zone, will make it one of the most important new developments in the country.
3	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Guiding Principles.	p.2			<u>GUIDING PRINCIPLES-THRIVING NEIGHBORHOODS:</u> All actions should support the maintenance and enhancement of Oak Park's neighborhoods. All portions of the community – neighborhoods, open spaces, institutions, and commercial areas – help define quality of life in Oak Park. However, the village's neighborhoods play a primary role in defining community character, supporting diversity and accessibility, and fostering an engaged and integrated citizenry.	This development is structured specifically to support diversity, accessibility, and integration of households of different backgrounds and experiences.
4	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-TRANSIT ORIENTED DEVELOPMENT (TOD):</u> The community cited the need for targeted transit-oriented development (TOD) as a key issue in Oak Park. Citizens feel it is an important way to address related issues of availability and affordability of housing, a lack of local commercial services, and the image of several of the Village's entry points.	This development will be located next to a local bus stop and within 1/4 mile (2 blocks) of the Blue Line - Austin CTA rail station. As such, it will be a perfect example of thoughtful, contextual, and appropriate Transit-Oriented Development.
5	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-OVERALL LAND USE:</u> Participants feel as if the overall land use character of the community is established and unlikely to change, with its well-defined residential areas and commercial districts. To that end, they feel that one issue in the Village is the lack of development sites due to the built-out nature of the community and small parcels along many of its key corridors.	This development will provide for creative, efficient investment along Austin Blvd, one of the Village's key corridors (which the VOP Master Plan correctly indicates faces challenges regarding prospective development due to the small size and lack of availability of sites along this key border gateway).
6	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.13			<u>SUMMARY OF PUBLIC INPUT-COMMERCIAL DISTRICTS:</u> Local commercial districts were discussed as an important issue related to neighborhood vitality and quality of life. Residents would like to see stronger local commercial districts with uses that support daily shopping and dining needs. They stressed the desire for these activities within walking distance of their homes, and that the thriving business districts are often too far away in other portions of the Village.	This development will increase density and the associated purchasing power of its residents within easy walking distance of both the Harrison Street Arts District and the Madison Street Business District, thereby helping to support local commercial districts within Oak Park.
7	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.14			<u>SUMMARY OF PUBLIC INPUT-DEVELOPMENT CHARACTER:</u> Many feel it is a critical issue to address, as many of the Village's important corridors (i.e. Madison Street, Austin Boulevard and Harlem Avenue) convey a less-than-ideal character for visitors from other communities.	This development would be the first new multifamily investment in more than 50 years along the entirety of Oak Park's critically important Austin corridor. It will bring compelling, leading-edge design, architecture, and sustainability to the corridor, and will serve as an example and catalyst for more thoughtful future investment.
8	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.47 (4.1.2)	Strengthen and protect the character, integrity, and cohesion of the Village and its neighborhoods.	Strengthen the community's urban fabric through context-sensitive infill development that is complementary to the scale and character of surrounding residential neighborhoods.	<u>STRENGTHENING THE URBAN FABRIC:</u> While Oak Park is a mature community that is nearly built out, there are opportunities for infill development in residential and commercial areas. In addition to vacant parcels, there are buildings and sites in some areas suffering from disinvestment and functional obsolescence, providing excellent opportunities for redevelopment. If properly managed, designed, and constructed, new investment and reinvestment can help strengthen the fabric and vitality of the neighborhoods.	This development will replace a deteriorating mid-century California-style apartment building with a beautiful, functional, leading-edge replacement that will certainly "strengthen the fabric and the vitality of the neighborhood".
9	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.50 (4.2.4)	Enhance the architectural integrity of the village through both preservation and innovation.	Support innovative building design and construction practices within the village and continue an award program to recognize innovative design and the application of "green" building techniques	<u>SUPPORTING INNOVATIVE AND ENVIRONMENTAL DESIGN:</u> Oak Park's rich architectural history and commitment to quality architecture is a strong source of civic pride. This commitment, alongside advancements in design and construction, creates a climate uniquely suited for architectural innovation. Given its rich tradition in architecture, Oak Park is uniquely poised to be a model of preservation and innovation in design. Village government can continue to support the application of energy-efficient and resilient green building techniques by reviewing and amending ordinances as needed to remove barriers to innovation....	This development, given its dual role in advancing affordability and environmental sustainability in ways that are unique nationally, will immediately become one of the most important buildings constructed within Oak Park. It will help to advance Oak Park's continuing interest in serving as a model community and a laboratory for leading-edge innovation in these areas.
10	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.52 (4.3.4)	Diversify the economy and strengthen the tax base through land use and development	Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle and pedestrian access throughout the village.	<u>LEVERAGING REGIONAL TRANSIT:</u> Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle, and pedestrian access throughout the village... by encouraging growth and expansion of TOD, Oak Park can benefit from expanded housing choices, decreased dependency on the automobile, and greater access to goods and services.	This development will advance each of the Transit-Oriented Development (TOD) objectives identified in the VOP Comprehensive Plan, and clearly reflects a realization of the Village objectives to "expand housing choices, decrease dependency on the automobile, and provide greater access to goods and services."
11	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Land-Use and Built Environment.	p.53 (4.4.3)	Seek innovative and creative solutions to provide redevelopment opportunities and to recapture open space at a variety of scales.	Encourage redevelopment and revitalization of underused and underdeveloped property while promoting the preservation of historical resources and character.	<u>MAXIMIZING FULL POTENTIAL:</u> Encourage redevelopment and revitalization of underused and underdeveloped property while promoting the preservation of historical resources and character. Even within communities that are essentially 100% built-out, there exist opportunities for new desirable in-fill development. Redevelopment of these "opportunity sites" can serve as catalysts for neighborhoods, corridors, downtowns, TOD areas, and more. They present the opportunity to provide needed and desirable land uses in strategic locations, such as affordable housing, senior housing, mixed-use development, institutional uses, and more, and can help a community realize the full potential of underutilized properties.	The Village's description of this goal/objective is just about a perfect definition for the 7 Van Buren redevelopment project. This is an "opportunity site". It will serve as a positive "catalyst" for Austin Blvd, the neighborhood, and the Harrison Street Arts District. It will provide "needed and desirable land uses" in a "strategic location" including "affordable" housing, and "senior and accessible" housing.
12	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Arts and Culture	p.75 (5.4.2)	Strengthen the existing arts environment and integrate artistic uses of space throughout the village.	Promote and support local Oak Park artists when commissioning public projects, including design, construction, maintenance, etc.	<u>PRIORITIZING LOCAL ARTISTS:</u> Part of Oak Park's long-term legacy will be the contributions of today's artist community. Village government can seek opportunities to work with local partners to commission public art with the intention of purchasing pieces created by local artists.	The Oak Park Residence Corporation will identify, commission, and install a piece of public art or sculpture either 1) on site, or 2) in an appropriate off-site location within the immediate vicinity (possibly along the Harrison Street Arts District corridor or across the street along Austin Blvd in Columbus Park).
13	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Parks, Open Space, and Environmental Features	p.85 (6.2.3)	Support an active and involved community by engaging Oak Park's citizens and providing easy access to parks, open space, and environmental features.	Accommodate easy access and provide amenities to parks and open spaces for pedestrians and bicyclists.	<u>SUPPORTING ACCESS FOR ALL RESIDENTS:</u> Inclusive design is an important part of supporting a diverse population. All residents should be able to enjoy open spaces throughout the village.	This development will create one of the only elevator accessible buildings in the entire Southeastern quadrant of Oak Park. The elevator's roof access and the associated sightlines of Columbus Park will ensure that views of this Jens Jensen designed jewel of a city park will be accessible to all residents.

14	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING AND TRANSIT: Residents cited the opportunity for transit-oriented development to provide a broader choice in housing stock in areas with higher access to jobs and commercial services. They stated this could address both affordable housing needs and senior housing needs. ...	This development is a definitional example of transit-oriented development. As noted, it will "provide a broader choice in housing stock in areas with higher access to jobs and commercial services" and will "... address both affordable housing needs and senior housing needs. "
15	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING CHOICE: Residents stated that the diversity in housing choice is a valued asset to the Oak Park community. However, the Village needs to be proactive in ensuring that a broad range of housing choices remain available. They specifically cited the need for quality senior housing in the middle-income range.	This development will increase housing choice both generally throughout the Village, and specifically in this eastern Oak Park and Harrison Arts District neighborhood.
16	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.15			SUMMARY OF PUBLIC INPUT-HOUSING QUALITY: Generally, citizens feel the housing stock in Oak Park is of a high quality. However, they expressed concerns about maintenance of some areas.	This development will provide high quality newly constructed accessible apartments in an area of the Village that doesn't have any similar offerings. In turn, it will elevate the overall quality of the housing stock in the area.
17	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-NEIGHBORHOOD PERCEPTION AND IMAGE: Residents discussed the varying perception of neighborhoods throughout the Village. They feel residential areas east of Ridgeland and south of I-290 are often viewed differently than other portions of the community. The area east of Ridgeland is perceived to be unsafe due to its close relationship with Chicago's Austin neighborhood.	This development, together with our efforts to partner with the Chicago Park District and the Austin community, will be a visible demonstration of the confidence that we have, not only in eastern Oak Park, but also in the importance of helping to bridge the perceptual divide that too often separates residents from the Oak Park and Austin neighborhoods.
18	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-AFFORDABLE HOUSING: Affordable housing was a common topic among workshops and meetings. Residents feel that providing local affordable housing is an important element in maintaining the overall diversity of the community. Residents cited the need for both affordable rental units and affordable owner-occupied housing	This development will advance affordability by ensuring that 20% of the units in the building will be rented by low-income individuals or households.
19	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-SENIOR HOUSING: Participants cited the need for greater senior housing options in the Village. They stated that there are currently high-end and low-income senior housing units, but nothing that will meet the growing demand for middle-income senior housing that will allow long-time residents to stay in their neighborhood or community	This development will offer units that will help to meet some of the Village's "demand for middle-income senior housing that will allow long-time residents to stay in their neighborhood or community. "
20	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-DEMOGRAPHICS: Residents pointed out that Oak Park's current population is lower than its peak population by about 12,000 people. Generally, participants feel the Village's residential density is a key asset, and are concerned that any further loss in population or de-densifying of neighborhoods would harm local commercial districts.	This development will bring a modest increase in density that will help to support the Austin/Harrison neighborhood and the Harrison Street Arts District.
21	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.16			SUMMARY OF PUBLIC INPUT-DIVERSITY: Diversity was an often mentioned issue and asset in Oak Park. Residents stated the importance of diversity and its role in creating vibrant neighborhoods, active commercial districts, and a greater sense of community pride. Participants stated that the Village needs to be proactive about maintaining and growing its diversity. In fact, some stated that while the Village is diverse, it needs to be more integrated.	This development will help to increase diversity and integration by introducing a new type of housing stock to this neighborhood. One of the central purposes underlying the existence of the Oak Park Residence Corporation is to encourage and foster diversity throughout all of Oak Park for people of all backgrounds.
22	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.101 (7.1.6)	Sustain and broaden diversity and integration throughout Oak Park.	Support all programs and projects that encourage, require, or incentivize the development of housing, neighborhood services, or other outcomes that foster diversity, inclusion, and integration throughout Oak Park.	SUPPORTING DIVERSITY INITIATIVES: In many instances, Village government may not have direct control over a project or initiative that has the potential to advance local diversity and integration. However, it may have the ability to support certain actions undertaken by agencies, institutions, developers, or others. Village government could utilize both fiscal and non-fiscal tools for projects that meet the community's goal of a more diverse and integrated community	This development presents the Village with a perfect opportunity to directly advance this Goal/Objective.
23	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.102 (7.2.3)	Ensure all Oak Park neighborhoods foster social interaction and inclusiveness.	Adopt policies or regulations that require housing for residents with specific needs to be integrated into all portions of the Village, and encourage social interaction among all residents.	ACCOMODATING RESIDENTS WITH SPECIFIC NEEDS: Integrating residents that have unique needs with the larger population fosters independence and a greater sense of inclusion. Rather than isolating these residents from the rest of the community, the Village should support the development of housing that responds to specific needs and is integrated among traditional housing. This can be accomplished by providing incentives or bonuses for projects that include housing for residents with specific needs, working closely with public or quasi-public housing providers to acquire land and develop such housing, and assisting residents with the conversion of traditional housing into units that meet the specific needs of tenants	This development, as a modern accessible apartment building, will create units that are accessible to individuals who are mobility impaired, and that helps the Village to "Ensure all Oak Park neighborhoods foster social interaction and inclusiveness. "
24	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.104 (7.3.1)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population	Continue the Village's active role in encouraging the rehabilitation and development of accessible and integrated housing through the use of municipal resources, policies and support.	ENCOURAGING ACCESSIBLE HOUSING PROGRAMS: Housing that is truly accessible includes options that are responsive to potential residents with various levels of income, physical capability, family size, age, and other characteristics. Providing this level of housing choice throughout the village is critical in sustaining neighborhoods that are as diverse and integrated as possible. The Village can continue to be proactive in encouraging the rehabilitation and development of accessible and integrated housing. While this may include financial resources or incentives, it may also include advocacy for supportive local or regional policies, the pursuit of grant funding in partnership with developers and not-for-profits, and amendments to local zoning and building regulations.	This development will, in the words of this Goal, "Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population" and provides the Village with an opportunity to "Continue the Village's active role in encouraging the rehabilitation and development of accessible and integrated housing through the use of municipal resources, policies and support. "
25	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p. 105 (7.3.4)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population.	Encourage housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc.	EXPANDING LOCAL HOUSING DIVERSITY: In order to support local diversity and integration, accessible housing should be provided in each portion of the community. This will increase the likelihood that all residents benefit from equal access to public services, commercial goods and services, transit, and other amenities that support a high quality of life. The Village could support this objective by providing fiscal and non-fiscal incentives, such as density bonuses, expedited development review and permitting, etc., to housing developers who include accessible housing in underserved areas, and through the continued collaboration with public or not-for-profit partners.	This development will foster accessibility in a TOD area. It is a perfect fit with the stated objective that the Village "Encourage housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc. " The description specifically states that the Village could "support this objective by providing fiscal and non-fiscal incentives, such as density bonuses, expedited development review and permitting, etc., to housing developers who include accessible housing in underserved areas, and through the continued collaboration with public or not-for-profit partners. " That's exactly what this project, and the Oak Park Residence Corporation, are.

26	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Neighborhood's Housing and Diversity.	p.106 (7.3.6)	Provide mixed-income housing that is accessible, integrated, and responsive of Oak Park's diverse population.	Encourage Transit-Oriented Development with appropriate housing types and densities as a means of broadening housing choice, responding to local and regional markets, providing more direct access to goods and services, and strengthening the village's business districts	FOSTERING TRANSIT ORIENTED DEVELOPMENT: Residents who occupy affordable or accessible housing are often reliant upon easy and direct access to local goods and services and public transit. Accessible housing that is located near and connected to transit centers by comprehensive pedestrian systems enjoy reduced transportation costs, increased local and regional mobility, and greater access to a variety of commercial land uses. The Village could identify potential sites for accessible housing within ¼-mile radius of its rail transit stations, and utilize a variety of incentives, including tax rebates, expedited development review, density bonuses, parking reductions, and others, in order to encourage development in these areas. Chapter 4: Land Use and Built Form of this Comprehensive Plan includes Housing Opportunity Focus Area Plans that identify potential sites that could be considered for accessible housing.	This development specifically calls for "accessible housing within ¼-mile radius of [the Village's] rail transit stations." This PUD application presents an opportunity for the Village to support such accessible TOD housing by utilizing "density bonuses" and "parking reductions" as specifically provided for by this plan element.
27	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Community Health and Safety.	p.18			SUMMARY OF PUBLIC INPUT-TRANSPORTATION AS EXERCISE: Participants expressed an interest in enhancing community-wide mobility for non-motorized vehicles. They stated that removing barriers to bicycling and walking for recreation or everyday needs could reduce obesity and enhance individual health.	This development will encourage and foster use of alternative modes of transportation rather than simply relying on automobile ownership. Marketing materials will be tailored to attract individuals without vehicles, and supporting infrastructure investments and education will be provided to encourage biking and walking.
28	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Community Health and Safety.	p.130 (9.1.4)	Make Oak Park a safe environment for citizens to live.	Create an environment that is safe, attractive, and conducive to biking and walking	BIKING AND WALKING SAFETY: The Village of Oak Park is working to create a comprehensive, integrated, and connected transportation network where every roadway user can travel safely and comfortably and where sustainable transportation options are available to everyone by planning, designing, operating, and maintaining a network of Complete Streets. Complete Streets are facilities designed, operated, and maintained to assure safe mobility for users of all ages and abilities, including pedestrians, cyclists, transit riders, and motorists, appropriate to the function and context of the facility. Village government could continue to promote a safe environment for bicyclists and pedestrians where roads are designed and constructed in a manner that promotes safety. This could include presenting cycling as an attractive option for local transport as well as recreation, educating families about biking safely, encouraging families to explore the local area and contributing to an overall message of healthy living. As the village becomes a safer place to cycle for all ages, Village government could work with local partners to eliminate physical or policy barriers that prevent local active transportation.	This development will encourage active transportation alternatives by increasing the amount of bicycle parking available in the neighborhood, and by establishing improved biking and walking connections between the surrounding neighborhood and Columbus Park. It will also increase the perceived vibrancy along Austin Blvd., thereby increasing the attractiveness of using Austin as a pedestrian thoroughfare at different times during the day.
29	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Transportation, Infrastructure and Communication Systems.	p.19			SUMMARY OF PUBLIC INPUT-PEDESTRIAN MOBILITY AND SAFETY: Oak Park was described by participants as a highly walkable community. Residents feel it is important to maintain the pedestrian network in order to support the Village's neighborhoods and business districts. Residents cited specific pedestrian crossing issues where intersections have to be improved with either more visible surfaces or signage to inform motorists.	This development effort will include outreach to IDOT to investigate options to improve pedestrian safety for individuals walking along or seeking to cross Austin Blvd.
30	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Transportation, Infrastructure and Communication Systems.	p. 146 (10.2.5)	Design transportation networks that protect, support and enhance the safety and heritage of Oak Park's neighborhoods and business districts.	Encourage travel demand management to support use of the street by all modes and encourage employers to offer incentives to employees to carpool or take transit to work.	ENCOURAGING ALL MODES OF TRAVEL: Travel demand management encourages the use of all modes of transportation as a means of commuting. Some people may not be aware of their travel options and could benefit from information and encouragement by their employer. This can lead to personal economic benefits as well as local and regional environmental benefits.	This development and the associated marketing plan will support travel demand management objectives by attracting residents predisposed to considering alternative modes of travel, by encouraging the use of such alternative modes, and by restricting the creation of excess parking supply.
31	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Transportation, Infrastructure and Communication Systems.	p. 150 (10.5.2)	Support a strong infrastructure system that leverages new sustainable technologies	Use renewable energies that are easily scalable, environmentally sound, efficient, and adaptable to environmental change and community demand.	UTILIZING RENEWABLE RESOURCES: A community's energy sources can greatly impact the environment and the community. Renewable energies have a lower impact than older, "dirty" energy sources. Using solar energy, wind energy, geothermal heating, biofuels, and other renewable energy sources significantly decreases the village's environmental impact caused by energy consumption. In order to allow for renewable energies, Village government could review and amend its zoning code to ensure that it permits residents to utilize these energy sources. Village government could also continue to identify sources of and purchase renewable energy for public distribution and use through local utilities.	This development will be the most significant Net Zero multifamily development in the upper Midwest and, given our climatic zone, will make it one of the most important new developments in the country. As stated in the description of this Village objective " <i>Using solar energy ... and other renewable energy sources significantly decreases the village's environmental impact caused by energy consumption. In order to allow for renewable energies, Village government could review and amend its zoning code to ensure that it permits residents to utilize these energy sources.</i> "
32	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Community Life & Engagement	p.161 (11.3.1)	Facilitate regular dialogue between non-for-profit organizations and all sectors to ensure their missions and services are responsive to community interests and needs	Support the roles of not-for-profits that help accomplish community objectives.	SUPPORTING EXISTING NOT-FOR-PROFITS: Existing not-for-profits have demonstrated a level of commitment to Oak Park by putting forth effort and investment to establish a presence and provide services to the community. Village government could continue to support local not-for-profits through advocacy and partnerships that result in the greater capacity to serve Oak Park citizens.	This development is being advanced by the Oak Park Residence Corporation, a 55-year long not-for-profit partner of the Village of Oak Park, specifically to "help accomplish community objectives" of advancing quality multifamily housing, affordability, diversity, accessibility, sustainability, and increasing investment along Austin Blvd. and in southeastern Oak Park.
33	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Economic Health and Vitality.	p.20			SUMMARY OF PUBLIC INPUT-BALANCING GROWTH AND CHARACTER: While historic preservation and community character are high priorities in Oak Park, many stated that approval processes related to these issues can deter new development or redevelopment from occurring in the Village. They feel there must be a balance in order to foster growth in a responsible way, and make the process predictable for developers.	This development epitomizes " <i>foster[ing] growth in a responsible way.</i> "
34	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Economic Health and Vitality.	p.173 (12.1.1)	Ensure that economic vitality is spread throughout the Village.	Determine Oak Park's appropriate and supportable market mix to maximize economic potential.	MAXIMIZING MARKET POTENTIAL:- Determine Oak Park's appropriate and supportable market mix to maximize economic potential. Oak Park's commercial development market is supported by residents both within the village and from surrounding communities. However, despite its good positioning with regards to transportation, the village is competing with its neighbors to capture such development. Village government should regularly reexamine its potential to address changing market and economic conditions. Special consideration should be given to local land use or market demand that can serve as a foundation for neighborhood-based economic development throughout the village.	This development serves as a good example of " <i>local land use or market demand that can serve as a foundation for neighborhood-based economic development throughout the village.</i> "
35	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Economic Health and Vitality.	p.176 (12.3.3)	Expand and promote business support services.	Recognize businesses that invest in projects that accomplish broader goals of the Oak Park community.	ENCOURAGING POSITIVE INVESTMENT: Recognize businesses that invest in projects that accomplish broader goals of the Oak Park community. While businesses are inherently driven by profit, many recognize the benefit of giving back to the community in which they are located. However, doing so is not always affordable or feasible. Village government could encourage positive actions by rewarding business with publicity, local recognition, or small monetary awards that motivate others to take a community-oriented perspective to business growth and development.	This development is being pursued in order to advance mission goals and objectives of the Oak Park Residence Corporation that align with long-standing objectives of the community and the Village of Oak Park. This development will serve as a model, and will help to advance knowledge and interest regarding these Village objectives (economically integrated housing, diversity, environmental sustainability, and the spending of new investment capital on development projects located in areas outside of Downtown Oak Park). Public support from the Plan Commission and the Village Government for this project will help to encourage similar investment by others.

36	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Economic Health and Vitality.	p.178 (12.4.2)	Diversify and stabilize the Village's tax base.	Actively recruit businesses and development that addresses gaps in local land use and tax revenue balance.	CAPTURING MARKET SHARE AND INCREASING TAX REVENUE: Actively recruit businesses and development that addresses gaps in local land use and tax revenue balance. Previous objectives in this chapter describe the importance of monitoring unmet gaps in local market demand and the balance of tax revenue. With these analyses in place as a foundation, Village government could work with local partners to target specific types of businesses or tenants for local economic development. This may involve forging relationships with potential investors, maintaining an inventory of available properties, and providing assistance in understanding development review and business licensing procedures and requirements.	This development will help to address a gap in local land use related to new multifamily construction in southeastern Oak Park and along the Austin Blvd. corridor and gateway into Oak Park.
37	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Economic Health and Vitality.	p.178 (12.4.3)	Diversify and stabilize the Village's tax base.	Continually review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends.	RESPONDING TO A CHANGING ECONOMIC CONDITIONS: Continually review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends. Development regulations can sometimes be misaligned with the needs or objectives of the business community. Village government could maintain communication with the business community and regularly review requests for variations or relief from development standards in order to better understand specific regulations that inhibit local investment. Amendments should be made as appropriate, recognizing that the regulations must balance a number of local goals beyond economic development, including historic preservation, neighborhood character, and the local provision of goods and services.	This development, and the associated Planned Unit Development application, presents an opportunity to "review municipal codes and ordinances to determine whether they accommodate evolving development needs and trends." This will specifically be the case regarding lessons that the Village can learn through this development process, and the identification of corresponding steps that the Village can take to encourage future developments to make more significant efforts to advance affordability, accessibility, and sustainability.
38	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-SUSTAINABLE POLICY: Sustainability was a theme consistent among workshops. Participants discussed the importance of advancing the initiatives contained in PlanIt Green, and ensuring that sustainable development practices are implemented through municipal policies and regulations.	This development, with approval of this PUD application, will help set a higher bar regarding what is possible in the area of sustainability not only here in Oak Park, but throughout this upper Midwest climatic region.
39	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-GREEN BUILDING AND DESIGN: Residents feel green building techniques should be implemented throughout the Village. They cited several recent successes, such as the Public Works Building and the Walgreen's at Oak Park Avenue and Madison Street. However, they feel the Village can take a more prominent leadership role in demonstrating the value and feasibility of green buildings.	This development will enable the Village to "take a more prominent leadership role in demonstrating the value and feasibility of green buildings."
40	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-ENERGY: The community as a whole expressed an interest in reducing energy use. Residents gave specific examples of how to address this, including...passive heating and cooling through building design.	This development will present the most important and significant model of "passive heating and cooling through building design" in a 500-mile radius.
41	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.22			SUMMARY OF PUBLIC INPUT-ENVIRONMENTAL FEATURES: Given Oak Park's lack of major environmental features, residents discussed environmental preservation from the perspective of reducing the impacts of urban development and lifestyle choices. However, preservation of the Village's tree canopy was mentioned in workshops by residents of all ages, and is seen as an important character-defining aspect of the community.	This development will help to support environmental preservation by serving as a model of achievable, thoughtful, future-oriented urban development that advances responsible lifestyle choices (net zero energy, transit-oriented, pedestrian focussed rather than auto-centric, and advancing high-quality designed living environments that respect surrounding natural environments).
42	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.187 (13.1.2)	Minimize overall energy consumption and increase investment in renewable energy sources.	Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations.	ADVANCING GREEN BUILDINGS AND RENEWABLE ENERGY: Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations. Oak Park built the first LEED-certified Public Works facility in Illinois, and has since incorporated LEED green building criteria into policy and planned unit development compensating benefits. Through its own geothermal and solar panel installations and its decision to procure 100% renewable energy through Community Choice Aggregation, the Village of Oak Park is leading the shift to renewable energy by example. As a leader in innovation and historic preservation, Oak Park has the opportunity to forge new ground that blends these important values as we move toward a sustainable and resilient future. Village government should explore various funding sources including the procurement of outside grant funding, that facilitate green building and renewable energy installations for residents, businesses and institutions, and make green technologies more affordable and easier to access.	This development is everything that is mentioned in this important Village objective: "Support and promote green buildings, energy-efficient systems and practices, renewable energy installations, and net zero developments for both new construction and existing building renovations through grants, incentives, and regulations."
43	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.188 (13.1.4)	Minimize overall energy consumption and increase investment in renewable energy sources.	Advocate for and maintain 100% renewable energy procurement through community choice aggregation.	MAINTAINING 100% RENEWABLE COMMITMENT: Advocate for and maintain 100% renewable energy procurement through community choice aggregation. With voter approval in April 2011, Oak Park adopted a program to bundle — or aggregate — all residential and small business electric accounts and seek bids for electricity on the open market, an option many large industrial and commercial enterprises long had used to reduce electricity costs. Oak Park launched its Community Choice Aggregation in 2012 and became the first municipality in Illinois and the nation to require its supplier to provide 100% renewable energy for its residents and small business operators. Village government could maintain its 100% renewable energy procurement policy as part of our community's ongoing effort to transition to a renewable energy economy.	This development is a Net Zero Energy building.
44	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.189 (13.1.5)	Minimize overall energy consumption and increase investment in renewable energy sources.	Support policies and programs that increase local grid reliability, diversify Oak Park's energy sources and strengthen its resiliency from local impacts of climate change	STRENGTHENING ENERGY DIVERSITY AND RESILIENCE: Support policies and programs that increase local grid reliability, diversify Oak Park's energy sources and strengthen its resiliency from local impacts of climate change. Village government's Smart Grid Initiative mainly targets the modernization of electric power systems. The technology is designed to enhance energy efficiency, address climate change issues, and be a catalyst for a green energy economy. Smart Grid integrates information technology with the existing power network to optimize energy efficiency through the interactive exchange of real-time information between the supplier, the distributor and the consumer, and has an automated recovery system which will ensure a reliable high-quality power supply in the case of natural or human-induced disasters. Village government could continue the application of this and other technologies within the community to increase local grid reliability, diversify Oak Park's energy sources and strengthen the community's resiliency against the impacts of climate change.	This development will help the community to "diversify Oak Park's energy sources and strengthen the community's resiliency against the impacts of climate change."

45	Envision Oak Park (Oak Park's Comprehensive Plan) - <i>Adopted 2014</i>	Environmental Sustainability.	p.195 (13.4.5)	Advance regulations and programs for green infrastructure to build a resilient, sustainable community.	Amend local regulations so that they support sustainable development and design.	<p><u>SUPPORTING SUSTAINABLE DEVELOPMENT:</u> Amend local regulations so that they support sustainable development and design. The Oak Park community will continue to experience development and redevelopment of its neighborhoods, commercial districts, parks, and public facilities. This on-going investment provides the opportunity to enhance the sustainability of the village and region by incrementally integrating appropriate tools and techniques. Village government could amend regulations to support sustainable development and design, and adopt sustainability criteria for all future development within the community.</p>	<p>Yes. All of this: "<i>The Oak Park community will continue to experience development and redevelopment of its neighborhoods, commercial districts, parks, and public facilities. This on-going investment provides the opportunity to enhance the sustainability of the village and region by incrementally integrating appropriate tools and techniques. Village government could amend regulations to support sustainable development and design, and adopt sustainability criteria for all future development within the community.</i>" This development will serve as a model for all of these efforts.</p>
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Item #	Source-VOP Planning Document	Plan Element	Page # (Plan Section)	Plan Goal	Plan Objectives	Description	Compensating Benefits-Applicability to 7 Van Buren Development
1	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Project Summary - Recommendations	88		Increase workforce housing options through transit oriented development.		This project is a leading edge example of transit oriented development.
2	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Project Summary - Recommendations	88		Maintain and enhance programs targeted at connecting residents with affordable housing and minimizing vacancies in Oak Park.		This development will maintain 20% of its units as affordable in a fully economically integrated building.
3	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Project Summary - Recommendations	88		Place marketing emphasis on the affordability of Oak Park housing options when the combined costs of housing and transportation are factored in.		This development's proximity to transit and walkability will make it more affordable to a broader cross section of prospective residents than would be the case for a development in a less transit-friendly location.
4	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Project Summary - Recommendations	88		Reinforce and expand initiatives intended to increase energy efficiency of new and existing housing.		This development will be the most significant Net Zero Energy building in the upper Midwest.
5	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Current Housing Analysis	94	Current Rental Housing		Moderate to middle income renters are well served by Oak Park's existing supply of rental housing. Supply/demand gaps, however, exist at the bottom and top ends of the Village's rental market. The Village needs more rental units serving both the needs of low income households and upper income households.	This development will contain units at a range of price points that will help to address needs at varying levels in the market.
6	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Current Housing Analysis	95	Today's Market Segments and Market Preferences		...the majority of current and projected village residents have at least a moderate propensity to live in a compact neighborhood. A compact neighborhood is defined as a neighborhood with a range of housing types that encourage walking to retail stores, neighborhood amenities and other homes and are located near transit lines. The largest such group are the "Solo Acts." These tend to be relatively young single or roommate households who prefer a mobile urban lifestyle and denser housing options.	This development will cater to a wide variety of existing Oak Park residents, including individuals such as those identified in this section of the Homes for a Changing Region (HFACR) plan.
7	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Projecting Future Housing Needs	97	Future Rental Needs		Oak Park will have the opportunity to create housing to meet the needs of lower income households. Additional senior rental housing is a definite possibility.... We also note the potential to develop more upscale rental housing which can meet the needs of households with incomes exceeding \$75,000. Transit oriented rental housing may represent the real opportunity here.	This development, by virtue of its economically integrated residential base, will help to meet the housing needs of lower income households and seniors (who may benefit from having an elevator building in Southeastern Oak Park), as well as those seeking high quality upscale housing near transit in the Harrison Street neighborhood.
8	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Projecting Future Housing Needs	98	Capacity Analysis		The Village of Oak Park provides in their Zoning Ordinance the opportunity for higher density projects through their Planned Development process. Historically, the Village of Oak Park has approved residential mixed use developments at higher density than currently allowed in the underlying zoning districts, in part due to the lack of developable property and the desire for greater densities. Other plans and overlays have already created additional capacity.	This development is consistent with such direction, as reflected in numerous areas within the Comprehensive Plan and the Harrison Street plan. The lack of developable property and the desire for greater densities sited here are among the reasons for such support.
9	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Sustainability	100	Energy Use		Since buildings and transportation account for the top two energy-users, any forward thinking housing plan should take energy consumption into account. ... Oak Park has a slightly lower average number of Vehicle Miles Traveled (VMT) by household compared with the Cook County average. ... Putting offices, shops, restaurants, residences, and other codependent activities in close proximity to each other has the biggest impact in reducing VMT. Oak Park's planning and development policies have clearly reaped such benefits by locating compact residential developments close to transit stations and downtown retail and entertainment amenities.	This development will advance active transportation alternatives, taking advantage of its terrific walkable location in the Harrison Street District, near transit, and across from Columbus Park.
10	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Recommended Strategies	103	Update Oak Park's Comprehensive Plan and zoning ordinance		Environmental Sustainability will likely be a focus of the Village's new plan, requiring changes to the Zoning Ordinance. Another focus will be support for transit oriented development, as recommended by both PlanItGreen and sub-area plans commissioned by the Village, requiring zoning changes to achieve increased density and mixed-use development within a half mile radius of train stations.	This development will advance active transportation alternatives, taking advantage of its terrific walkable location in the Harrison Street District, near transit, and across from Columbus Park.
11	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Recommended Strategies	103	Update Oak Park's Comprehensive Plan and zoning ordinance		As a leader in housing policy and programs, Oak Park might also consider making sure that accessibility standards allow a growing senior population to age in place.	This development will bring the first modern elevator building to southeastern Oak Park, thereby creating 45 new units of accessible housing for seniors who may wish to remain in their neighborhood in order to stay connected to their immediate community and to age in place.
12	Homes for a Changing Region - Housing Policy Plan - Oak Park - <i>Adopted 2012.</i>	Recommended Strategies	103	Increase housing options for Oak Park's workforce and seniors through transit oriented development		Increase housing choices for the Village's workforce as well as seniors through transit oriented development that leverages the Village's Metra and CTA stations, reducing the need for residents to drive. The Village needs to continue to promote alternatives to car ownership such as mass transit, bicycling, and car-sharing services.	This development will be marketed directly to individuals of all backgrounds with a focus on attracting residents who will appreciate the walkable and accessible aspects of living in a building where car ownership is not only optional, but truly unnecessary.

Item #	Source-VOP Planning Document	Plan Element	Page # (Plan Section)	Plan Goal	Plan Objectives	Description	Compensating Benefits-Applicability to 7 Van Buren Development
1	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Commercial	Attract Mix of Consumers (Income, Age, and Residence - local vs regional)		This development is designed with units of varying sizes which will attract residents of many different backgrounds. The Oak Park Residence Corporation is committed to its mission of providing economically integrated housing to meet the needs of individuals of all backgrounds.
2	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Residential	Increase Density to Support Successful Transit Oriented Mixed Use Development		This development will add an additional 33 units (beyond the existing 12 units currently on the site) of brand new housing located within 2 blocks of the Austin Avenue El station on the CTA Blue Line.
3	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Residential	Encourage a Mix of Multi-Family Dwellings		This development will result in 45 units of brand new, high-quality, economically integrated, multi-family dwelling units.
4	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Plan Recommendations	29	Residential	Density and Intensity of Commercial and Residential Development	Eastern Gateway (Austin to Taylor) - Node 1: The Harrison - Austin intersection should be treated as an important gateway to the Village. The beautiful eastward vistas provided by Columbus Park will be captured by residents in higher density buildings at the intersection and along Austin Boulevard. The eventual re-location of one or both service stations replaced with high rise mixed use buildings would mark the entry to the district placing the highest density at the edge of a large open park space. Increased density of six to ten stories on the southern block [limited to about half the total area] should encourage pedestrian access to CTA trains and busses. Density increases of six to ten stories north of Harrison should be limited to buildings adjacent to Austin.	This development is a perfect example of exactly what is called for in this provision of the Harrison Street plan: new development, 6 stories (compared to the 6-10 stories provided for in the plan), adjacent to Austin and north of Harrison, within walking distance of the CTA train, and overlooking Columbus Park.
5	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Plan Recommendations	29	Residential	Density and Intensity of Commercial and Residential Development	The Village should work with the City of Chicago and the Chicago Park District to foster creation of park improvements at the Austin intersection that increase pedestrian related activity, while enhancing the physical beauty of this edge.	The Oak Park Residence Corporation is committed to partnering in improvements to enhance the western edge of Columbus Park.
6	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Assessing Plan Impacts	34	Residential	Residential and Commercial Impacts	The addition of new residential space would enlarge the economic and fiscal base and dramatically transform the character of the Harrison Street district. Complete build out at the proposed densities in twenty years would double the current residential living space at approximately 2 million square feet (from 900,000). We expect that the majority of new units will be in multi-family apartment buildings: some exclusively residential and others with commercial uses on the street level.	This development would add 33 additional new residential units to the Harrison Street neighborhood (a small fraction of the overall increase in residential space provided for in the plan).
7	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Assessing Plan Impacts	34	Residential	Residential and Commercial Impacts	The new mixed-use multi-family buildings will cater mainly to middle income households including young singles or couples seeking a transit-friendly suburban location closer to Chicago. Additionally, empty nesters, many from Oak Park, abandoning the burdens of maintaining a single-family dwelling, will find a transit and freeway accessible Oak Park address attractive. Specific steps need to be taken to ensure that a mix of affordable housing accompanies these improvements.	This development will provide the type of multi-family housing that will serve the needs of those populations described in this portion of the plan. We have already received inquiries from individuals who may be interested in becoming residents, including the types of middle-income households, transit-friendly residents, empty nesters, and individuals seeking affordable housing units that are identified here.
8	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Transportation	Increase Use of Transit		This development will specifically target the attraction of residents seeking a transit-friendly lifestyle.
9	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Transportation	Increase Bicycle and Pedestrian Use		This development will also specifically target the attraction of residents seeking an active transportation, pedestrian, and bicycle-friendly lifestyle.
10	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Plan Recommendations	32	Transportation	Transportation	Increasing the density of mixed use developments that include desirable pedestrian access to trains and buses will attract residents who prefer to travel using public transit.	We agree that this will be a beneficial outcome for the community, and that this development will increase density and will serve to advance this beneficial interest.
11	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Vision and Goals	21	Design Character	Create Pedestrian Friendly Improvements		This development will include an open and generous pedestrian colonnade, with visual lines of sight through to Columbus Park. It will also provide additional exterior bicycle parking to encourage and foster active transportation choices.
12	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Plan Recommendations	33	Design Character	Site Planning and Building Design	Encourage staggered building heights across both street faces to avoid creating a canyon effect.	This development is at the low-end of the height provision articulated in the plan (6-10 stories), but will nonetheless still introduce a positive measure of variability in building heights as provided for in the plan.
13	Planning Together (Harrison Street District Character Plan) - <i>Adopted 2005.</i>	Plan Recommendations	33	Design Character	Site Planning and Building Design	At district boundaries or entry points, offer forms and styles such as towers, arcades, small plazas that articulate and define such transitional spaces.	This development's beautiful and yet sensitive modern design, together with its net zero functionality as represented by its associated solar array, will serve as the very type of compelling design feature envisioned by the plan for the district's eastern boundary.

EXHIBIT 2

SUSTAINABILITY INFORMATION



September 27, 2021

**OAK PARK RESIDENCE CORP
7 VAN BUREN, OAK PARK, IL**

Overview of the Passive House Building Energy Standard

TBDA, Ltd is an architecture firm whose role on the 7 Van Buren project is that of energy modeling toward certifying as a Phius (Passive House) Source Zero compliant project, as required by the Illinois Clean Energy Community Foundation Zero Energy Building Grant program for which the project qualifies. Phius Source Zero certification is a stringent standard which exceeds LEED requirements for energy. In this document we will describe the fundamental requirements and process of the program.

Phius+ is the name of the standard, and [this links](#) to a webpage describing it in detail. In cold climates like ours, it is focused primarily on conservation through insulation and airtightness, then energy efficient mechanical systems, and energy efficient lighting and appliances. To meet the standard, core metrics include building airtightness (about 5 times stricter than code), limits on peak heating and cooling loads, limits on annual heating and cooling energy use, and limit on overall building energy use. The standard is both climate-specific and specific to the size and density of each building ([this links](#) to a metrics calculator). Our space conditioning metrics are as follows:

- Heating Demand: 4.6 kBtu/sf/year
- Cooling Demand: 5.6 kBtu/sf/year
- Peak Heating Load: 5.0 BTU/hr/sf
- Peak Cooling Load: 2.6 BTU/hr/sf

Additionally, building airtightness must be below 0.06 cfm/sf of envelope area when tested at 50 Pascals pressure.

Our energy model (see report attached) takes into account local climate, local shading, R-values of all assemblies, thermal bridges, mechanical system efficiencies, specific appliance loads, and lighting for building, garage, and site. As a Source Zero project, our design goal is to produce as much energy through on-site solar as the building uses in the course of the year. We use the energy model's predicted total energy for the year as the basis of our solar PV design.

Please let us know if you have any questions or comments.



January 21, 2020

Attn: Illinois Clean Energy Community Foundation

To Whom it May Concern,

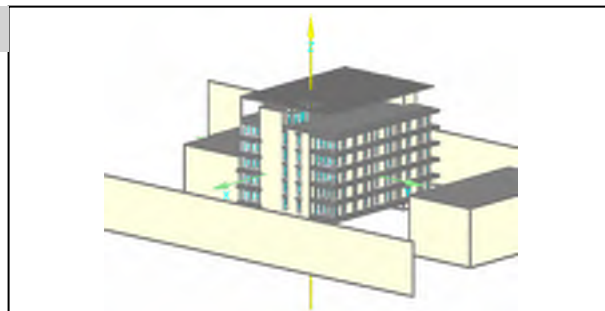
PHIUS has reviewed the Feasibility Study for the 7 Van Buren project. As modeled, the project is on target to meet the PHIUS+ 2018 requirements as well as PHIUS+ Source Zero. Due to the nature of the feasibility study, there are placeholders for items that are unknown or not yet decided upon. The project team is aware they will need to ensure any adjustments or revisions will still allow the project to pass the performance requirements.

Regards,

James Ortega
PHIUS Certification Manager

BUILDING INFORMATION

Category:	Residential
Status:	In planning
Building type:	New construction
Year of construction:	
Units:	44
Number of occupants:	87 (Design)
Occupant density:	440 ft²/Person



Boundary conditions

Climate:	CHICAGO MIDWAY AP IL
Internal heat gains:	1.3 Btu/hr ft²
Interior temperature:	68 °F
Overheat temperature:	77 °F

Building geometry

Enclosed volume:	482,755.6 ft³
Net-volume:	448,516.8 ft³
Total area envelope:	42,569.6 ft²
Area/Volume Ratio:	0.1 1/ft
Floor area:	38,277 ft²
Envelope area/iCFA:	1.112

PASSIVEHOUSE REQUIREMENTS

Certificate criteria: PHIUS+ 2018

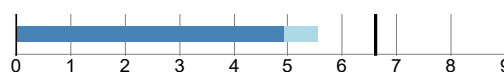
Heating demand

specific:	2.69 kBtu/ft²yr
target:	5.7 kBtu/ft²yr
total:	102,936.56 kBtu/yr



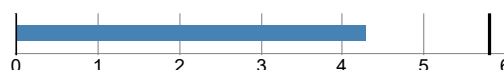
Cooling demand

sensible:	4.94 kBtu/ft²yr
latent:	0.6 kBtu/ft²yr
specific:	5.53 kBtu/ft²yr
target:	6.6 kBtu/ft²yr
total:	211,822.18 kBtu/yr



Heating load

specific:	4.28 Btu/hr ft²
target:	5.8 Btu/hr ft²
total:	163,960.97 Btu/hr



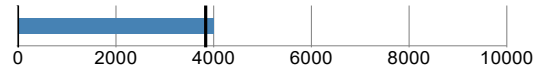
Cooling load

specific:	2.48 Btu/hr ft²
target:	2.6 Btu/hr ft²
total:	95,010.55 Btu/hr



Source energy

total: **348,787.71** kWh/yr
 specific: **4,009** kWh/Person yr
 target: **3,840** kWh/Person yr

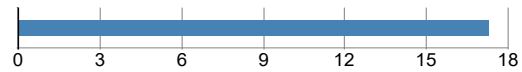


total: **1,189,995.59** kBtu/yr
 specific: **31.09** kBtu/ft²yr

Note: Site and Source Energy do not currently reflect inclusion of the solar PV system. The Site Energy result is used to size the solar array to slightly exceed that total (i.e., about 200MWh annual production).

Site energy

total: **661,108.66** kBtu/yr
 specific: **17.27** kBtu/ft²yr
 total: **193,770.95** kWh/yr
 specific: **5.06** kWh/ft²



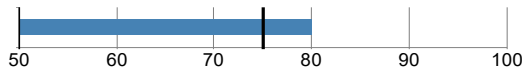
Air tightness

ACH50: **0.34** 1/hr
 CFM50 per envelope area: **0.06** cfm/ft²
 target: **0.34** 1/hr
 target CFM50: **0.06** cfm/ft²

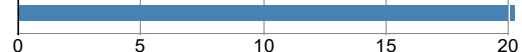


PASSIVEHOUSE RECOMMENDATIONS

Sensible recovery efficiency: **80** %



Frequency of overheating: **33.4** %
 Cooling system is required

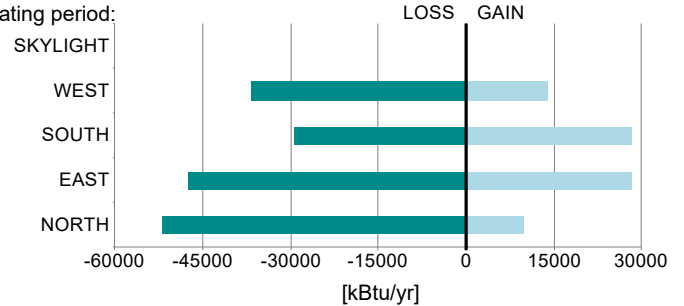


Frequency of overheating only applies if there is not a [properly sized] cooling system installed.

BUILDING ELEMENTS

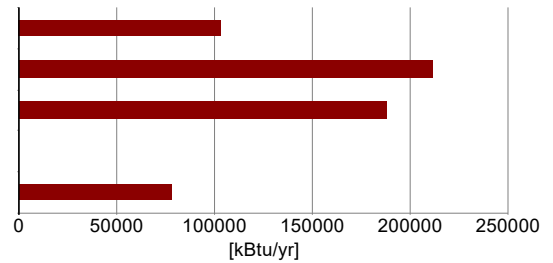
Windows

	Heat gain/loss heating period:
Average SHGC:	0.3
Average solar reduction factor heating:	0.36
Average solar reduction factor cooling:	0.33
Average U-value:	0.161 Btu/hr ft ² °F
Total glazing area:	5,770.5 ft ²
Total window area:	7,332.7 ft ²



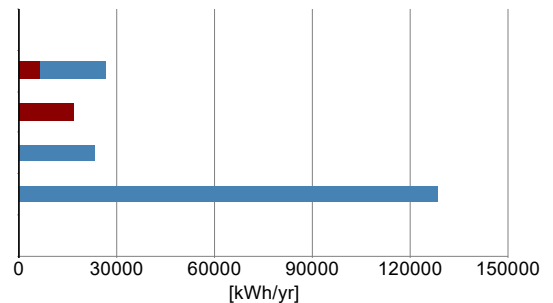
HVAC

Total heating demand:	102,937 kBtu/yr
Total cooling demand:	211,822 kBtu/yr
Total DHW energy demand:	187,825 kBtu/yr
Solar DHW contribution:	0 kBtu/yr
Auxiliary electricity:	78,075 kBtu/yr



Electricity

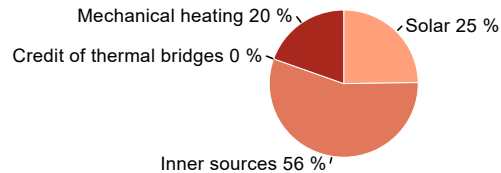
Direct heating / DHW:	0 kWh/yr
Heatpump heating:	26,257 kWh/yr
Cooling:	16,423 kWh/yr
HVAC auxiliary energy:	22,884 kWh/yr
Appliances:	128,207 kWh/yr
Renewable generation, coincident production and use:	0 kWh/yr
Total electricity demand:	193,771 kWh/yr



HEAT FLOW - HEATING PERIOD

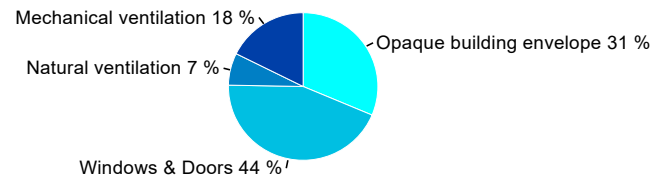
Heat gains

Solar:	100,382 kBtu/yr
Inner sources:	225,544 kBtu/yr
Credit of thermal bridges:	0 kBtu/yr
Mechanical heating:	102,937 kBtu/yr



Heat losses

Opaque building envelope:	133,605 kBtu/yr
Windows & Doors:	187,420 kBtu/yr
Natural ventilation:	30,014 kBtu/yr
Mechanical ventilation:	75,345 kBtu/yr

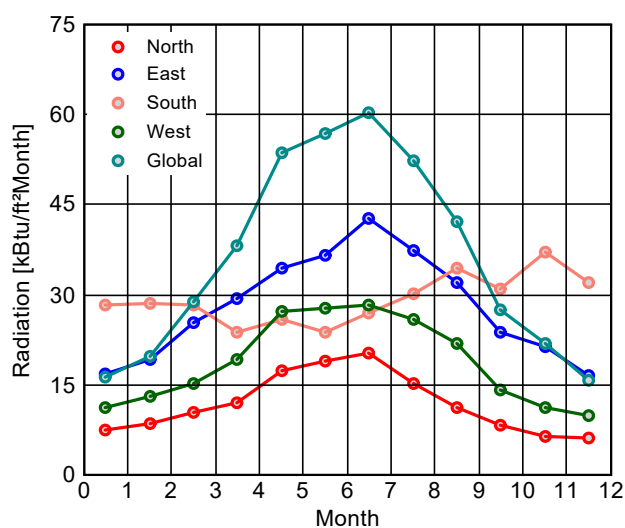
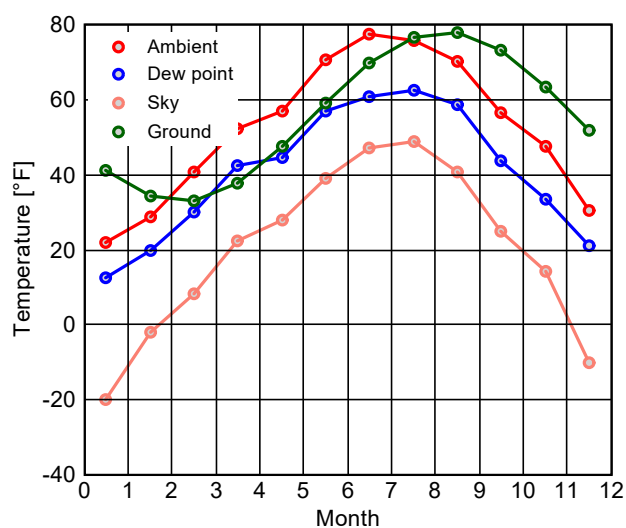


CLIMATE

Latitude: **41.8 °**
 Longitude: **-87.8 °**
 Elevation of weather station: **610.2 ft**
 Elevation of building site: **610.2 ft**
 Heat capacity air: **0.018 Btu/ft³F**
 Daily temperature swing summer: **15.7 °F**
 Average wind speed: **13.1 ft/s**

Ground

Average ground surface temperature: **54.2 °F**
 Amplitude ground surface temperature: **59.8 °F**
 Ground thermal conductivity: **1.2 Btu/hr ft °F**
 Ground heat capacity: **29.8 Btu/ft³F**
 Depth below grade of groundwater: **9.8 ft**
 Flow rate groundwater: **0.2 ft/d**



Calculation parameters

Length of heating period: **243 days/yr**
 Heating degree hours: **140 kFh/a**
 Phase shift months: **1.4 mths**
 Time constant heating demand: **151.3 hr**
 Time constant cooling demand: **0 hr**
 Time constant cooling demand with night ventilation: **0 hr**

Climate for	Heating load 1	Heating load 2	Cooling
Temperature [°F]	-4.9	18.3	83.7
Solar radiation North [Btu/hr ft²]	14.9	9.2	24.1
Solar radiation East [Btu/hr ft²]	40.6	16.5	48.2
Solar radiation South [Btu/hr ft²]	73.5	19.7	31.4
Solar radiation West [Btu/hr ft²]	26.9	10.8	32
Solar radiation Global [Btu/hr ft²]	38	16.2	66.6

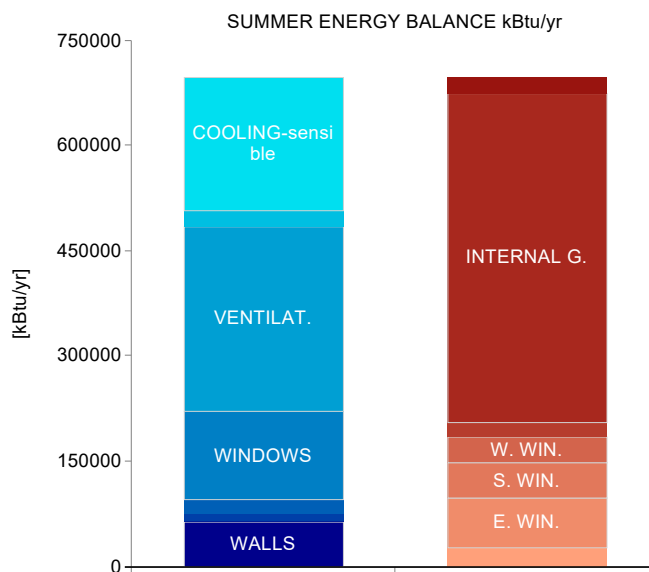
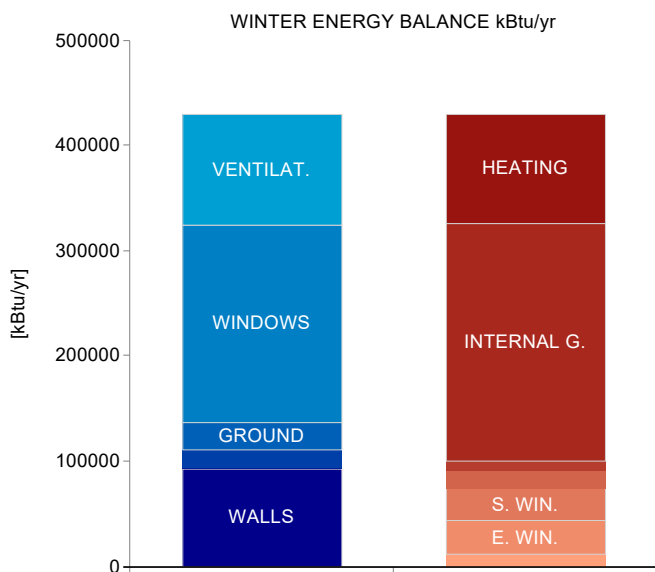
Relevant boundary conditions for heating load calculation: Heating load 1

ANNUAL HEAT DEMAND

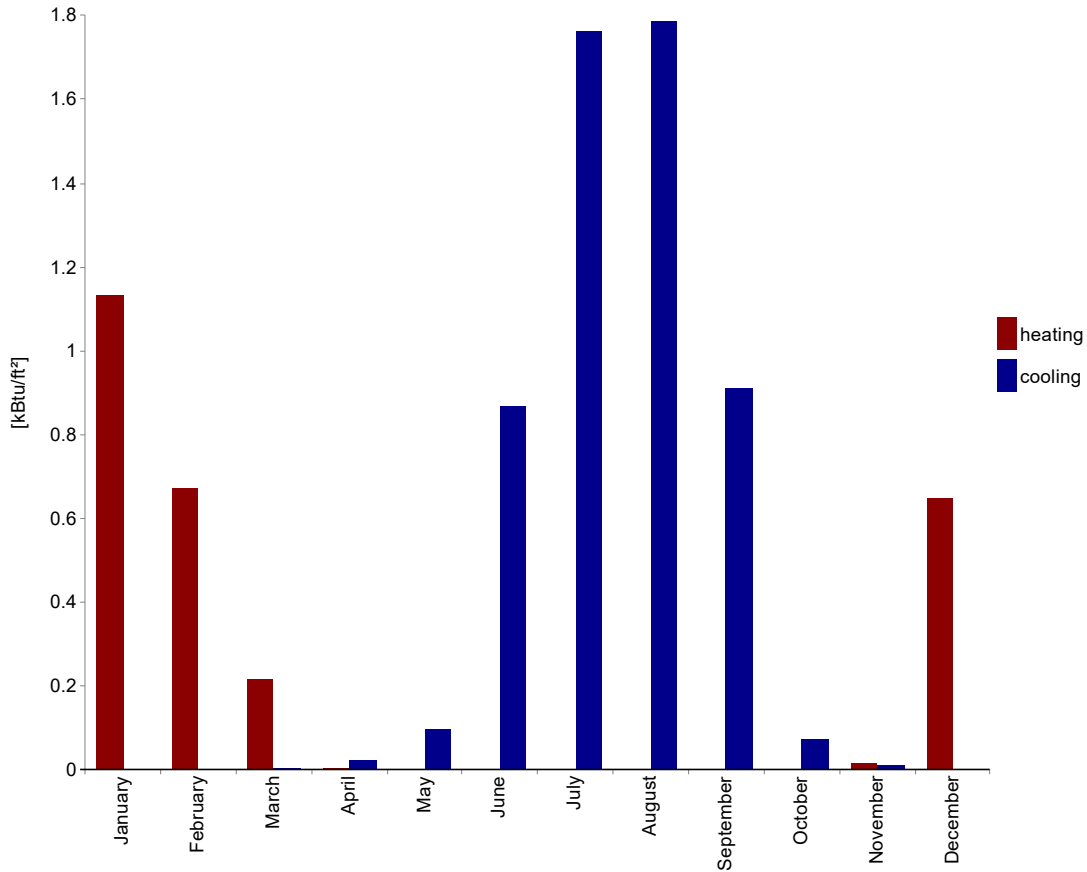
Transmission losses :	323,504 kBtu/yr
Ventilation losses:	105,359 kBtu/yr
Total heat losses:	428,863 kBtu/yr
Solar heat gains:	130,623 kBtu/yr
Internal heat gains:	293,492 kBtu/yr
Total heat gains:	424,115 kBtu/yr
Utilization factor:	76.8 %
Useful heat gains:	325,927 kBtu/yr
Annual heat demand:	102,937 kBtu/yr
Specific annual heat demand:	2,689.5 Btu/ft ² yr

ANNUAL COOLING DEMAND

Solar heat gains:	205,420 kBtu/yr
Internal heat gains:	467,863 kBtu/yr
Total heat gains:	673,283 kBtu/yr
Transmission losses :	469,522 kBtu/yr
Ventilation losses:	555,116 kBtu/yr
Total heat losses:	1,024,638 kBtu/yr
Utilization factor:	47.3 %
Useful heat losses:	484,292 kBtu/yr
Cooling demand - sensible:	188,991 kBtu/yr
Cooling demand - latent:	22,831 kBtu/yr
Annual cooling demand:	211,822 kBtu/yr
Specific annual cooling demand:	5.5 kBtu/ft ² yr



SPECIFIC HEAT/COOLING DEMAND MONTHLY



Month	Heating [kBtu/ft²]	Cooling [kBtu/ft²]
January	1.1	0
February	0.7	0
March	0.2	0
April	0	0
May	0	0.1
June	0	0.9
July	0	1.8
August	0	1.8
September	0	0.9
October	0	0.1
November	0	0
December	0.6	0

HEATING LOAD

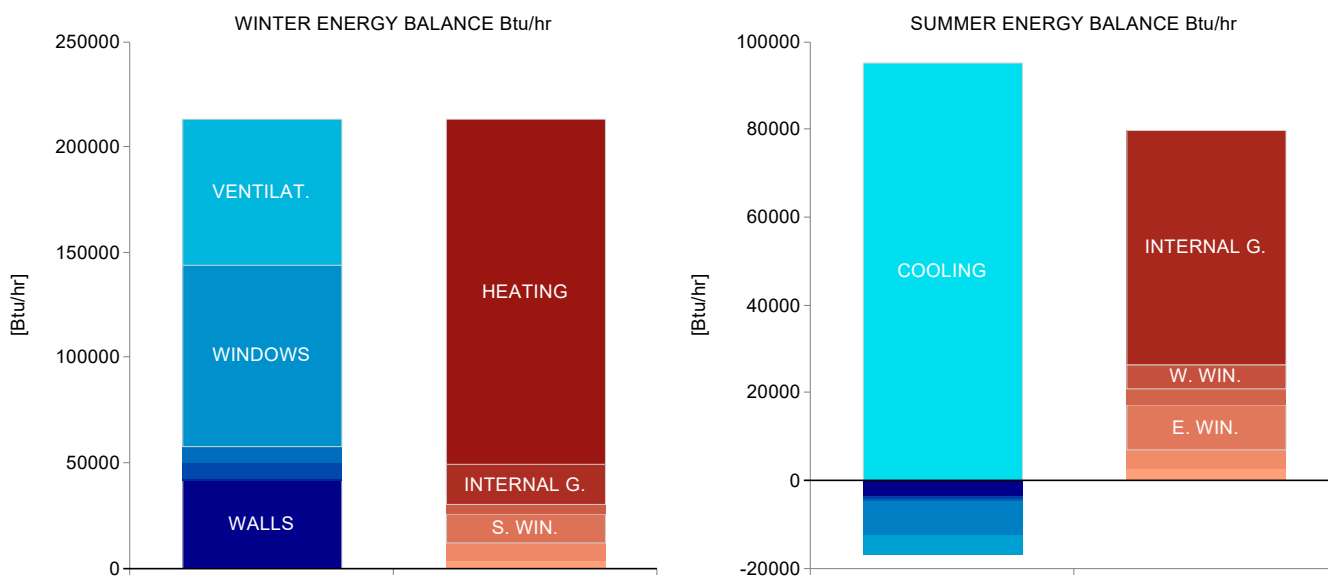
	First climate	Second climate
Transmission heat losses:	143,816.5 Btu/hr	101,082.4 Btu/hr
Ventilation heat losses:	69,357.5 Btu/hr	47,265.9 Btu/hr
Total heat loss:	213,174 Btu/hr	148,348.3 Btu/hr
Solar heat gain:	29,799 Btu/hr	10,838.6 Btu/hr
Internal heat gain:	19,414 Btu/hr	19,414 Btu/hr
Total heat gains heating:	49,213 Btu/hr	30,252.6 Btu/hr
Heating load:	163,961 Btu/hr	118,095.7 Btu/hr

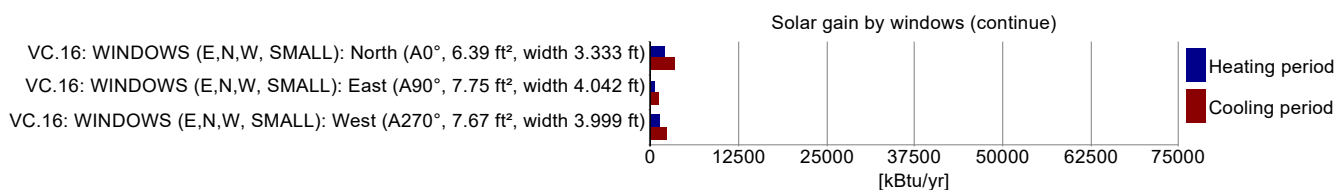
Relevant heating load: **163,961** Btu/hr
 Specific heating load: **4.3** Btu/hr ft²

COOLING LOAD

Solar heat gain:	26,187.1 Btu/hr
Internal heat gain:	53,414.3 Btu/hr
Total heat gains cooling:	79,601.4 Btu/hr
Transmission heat losses:	-10,969.8 Btu/hr
Ventilation heat losses:	-4,439.4 Btu/hr
Total heat loss:	-15,409.2 Btu/hr
Cooling load - sensible:	95,010.6 Btu/hr
Cooling load - latent:	0 Btu/hr

Relevant cooling load: **95,010.6** Btu/hr
 Specific maximum cooling load: **2.5** Btu/hr ft²





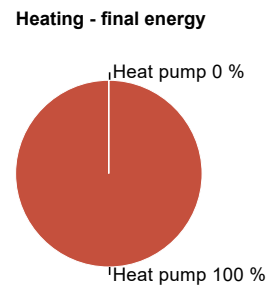
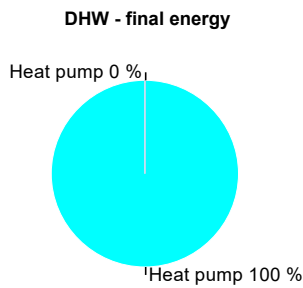
Summary building envelope

	Total area / length	Average U-value / Psi value	Transmission losses
Exterior wall ambient:	19,709.2 ft²	0.027 Btu/hr ft² °F	85,150.7 kBtu/yr
Exterior wall ground:	1,564.7 ft²	0.03 Btu/hr ft² °F	5,521.4 kBtu/yr
Basement:	6,161.5 ft²	0.037 Btu/hr ft² °F	26,979.4 kBtu/yr
Roof:	7,724.2 ft²	0.013 Btu/hr ft² °F	15,953.9 kBtu/yr
Windows:	7,332.7 ft²	0.161 Btu/hr ft² °F	186,388.4 kBtu/yr
Doors:	77.3 ft²	0.084 Btu/hr ft² °F	1,031.3 kBtu/yr
Thermal bridge ambient:	150 ft	0.1 Btu/hr ft °F	2,370.9 kBtu/yr
Thermal bridge perimeter:	92 ft	0.01 Btu/hr ft °F	108.3 kBtu/yr
Thermal bridge floor slab:	0 ft	0 Btu/hr ft °F	0 kBtu/yr

Shading

	Heating	Cooling
Reduction factor North:	54.9 %	46.3 %
Reduction factor East:	59.9 %	53.7 %
Reduction factor South:	44 %	32.6 %
Reduction factor West:	61.9 %	55.2 %
Reduction factor Horizontal:	100 %	100 %

System	DHW			Heating			Total		
	Covered DHW demand [%]	Estimated solar fraction [%]	Final energy demand [kBtu/yr]	Covered heating demand [%]	Estimated solar fraction [%]	Final energy demand [kBtu/yr]	Performance ratio	CO2 equivalent emissions [lb/yr]	Source energy demand [kBtu/yr]
Heat pump, HP-1: CLIMATEMASTER TEV-02SP10C7U	100	0	68,997.1	0	0	0	0.4	30,317,565.2	124,194.8
Heat pump, HP-1: CLIMATEMASTER TEV-02SP10C7U	0	0	0	100	0	20,587.3	0	9,046,133.8	37,057.2
Σ	100	0	68,997.1	100	0	20,587.3		39,363,699	161,252



COOLING UNITS

	sensible	latent
Air cooling:	0 kBtu/ft²·yr	0 kBtu/ft²·yr
Recirculation cooling:	4.9 kBtu/ft²·yr	3.8 kBtu/ft²·yr
Additional dehumidification:		0 kBtu/ft²·yr
Panel cooling:	0 kBtu/ft²·yr	
Sum:	4.9 kBtu/ft²·yr	3.8 kBtu/ft²·yr

VENTILATION

Energy transportable by supply air

Heating energy

transportable: **1.32 W/ft²**
 load: **1.26 W/ft²**



Cooling energy

transportable: **0.75 W/ft²**
 load: **0.73 W/ft²**



Infiltration pressure test ACH50: **0.34 1/hr**
 Total extract air demand: **5,140 cfm**
 Supply air per person: **18 cfm**
 Occupancy: **87**

Average air flow rate: **2,244.33 cfm**
 Average air change rate: **0.3 1/hr**
 Effective ACH ambient: **0.08 1/hr**
 Effective ACH ground: **0 1/hr**
 Energetically effective air exchange: **0.08 1/hr**
 Infiltration air change rate: **0.02 1/hr**
 Infiltration air change rate (heating load): **0.06 1/hr**

Type of ventilation system: **Balanced PH ventilation**
 Wind screening coefficient (e): **0.07**
 Wind exposure factor: **15**
 Wind shield factor: **0.05**

Ventilation heat losses: **93,314.95 kBtu/yr**

Devices

Name	Sensible recovery efficiency [-]	Electric efficiency [W/cfm]	Heat recovery efficiency SHX [-]	Effective recovery efficiency [-]
DOAS	0.8	0.06	0	0.8
Altogether	0.8	0.06	0	0.8

Ducts

Name	Length (total) [ft]	Clear cross-section [ft ²]	U-value [Btu/hr ft ² °F]	Assigned ventilation units
Supply / outdoor air duct	5	0.7854	2.33	DOAS
Extract / Exhaust air duct	5	0.7854	2.33	DOAS
Σ	10			

*length * quantity

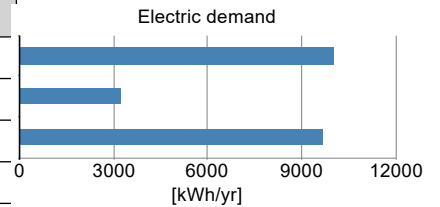
** thermal conductivity / thickness

SUMMER VENTILATION

ACH night ventilation: **0 1/hr**
 ACH natural summer: **0 1/hr**
 Mechanical ventilation summer: **0.3 1/hr**

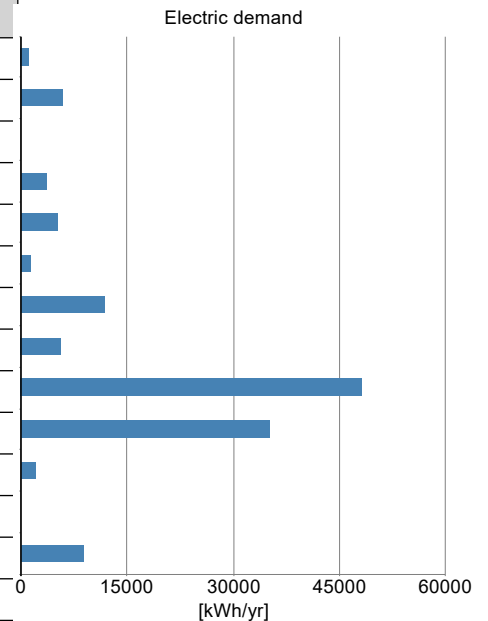
ELECTRICITY DEMAND - AUXILIARY ELECTRICITY

Type	Quantity	Indoor	Norm demand	Electric demand [kWh/yr]	Source energy [kBtu/yr]
Ventilation winter	1	no	1 W/cfm	10005.5	61446.4
Ventilation Defrost	1	no	12,811.2 W	3223.4	19795.6
Ventilation summer	1	no	1 W/cfm	9654.8	59292.7
Σ				22883.7	140534.7



ELECTRICITY DEMAND RESIDENTIAL BUILDING

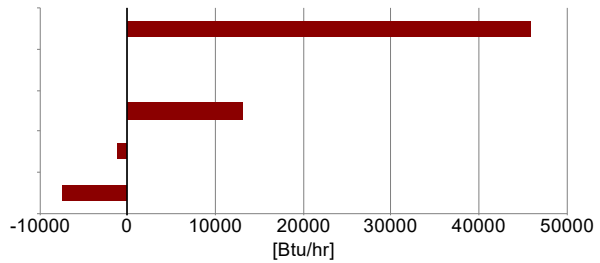
Type	Quantity	Indoor	Norm demand	Electric demand [kWh/yr]	Non-electric demand [kWh/yr]	Source energy [kBtu/yr]
Laundry - washer	34	yes	0.3	1165.8	0	7159.4
Laundry - dryer	34	yes	6.4	5839.3	0	35860.5
Energy consumed by evaporation	0	yes	3.1	0	0	0
Kitchen dishwasher	14	yes	1.1	3493.9	0	21456.7
Kitchen dishwasher	30	yes	1	5082.2	0	31210.9
Kitchen fridge/freeze combo	5	yes	0.7	1350	0	8290.7
Kitchen fridge/freeze combo	25	yes	1.3	11775	0	72313.2
Kitchen fridge/freeze combo	14	yes	1.1	5516	0	33875.1
User defined MELs	1	yes	48,129	48129	0	295572.2
User defined lighting	1	yes	35,106	35106	0	215594.7
User defined lighting	1	no	2,050	2050	0	12589.6
User defined lighting	1	no	0	0	0	0
Kitchen cooking	1	yes	0.2	8700	0	53428.9
Σ	161			128207.1	0	787351.8



INTERNAL HEAT GAINS

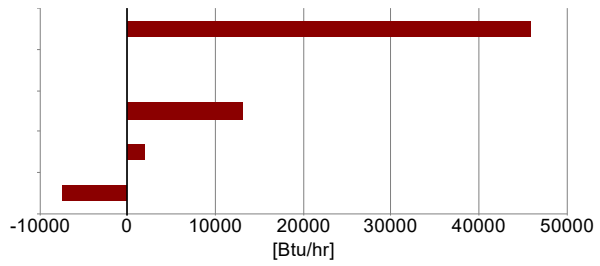
Heating season

Electricity total:	45,791.5 Btu/hr
Auxiliary electricity:	0 Btu/hr
People:	13,061.7 Btu/hr
Cold water:	-1,102.4 Btu/hr
Evaporation:	-7,421.4 Btu/hr
Σ:	50,329.3 Btu/hr
Specific internal heat gains:	1.3 Btu/hr ft ²



Cooling season

Electricity total:	45,791.5 Btu/hr
Auxiliary electricity:	0 Btu/hr
People:	13,061.7 Btu/hr
Cold and hot water:	1,982.5 Btu/hr
Evaporation:	-7,421.4 Btu/hr
Σ:	50,329.3 Btu/hr
Specific internal heat gains:	1.3 Btu/hr ft ²



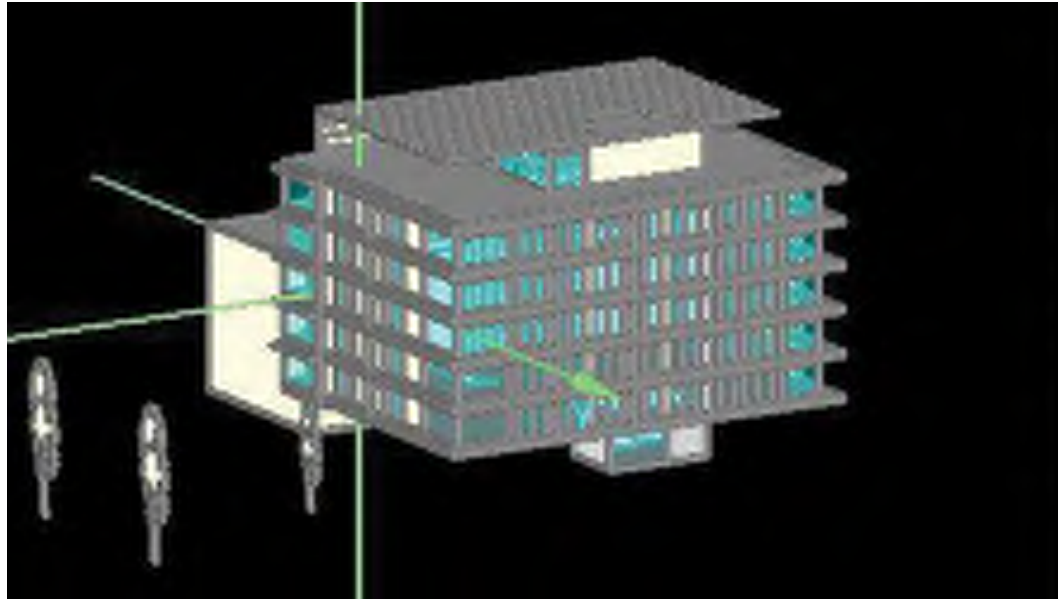
DHW AND DISTRIBUTION

DHW consumption per person per day:	6.6 gal/Person/day
Average cold water temperature supply:	50 °F
Useful heat DHW:	168,495.1 kBtu/yr
Specific useful heat DHW:	4,402.4 Btu/ft ² yr
Total heat losses of the DHW system:	19,330.4 kBtu/yr
Specific losses of the DHW system:	505.1 Btu/ft ² yr
Performance ratio DHW distribution system and storage:	1.1
Utilization ratio DHW distribution system and storage:	0.9
Total heat demand of DHW system:	187,825.5 kBtu/yr
Total specific heat demand of DHW system:	4,907.5 Btu/ft ² yr
Total heat losses of the hydronic heating distribution:	0 kBtu/yr
Specific losses of the hydronic heating distribution:	0 Btu/ft ² yr
Performance ratio of heat distribution:	100 %

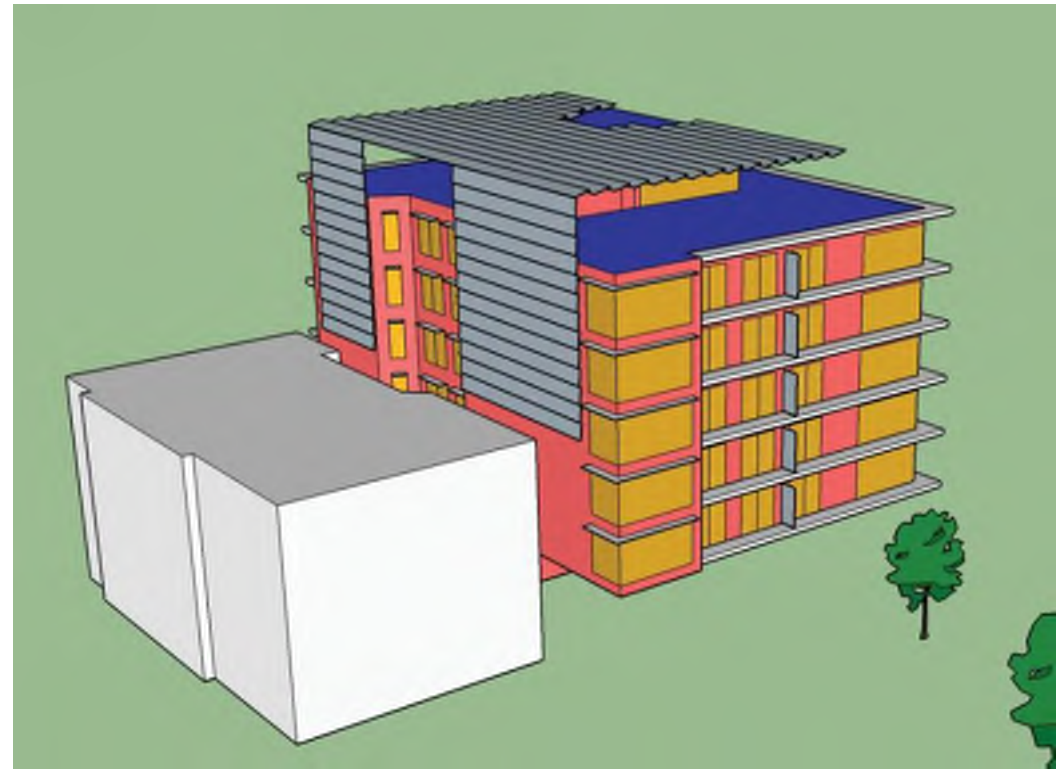
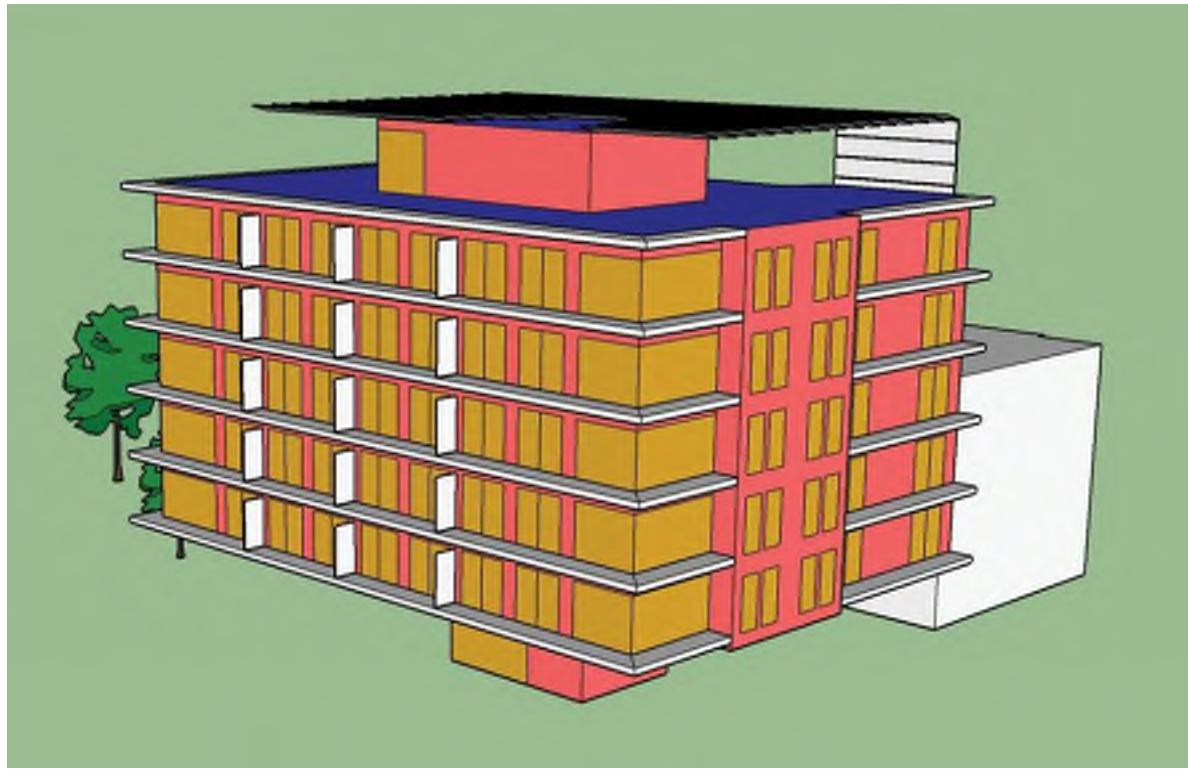
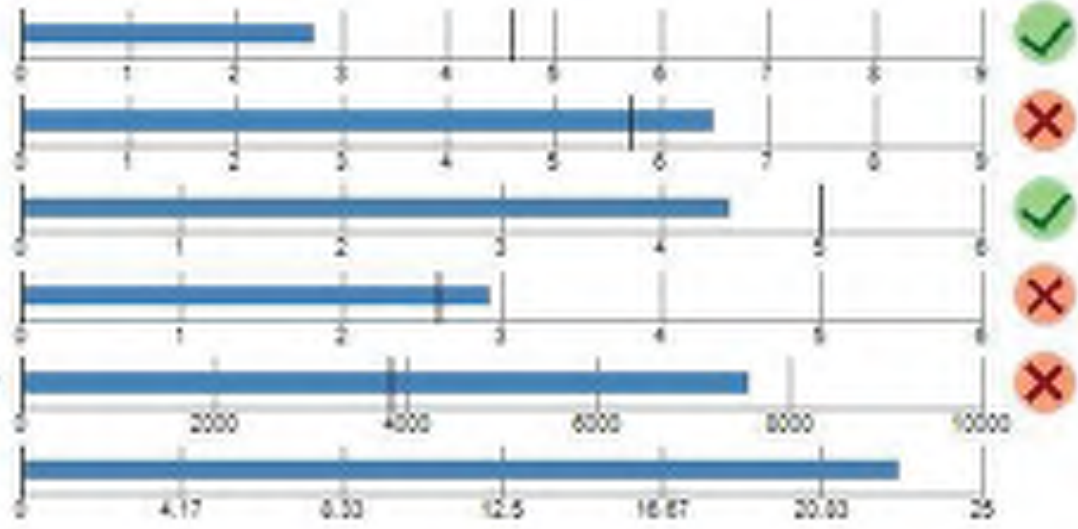
Region	Length [ft]	Annual heat loss [kBtu/yr]
Hydronic heating distribution pipes		
Σ	0	0
DHW circulation pipes		
In conditioned space	0	0
Σ	0	0
Individual pipes		
In conditioned space	2250	57806.8
Σ	2250	57806.8
Water storage		
Σ		0

ENERGY MODEL

TOM BASSETT-DILLEY ARCHITECTS

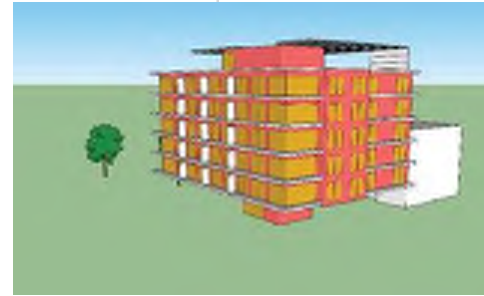


Heating demand: 2.75 kBtu/ft²yr
 Cooling demand: 6.49 kBtu/ft²yr
 Heating load: 4.42 Btu/hr ft²
 Cooling load: 2.92 Btu/hr ft²
 Source energy: 7,580 kWh/Person yr
 Site energy: 22.87 kBtu/ft²yr

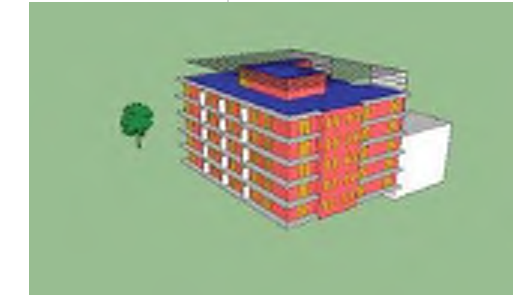


INITIAL MODEL

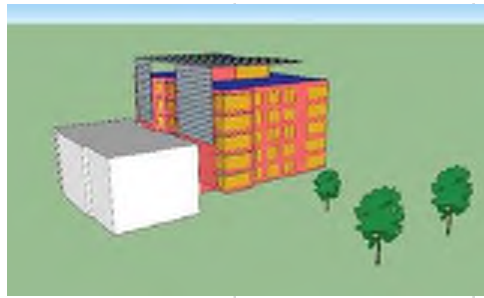
9,473 SF OF GLAZING TOTAL
37.2% OF TOTAL WALL



25% OBSCURE METAL SCREEN
ON BALCONY WINDOWS



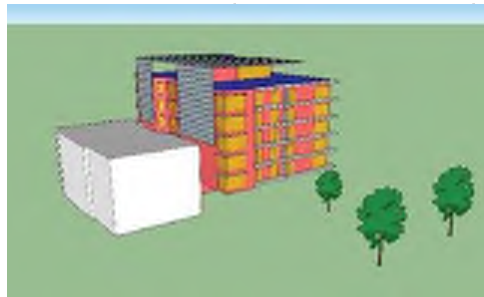
9,473 SF OF GLAZING TOTAL
37.2% OF TOTAL WALL
(NO BALCONIES)



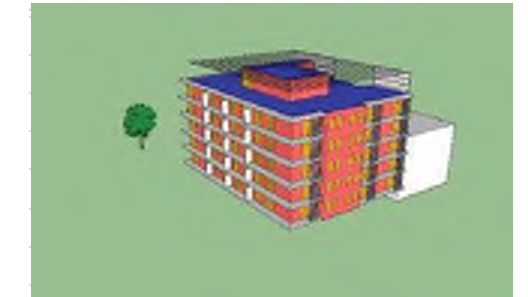
VERTICAL SLAT SCREENING



7,650 SF OF GLAZING TOTAL
30.0% OF TOTAL WALL



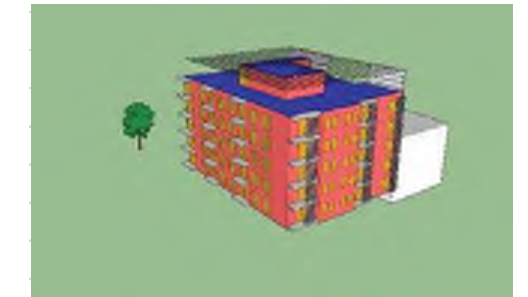
TARGETED 50% OBSCURE
METAL SCREEN



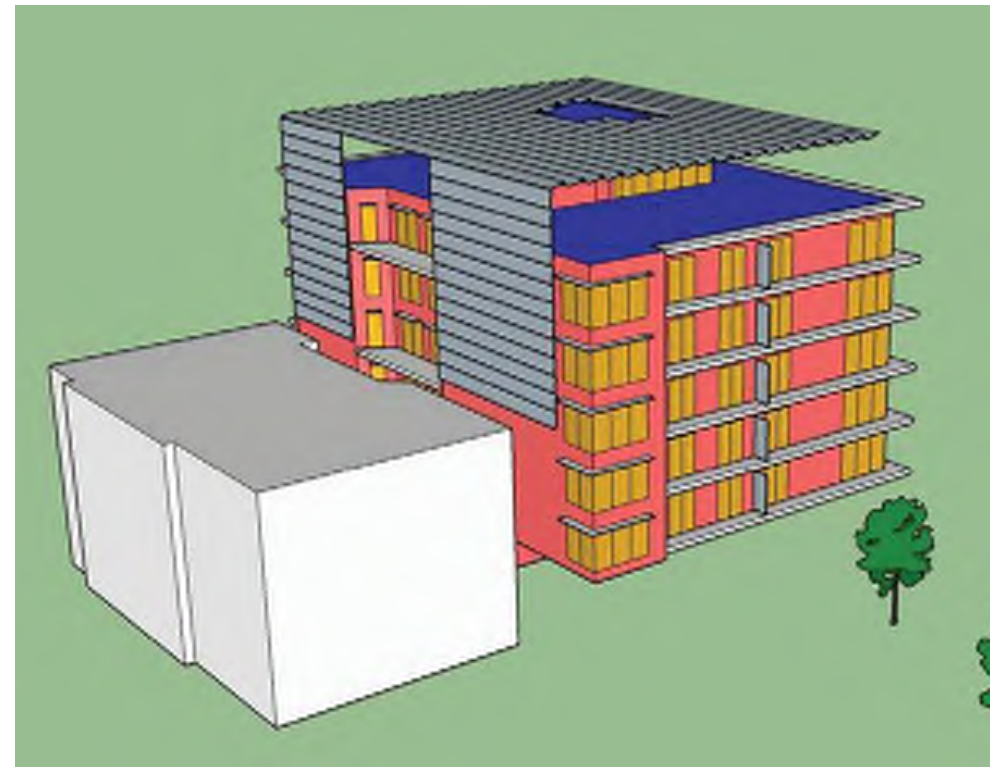
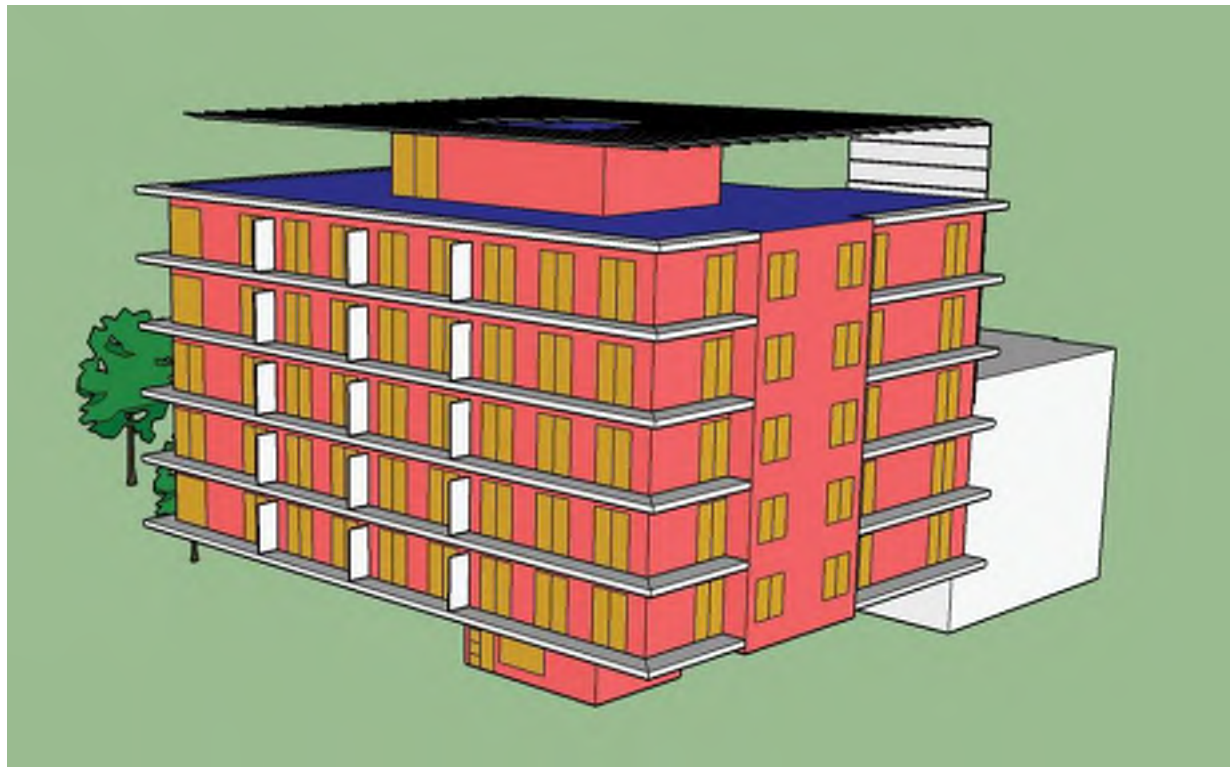
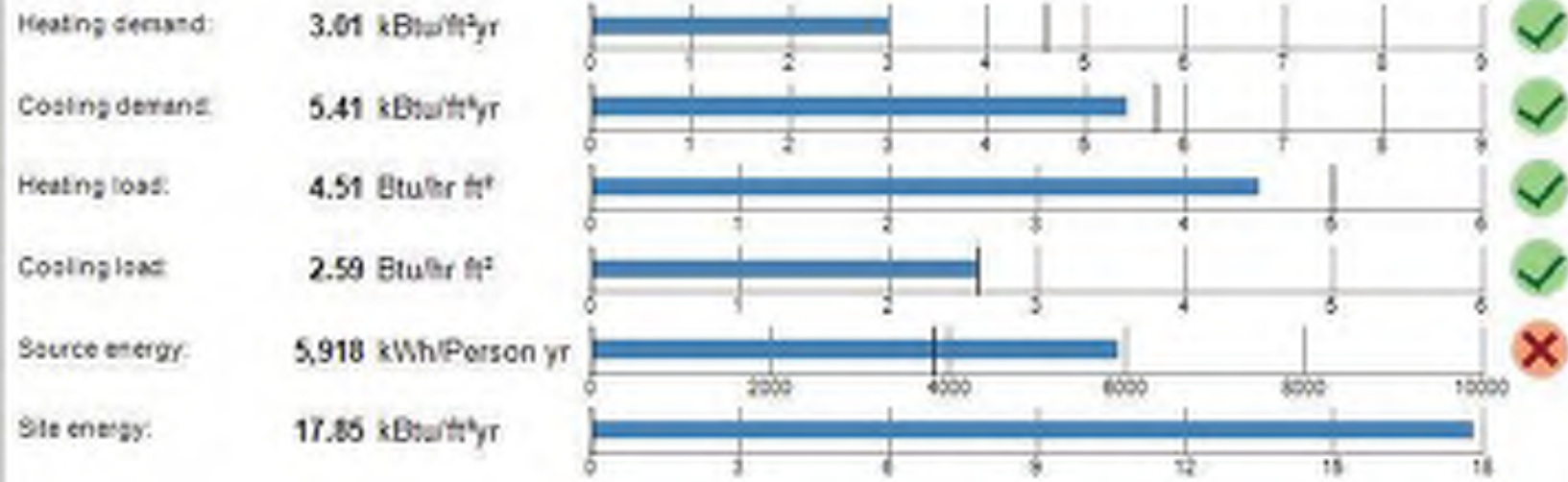
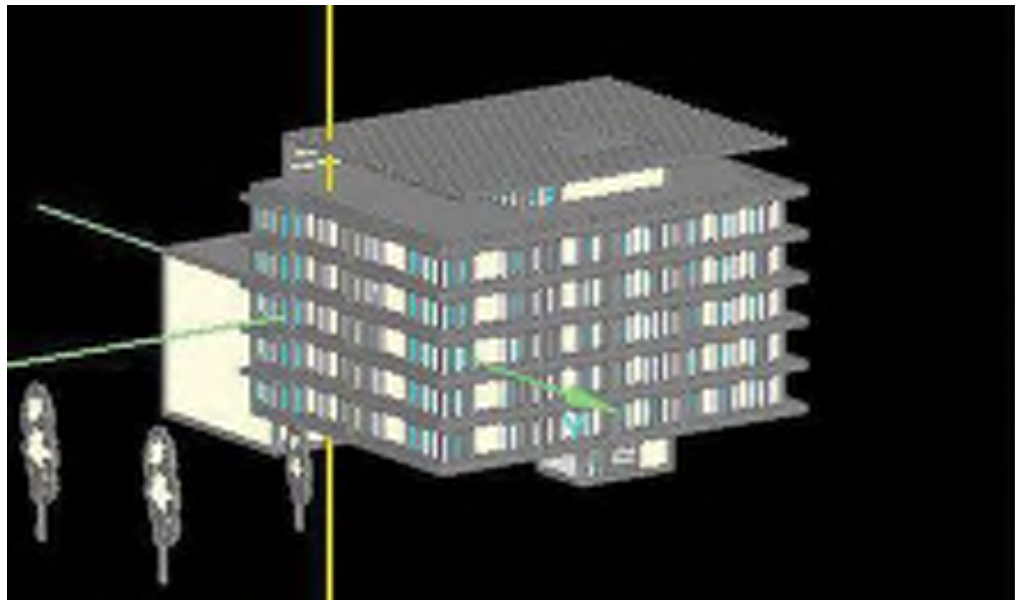
6,834 SF OF GLAZING TOTAL
26.8% OF TOTAL WALL



TARGETED 50% OBSCURE
METAL SCREEN, REDUCED BALCONY

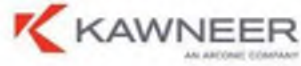


ITERATIONS



CURRENT MODEL

CURTAINWALL WINDOW SYSTEM (SE Corner Windows)



Window Frame	
Brand	Kawneer
System	1600 UT - 6"



Clear Glazing	
Brand	Vitro
System	SB60
Panes	Triple
Air Space	Argon
SHGC	0.329
VLT	70%
Whole Window U	0.18



Translucent Glazing	
Brand	Advanced Glazings
System	Solera T-R25+
Panes	Double
Air Space	Aerogel
SHGC	0.19
VLT	20%
Center of Glass	0.04

PUNCHED OPENINGS



Frames	
Brand	Glo
System	A7 Aluminum

Doors	
Brand	Glo
System	A5 Aluminum
Panes	Triple
R-Value	5
U-Value	0.14

Doors (Alternate)	
Brand	Glo
System	D1 Aluminum
Panes	Quadruple
R-Value	7
U-Value	0.14

Clear Glazing	
Brand	Glo
System	GloGlas 74/53/0.5
Panes	Triple
Air Space	Argon
SHGC	0.526
VLT	20%
Whole Window U	0.13



Translucent Glazing	
Brand	Advanced Glazings
System	Solera T-R25+
Panes	Double
Air Space	Aerogel
SHGC	0.19
VLT	20%
Center of Glass	0.04

WINDOW RECOMMENDATIONS

REFRIGERATOR

1 Bedroom & 2 Bedroom Units



Brand	LG
Model	LFCC22426S
Height(in)	69
Width(in)	35.75
Depth(in)	Counter
Volume(ft3)	27.5
kWh/yr	595
MSRP	\$ 2,099.00

Studio Units



Brand	GE
Model	GTE18DCNR
Height(in)	67.5
Width(in)	28
Depth(in)	32
Volume(ft3)	17.5
kWh/yr	359
MSRP	\$ 739-789

DISHWASHER

All Units



Brand	Whirlpool
Model	WDT710PAHZ
Height(in)	34.5
Width(in)	24
Depth(in)	24.5
Panel	Hidden
kWh/yr	270
MSRP	\$ 549-649

RANGE

All Units



Brand	Maytag
Model	MES80CFZ
Height(in)	36
Width(in)	30
Depth(in)	29
Volume(ft3)	6.4
Stove Top	Induction
Panel	Front/Top
MSRP	\$ 1,999

WASHER

1 Bedroom & 2 Bedroom Units



Brand	GE
Model	430SSM
Height(in)	39.75
Width(in)	27
Depth(in)	33.5
Volume(ft3)	4.5
kWh/yr	123
MSRP	\$ 699

1 Bedroom & 2 Bedroom Units



Brand	LG
Model	WM3660CV
Height(in)	39
Width(in)	27
Depth(in)	30.25
Volume(ft3)	4.5
kWh/yr	100
Stackable	Yes
MSRP	\$ 849

DRYER

1 Bedroom & 2 Bedroom Units



Brand	GE
Model	GFT14ESSM
Height(in)	33
Width(in)	23.5
Depth(in)	25.25
Volume(ft3)	4.1
Energy Star	No
Condenser	Yes
MSRP	\$ 1,099

1 Bedroom & 2 Bedroom Units



Brand	LG
Model	DLEC688W
Height(in)	33.5
Width(in)	24
Depth(in)	24.25
Volume(ft3)	4.2
Energy Star	No
Condenser	Yes
Stackable	Yes
MSRP	\$ 999

WASHER/DRYER COMBO

Studio Units



Brand	LG
Model	WM3488HW
Height(in)	33.5
Width(in)	24
Depth(in)	25.25
Volume(ft3)	2.3
Energy Star	No
Condenser	Yes
MSRP	\$ 1,599

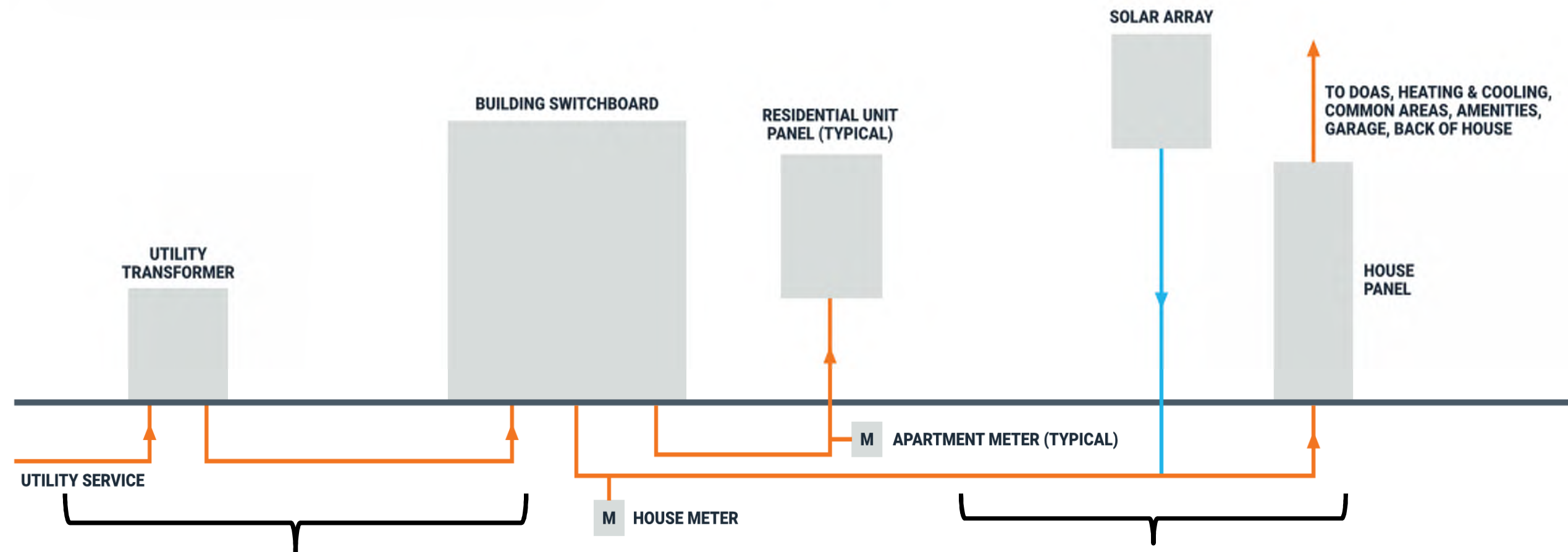
APPLIANCE RECOMMENDATIONS



SYSTEMS

DATA | BASED⁺
db HMS

UTILITY BILLING: MULTI-FAMILY OPTION 1



Any additional generation becomes part of community solar for OPRC.

Owner credited at full retail rate behind the meter.

ENERGY BREAKDOWN

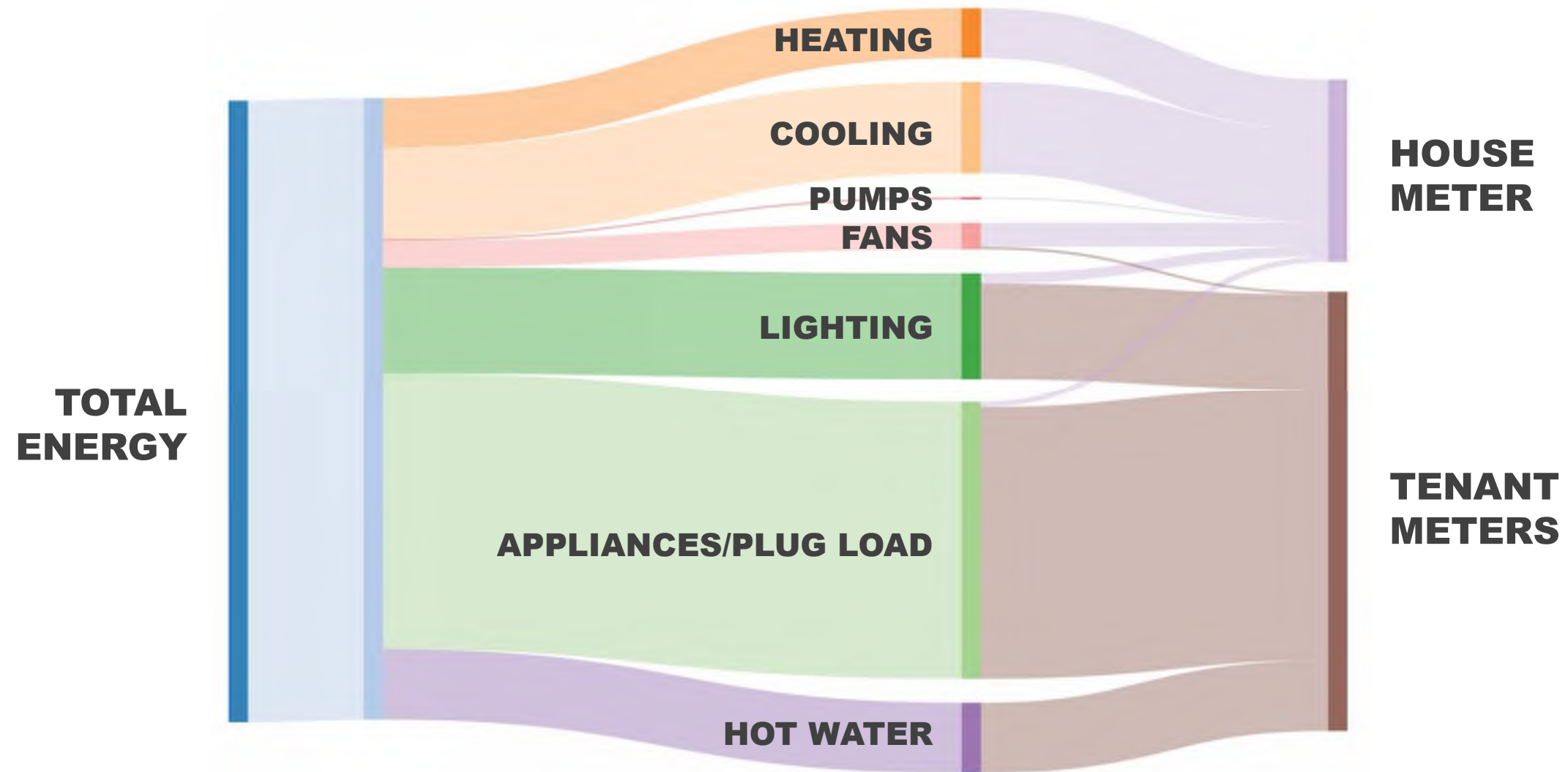


EXHIBIT 3

TITLE REPORT AND AFFIDAVIT



A POLICY ISSUING AGENT OF ATTORNEYS' TITLE GUARANTY FUND

ATG® COMMITMENT FORM - SCHEDULE A

Commitment No. 0408-11586

Effective date: August 3, 2004
State Issued: Illinois
File Number: 0408-11586

1. Policy or policies to be issued: Proposed Amount

OWNER: Proposed insured: \$725,000.00

VILLAGE OF OAK PARK RESIDENCE CORP. and AN IL. NOT FOR PROFIT CORPORATION

MORTGAGEE:

Proposed insured: **FIRST BANK OF OAK PARK**
TBD, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

\$ ~~725,000.00~~ **592,000.00**

2. The estate or interest in the land described or referred to in this Commitment and covered herein is Fee Simple and title thereto is at the effective date hereof vested in:

RIVER FOREST STATE BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED AUGUST 23, 1988 AND KNOWN AS TRUST NUMBER 3441.

3. The land referred to in the Commitment is situate in the County of Cook, State of Illinois, and is described as follows:

ALL OF LOT 1, THE NORTH 1/4 OF LOT 2 IN BLOCK 2 IN H. W. AUSTIN'S SUBDIVISION OF BLOCKS 2 AND 3 OF JAMES B. HOBBS SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ISSUED BY:

PELLEGRINI & CRISTIANO
5817 W. NORTH AVE.
OAK PARK, IL. 60302

SERVICING AGENT:

Prairie Title Services, Inc.
Oak Park, IL. 60302

Countersigned:

Marisa A. Cristiano
Signature of Member or Authorized Signatory

Member's Number



Waived

CHARGES TO BE PAID BY MARIA PELLEGRINI & CRISTIANO 6817 W. NORTH AVE. OAK PARK, IL. 60302 Phone: 708-524-3610 • Fax: 708-524-3612	DATE	FILE/INVOICE NO.	TYPE	PAGE	
	9/10/04	0408-11586	RR	1	
	BUYER	VILLAGE OF OAK PARK RESIDENCE CORP.			
	SELLER	STEVE WARDEN			
	PROPERTY ADDRESS	7 VAN BUREN Oak Park, IL 60302 Cook County, Illinois			
THANK YOU FOR YOUR ORDER! YOUR CHARGES ARE AS FOLLOWS:					

	BUYER/ BORROWER	SELLER
Owner's Policy: \$725,000.00	\$	\$ 1,601.25
Loan Policy: \$ TBD	250.00	
Closing Fee	650.00	
Record & Process fees to PTS: Deed	28.50	
Record & Process fees to PTS: Mortgage	52.50	
Record & Process fees to PTS: Release		97.50
State Transfer Tax: Deed		725.00
County Transfer Tax: Deed		362.50
OVERNIGHT PROCESS FEES		105.00
POLICY FEE	3.00	3.00
POLICY UPDATE	50.00	50.00
TOTAL	\$ 1,034.00	\$ 2,944.25

INVOICE TOTAL \$ 3,978.25

Richard Martini

708-386-4539

Tom Dwyer

708-445-3223

6821 WEST NORTH AVENUE
OAK PARK, ILLINOIS 60302

708.386.7900
VOICE

708.386.7939
TITLE DEPARTMENT FAX
708.386.9334
CLOSING DEPARTMENT FAX

WWW.PRAIRIETITLE.COM
WEB SITE
CLOSINGS@PRAIRIETITLE.COM
EMAIL

AFFIDAVIT OF TITLE
COVENANT AND WARRANTY
(Illinois)

STATE OF IL)
COUNTY OF COOK) SS

The undersigned affiant, being first duly sworn, on oath says, and also covenants with and warrants to the grantee hereinafter named:

That affiant has an interest in the premises described below or in the proceeds thereof or is the grantors in the deed dated OCTOBER, 2004, to VILLAGE OF OAK PARK RESIDENCE CORPORATION, an Illinois Not-for-Profit Corporation, grantee, conveying the following described premises:

ALL OF LOT 1 IN THE NORTH 1/2 OF LOT 2 IN BLOCK 2 IN H. W. AUSTIN'S SUBDIVISION OF BLOCKS 2 AND 3 OF JAMES B. HOBBS SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Subject To: General taxes for the year 2003/2004 and subsequent years; special taxes or assessments for improvements not yet completed; building lines and building and liquor restrictions of record; zoning and building ordinances; roads and highways, if any; private, public and utility easements of record; party wall rights and agreements, if any; covenants, conditions and restrictions of record (none of which provide for reverter) nor prohibit present use of property, if any.

Property Address: 7 Van Buren Street, Oak Park, Illinois 60304.

Permanent Index Number: 16-17-131-013-0000 V. 143.

That no labor or material has been furnished for premises within the last four months, that is not fully paid for.

That since the title date of August 3, 2004, in the report on title issued by Prairie Title Services, Inc., affiant has not done or suffered to be done anything that could in any way affect the title to premises, and no proceedings have been filed by or against affiant, nor has any judgment or decree been rendered against affiant, nor is there any judgment note or other instrument that can result in a judgment or decree against affiant within five days from the date hereof.

That the parties, if any, in possession of premises are bona fide tenants only, and have paid promptly and in full their rent to date, and are renting from (see rent schedule), and not for any longer term, and have no other or further interest whatsoever in premises.

That all water taxes, except the current bill, have been paid, and that all the insurance policies assigned have been paid for.

That this instrument is made to induce, and in consideration of, the said grantee's consummation of the purchase of premises.

Affiant further states: nothing further.

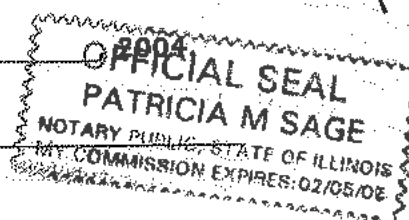
Stephen Lee Warden
by Maria Celeste Warden
STEPHEN LEE WARDEN *Atty in fact*

Maria Celeste Warden
by Maria Celeste Warden
MARIA CELESTE WARDEN *Atty in fact*

Subscribed and sworn to before me

this 17 day of Oct

Patricia M Sage
Notary Public





TRUSTEE'S DEED

I hereby certify that this
represents a true and
correct copy of this
instrument.

This Indenture, made October 5, 2004, between ColeTaylorBank, Successor Trustee to Corus Bank, f/k/a River Forest State Bank an Illinois Banking Corporation, Trustee under

the provisions of a deed or deeds in trust, duly recorded and delivered in pursuance of a trust agreement known as Trust No. 3441, dated August 23, 1988, party of the first part, and **VILLAGE OF OAK PARK RESIDENCE CORPORATION, an Illinois Not For Profit Corporation**, party of the second part, whose address is: 21 South Boulevard, Oak Park, Illinois 60302

Witnesseth, that said party of the first part, in consideration of the sum of Ten (\$10.00) dollars, and other good and valuable considerations in hand paid, does hereby Convey and Quit Claim unto said party of the second part, the following described real estate, situated in Cook County, Illinois, to wit:

SEE ATTACHED LEGAL DESCRIPTION

SUBJECT TO: See attached

Commonly Known As: **7 Van Buren Street, Oak Park, Illinois 60304**
P.I.N.: **16-17-131-013**

Together with the tenements and appurtenances thereunto belonging.


To Have and to Hold the same unto said party of the second part, and to proper use, benefit and behoof forever of said party of the second part.

This deed is executed by the party of the first part, as Trustee, as aforesaid, pursuant to and in the exercise of the power and authority granted to and vested in it by the terms of said Deed or Deeds in Trust and the provisions of said Trust Agreement above mentioned, and of every other power and authority thereunto enabling.

See Reverse

In Witness Whereof, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Vice President and attested by its Trust Officer, the day and year first above written.

COLETAYLORBANK,
As Trustee, as aforesaid,

By: 
Mario V. Gotanco, Vice President

Attest: 
Sherri Smith, Trust Officer

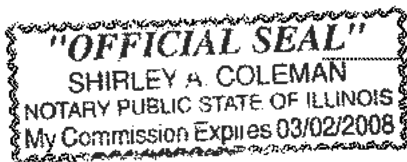
STATE OF ILLINOIS

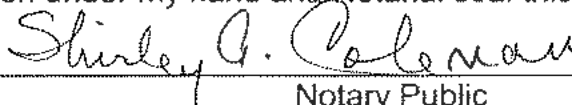
SS

COUNTY OF COOK

I, the undersigned, a Notary Public in and for said County, in the state aforesaid, do hereby certify that Mario V. Gotanco, Vice President and Sherri Smith, Trust Officer of *ColeTaylorBank*, personally known to me to be the same persons whose names are subscribed to the foregoing instruments as such Vice President and Trust Officer respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, as the free and voluntary act of said Bank, for uses and purposes therein set forth; and the said Trust Officer did also then and there acknowledge that said Trust Officer as custodian of the corporate seal of said Bank did affix the said corporate seal of said Bank to said instrument as said Trust Officer's own free and voluntary act, and as the free and voluntary act of said Bank for the uses and purposes therein set forth.

Given under my hand and Notarial seal this October 7, 2004




Notary Public

Mail To: **RICHARD A. MARTENS**
20 N. WACKER DR #1660
CHICAGO, IL 60606

Send Tax Bills To:
FIRST BANK OF OAK PARK
11 MADISON STREET
OAK PARK, IL 60302

Address of Property:
7 Van Buren Street
Oak Park, Illinois 60304

This instrument was prepared by:
Mario V. Gotanco
Cole Taylor Bank
111 W. Washington Street, Suite 650
Chicago, Illinois 60602

LEGAL DESCRIPTION

ALL OF LOT 1 IN THE NORTH 1/2 OF LOT 2 IN BLOCK 2 IN H. W. AUSTIN'S SUBDIVISION OF BLOCKS 2 AND 3 OF JAMES B. HOBBS SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Subject To: General taxes for the year 2003/2004 and subsequent years; special taxes or assessments for improvements not yet completed; building lines and building and liquor restrictions of record; zoning and building ordinances; roads and highways, if any; ~~private,~~ public and utility easements of record; ~~party-wall rights and agreements,~~ if any; covenants, conditions and restrictions of record (none of which provide for reverter) nor prohibit present use of property, if any.

Property Address: 7 Van Buren Street, Oak Park, Illinois 60304.

Permanent Index Number: 16-17-131-013-0000 V. 143.



**COOK COUNTY
REAL ESTATE TRANSFER DECLARATION**

The following is required by the Cook County Real Property Tax Ordinance effective September 1, 1993. Any transferor or transferee who fails to file with the Recorder a real property transfer declaration as required by Section 7 of this ordinance or a supplemental transfer declaration as required by Section 10 of this ordinance or willfully falsifies the value of transferred real estate, shall be subject to a penalty equal to the amount of the applicable tax; and shall be fined an amount not to exceed \$1000.00 or imprisoned for a period not to exceed six months, or both.

Except as to Exempt Transactions, the Recorder is prohibited by law from accepting any deed, assignment or other instrument of transfer for recordation unless it is accompanied by a declaration containing all of the information requested therein.

Recorder's Validation

PROPERTY IDENTIFICATION

Address of Property 7 Van Buren Street, Oak Park, Illinois 60304
Street or Rural Route City Zip Code

Permanent Real Estate Index No. 16-17-131-013-0000 V. 143 Township Oak Park

Date of Deed 10/2004 Type of Deed Warranty Deed

TYPE OF PROPERTY

- Single Family
- Condo, co-op
- 4 or more units (residential)
- Mixed use (commer. & resid.)
- Commercial
- Industrial
- Vacant Land
- Other (attach description)

LEGAL DESCRIPTION:

Sec. _____ Twp. _____ Range _____
 (Use additional sheet, if necessary)

See attached.

INTEREST TRANSFERRED

- Fee title
- Beneficial interest in a land trust
- Lessee interest in a ground lease
- Controlling interest in real estate entity (ord. Sec.2)
- Other (attache description)

COMPUTATION OF TAX:

Full actual consideration	\$	<u>725,000.00</u>
Less amount of personal property included in purchase	\$	<u>0</u>
Net consideration for real estate	\$	<u>725,000.00</u>
Less amount of mortgage to which property remains subject	\$	<u>0</u>
Net taxable consideration	\$	<u>725,000.00</u>
Amount of tax stamps (\$.25 per \$500 or part thereof)	\$	<u>362.50</u>

ATTESTATION OF PARTIES: We hereby declare the full actual consideration and above facts contained in this declaration to be true and correct.

Warden, 4330 Center Gate Blvd., Sarasota, FL 34233
 Name and Address of Seller (Please Print) Street or Rural Route City Zip Code
 Signature [Signature] Seller or Agent

Village of Oak Park Res. Corp., 21 South Boulevard, Oak Park, IL 60302
 Name and Address of Buyer (Please Print) Street or Rural Route City Zip Code
 Signature [Signature] Buyer or Agent

Use space below for tax mailing address, if different from above.

PELEGRINI & CRISTIANO
 Frank Pellegrini
 Maria A. Cristiano
 Carolina Jirón
 6817 West North Avenue
 Oak Park, Illinois 60302

TELEPHONE (708) 524-3610
 FACSIMILE (708) 524-3612

CLOSING STATEMENT

PROPERTY: 7 VAN BUREN STREET, OAK PARK, IL
 SELLER: GULF COAST INTERMEDIARY, LLC (WARDEN)
 PURCHASER: VILLAGE OF OAK PARK RES. CORP.
 DATE OF CONTRACT: AUGUST 18, 2004
 DATE OF POSSESSION: OCTOBER 8, 2004

BROKER: N/A
 ADDRESS: 4330 CENTER GATE BLVD., SARASOTA, FL
 ADDRESS: 21 SOUTH BOULEVARD, OAK PARK, IL
 DATE OF CLOSING: OCTOBER 8, 2004

	CREDIT PURCHASER	CREDIT SELLER
PURCHASE PRICE		\$725,000.00
EARNEST MONEY	\$5,000.00	
2003 REAL ESTATE TAXES FIRST INSTALLMENT (\$11,454.34)	PAID	
2003 REAL ESTATE TAXES SECOND INSTALLMENT @ 110%	13,745.21	
2004 REAL ESTATE TAXES (1-1-04 TO 10-8-04) @ 110%	19,415.70	
TITLE EXPENSE	1,601.25	
REVENUE STAMPS	1,087.50	
ATTORNEY'S FEES & COSTS -- PELLEGRINI & CRISTIANO	875.00	
RECORDING FEES (2-RELEASES)	65.00	
FIRST MORTGAGE PAYOFF -- WORLD SAVINGS BANK	214,369.60	
OVERNIGHT DELIVERY OF PAYOFF	35.00	
OAK PARK TRANSFER STAMPS -- PELLEGRINI & CRISTIANO	5,800.00	
OAK PARK FINAL WATER BILL -- PELLEGRINI & CRISTIANO	211.50	
STATE OF ILLINOIS, COMMITMENT UPDATE FEES	53.00	
SECURITY DEPOSIT CREDIT	8,388.00	
RENT CREDIT (\$4,069.00/MO.) (10-8 TO 10-31)	3,150.24	
TRUSTEE'S FEES -- PELLEGRINI & CRISTIANO	75.00	
1031 EXCHANGE FEES -- ICARD, MERRILL	750.00	
TOTAL DEDUCTIONS	\$274,622.00	
NET TO SELLER		\$450,378.00

ACCEPTED: Maria A. Cristiano
 Attorney for seller

VILLAGE OF OAK PARK RESIDENCES CORP,
 an Illinois not-for-profit corporation

ACCEPTED: Edward W. [Signature]
 EXECUTIVE DIRECTOR

**BILL OF SALE
ILLINOIS**

Sellers, **STEPHEN LEE WARDEN** and **MARIA CELESTE WARDEN**, of Sarasota, Florida, in consideration of ten and no/100 dollars, receipt whereof is hereby acknowledged, does hereby sell, assign, transfer and set over to Buyer, **VILLAGE OF OAK PARK RESIDENCE CORPORATION**, an Illinois Not-for-Profit Corporation, of Oak Park, Illinois, the following described personal property, to-wit:

SCREENS, STORM WINDOWS AND DOORS, AWNINGS, SHADES, BLINDS; DRAPERY AND CURTAIN RODS, BRACKETS AND FIXTURES; SHUTTERS; GROWING VEGETATION; CENTRAL HEATING AND COOLING; LIGHTING AND PLUMBING FIXTURES; 12-REFRIGERATORS; 12-RANGES/OVENS/STOVES; WALL TO WALL CARPET(S); WINDOW TREATMENT(S).

All if located on the premises known as 7 Van Buren Street, Oak Park, Illinois 60304 on August 18, 2004.

Seller hereby represents and warrants to Buyer that Seller is the absolute owner of said property, that said property is free and clear of all liens, charges and encumbrances, and that Seller has full right, power and authority to sell said personal property and to make this bill of sale. All warranties of quality, fitness, and merchantability are hereby excluded.

If this bill of sale is signed by more than one person, all persons so signing shall be jointly and severally bound hereby.

IN WITNESS WHEREOF, Seller has signed and sealed this bill of sale at SARASOTA
FL.
this 4 day of oct, 2004.

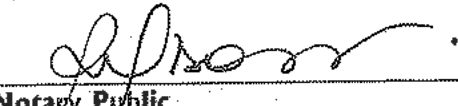

STEPHEN LEE WARDEN


MARIA CELESTE WARDEN

STATE OF FL)
COUNTY OF SARASOTA) SS

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that **STEPHEN LEE WARDEN** and **MARIA CELESTE WARDEN**, personally known to me to be the same persons whose names are subscribed to the foregoing instrument appeared before me this day in person, and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes herein set forth.

Given under my hand and official seal
this 4 day of oct, 2004.


Notary Public

Commission expires DEC 12/05



PTAX-203

Illinois Real Estate Transfer Declaration

Do not write in this area.
This space is reserved for the County Recorder's Office use.

County:

Date:

Doc. No.:

Vol.:

Page:

Received by:

Please read the instructions before completing this form. This form can be completed electronically at www.revenue.state.il.us/retd.

Step 1: Identify the property and sale information.

1 7 Van Buren Street

Street address of property (or B11 address, if available)

Oak Park

Oak Park

City or village

Township

2 Write the total number of parcels to be transferred. 1

3 Write the parcel identifying numbers and lot sizes or acreage.*

Parcel identifying number

Lot size or acreage

a 16-17-131-013 V. 143

75.50 X 122.52

b _____

c _____

d _____

Write additional parcel identifiers and lot sizes or acreage in Step 3.

4 Date of deed/trust document: 1 0 / 2 0 0 4

Month

Year

5 Type of deed/trust document* (Mark with an "X."): X Warranty deed

Quit claim deed _____ Executor deed _____ Trustee deed _____

Other (specify): _____

6 X Yes _____ No Will the property be the buyer's principal residence?*

7 X Yes _____ No Was the property advertised for sale or sold using a real estate agent?*

8 Identify the property's current and intended primary use.

Current Intended (Mark only one item per column with an "X.")

a _____ Vacant land/lot

b X X Residence (single-family, condominium, townhome, or duplex)

c _____ Mobile home residence

d _____ Apartment building (6 units or less) No. of units: _____

e _____ Apartment building (over 6 units) No. of units: _____

f _____ Office

g _____ Retail establishment

h _____ Commercial building (specify)*: _____

i _____ Industrial building

j _____ Farm

k _____ Other (specify)*: _____

9 Identify any significant physical changes in the property since January 1 of the previous year and write the date of the change.

(Mark with an "X.")

Demolition/damage _____ Additions _____ Major remodeling _____

New construction _____ Other (specify): _____

Date of significant change*: _____ / _____ / _____

Month

Year

10 Identify only the items that apply to this sale. (Mark with an "X.")

a _____ Fulfillment of installment contract — year contract initiated* _____

b _____ Sale between related individuals or corporate affiliates

c _____ Transfer of less than 100 percent interest*

d _____ Court-ordered sale*

e _____ Sale in lieu of foreclosure

f _____ Condemnation

g _____ Auction sale

h _____ Seller/buyer is a relocation company

i _____ Seller/buyer is a financial institution* or government agency

j _____ Buyer is a real estate investment trust

k _____ Buyer is a pension fund

l _____ Buyer is an adjacent property owner

m _____ Buyer is exercising an option to purchase*

n _____ Trade of property (simultaneous)*

o _____ Sale-leaseback

p _____ Other (specify)*: _____

Step 2: Calculate the amount of transfer tax due.

Note: Round Lines 11 through 17 to the next highest whole dollar. If the amount on Line 11 is over \$1 million and the property's current use on Line 8 above is marked "e," "f," "g," "h," "i," or "k," complete Form PTAX-203-A, Illinois Real Estate Transfer Declaration Supplemental Form A.

11	Full actual consideration*	\$	725,000
12a	Amount of personal property included in the purchase*	\$	
12b	Was the value of a mobile home included on Lines 11 and 12a?		Yes <u>X</u> No
13	Subtract Line 12a from Line 11. This is the net consideration for real property.	\$	725,000
14	Amount for other real property transferred to the seller (in a simultaneous exchange) as part of the full actual consideration on Line 11*	\$	
15	Outstanding mortgage amount to which the transferred real property remains subject*	\$	
16	If this transfer is exempt, use an "X" to identify the provision.*		<u>_____</u> b <u>_____</u> k <u>_____</u> m
17	Subtract Lines 14 and 15 from Line 13. This is the net consideration subject to transfer tax.	\$	725,000
18	Divide Line 17 by 500. Round the result to the next highest whole number (e.g., 61,002 rounds to 62).		1450
19	Illinois tax stamps — multiply Line 18 by 0.50.	\$	725.00
20	County tax stamps — multiply Line 18 by 0.25.	\$	362.50
21	Add Lines 19 and 20. This is the total amount of transfer tax due.	\$	1,087.50

* See instructions.

ID:INT

This form is authorized in accordance with 35 ILCS 200/31-1 et seq. Disclosure of this information is REQUIRED. This form has been approved by the Forms Management Center. IL-492-0227

PTAX-203 (R-7/00)

Page 1 of 2

Step 3: Write the legal description from the deed. Write, type (minimum 10-point font required), or attach the legal description from the deed. If you prefer, submit an 8 1/2" x 11" copy of the extended legal description with this form. You may also use the space below to write additional parcel identifiers and lots sizes or acreage from Step 1, Line 3.

Step 4: Complete the requested information.

The buyer and seller (or their agents) hereby verify that to the best of their knowledge and belief, the full actual consideration and facts stated in this declaration are true and correct. If this transaction involves any real estate located in Cook County, the buyer and seller (or their agents) hereby verify that to the best of their knowledge, the name of the buyer shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire and hold title to real estate under the laws of the State of Illinois. Any person who willfully falsifies or omits any information required in this declaration shall be guilty of a Class B misdemeanor for the first offense and a Class A misdemeanor for subsequent offenses. Any person who knowingly submits a false statement concerning the identity of a grantee shall be guilty of a Class C misdemeanor for the first offense and of a Class A misdemeanor for subsequent offenses.

Seller Information (Please print.)

Warden
 Seller's or trustee's name
 4330 Center Gate Boulevard
 Street address (after sale)
 (Signature)
 Seller's or agent's signature
 Seller's trust number (if applicable)
 Sarasota FL 34233
 City State ZIP
 (941) -504-3783 -- Cell
 Seller's daytime phone

Buyer Information (Please print.)

Vill. of Oak Park Res. Corp.
 Buyer's or trustee's name
 21 South Boulevard
 Street address (after sale)
 (Signature)
 Buyer's or agent's signature
 Buyer's trust number (if applicable)
 Oak Park IL 60302
 City State ZIP
 (708) -715-4400
 Buyer's daytime phone

Mail tax bill to:

Vill. of Oak Park Res. Corp. 21 South Boulevard
 Name or company Street address
 Oak Park IL 60302
 City State ZIP

Preparer Information (Please print.)

Pellegrini & Cristiano
 Preparer's and company's name
 6817 West North Avenue
 Street address
 (Signature)
 Preparer's signature
 deb@pellegrini-cristiano.com
 Preparer's e-mail address (if available)
 04-8607
 Preparer's file number (if applicable)
 Oak Park IL 60302
 City State ZIP
 (708) -524-3610 1317
 Preparer's daytime phone

Identify any required documents submitted with this form. (Mark with an "X.") Extended legal description Form PTAX-203-A
 Itemized list of personal property

To be completed by the Chief County Assessment Officer 1 _____ County Township Class Cook-Minor Code 1 Code 2 2 Board of Review's final assessed value for the assessment year prior to the year of sale. Land _____ Buildings _____ Total _____		3 Year prior to sale _____ 4 Does the sale involve a mobile home assessed as real estate? Yes No 5 Comments
To be completed by the Illinois Department of Revenue Full consideration _____ Adjusted consideration _____		Tab number _____

ALL OF LOT 1 IN THE NORTH 1/2 OF LOT 2 IN BLOCK 2 IN H. W. AUSTIN'S SUBDIVISION OF BLOCKS 2 AND 3 OF JAMES B. HOBBS SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Subject To: General taxes for the year 2003/2004 and subsequent years; special taxes or assessments for improvements not yet completed; building lines and building and liquor restrictions of record; zoning and building ordinances; roads and highways, if any; private, public and utility easements of record; party wall rights and agreements, if any; covenants, conditions and restrictions of record (none of which provide for reverter) nor prohibit present use of property, if any.

Property Address: 7 Van Buren Street, Oak Park, Illinois 60304.

Permanent Index Number: 16-17-131-013-0000 V. 143.



Real Estate Transfer Tax

Check Appropriate Boxes

RESIDENTIAL

COMMERCIAL

MULTI-UNIT
NO. OF UNITS 12

DECLARATION

EXEMPTION

RECORDER OR REGISTRAR'S DEED NO. _____
DATE RECORDED _____ <i>(For Recorder's Use Only)</i>

INSTRUCTIONS:

- 1) This form must be filled out completely, signed by at least one of the grantees (buyers), signed by at least one of the grantors (sellers), and presented to the Office of the Village Clerk, 1 Village Hall Plaza, Oak Park, Illinois, or other designated agent, at the time of purchase of real estate transfer stamps as required by the Oak Park Real Estate Tax Ordinance. The stamps must be affixed to the deed, and this form attached, when the title is recorded.
- 2) The full actual amount of consideration of the transaction is the amount upon which the tax is to be computed. Both the full actual consideration of the transaction and the amount of the tax stamps required must be stated on the declaration.
- 3) A signed copy of the Illinois Tax Declaration form must be sent to the Office of the Village Clerk, pursuant to Section 9 of the ordinance, by the grantee (buyer) of any deed or assignee of beneficial interest within ten days after delivery of the deed or assignment of beneficial interest.
- 4) For additional information, please call the Village Clerk's Office at 383-6400 X2358 Monday thru Friday, 8:30 A.M. to 5:00 P.M.

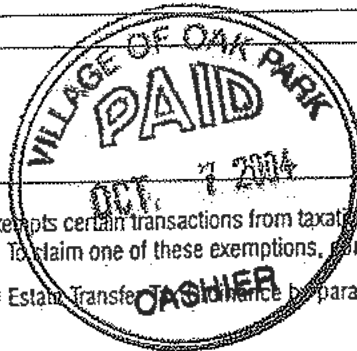
Address of Property 7 Van Buren St. Oak Park 60304 Street Zip Code

Permanent Property Index No. 16-17-131-013

Date of Deed 10/2004

Type of Deed Trustee's

Full Actual Consideration (Include amount of mortgage and value of liabilities assumed)	<u>\$ 225,000</u>
Amount of Tax (\$8.00 per \$1,000 or fraction thereof of full actual consideration) Payment of tax is obligation of seller.	<u>\$ 5800</u>



Note: The Village of Oak Park, Oak Park Real Estate Transfer Tax Ordinance specifically exempts certain transactions from taxation. These exemptions are enumerated in Sections 6 and 7 of the ordinance which are printed on the reverse side of this form. To claim one of these exemptions, complete the appropriate blanks below:

I hereby declare that this transaction is exempt from taxation under the Oak Park Real Estate Transfer Tax Ordinance by paragraph(s) _____ of Section _____ of said ordinance.

Details of exemption claimed: (explain) _____

We hereby declare the full actual consideration and above facts contained in this declaration to be true and correct.

Grantor: *[Please Print]*
(Seller) WARDEN, 4330 CENTER GATE, SARASOTA, FL 3423 Name Address Zip Code

Signature Debra S. Postano, Agent Seller or Agent Date Signed 9-24-04

Grantee: *[Please Print]*
(Buyer) VIL. OF OAK PARK RES. CORP., 21 SOUTH BLVD., OAK PARK, IL 60302 Name Address Zip Code

Signature Debra S. Postano, Agent Buyer or Agent Date Signed 9-24-04

The Finance Department certifies that all water and sewer assessments are paid in full for the property as of the date of _____

Account _____ Certified by: _____

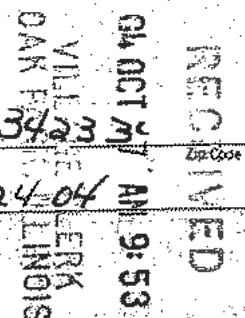
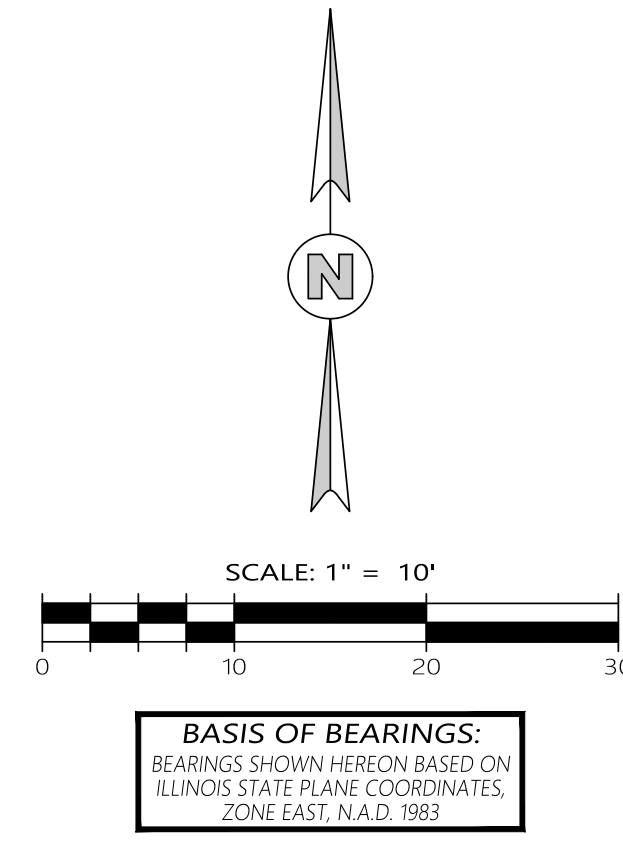


EXHIBIT 4

SURVEY

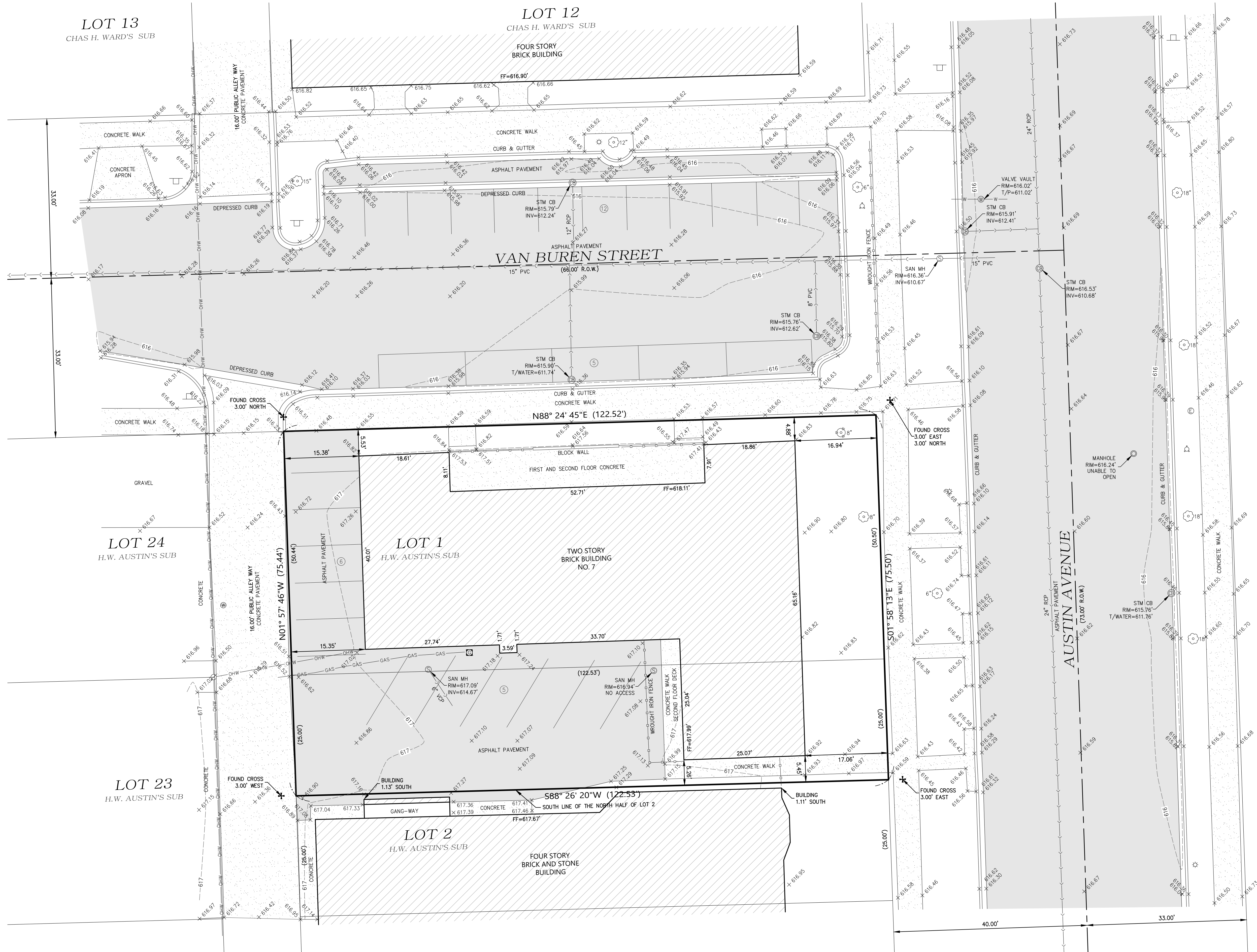
BOUNDARY AND TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION
 ALL OF LOT 1 AND THE NORTH HALF OF LOT 2 IN BLOCK 2 IN H.W. AUSTIN'S SUBDIVISION OF BLOCKS 2 AND 3 OF JAMES B. HOBBS' SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LEGEND

- ⊕ EXISTING SIGN
- ⊙ EXISTING LIGHT POLE
- ⊗ EXISTING MANHOLE
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING STORM CATCH BASIN
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER VALVE & VAULT
- ⊕ EXISTING WATER BUFFALO BOX
- ⊕ EXISTING POWER POLE
- ⊕ EXISTING ELECTRIC MANHOLE
- ⊕ EXISTING ELECTRIC METER
- ⊕ EXISTING GAS METER
- ⊕ PARKING STALL COUNT
- PARCEL LIMITS
- CENTER LINE OF RIGHT OF WAY
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING WATERMAIN LINE
- GAS — EXISTING GAS LINE
- OHW — EXISTING OVERHEAD WIRES
- 705 — EXISTING CONTOUR MAJOR 5 FOOT
- 706 — EXISTING CONTOUR MINOR 1 FOOT
- EXISTING WROUGHT IRON FENCE
- RCP — REINFORCED CONCRETE PIPE
- VCP — VITRIFIED CLAY PIPE
- PVC — POLYVINYL CHLORIDE PIPE
- EXISTING BUILDING
- EXISTING CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT



STATE OF ILLINOIS)
 COUNTY OF DEKALB)
 WE, REGIONAL LAND SERVICES, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-007858-0010 DO HEREBY DECLARE THAT WE HAVE SURVEYED THE TRACT OF LAND SHOWN HEREON AND THIS PLAT IS A CORRECT REPRESENTATION OF SAID TRACT.

GIVEN UNDER MY HAND AND SEAL THIS 5TH DAY OF APRIL, A.D. 2020, AT SYCAMORE, ILLINOIS.

Rudy P. Dixon
 RUDY P. DIXON
 ILLINOIS PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 035-003832
 LICENSE EXPIRES: NOVEMBER 30, 2021

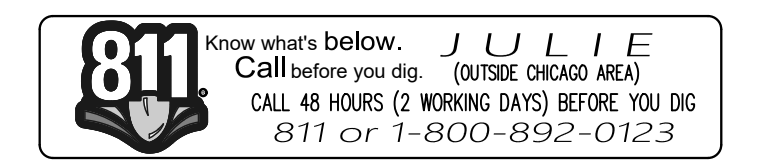


THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY.

BENCHMARKS:
 BENCHMARK NUMBER 401
 TAG BOLT ON FIRE HYDRANT LOCATED 10' NORTH OF THE CENTER LINE OF VAN BUREN STREET ON THE WEST SIDE OF AUSTIN AVENUE.
 ELEVATION = 617.72' NAVD88

BENCHMARK NUMBER 402
 TAG BOLT ON FIRE HYDRANT LOCATED 42' SOUTH OF THE CENTER LINE OF VAN BUREN STREET ON THE EAST SIDE OF AUSTIN AVENUE.
 ELEVATION = 617.75' NAVD88

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



PROJECT NUMBER: 200135	DATE: 4/5/2020
SCALE: 1" = 10'	CHECKED BY: RJD
DRAWN BY: RMVH	DATE: 4/5/2020
PROJECT ADDRESS: 7 VAN BUREN STREET, OAK PARK, IL 60302	DATE: 3/23/2020
ISSUED: 4/5/2020	DATE: 4/5/2020
DESCRIPTION: 0	DATE: 4/5/2020

CLIENT:
 CAGE CIVIL ENGINEERING
 310 WOODCREEK DRIVE, DOWNERS GROVE, IL 60515
 PHONE: (630) 598-0007

REGIONAL LAND SERVICES
 270 VIDA COURT
 SYCAMORE, ILLINOIS 60178
 PHONE: (618) 559-2260

PROJECT NUMBER: 200135
 DATE: 4/5/2020
 SHEET: 1 OF 1
 DRAWING NUMBER: PL1
 PLOT: 1

EXHIBIT 5

HISTORIC PRESERVATION LETTER



123 Madison Street, Oak Park, Illinois 60302

September 22, 2021

David Pope
Oak Park Residence Corporation
21 South Boulevard
Oak Park, IL 60302

Re: **Advisory Review – 7 Van Buren St**

Dear Mr. Pope:

The Historic Preservation Commission's (HPC) Advisory Review process was completed at the August 19, 2020 meeting of the HPC. As the project does not meet the definition of demolition in the Historic Preservation Ordinance, the HPC review is advisory only.

As part of their review, the HPC was required to consider the long-term compatibility with and potential effect on the adjacent Landmarks, the Poley Building (408-410 S Austin Blvd) and the Dorothy Manor Apartments (424-426 S Austin Blvd). In their analysis, the HPC used the *Secretary of the Interior's Standards for Rehabilitation* and the Oak Park Architectural Review Guidelines.

The Architectural Review Guidelines recommend the following for new buildings:

Architectural Review Guidelines – New Building Policy

1. A new building in a historic district must be compatible with the size, scale, set-back, massing, material, and character of the buildings which surround it on the same and adjacent blocks (the zone of influence for new buildings is six blocks -- the block on which the building is proposed to be built, the two adjacent blocks on the same side of the street, and the three opposing blocks on the other side of the same street).
2. A new building shall not change the historic character of the other buildings which surround it on the same and adjacent blocks.
3. A new building shall have its front entrance facing the same direction as the majority of buildings on the same block, unless it can be shown that compatibility with adjacent buildings can be achieved better through a different orientation.
4. A new building built in a historic district shall be compatible but visually distinct from other buildings which surround it on the same and adjacent blocks.

Specific comments and recommendations from the Historic Preservation Commission and Architectural Review Committee included the following:

Architectural Review Committee Review - February 26, 2020

The ARC comments, which addressed two design options, included:

- The ARC discussed the height, including that the building is taller than neighboring buildings and the floor-to-floor height is higher. It was recommended that the building be stepped back at the third or fourth floor to minimize visual impact.
- Concern was expressed about the solid wall directly adjacent to the neighboring Landmark. It was suggested that the façade be treated with vertical elements at this location.
- Solar panels were discussed, including whether they have to be solid.
- The decorative features of the neighboring Landmark were discussed and the ARC suggested incorporating elements referencing aspects like the diamond pane windows, materials, or colors of the Landmark building.
- Concern was expressed about the overall massing of the proposed building.

Historic Preservation Commission Review - August 19, 2020

Specific recommendations from members of the HPC included:

- Several Commissioners felt that the southeast corner facing Austin Blvd and adjacent to the neighboring Landmark should be lightened or softened. For example, it could feature a portion of opaque glass.
- Several Commissioners agreed that the design is well-proportioned and has horizontal lines and warmth reminiscent of the Prairie style and appropriate to Oak Park.
- One Commissioner expressed concern about the height and massing of the building and suggested that the upper floors be stepped back.
- One Commissioner expressed concern that the detail of the Landmarks would diminish in size in comparison to the new building. However, it was appreciated that efforts were made to play on some of the delicate decorative details found on the older buildings.

For reference, a full recording of the meeting can be found at www.oak-park.us/commissiontv.

This letter serves as verification that the HPC's Advisory Review process is complete. If you have any questions, please contact Susie Trexler at strexler@oak-park.us or (708) 358-5443.

Sincerely,

Susie C. Trexler

Urban Planner
Historic Preservation
Village of Oak Park, Illinois
Direct Line: (708) 358-5443
Website: www.oak-park.us

EXHIBIT 7

**VILLAGE SERVICES AND PROPERTY TAX
PROJECTIONS**



Members of the Plan Commission
Village of Oak Park

September 22, 2021

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed residential planned development to be located at 7 Van Buren Street by the Oak Park Residence Corporation as presented by their architect Charles Swanson. Pursuant to my review on Tuesday, September 21, 2021 I have determined that the development proposal will not have a negative impact on the Police Department.

Sincerely,

A handwritten signature in blue ink that reads "LaDon Reynolds". The signature is fluid and cursive, with the first name being more prominent.

LaDon Reynolds
Police Chief, Village of Oak Park



Members of the Plan Commission
Village of Oak Park

September 22, 2021

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed residential planned development to be located at 7 Van Buren Street by the Oak Park Residence Corporation as presented by their architect Charles Swanson. Pursuant to my review on Tuesday, September 21, 2021 I have determined that the development proposal will not have a negative impact on the Fire Department.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Fadden".

Kevin Fadden,
Interim Fire Chief, Village of Oak Park

PROPERTY TAX REPORT
Oak Park Residence Corporation
Prepared by Amari & Locallo on 03/18/2021

SUBJECT PROPERTY

Address: 7 W. Van Buren St.
Oak Park, IL 60304

Township: Oak Park
County: Cook
PIN: 16-17-131-013-0000
Class: 3-91
Level of Assessment: 10.00%
Gross Land Area: 9,286
Rentable Building Area: 30,997
Number of Units: 44

Estimated RE Taxes
Post-Construction

Assessments:

Land Assessment	15,321
Building Assessment	382,187
Total Assessment	397,508

Common Indicators of Value:

Total Market Value	\$3,975,080
Market Value Per Unit	\$90,343

Taxes:

Multiplier	2.9160
Tax Rate	13.157%
Equalized Tax Rate	38.366%
Total Real Estate Taxes	\$152,507
Taxes Per Unit	\$3,466

Comments:

While we think it is very likely the Cook County Assessor's Office will initially propose a much higher assessment valuation for the subject property post-construction, based upon the information provided along with consideration of market conditions in the area and the Cook County Board of Review's recent historical valuation methodology and procedures applied to properties of the subject's type, after appeals, we estimate yearly real estate taxes for the property of the approximate amount shown above.

*This report contains our best estimates based upon information currently available. Tax rates and other factors affecting the value of property change each year. There are many factors that could result in higher or lower real estate taxes for upcoming years. These factors include: changes in market conditions, income, vacancy, occupancy, and appraisal evidence. Please consider this in your budget.

EXHIBIT 8

MARKET FEASIBILITY REPORT



Kretchmer Associates

REAL ESTATE AND PLANNING CONSULTING

807 Davis Street #2004,
Evanston, IL 60201
847.864.8895
vsk@kretchmerassociates.com

TO: David Pope, Oak Park Residence Corporation

FROM: Valerie Kretchmer and Uri Pachter, Kretchmer Associates

DATE: August 11, 2020

SUBJECT: 7 Van Buren Market Rent Assessment

Kretchmer Associates prepared the following assessment regarding the redevelopment potential of 7 Van Buren Street into a new, 44-unit net zero energy apartment building.

We conducted the following for this assessment:

- Visited the site to determine its comparability to other market-rate properties in Oak Park.
- Obtained information on comparable and nearby properties in Oak Park from property websites. We saw the exteriors of the properties but not the interiors. We assessed the overall quality of the building amenities and units from online descriptions and photos.
- Calculated recommended market rents for the subject property based on the comparable properties. Adjustments were made based on age, location, unit size and quality, and indoor and outdoor amenities.





RECOMMENDATIONS

The proposed redevelopment of 7 Van Buren Street should be competitive with Oak Park's Class A properties. The key differences between the subject property and the other Class A properties are location, building size, number of amenities, unit sizes and the net-zero energy aspect. In all, we recommend rents between 90-95% of the median rent per square foot of the smaller units at the four most comparable properties: Albion Oak Park, Eleven33, The Emerson, and Vantage Oak Park. Table 1 shows the range of proposed rents and rents per square foot. The “low” rent/square foot is 90% of the median rent/square foot described above and the “high” rent/square foot is 95%.

Table 1
7 VAN BUREN PROPOSED MARKET RENTS

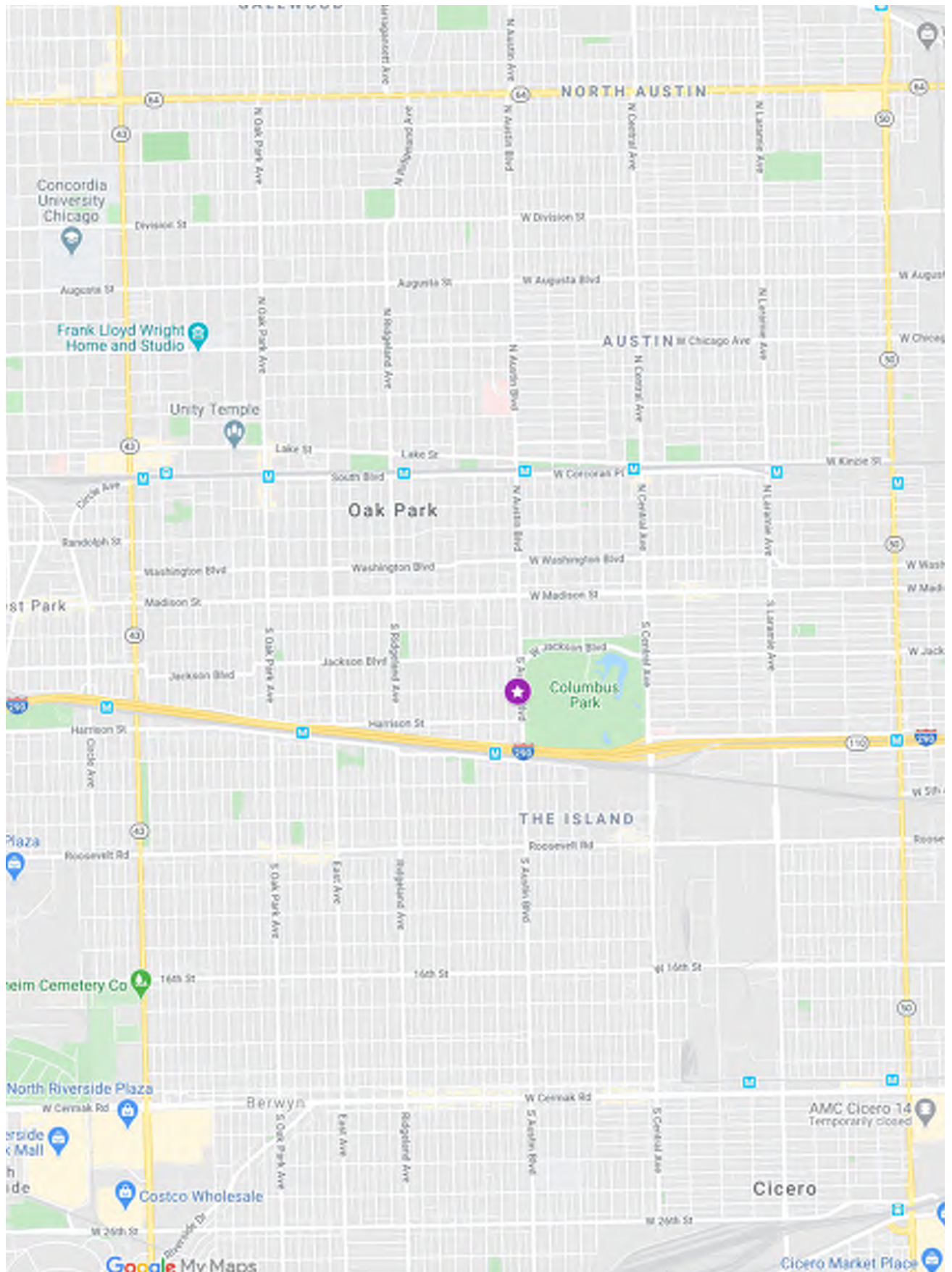
Property	# of Units	Bed/Bath	Unit Size		Rent (\$)		Rent/SF (\$)		
			Low	High	Low	High	Low	Mid	High
7 Van Buren	44	Studio	465	465	\$1,279	\$1,350	\$2.75	\$2.83	\$2.90
		1/1	580	816	1,483	1,977	2.42	2.49	2.56
		2/2	963	963	2,242	2,367	2.33	2.39	2.46

Source: Kretchmer Associates

The proposed rents are \$1,279 - \$1,350 for the studios (\$2.75 - \$2.90 per square foot), \$1,483 - \$1,977 for the one-bedroom units (\$2.42 - \$2.56 per square foot) and \$2,242 - \$2,367 for the two-bedroom units (\$2.33 - \$2.46 per square foot).



7 Van Buren Redevelopment Location



Source: Kretzmer Associates

7 VAN BUREN STREET DEVELOPMENT PLAN

The Oak Park Residence Corporation is proposing to demolish the current apartment building at 7 Van Buren Street and construct a new net-zero energy residential building, consisting of 44 rental apartments. The property is at the southwest corner of Austin Boulevard and Van Buren Street and across the street from Columbus Park, an expansive public park that includes a golf course, lagoon, and a variety of sports fields and courts. The property is also a block away from the Madison Street Arts District and two blocks from both the Austin CTA Blue Line station and I-290.

The six-story building will feature a rooftop deck with a solar array trellis, seating, grills, and expansive views in all directions. An amenity space on the second floor will include a kitchenette, seating, and a TV. Eighteen garage parking spaces will be available for an additional fee and indoor bike parking will also be provided.

The proposed unit mix is:

Bed/Bath	Unit Count	Size (SF)
Studio	5	465
1/1	35	580-816
2/2	4	963

Each unit will include stainless steel appliances, including refrigerator, stove (electric), microwave, and dishwasher, granite or quartz countertops, vinyl plank flooring, floor to ceiling windows, in-unit washer/dryer, and individually controlled heat and air conditioning. While most of the energy savings from the net-zero energy building will accrue to building ownership, residents should see some utility cost savings. Table 2 provides a more detailed breakdown of 7 Van Buren’s unit mix.





CLASS A APARTMENTS

Table 3 provides a detailed look at the subject property's most competitive properties, the five Class A rental properties in Oak Park. This includes current monthly rents (for comparable units), concessions, and building details, with a focus on how the properties compare to 7 Van Buren. Note that the number of units in each building includes non-comparable units as well. A map showing their locations follows.

The five Class A rental properties are Albion Oak Park, Eleven33, The Emerson, Vantage Oak Park, and Oak Park Place. All are in downtown Oak Park, within a couple blocks of CTA and Metra, grocery stores, restaurants and shopping. They are 12-21 stories with 205-270 units and tend to provide a greater number of and larger amenities than proposed at the subject property. For example, all the Class A properties have fitness centers and two have outdoor pools. Only the comparable units (studios, one-bedroom/one-bathroom, and two-bedroom/two-bathroom) have been included in the detailed breakdown in Table 3. Since Oak Park Place is older, unit quality is lower, and the rooftop deck is subpar, we did not include it in our calculations to determine the market rents at 7 Van Buren.

Currently, all the Class A properties are offering one and a half to two months free rent to new residents. These concessions are very significant and likely due to COVID-19. Though fewer people have been moving out of apartments over the past few months, it is difficult to fill vacant apartments. Virtual tours, new application processes, and closed/limited access to building amenities are some reasons this has been difficult. It is difficult to predict what the Oak Park rental apartment market will look like in the next couple of years, but we believe that these concessions are mainly due to COVID-19.

Table 4 provides a summary of the Class A properties focused on unit size, rent, and rent per square foot.





**Table 2
7 VAN BUREN PROPOSED DEVELOPMENT PLAN**

July-August 2020

Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
Subject Property									
7 Van Buren	Planned	44							
7 Van Buren Street		5	Studio	NA	NA	465	NA	NA	Building: 7-story glass, metal, and brick building. Location: Across from Columbus Park and 2 blocks from Austin Blue Line station and I-290. Unit Features: Stainless steel refrigerator, stove, microwave, and dishwasher, granite/quartz countertops, washer/dryer, vinyl plank flooring, high end bathroom tile, floor to ceiling windows, individual AC/heat. Indoor Amenities: Lounge with kitchenette, seating, TV. Outdoor Amenities: Rooftop deck with seating, grills, and views in all directions. Special Features: Net zero building. Parking: Not included in rent. 18 garage spaces, indoor bike parking.
Oak Park, IL		5	1/1	NA	NA	580	NA	NA	
		5	1/1	NA	NA	672	NA	NA	
		5	1/1	NA	NA	675	NA	NA	
		10	1/1	NA	NA	739	NA	NA	
		5	1/1	NA	NA	742	NA	NA	
		5	1/1	NA	NA	816	NA	NA	
		4	2/2	NA	NA	963	NA	NA	





**Table 3
OAK PARK CLASS A APARTMENTS**

July-August 2020

Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
<u>Class A Properties</u>									
Albion Oak Park	2019	265							Building: 19-story concrete, glass, and brick building. Location: Next to Austin Gardens and 2-3 blocks to the Harlem/Lake Green Line station and the Oak Park Metra station. Unit Features: Comparable. Some units have terraces. Indoor Amenities: Fitness center and lounge. Outdoor Amenities: Pool, cabanas, chef's kitchen, movie screen. Parking: Not included in rent. Garage spaces, indoor bike parking. Specials: Up to 2 months free
1000 Lake Street			Studio	\$1,541	\$1,551	497	\$3.10	\$3.12	
Oak Park, IL			Studio	1,675	1,675	545	3.07	3.07	
			Studio	1,862	1,862	562	3.31	3.31	
			Studio	1,626	1,626	563	2.89	2.89	
			Studio	1,656	1,656	577	2.87	2.87	
			Studio	1,755	1,755	610	2.88	2.88	
			Studio	1,604	1,604	622	2.58	2.58	
			1/1	1,834	1,834	673	2.73	2.73	
			1/1	1,805	1,805	676	2.67	2.67	
			1/1	1,848	1,848	678	2.73	2.73	
			1/1	1,990	1,990	713	2.79	2.79	
			1/1	NA	NA	754	NA	NA	
			1/1	2,228	2,228	787	2.83	2.83	
			1/1	2,780	2,780	932	2.98	2.98	
			1/1	2,568	2,568	1005	2.56	2.56	
			1/1	2,854	2,854	1036	2.75	2.75	
			2/2	2,795	2,795	979	2.85	2.85	
			2/2	2,840	2,840	1040	2.73	2.73	
			2/2	2,979	2,979	1194	2.49	2.49	
			2/2	3,083	3,083	1082	2.85	2.85	
			2/2	3,103	3,103	1176	2.64	2.64	
			2/2	3,226	3,226	1363	2.37	2.37	
			2/2	3,448	3,448	1303	2.65	2.65	
			2/2	3,895	3,895	1479	2.63	2.63	
			2/2	4,184	4,184	1492	2.80	2.80	





Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
Eleven33 1133 South Boulevard Oak Park, IL	2018	263	Studio	NA	NA	512	NA	NA	Building: 12-story concrete and brick building. Location: Across from Harlem/Lake Green Line station and a block from the Oak Park Metra station. Unit Features: Comparable. Some units have balconies/terraces. Indoor Amenities: Fitness center and lounge. Outdoor Amenities: Sundeck with seating, grills, firepit. Parking: \$125/mo for garage space. Indoor bike parking. Specials: 2 months free
			Studio	NA	NA	516	NA	NA	
			Studio	1,769	1,769	567	3.12	3.12	
			Studio	1,624	1,834	585	2.78	3.14	
			Studio	NA	NA	592	NA	NA	
			Studio	1,609	1,819	601	2.68	3.03	
			1/1	1,994	1,994	674	2.96	2.96	
			1/1	1,934	2,144	683	2.83	3.14	
			1/1	NA	NA	689	NA	NA	
			1/1	NA	NA	697	NA	NA	
			1/1	1,934	1,984	702	2.75	2.83	
			1/1	NA	NA	726	NA	NA	
			1/1	1,859	2,344	730	2.55	3.21	
			1/1	1,799	2,069	734	2.45	2.82	
			1/1	2,119	2,119	758	2.80	2.80	
			1/1	NA	NA	766	NA	NA	
			1/1	2,034	2,084	786	2.59	2.65	
			1/1	2,034	2,119	793	2.56	2.67	
			1/1	2,184	2,234	824	2.65	2.71	
			1/1	NA	NA	856	NA	NA	
1/1	2,059	2,269	878	2.35	2.58				
2/2	2,459	2,669	1,030	2.39	2.59				
2/2	3,069	3,069	1,106	2.77	2.77				
2/2	NA	NA	1,108	NA	NA				
2/2	2,909	2,959	1,113	2.61	2.66				
2/2	3,294	3,294	1,131	2.91	2.91				
2/2	3,319	3,319	1,131	2.93	2.93				
2/2	2,784	2,994	1,144	2.43	2.62				
2/2	NA	NA	1,192	NA	NA				
2/2	3,009	3,219	1,195	2.52	2.69				
2/2	NA	NA	1,206	NA	NA				
2/2	3,209	3,359	1,215	2.64	2.76				
2/2	3,309	3,669	1,220	2.71	3.01				





Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
The Emerson 1135 Westgate Street Oak Park, IL	2017	270	Studio	\$1,565	\$1,685	563	\$2.78	\$2.99	Building: 20-story glass podium building and 5-story brick and concrete building. Location: Adjacent to the Harlem/Lake Green Line station and the Oak Park Metra station. Unit Features: Comparable. Indoor Amenities: Fitness center and lounge. Outdoor Amenities: Two rooftop decks with heated pool and cabanas. Parking: Not included in rent. Garage spaces. Specials: 2 months free
			Studio	1,622	1,622	568	2.86	2.86	
			1/1	1,759	1,959	676	2.60	2.90	
			1/1	1,808	1,953	716	2.53	2.73	
			1/1	1,769	1,790	750	2.36	2.39	
			1/1	1,773	1,773	754	2.35	2.35	
			1/1	2,021	2,136	796	2.54	2.68	
			1/1	2,134	2,134	798	2.67	2.67	
			1/1	1,820	1,820	815	2.23	2.23	
			1/1	1,788	1,895	823	2.17	2.30	
			2/2	2,691	2,831	1,046	2.57	2.71	
			2/2	2,505	2,505	1,080	2.32	2.32	
			2/2	2,612	2,860	1,140	2.29	2.51	
			2/2	2,849	2,849	1,199	2.38	2.38	
2/2	2,534	2,534	1,235	2.05	2.05				





Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
Vantage Oak Park 150 Forest Avenue Oak Park, IL	2016	270	Studio	\$1,460	\$1,460	486	\$3.00	\$3.00	Building: 21-story glass and concrete podium building. Location: Next to Austin Gardens and 2-3 blocks to the Harlem/Lake Green Line station and the Oak Park Metra station. Unit Features: A little less high end. Some units have balconies. Indoor Amenities: Fitness center and lounge. Outdoor Amenities: Rooftop terrace with grills and cabanas. Parking: Not included in rent. Garage spaces. Indoor bike parking. Specials: Up to 2 months free
			Studio	1,550	1,604	518	2.99	3.10	
			Studio	1,640	1,640	538	3.05	3.05	
			Studio	1,495	1,495	588	2.54	2.54	
			1/1	1,654	1,841	704	2.35	2.62	
			1/1	1,745	1,794	772	2.26	2.32	
			1/1	1,820	1,820	789	2.31	2.31	
			1/1	1,763	1,832	794	2.22	2.31	
			1/1	2,090	2,090	924	2.26	2.26	
			1/1	2,248	2,299	1,021	2.20	2.25	
			2/2	2,455	2,455	1,021	2.40	2.40	
			2/2	2,565	2,565	1,081	2.37	2.37	
			2/2	2,495	2,495	1,101	2.27	2.27	
			2/2	2,672	2,672	1,150	2.32	2.32	
			2/2	2,610	2,637	1,159	2.25	2.28	
2/2	2,555	2,672	1,175	2.17	2.27				





Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
Oak Park Place 479-483 N Harlem Ave Oak Park, IL	2009	205	Studio	\$1,587	\$1,587	478	\$3.32	\$3.32	Building: 14-story glass and concrete podium building. Location: Across from Cummings Square and 2-3 blocks to the Harlem/Lake Green Line station and the Oak Park Metra station. Unit Features: Not as high end. Indoor Amenities: Fitness center and lounge. Outdoor Amenities: Rooftop deck with seating and grills (subpar) Parking: \$94/mo for garage space. Indoor bike parking. Specials: 1.5 months free.
			Studio	1,656	1,656	506	3.27	3.27	
			Studio	1,644	1,644	531	3.10	3.10	
			1/1	1,750	1,750	626	2.80	2.80	
			1/1	1,946	1,946	673	2.89	2.89	
			1/1	1,417	1,417	708	2.00	2.00	
			1/1	1,545	1,545	749	2.06	2.06	
			1/1	2,092	2,092	767	2.73	2.73	
			1/1	1,489	1,489	795	1.87	1.87	
			1/1	1,689	1,717	853	1.98	2.01	
			2/2	2,303	2,303	920	2.50	2.50	
			2/2	2,577	2,577	1,014	2.54	2.54	
			2/2	2,456	2,490	1,026	2.39	2.43	
			2/2	2,633	2,633	1,043	2.52	2.52	
			2/2	2,652	2,652	1,045	2.54	2.54	
2/2	2,831	2,831	1,056	2.68	2.68				
2/2	2,609	2,609	1,127	2.31	2.31				
2/2	2,618	2,618	1,267	2.07	2.07				

Source: Kretchmer Associates





**Table 4
SUMMARY OF CLASS A PROPERTIES**

Property	# of Units	Bed/Bath	Unit Size		Rent (\$)		Rent/SF (\$)		
			Low	High	Low	High	Low	Mid	High
Albion Oak Park	265	Studio	497	622	\$1,541	\$1,862	\$2.58	\$2.95	\$3.31
		1/1	673	1,036	1,805	2,854	2.56	2.77	2.98
		2/2	979	1,492	2,795	4,184	2.37	2.61	2.85
Eleven33	263	Studio	512	601	\$1,609	\$1,834	\$2.68	\$2.91	\$3.14
		1/1	674	878	1,799	2,344	2.35	2.78	3.21
		2/2	1,030	1,220	2,459	3,669	2.39	2.70	3.01
The Emerson	270	Studio	563	568	\$1,565	\$1,685	\$2.78	\$2.89	\$2.99
		1/1	676	823	1,759	2,136	2.17	2.54	2.90
		2/2	1,046	1,235	2,505	2,860	2.05	2.38	2.71
Vantage Oak Park	270	Studio	486	588	\$1,460	\$1,640	\$2.54	\$2.82	\$3.10
		1/1	704	1,021	1,654	2,299	2.20	2.41	2.62
		2/2	1,021	1,175	2,455	2,672	2.17	2.29	2.40
Oak Park Place	205	Studio	478	531	\$1,587	\$1,656	\$3.10	\$3.21	\$3.32
		1/1	626	853	1,417	2,092	1.87	2.38	2.89
		2/2	920	1,267	2,303	2,831	2.07	2.37	2.68
Class A Total	1,273	Studio	478	622	\$1,460	\$1,862	\$2.54	\$2.93	\$3.32
		1/1	626	1,036	1,417	2,854	1.87	2.54	3.21
		2/2	920	1,492	2,303	4,184	2.05	2.53	3.01

Source: Kretchmer Associates

As seen in the table above, before concessions, Class A studios are 478-622 square feet, rent for \$1,460 - \$1,862 per month, and therefore cost \$2.54 - \$3.32 per square foot. Class A one-bedrooms are 626 - 1,036 square feet, rent for \$1,417 - \$2,854 per month, and cost \$1.87 - \$3.21 per square foot. Class A two-bedroom/two-bathroom units are 920-1,492 square feet, rent for \$2,303 - \$4,184 per month, and cost \$2.05 - \$3.01 per square foot.



SELECT NEARBY AND CLASS B+ APARTMENTS

For comparison, Table 5 provides a similar summary of select nearby properties and Class B+ properties. The nearby properties are 326-34 S Austin Blvd, 336-350 S Austin Blvd and 618-632 S Austin Blvd. The Class B+ properties are 100 Forest Place and Oak Park City Apartments. Details about these individual properties can be found in the Appendix.

Table 5
SUMMARY OF SELECT NEARBY AND CLASS B+ PROPERTIES

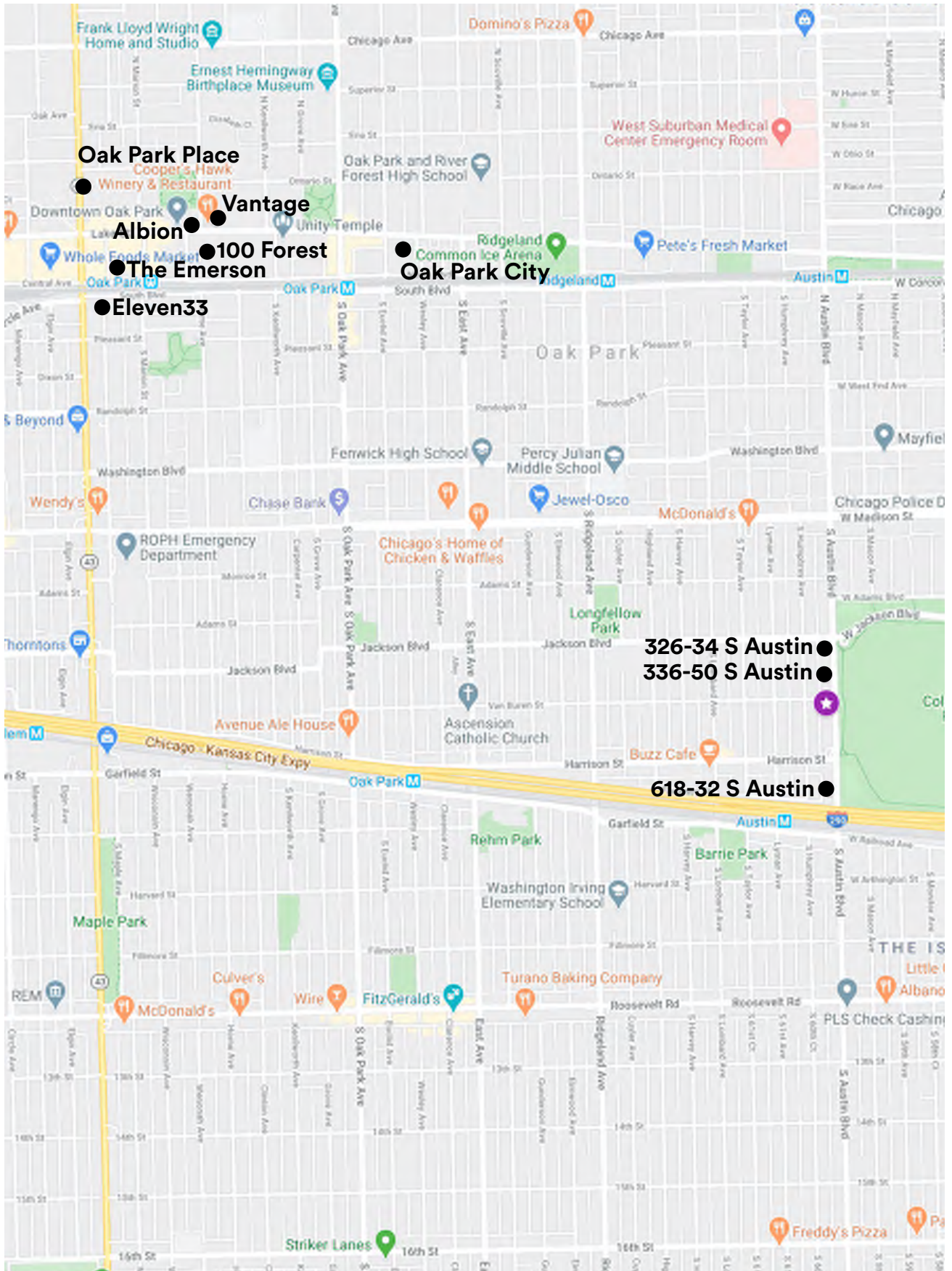
Property	# of Units	Bed/Bath	Unit Size		Rent (\$)		Rent/SF (\$)		
			Low	High	Low	High	Low	Mid	High
Select Nearby Total	124	1/1	600	736	\$979	\$1,015	\$1.38	\$1.51	\$1.64
		2/1	800	975	1,279	1,299	1.31	1.47	1.62
Select Class B+ Total	360	Studio	600	610	\$1,225	\$1,225	\$2.01	\$2.01	\$2.01
		1/1	670	838	1,447	1,835	1.89	2.10	2.31
		2/2	910	1,300	2,135	2,734	1.97	2.15	2.34

Source: Kretchmer Associates

Compared to the Class A apartments, the two Class B+ units are generally smaller, have lower monthly rents, and most importantly, have significantly lower rents/square foot. Studios cost \$2.01 per square foot, one-bedrooms cost \$1.89 - \$2.31, and two-bedroom/two-bathroom units cost \$1.97 - \$2.34 per square foot.

The three nearby properties are rehabbed courtyard buildings with no amenities other than on-site laundry. They do not contain studios and the two-bedroom units only have one bathroom each. The units are somewhat comparable in size to the proposed units at the subject property, but the quality of the interiors is basic. The one-bedrooms cost \$1.38 - \$1.64 per square foot and the two-bedroom/one-bathroom units cost \$1.31 - \$1.62 per square foot.

Class A, Class B+, and Nearby Properties



CONCLUSIONS

7 Van Buren is located a block from the Madison Street Arts District, across the street from Columbus Park, and a couple of blocks from both the Austin CTA Blue Line station and I-290. This is a very desirable location, though it likely cannot command the rents that an equivalent property could if located in downtown Oak Park. Oak Park Class A rental properties all offer fitness centers, two have outdoor pools, and two contain units with balconies or private terraces, allowing them to command higher rents. However, 7 Van Buren's rooftop deck, situated next to a park and shorter residential buildings, will provide expansive views and the development's net-zero energy status and high-end interior and exterior construction will add value that potential tenants will be willing to pay for.

We recommend applying a factor of 90-95% of the median rent/square foot of the relevant comparable Class A apartments to 7 Ban Buren. Since Oak Park Place is older, the unit quality is lower, and the rooftop deck is subpar, we excluded it in our market rent calculations. Additionally, due to the smaller size of the units at 7 Van Buren, our calculations only consider the smaller units at the comparable properties. This is important because smaller units tend to receive higher rents per square foot, even if the overall rents are lower.

Therefore, the proposed market rents are between 90-95% of the median rent/square foot of the smaller units (studio: under 550 square feet, one-bedroom: under 850 square feet, and two-bedroom: under 1,100 square feet) at the four most comparable Class A properties in Oak Park: Albion Oak Park, Eleven33, The Emerson, and Vantage Oak Park. Table 6 below shows the range of proposed rents and rents/square foot. The "low" rent/square foot is 90% of the median rent/square foot described above and the "high" rent/square foot is 95%.

The proposed rents are \$1,279 - \$1,350 for the studios (\$2.75 - \$2.90 per square foot), \$1,483 - \$1,977 for the one-bedroom units (\$2.42 - \$2.56 per square foot) and \$2,242 - \$2,367 for the two-bedroom units (\$2.33 - \$2.46 per square foot).



**Table 6
7 VAN BUREN PROPOSED MARKET RENTS**

Property	# of Units	Bed/Bath	Unit Size		Rent (\$)		Rent/SF (\$)		
			Low	High	Low	High	Low	Mid	High
7 Van Buren	44	Studio	465	465	\$1,279	\$1,350	\$2.75	\$2.83	\$2.90
		1/1	580	816	1,483	1,977	2.42	2.49	2.56
		2/2	963	963	2,242	2,367	2.33	2.39	2.46

Source: Kretchmer Associates





APPENDIX

SELECT OAK PARK CLASS B+ APARTMENTS

July-August 2020

Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
Class B+ Properties									
100 Forest Place	1987	234							Building: 14-story building and 3-story townhomes.
100 Forest Place			Studio	NA	NA	600	NA	NA	Location: 2-3 blocks to the Harlem/Lake Green Line station and the Oak Park Metra station.
Oak Park, IL			1/1	1,567	1,610	698	2.24	2.31	Unit Features: Not as high end.
			1/1	1,483	1,615	780	1.90	2.07	Indoor Amenities: Fitness center and lounge.
			1/1	1,679	1,835	838	2.00	2.19	Outdoor Amenities: Rooftop deck.
			2/2	2,235	2,235	963	2.32	2.32	Parking: \$175/mo for garage space.
			2/2	2,135	2,195	975	2.19	2.25	Specials: Up to 2 months free
			2/2	2,169	2,235	1,101	1.97	2.03	
Oak Park City Apartments	1987	126							Building: 3-story building.
675 Lake Street	Rehab: 2008		Studio	\$1,225	\$1,225	610	\$2.01	\$2.01	Location: Two blocks from Oak Park Green Line station.
Oak Park, IL			1/1	NA	NA	670	NA	NA	Unit Features: Not as high end, no in-unit laundry.
			1/1	NA	NA	715	NA	NA	Indoor Amenities: Fitness center and lounge.
			1/1	1,507	1,507	740	2.04	2.04	Outdoor Amenities: None.
			1/1	1,447	1,546	755	1.92	2.05	Parking: \$135/mo for garage space. Indoor bike parking.
			1/1	1,571	1,571	830	1.89	1.89	Specials: None.
			2/2	NA	NA	910	NA	NA	
			2/2	NA	NA	915	NA	NA	
			2/2	2,189	2,189	950	2.30	2.30	
			2/2	NA	NA	975	NA	NA	
			2/2	NA	NA	1,045	NA	NA	
			2/2	NA	NA	1,112	NA	NA	
			2/2	NA	NA	1,150	NA	NA	
			2/2	2,734	2,734	1,170	2.34	2.34	
			2/2	NA	NA	1,300	NA	NA	

Source: Kretchmer Associates





SELECT RENOVATED APARTMENTS ON AUSTIN BOULEVARD

July-August 2020

Name and Address	Year Opened	# of Units	Bed/Bath	Rent		Size (SF)	Rent/SF		Building Details
				Low	High		Low	High	
326-334 S Austin Blvd	1945	32							Building: 4-story, courtyard building. Unit Features: High quality renovated kitchen and bathroom. Amenities: None.
326-34 S Austin Boulevard			1/1	\$1,015	\$1,015	650	\$1.56	\$1.56	
Oak Park, IL			2/1	1,299	1,299	800	1.62	1.62	
336-350 S Austin Blvd	NA	41							Building: 4-story, courtyard building. Unit Features: Dishwasher. Renovated. Amenities: Laundry.
336-350 S Austin Boulevard			1/1	\$979	\$979	700	\$1.40	\$1.40	
8-12 Van Buren Street Oak Park, IL			2/1	1,279	1,279	975	1.31	1.31	
618-632 S Austin Boulevard	1926	51							Building: 4-story, courtyard building. Unit Features: Renovated. Amenities: Laundry.
618-632 S Austin Blvd			1/1	\$985	\$985	600	1.64	1.64	
Oak Park, IL			1/1	1,015	1,015	736	1.38	1.38	

Source: Kretchmer Associates



7 Van Buren



Entryway



Balcony



Northeast corner



Southeast corner

Class A Properties



Albion Oak Park



Eleven33



The Emerson - tower



The Emerson - mid-rise

Class A Properties



Vantage Oak Park



Oak Park Place

Select Class B+ Properties



100 Forest Place



Oak Park City Apartments

Select Nearby Properties



326-334 S Austin Blvd



336-350 S Austin Blvd



618-632 S Austin Blvd

EXHIBIT 9

TRAFFIC AND PARKING STUDY

Traffic Impact Study Transit Oriented Development

Oak Park, Illinois



Prepared For:

The Oak Park Residence Corporation



August 23, 2021

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed Transit Oriented Development (TOD) to be located at 7 Van Buren Street in Oak Park, Illinois. The site, which is currently occupied by an apartment building with 12 units and 10 parking spaces, is located at the southwest corner of the intersection of Austin Boulevard with Van Buren Street. As proposed, the TOD is to contain a six-story building with 45 apartment units (36 market-rate units and nine affordable units) and a 17-space parking garage. Access to the proposed parking garage will be provided via the public alley.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed TOD will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed TOD. **Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed TOD
- Directional distribution of the TOD traffic
- Vehicle trip generation for the TOD
- Future traffic conditions including access to the TOD
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

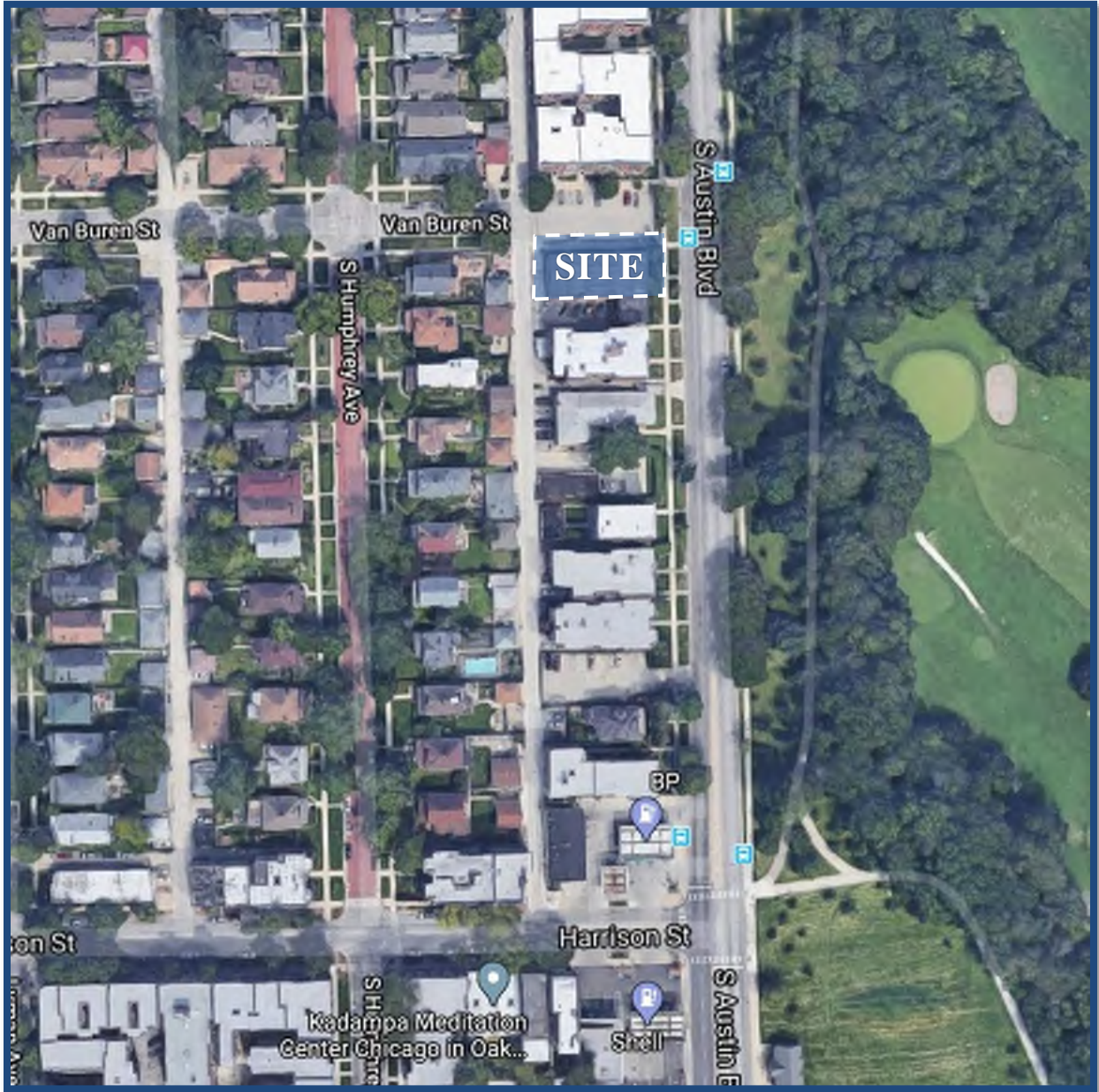
Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, ambient area growth not attributable to any particular development, and the traffic estimated to be generated by the proposed TOD.



Site Location

Figure 1



Aerial View of Site

Figure 2

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, area public transportation and alternative modes of transportation, and existing peak hour traffic volumes.

Site Location

The development site is located in the southwest quadrant of the intersection of Austin Boulevard with Van Buren Street. Land uses in the area include Columbus Park to the east and residential areas to the north, south, and east. The Austin Blue Line station is located approximately 1,200 feet (0.23 miles) south of the site.

Existing Roadway System Characteristics

The characteristics of the existing roadways near the TOD are described below and illustrated in **Figure 3**.

Van Buren Street is an east-west, local road that provides one lane in each direction and terminates just west of Austin Boulevard (does not provide access to Austin Boulevard). Parallel parking is generally permitted on both sides of the road with perpendicular parking provided on the north side of the road east of the public alley just west of Austin Boulevard. At its unsignalized intersection with Humphrey Avenue, Van Buren Street provides a combined left-turn/through/right-turn lane and standard style crosswalks on both approaches. At its unsignalized intersection with the public alley, Van Buren Street provides a combined left-turn/through/right-turn lane on both approaches. Van Buren Street is under the jurisdiction of the Village of Oak Park.

Humphrey Avenue is a north-south, local road that provides one lane in each direction with parallel parking generally permitted on both sides of the road. At its unsignalized intersection with Van Buren Street, Humphrey Avenue provides a combined left-turn/through/right-turn lane on both approaches under stop sign control. Humphrey Avenue provides high-visibility crosswalks on the north and south legs at its intersection with Van Buren Street. Parking is generally not permitted from 8:00 A.M. to 10:00 A.M., Monday through Friday on both sides of the road. Humphrey Avenue is under the jurisdiction of the Village of Oak Park and has a posted speed limit of 25 miles per hour.

Harrison Street is an east-west, local road that provides one lane in each direction with parallel parking generally permitted on both sides of the road. At its unsignalized intersection with the public alley, Harrison Street provides a combined through/left-turn lane on the eastbound approach and a combined through/right-turn lane on the westbound approach. West of the public alley, parking is generally restricted to two-hour parking between 10:00 A.M. and 5:00 P.M., Monday through Saturday. Harrison Street is under the jurisdiction of the Village of Oak Park and has a posted speed limit of 25 miles per hour.

VAN BUREN STREET

SITE

COLUMBUS PARK

ALLEY

HARRISON STREET

HUMPHREY AVENUE

AUSTIN BOULEVARD

AUSTIN BLUE LINE STATION

- LEGEND**
- TRAVEL LANE
 - TRAFFIC SIGNAL
 - STOP SIGN
 - SPEED LIMIT
 - ON-STREET PARKING
 - NO PARKING
 - BUS STOP
 - STANDARD CROSSWALK
 - HIGH VISIBILITY CROSSWALK

Proposed 7 Van Buren
Oak Park, Illinois

Existing Roadway Characteristics



Public Transportation and Alternative Modes of Transportation

CTA Rapid Transit. The area is served by the Chicago Transit Authority (CTA) rapid transit via the Austin Blue Line station located less than a quarter mile to the south of the site and the Austin Green Line station located less than one mile to the north of the site. The following summarizes the rapid transit lines serving the area:

- The CTA Blue Line provides rapid transit service between O’Hare and Forest Park connecting through the downtown Loop. Service is provided seven days a week and on holidays.
- The CTA Green Line operates daily along Lake Street between Harlem Avenue in Forest Park and the downtown Loop and from the downtown Loop to 63rd Street. South of 59th Street, the line branches off to provide service between Cottage Grove Avenue and Ashland Avenue.

Additionally, the site is served by the following bus routes:

- *Pace Bus Route 315 – Austin Boulevard* runs along Austin Boulevard between the CTA Green Line Austin station in Chicago and Central/38th in Cicero. Notable stops include the CTA Green Line Austin station, the CTA Blue Line Austin station, Morton East High School, and Morton College.
- *Pace Bus Route 320 – Madison Street* runs along Madison Street between the CTA Blue Line Forest Park Transit Center and Madison/Austin in Chicago. Notable stops include the CTA Blue Line Forest Park Transit Center, Oak Park Hospital, and Fenwick High School. It should be noted that select trips serve Proviso East High School and Maybrook Courthouse.
- *Pace Bus Route 314 – Ridgeland Avenue* runs along Ridgeland Avenue between Lake/Cuyler in Oak Park and Morton College in Cicero. Notable stops include Morton College, the Metra BNSF Line LaVergne station, Fenwick High School, the CTA Green Line Ridgeland station, and Oak Park and River Forest High School.

Further, protected bike lanes are provided on Madison Street and Ridgeland Avenue provides bike sharrows.

Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period vehicle, pedestrian, and bicycle traffic counts using Miovision Video Scout Collection Units on Thursday, March 12, 2020 during the weekday morning (7:00 to 9:00 A.M.) and weekday evening (4:00 to 6:00 P.M.) peak periods at the following intersections:

1. Van Buren Street with Humphrey Avenue
2. Van Buren Street with the public alley
3. Harrison Street with the public alley

It should be noted that the traffic counts were performed before the Covid 19 pandemic shutdown. From the turning movement count data, it was determined that the weekday morning peak hour generally occurs between 7:00 and 8:00 A.M. and the weekday evening peak hour generally occurs between 5:00 and 6:00 P.M. These two respective peak hours will be used for the traffic capacity analyses presented later in this report. **Figure 4** illustrates the existing peak hour vehicle traffic volumes. **Figure 5** illustrates the existing pedestrian and bicycle traffic volumes, showing the direction of travel.

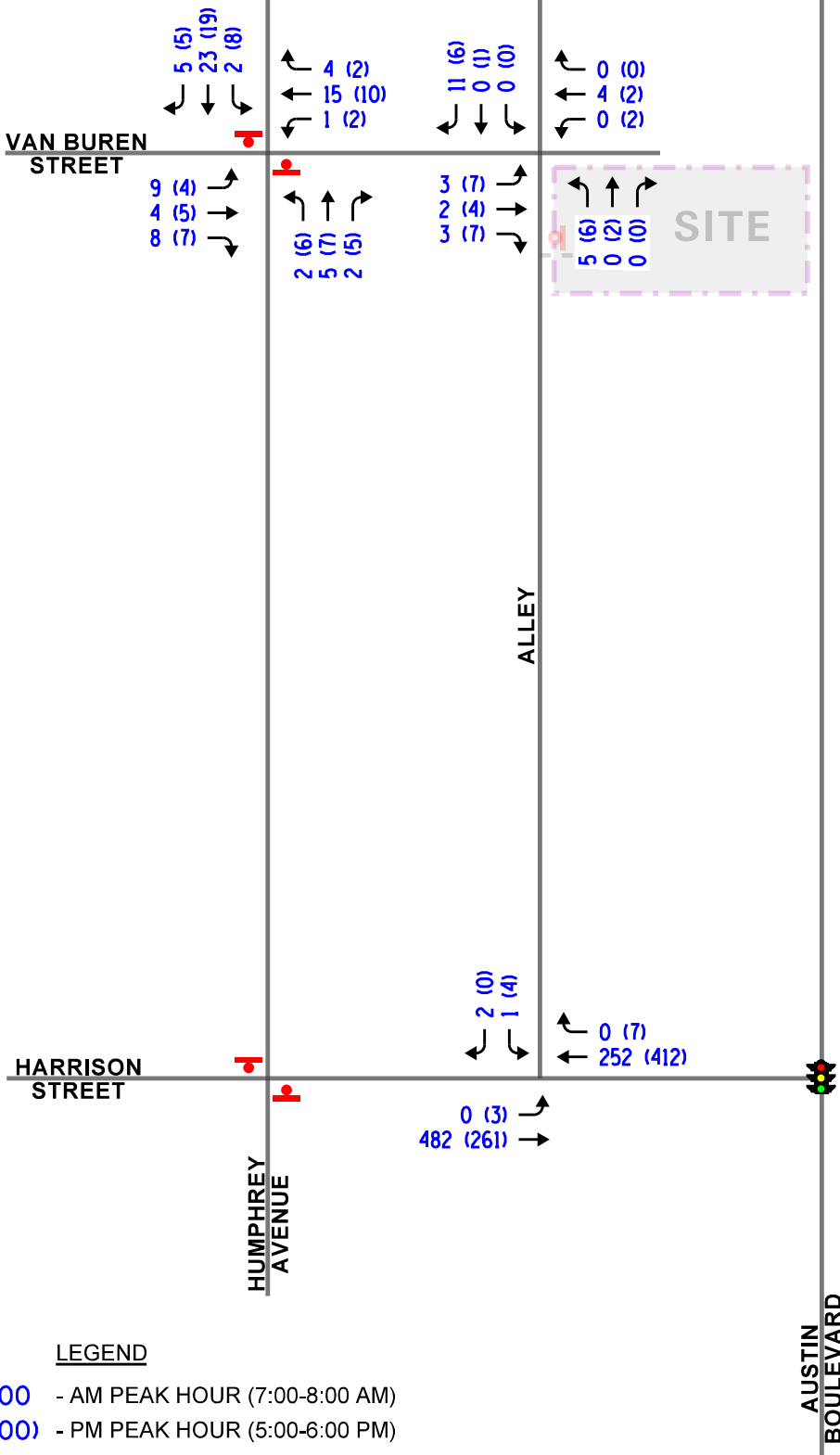
Crash Analysis

KLOA, Inc. obtained crash data¹ from IDOT for the most recent available five years (2014 to 2018) for the intersections of Van Buren Street with Humphrey Avenue, Van Buren Street with the public alley, and Harrison Street with the public alley. No crashes were reported at any of these intersections between 2014 and 2018.

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



NOT TO SCALE



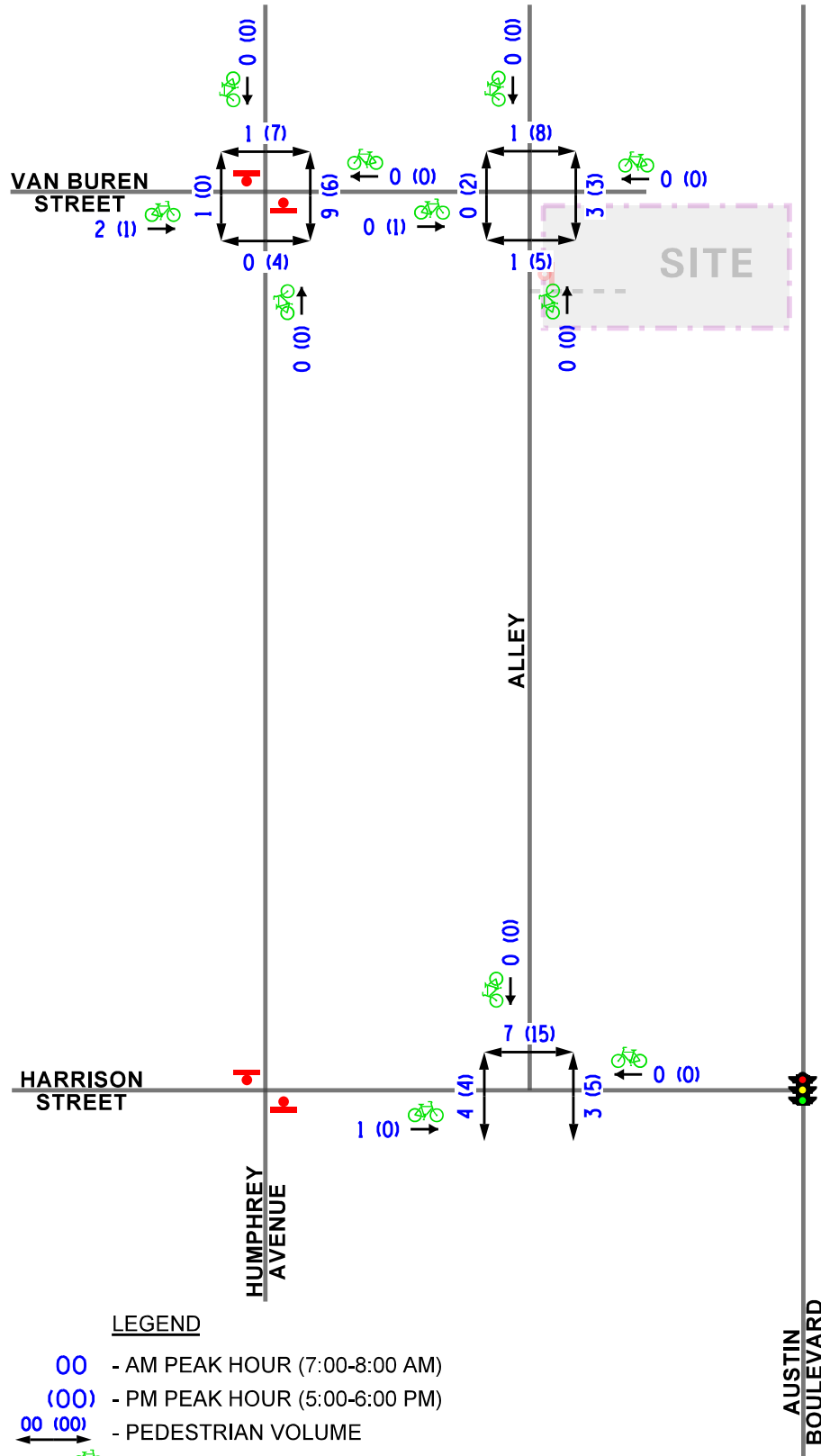
Proposed 7 Van Buren
Oak Park, Illinois

Existing Traffic Volumes



Job No: 20-064

Figure: 4



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- 00 (00) - PEDESTRIAN VOLUME
- 00 (00) - BICYCLE VOLUME

3. Traffic Characteristics of the Proposed TOD

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed TOD, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and TOD Plan

As proposed, the TOD is to contain a six-story building with 45 apartment units (36 market-rate units and nine affordable units) and a 17-space parking garage. The TOD will replace an existing 12-unit apartment building.

Access to the proposed 17-space parking garage will be provided via an access drive located on the east side of the north-south alley approximately 50 feet south of Van Buren Street. As proposed, this access drive will provide one inbound lane and one outbound lane. The access drive will replace the access drive serving the existing apartment development.

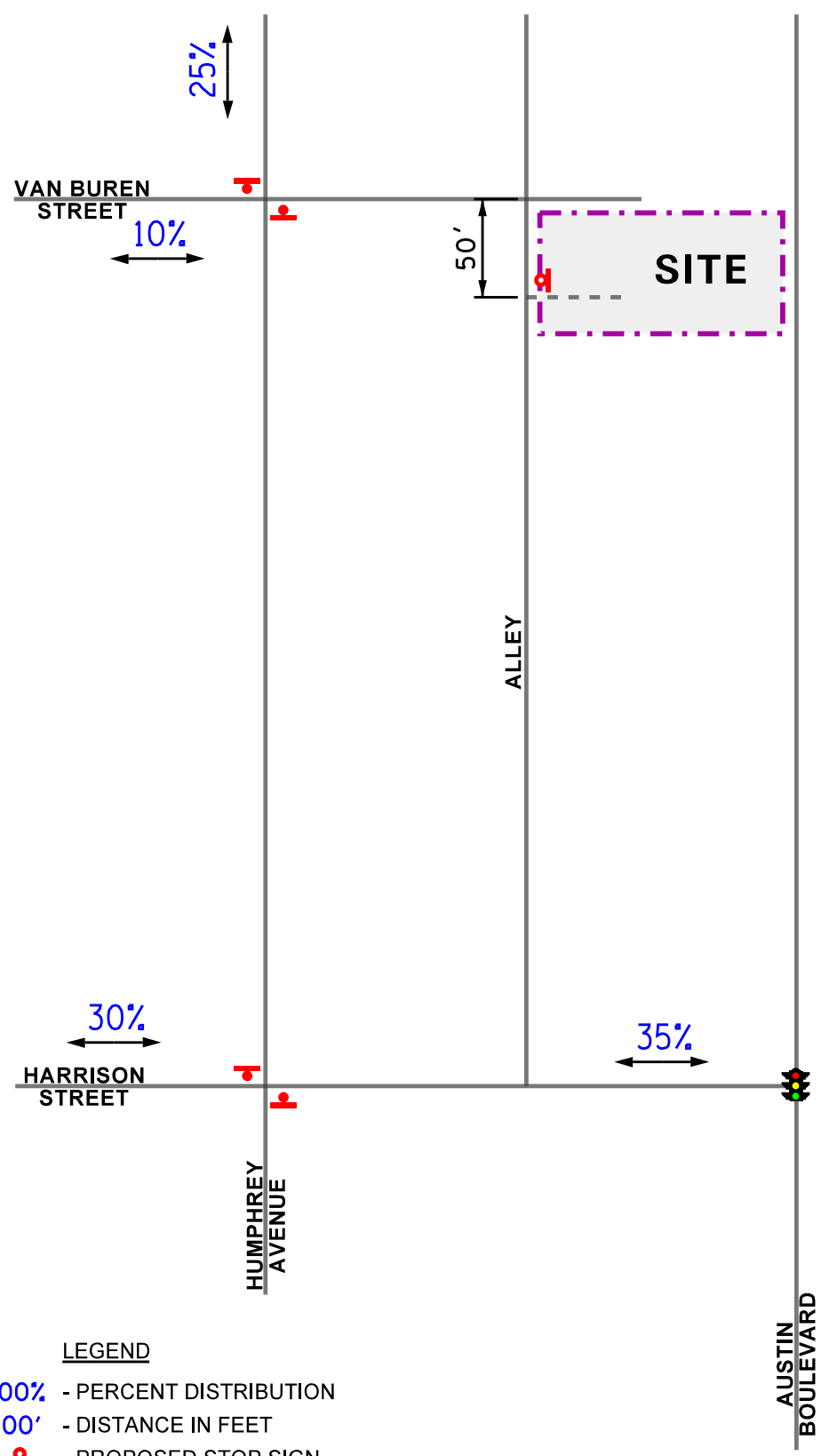
Pedestrian access to the proposed TOD will be provided via a lobby located at the northeast corner of the building facing Van Buren Street.

Directional Distribution

The directional distributions of how TOD traffic will approach and depart the site were estimated based on a combination of existing travel patterns and the location of the site relative to arterial roadways in the area. **Figure 6** illustrates the estimated directional distribution for the proposed TOD.



NOT TO SCALE



LEGEND

- 00% - PERCENT DISTRIBUTION
- 00' - DISTANCE IN FEET
- PROPOSED STOP SIGN

Proposed 7 Van Buren
Oak Park, Illinois

Estimated Directional Distribution



Job No: 20-064

Figure: 6

Peak Hour Traffic Volumes

The number of peak hour trips estimated to be generated by the proposed TOD was based on trip generation rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation Manual*, 10th Edition. The trip rate graphs are included in the Appendix. However, the ITE rates are generally based on suburban locations where the primary mode of transportation is the private automobile. Given the public transportation and alternative modes of transportation serving the area, it is expected that many residents will use alternative modes of transportation to commute to work. Census data shows that approximately 25 percent of area residents within a ¼ mile of the Austin Blue Line station commute to work via other modes of transportation other than an automobile. As such, the ITE trip generation estimates were reduced by 25 percent. Further, the development will be replacing a 12-unit apartment building which is currently generating traffic. However, to provide a worst-case analysis no trip reductions were assumed. **Table 1** shows the trips estimated to be generated by the proposed TOD during the weekday morning peak hour and the weekday evening peak hour.

Table 1
PROJECTED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		In	Out	Total	In	Out	Total
220	Multifamily Housing Low Rise (45 units)	5	17	22	18	11	29
	<i>25 Percent Reduction¹</i>	<u>-1</u>	<u>-4</u>	<u>-5</u>	<u>-4</u>	<u>-3</u>	<u>-7</u>
	New Trips	4	13	17	14	8	22

1 – Taking into consideration the proximity of the site to public transportation and alternative modes of transportation.

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject TOD.

Development Traffic Assignment

The peak hour traffic volumes projected to be generated by the proposed TOD were assigned to the area roadways based on the established directional distribution (Figure 6). **Figure 7** shows the assignment of the TOD-generated traffic volumes.

Background Traffic Conditions

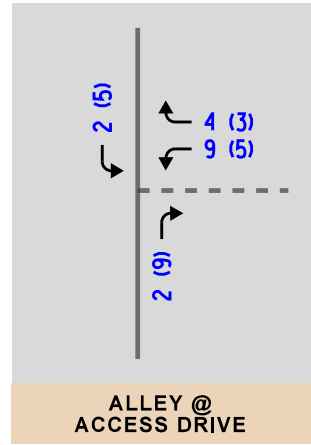
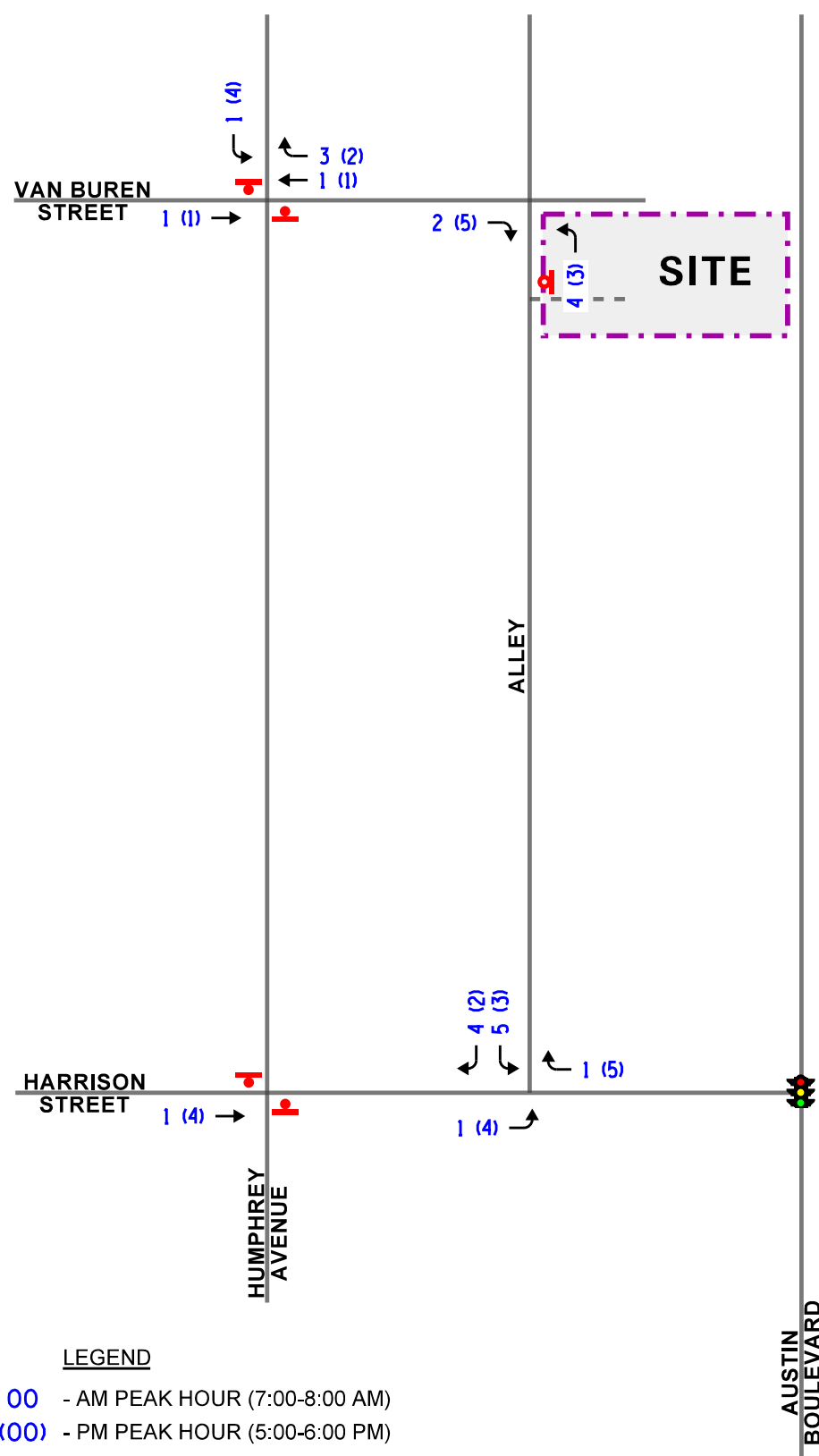
The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on Year 2050 Average Daily Traffic (ADT) projections provided by the Chicago Metropolitan Agency for Planning (CMAP), the existing traffic volumes were increased by 0.3 percent compounded per year for six years for a total growth factor of 1.9 percent. A copy of the CMAP projections letter is included in the Appendix.

Total Projected Traffic Volumes

Total projected traffic volumes include the Year 2026 background traffic volumes and the traffic estimated to be generated by the proposed TOD. **Figure 8** shows the Year 2026 total projected traffic volumes.



NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- 🛑 - PROPOSED STOP SIGN

Proposed 7 Van Buren
Oak Park, Illinois

Estimated Site-Generated
Traffic Volumes

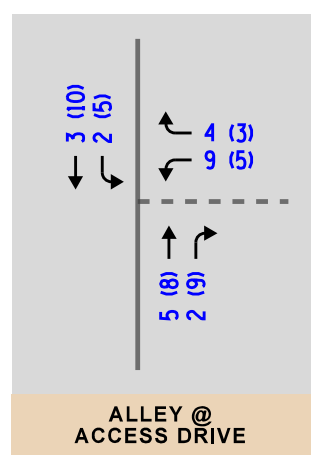
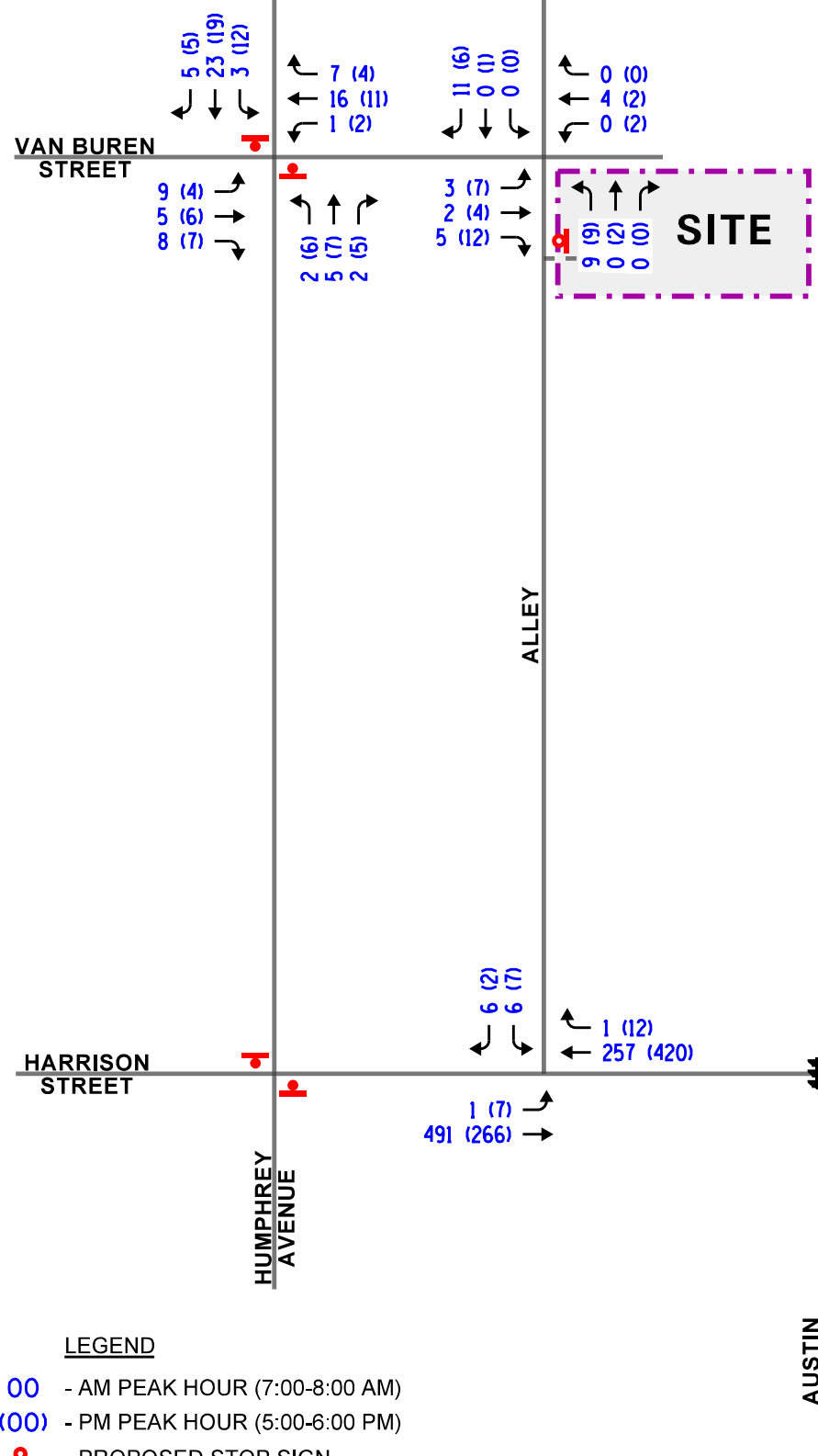


Job No: 20-064

Figure: 7



NOT TO SCALE



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (5:00-6:00 PM)
- PROPOSED STOP SIGN

Proposed 7 Van Buren
Oak Park, Illinois

Total Projected Traffic Volumes



Job No: 20-064

Figure: 8

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drive are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the existing (Year 2020) and future projected (Year 2026) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using the Synchro/SimTraffic 10 software.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2026 total projected conditions are presented in **Tables 2** and **3**. A discussion of the intersections follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 2
 CAPACITY ANALYSIS RESULTS
 EXISTING CONDITIONS – UNSIGNALIZED

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Humphrey Avenue with Van Buren Street				
• Northbound Approach	A	9.3	A	9.0
• Eastbound Left Turns	A	7.4	A	7.3
• Westbound Left Turns	A	7.2	A	7.2
• Southbound Approach	A	9.4	A	9.3
Van Buren Street with the Public Alley				
• Northbound Approach	A	8.8	A	9.0
• Eastbound Left Turns	A	7.2	A	7.4
• Westbound Left Turns	A	0.1	A	7.2
• Southbound Approach	A	8.4	A	8.6
Harrison Street with the Public Alley				
• Eastbound Left Turns	A	0.1	A	8.3
• Southbound Approach	B	11.8	B	14.8
LOS = Level of Service Delay is measured in seconds.				

Table 3
 CAPACITY ANALYSIS RESULTS
 PROJECTED CONDITIONS – UNSIGNALIZED

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Humphrey Avenue with Van Buren Street				
• Northbound Approach	A	9.3	A	9.0
• Eastbound Left Turns	A	7.4	A	7.3
• Westbound Left Turns	A	7.2	A	7.2
• Southbound Approach	A	9.4	A	9.3
Van Buren Street with the Public Alley				
• Northbound Approach	A	8.8	A	9.0
• Eastbound Left Turns	A	7.2	A	7.4
• Westbound Left Turns	A	0.1	A	7.3
• Southbound Approach	A	8.4	A	8.6
Harrison Street with the Public Alley				
• Eastbound Left Turns	A	7.8	A	8.3
• Southbound Approach	B	13.1	B	14.4
Public Alley with Proposed Access				
• Westbound Approach	A	8.5	A	8.6
• Southbound Left Turns	A	7.2	A	7.2
LOS = Level of Service Delay is measured in seconds.				

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development-generated traffic.

Humphrey Avenue with Van Buren Street

The results of the capacity analysis indicate that all movements currently operate at LOS A during the weekday morning and evening peak hours. Under Year 2026 total projected conditions, all movements will operate at the same existing levels of service with increases in delay of less than one second during both peak hours. As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed TOD and no geometric improvements or traffic control modifications are required.

Van Buren Street with the Public Alley

The results of the capacity analysis indicate that all movements currently operate at LOS A during the weekday morning and evening peak hours. Under Year 2026 total projected conditions, all movements will operate at the same existing levels of service during both peak hours with increases in delay of less than one second. As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed TOD and no geometric improvements or traffic control modifications are required.

Harrison Street with the Public Alley

The results of the capacity analysis indicate that the eastbound left-turn movement currently operates at LOS A during the weekday morning and evening peak hours. The southbound approach currently operates at LOS B during both peak hours. Under Year 2026 total projected conditions, the eastbound left-turn movement and the southbound approach will continue to operate at LOS B or better during both peak hours with increases in delay of less than one second. As such, the intersection has sufficient reserve capacity to accommodate the traffic that will be generated by the proposed TOD and no geometric improvements or traffic control modifications are required.

Public Alley with the Proposed Garage Access Drive

As indicated earlier, access to the proposed 17-space parking garage will be provided via the north-south alley approximately 50 feet south of Van Buren Street. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Under 2026 total projected conditions, the westbound approach will operate at LOS A during the weekday morning and evening peak hours. Additionally, the southbound left-turn movement will operate at LOS A during both peak hours. As such, the location of the parking garage access drive will be adequate in accommodating the traffic generated by the proposed development.

Parking Analysis

As indicated previously, the TOD is to consist of 45 units with 36 market-rate units and nine affordable units. Further, most of the units are to consist of one-bedroom units with a few two-bedroom units. The TOD is to have a total of 17 parking spaces for a parking ratio of 0.378 parking spaces per unit. According to the Village of Oak Park's zoning ordinance, a multifamily development is to provide one space per unit. Further, the parking demand can be reduced by 25 percent based on the following:

The Zoning Administrator, after consultation with the Village Engineer and the Director of Parking and Mobility Standards may authorize up to a 25% reduction in the number of required off-street parking spaces under one or more of the following circumstances:

- a. *The development or use institutes and commits to maintain a transportation management plan in accordance with a study that clearly indicates the types of transportation management activities and measures proposed.*

Given that the TOD has committed to a transportation and parking (marketing) plan, the parking requirements of the Village demand of the TOD is reduced to 0.75 parking spaces per unit. However, the peak parking demand of the TOD is projected to be considerably lower than the Village's parking requirements based on the following:

- Numerous studies have shown that TODs have a lower parking demand than typical developments. For example, *Empty Parking Spaces: Real Parking Needs at Five TODs*, published by Smart Growth America, found that the parking demand of the five TODs were 55 to 80 percent lower than what would be estimated based on parking generation rates published by ITE. The lower parking demand of TODs is due in part to the proximity of TODs to public transportation and alternative modes of transportation. As indicated previously, the area is served by several modes of transportation and it is anticipated that a minimum of 25 percent of the residents will commute to work via alternative modes of transportation.
- Further, reducing the car ownership at TODs is the growth of ride hailing and car sharing services over the past decade. The reliability and affordability of these services as well as rental car services has greatly reduced the need to own a vehicle, particularly considering the costs of the vehicle, gas, maintenance, and parking. It is important to note that the costs for the parking in the TOD will be extra and not included in the base rent for the unit.
- Twenty percent of the units within the TOD will be reserved as affordable units. The vehicle ownership of affordable units is typically lower than the vehicle ownership for market rate units. For example, only 17 parking spaces are currently leased at The Grove, which has a total of 51 units.

- The majority of the units within the TOD will be one-bedroom units with a few two-bedroom units. *Stalled Out: How Empty Parking Spaces Diminish Neighborhood Affordability*, published by the Center for Neighborhood Technology (CNT), is a study that summarizes the results and findings of parking surveys performed at 41 TODs in the City of Chicago. The study showed that parking demand for buildings comprised entirely of studio and one-bedroom units was approximately one-half the parking demand of buildings comprised entirely of two- and three-bedroom units.
- Similar to the other apartment buildings and single-family homes in the area, parking for visitors will be accommodated via on-street parking. Field surveys have shown that more than sufficient on-street parking is available within the neighborhood to accommodate the visitor parking demand of the TOD. As such, the 17 parking spaces will be reserved for only the residents of the building.

Finally, the Village of Oak Park has several permit parking lots within walking distance of the proposed TOD for which, if necessary, residents can purchase permit parking.

It should be noted that as part of the development, the five parallel parking spaces on the south side of Van Buren Street along the site frontage will need to be eliminated as parking on the south side of the road will be prohibited. The five parking spaces plus the 12 perpendicular parking spaces along the north side of Van Buren Street form the Village of Oak Park’s 25V permit parking lot. According to Village, only 15 permits are currently issued for this permit parking lot. As such, the elimination of the five parking spaces will only displace three residents that currently park within Lot 25V.

Further, the following eight Village of Oak Park permit parking lots are located within 0.5 miles (walking distance) from the site:

Lot 25A	Lot 54
Lot 30	Lot 68
Lot 33	Lot 103
Lot 47	Lot 114

Seven of the eight lots are located only approximately 0.3 miles walking distance from the site. According to the Village, 22 permits (parking spaces) are currently available within the eight parking lots located 0.5 miles from the site and 18 permits (parking spaces) are currently available within the seven parking lots located 0.3 miles from the site. As such, ample permit parking is currently available within walking distance of the site to accommodate the five total permit parking spaces to be eliminated from Lot 25V and, if necessary, residents from the development that may need permit parking.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- Given the location of the site and its proximity to public transportation and alternative modes of transportation, the number of generated trips will be reduced. In addition, the volume of new traffic will be reduced as the development will be replacing an existing 12-unit apartment building.
- The proposed garage access drive is to be located on the east side of the public alley approximately 50 feet south of Van Buren Street. As proposed, the access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. It should be noted that the access drive will be replacing the access drive serving the existing apartment building.
- The results of the capacity analysis indicate that the roadway system has sufficient reserve capacity to accommodate the TOD-generated traffic and no geometric improvements or traffic control improvements are required.
- The peak parking demand of the TOD is projected to be considerably lower than the Village's parking requirements based on the following:
 - The majority of the units within the TOD will be one-bedroom units with a few two-bedroom units.
 - Twenty percent of the units within the TOD will be reserved as affordable units.
 - The proximity of the TOD to the public transportation and alternative modes of transportation serving the area.
 - The reliability and affordability of ride hailing and car sharing services as well as rental car services.

Appendix

Traffic Count Summary Sheets
Preliminary Site Plan
ITE Trip Generation Worksheets
CMAP 2050 Projections Letter
Level of Service Criteria
Capacity Analysis Summary Sheets

Traffic Count Summary Sheets



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Harrison Street with Alley
Site Code:
Start Date: 03/12/2020
Page No: 1

Turning Movement Data

Start Time	Harrison Street Eastbound				Harrison Street Westbound				Alley Southbound							
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	123	2	123	0	62	0	0	62	0	1	2	1	3	188
7:15 AM	0	0	127	1	127	0	50	0	2	50	0	0	0	2	0	177
7:30 AM	0	0	108	1	108	0	61	0	0	61	0	0	0	4	0	169
7:45 AM	0	0	125	0	125	0	79	0	1	79	0	0	0	0	0	204
Hourly Total	0	0	483	4	483	0	252	0	3	252	0	1	2	7	3	738
8:00 AM	0	0	100	0	100	0	60	3	1	63	0	3	2	0	5	168
8:15 AM	0	0	93	0	93	0	55	2	0	57	0	3	0	0	3	153
8:30 AM	0	0	87	0	87	0	56	0	0	56	0	2	2	2	4	147
8:45 AM	0	0	80	0	80	0	24	1	0	25	0	2	0	0	2	107
Hourly Total	0	0	360	0	360	0	195	6	1	201	0	10	4	2	14	575
*** BREAK ***																
3:00 PM	0	1	62	0	63	0	62	2	0	64	0	1	1	1	2	129
3:15 PM	0	1	48	0	49	0	64	0	0	64	0	0	0	0	0	113
3:30 PM	0	0	69	0	69	0	83	0	0	83	0	2	0	0	2	154
3:45 PM	1	1	57	0	59	0	75	0	2	75	0	0	0	1	0	134
Hourly Total	1	3	236	0	240	0	284	2	2	286	0	3	1	2	4	530
4:00 PM	0	1	56	0	57	0	95	0	0	95	0	2	0	1	2	154
4:15 PM	0	0	57	0	57	0	80	0	2	80	0	0	1	9	1	138
4:30 PM	0	0	56	0	56	0	89	1	1	90	0	0	0	2	0	146
4:45 PM	0	2	51	0	53	0	101	2	0	103	0	1	1	0	2	158
Hourly Total	0	3	220	0	223	0	365	3	3	368	0	3	2	12	5	596
5:00 PM	0	0	73	0	73	0	105	0	0	105	0	0	0	2	0	178
5:15 PM	0	1	61	1	62	0	104	2	2	106	0	0	0	6	0	168
5:30 PM	0	0	71	1	71	0	84	1	2	85	0	3	0	2	3	159
5:45 PM	0	2	56	2	58	0	118	4	1	123	0	1	0	5	1	182
Hourly Total	0	3	261	4	264	1	411	7	5	419	0	4	0	15	4	687
Grand Total	1	9	1560	8	1570	1	1507	18	14	1526	0	21	9	38	30	3126
Approach %	0.1	0.6	99.4	-	-	0.1	98.8	1.2	-	-	0.0	70.0	30.0	-	-	-
Total %	0.0	0.3	49.9	-	50.2	0.0	48.2	0.6	-	48.8	0.0	0.7	0.3	-	1.0	-
Lights	1	9	1543	-	1553	1	1498	18	-	1517	0	21	7	-	28	3098
% Lights	100.0	100.0	98.9	-	98.9	100.0	99.4	100.0	-	99.4	-	100.0	77.8	-	93.3	99.1
Buses	0	0	13	-	13	0	3	0	-	3	0	0	0	-	0	16
% Buses	0.0	0.0	0.8	-	0.8	0.0	0.2	0.0	-	0.2	-	0.0	0.0	-	0.0	0.5
Single-Unit Trucks	0	0	2	-	2	0	4	0	-	4	0	0	0	-	2	8
% Single-Unit Trucks	0.0	0.0	0.1	-	0.1	0.0	0.3	0.0	-	0.3	-	0.0	22.2	-	6.7	0.3
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Harrison Street with Alley
Site Code:
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Page No: 3

Turning Movement Peak Hour Data (7:00 AM)

Start Time	Harrison Street Eastbound				Harrison Street Westbound				Alley Southbound							
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	123	2	123	0	62	0	0	62	0	1	2	1	3	188
7:15 AM	0	0	127	1	127	0	50	0	2	50	0	0	0	2	0	177
7:30 AM	0	0	108	1	108	0	61	0	0	61	0	0	0	4	0	169
7:45 AM	0	0	125	0	125	0	79	0	1	79	0	0	0	0	0	204
Total	0	0	483	4	483	0	252	0	3	252	0	1	2	7	3	738
Approach %	0.0	0.0	100.0	-	-	0.0	100.0	0.0	-	-	0.0	33.3	66.7	-	-	-
Total %	0.0	0.0	65.4	-	65.4	0.0	34.1	0.0	-	34.1	0.0	0.1	0.3	-	0.4	-
PHF	0.000	0.000	0.951	-	0.951	0.000	0.797	0.000	-	0.797	0.000	0.250	0.250	-	0.250	0.904
Lights	0	0	480	-	480	0	249	0	-	249	0	1	0	-	1	730
% Lights	-	-	99.4	-	99.4	-	98.8	-	-	98.8	-	100.0	0.0	-	33.3	98.9
Buses	0	0	1	-	1	0	1	0	-	1	0	0	0	-	0	2
% Buses	-	-	0.2	-	0.2	-	0.4	-	-	0.4	-	0.0	0.0	-	0.0	0.3
Single-Unit Trucks	0	0	1	-	1	0	2	0	-	2	0	0	2	-	2	5
% Single-Unit Trucks	-	-	0.2	-	0.2	-	0.8	-	-	0.8	-	0.0	100.0	-	66.7	0.7
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	-	0.0	-	0.0	-	0.0	-	-	0.0	-	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	1	-	1	0	0	0	-	0	0	0	0	-	0	1
% Bicycles on Road	-	-	0.2	-	0.2	-	0.0	-	-	0.0	-	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	4	-	-	-	-	3	-	-	-	-	7	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	100.0	-	-



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Count Name: Van Buren Street and Humphrey Avenue
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Start Date: 03/12/2020
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Turning Movement Data

Start Time	Van Buren Street Eastbound					Van Buren Street Westbound					Humphrey Avenue Northbound					Humphrey Avenue Southbound																
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total							
7:00 AM	0	0	2	3	0	5	0	1	1	0	0	2	0	0	2	0	0	0	2	0	1	5	1	0	7	0	1	5	1	0	7	16
7:15 AM	0	5	1	0	1	6	0	0	1	0	0	1	0	0	1	0	0	0	1	0	1	6	0	1	7	0	1	6	0	1	7	15
7:30 AM	0	0	0	4	0	4	0	0	6	3	3	9	0	1	2	2	0	0	5	0	0	4	1	0	5	0	0	4	1	0	5	23
7:45 AM	0	5	1	1	0	7	0	0	7	1	3	8	0	1	0	0	0	0	1	0	0	8	3	0	11	0	0	8	3	0	11	27
Hourly Total	0	10	4	8	1	22	0	1	15	4	9	20	0	2	5	2	0	9	0	2	23	5	1	30	0	2	23	5	1	30	81	
8:00 AM	0	2	2	1	0	5	1	1	4	0	0	6	0	0	2	0	0	2	0	0	3	2	0	5	0	0	3	2	0	5	18	
8:15 AM	0	1	1	3	0	5	0	0	1	0	0	1	0	0	0	1	2	1	0	1	4	1	0	6	0	1	4	1	0	6	13	
8:30 AM	0	0	2	1	0	3	0	2	3	0	1	5	0	0	3	2	1	5	0	1	9	1	0	11	0	1	9	1	0	11	24	
8:45 AM	0	0	2	2	0	4	0	1	1	0	0	2	0	1	8	0	1	9	0	1	5	0	1	6	0	1	5	0	1	6	21	
Hourly Total	0	3	7	7	0	17	1	4	9	0	1	14	0	1	13	3	4	17	0	3	21	4	1	28	0	3	21	4	1	28	76	
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
4:00 PM	0	1	4	2	0	7	0	1	0	0	0	1	0	1	2	2	0	5	0	1	6	0	0	7	0	1	6	0	0	7	20	
4:15 PM	0	0	3	2	0	5	0	1	0	2	0	3	0	0	3	1	1	4	1	0	3	0	1	4	0	0	3	0	1	4	16	
4:30 PM	0	0	1	0	1	1	0	0	3	0	1	3	0	0	3	3	0	6	0	0	7	0	1	7	0	0	7	0	1	7	17	
4:45 PM	0	1	0	1	0	2	0	1	0	0	0	1	0	3	10	1	2	14	0	0	4	1	1	5	0	0	4	1	1	5	22	
Hourly Total	0	2	8	5	1	15	0	3	3	2	1	8	0	4	18	7	3	29	1	1	20	1	3	23	0	1	20	1	3	23	75	
5:00 PM	0	0	3	1	0	4	0	1	1	0	0	2	0	0	5	1	0	6	0	4	6	1	1	11	0	4	6	1	1	11	23	
5:15 PM	0	0	0	4	0	4	0	0	1	0	3	1	0	3	1	1	0	5	0	2	4	4	2	10	0	2	4	4	2	10	20	
5:30 PM	0	3	0	1	0	4	0	0	4	2	3	6	2	0	1	2	4	5	0	1	7	0	2	8	0	1	7	0	2	8	23	
5:45 PM	0	1	3	1	0	5	0	1	4	0	0	5	0	1	0	1	0	2	0	1	2	0	0	3	0	1	2	0	0	3	15	
Hourly Total	0	4	6	7	0	17	0	2	10	2	6	14	2	4	7	5	4	18	0	8	19	5	7	32	0	8	19	5	7	32	81	
Grand Total	0	19	25	27	2	71	1	10	37	8	17	56	2	11	43	17	11	73	1	14	83	15	12	113	0	14	83	15	12	113	313	
Approach %	0.0	26.8	35.2	38.0	-	-	1.8	17.9	66.1	14.3	-	-	2.7	15.1	58.9	23.3	-	-	0.9	12.4	73.5	13.3	-	-	0.3	4.5	26.5	4.8	-	36.1	-	
Total %	0.0	6.1	8.0	8.6	-	22.7	0.3	3.2	11.8	2.6	-	17.9	0.6	3.5	13.7	5.4	-	23.3	0.3	4.5	26.5	4.8	-	36.1	0.3	4.5	26.5	4.8	-	36.1	-	
Lights	0	18	22	27	-	67	1	10	37	8	-	56	2	10	42	17	-	71	1	14	83	15	-	113	0	14	83	15	-	113	307	
% Lights	-	94.7	88.0	100.0	-	94.4	100.0	100.0	100.0	100.0	-	100.0	100.0	90.9	97.7	100.0	-	97.3	100.0	100.0	100.0	100.0	-	100.0	100.0	100.0	100.0	100.0	-	100.0	98.1	
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1	
% Buses	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	9.1	0.0	0.0	-	1.4	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.3	
Single-Unit Trucks	0	0	1	0	-	1	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	2	
% Single-Unit Trucks	-	0.0	4.0	0.0	-	1.4	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	2.3	0.0	-	1.4	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.6	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	1	2	0	-	3	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	3	



Kenig Lindgren O'Hara Aboona, Inc.
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Rosemont, Illinois, United States 60018
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Count Name: Van Buren Street and Humphrey Avenue
Site Code:
Start Date: 03/12/2020
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Turning Movement Peak Hour Data (7:00 AM)

Start Time	Van Buren Street Eastbound						Van Buren Street Westbound						Humphrey Avenue Northbound						Humphrey Avenue Southbound													
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	0	2	3	0	5	0	1	1	0	0	2	0	0	2	0	0	0	2	0	1	5	1	0	7	0	1	5	1	0	7	16
7:15 AM	0	5	1	0	1	6	0	0	1	0	3	1	0	0	1	0	0	1	0	1	6	0	1	7	0	1	6	0	1	7	15	
7:30 AM	0	0	0	4	0	4	0	0	6	3	3	9	0	1	2	2	0	5	0	0	4	1	0	5	0	0	4	1	0	5	23	
7:45 AM	0	5	1	1	0	7	0	0	7	1	3	8	0	1	0	0	0	1	0	0	8	3	0	11	0	0	8	3	0	11	27	
Total	0	10	4	8	1	22	0	1	15	4	9	20	0	2	5	2	0	9	0	2	23	5	1	30	0	2	23	5	1	30	81	
Approach %	0.0	45.5	18.2	36.4	-	-	0.0	5.0	75.0	20.0	-	-	0.0	22.2	55.6	22.2	-	-	0.0	6.7	76.7	16.7	-	-	0.0	6.7	76.7	16.7	-	-	-	
Total %	0.0	12.3	4.9	9.9	-	27.2	0.0	1.2	18.5	4.9	-	24.7	0.0	2.5	6.2	2.5	-	11.1	0.0	2.5	28.4	6.2	-	37.0	0.0	2.5	28.4	6.2	-	37.0	-	
PHF	0.000	0.500	0.500	0.500	-	0.786	0.000	0.250	0.536	0.333	-	0.556	0.000	0.500	0.625	0.250	-	0.450	0.000	0.500	0.719	0.417	-	0.682	0.000	0.500	0.719	0.417	-	0.682	0.750	
Lights	0	9	2	8	-	19	0	1	15	4	-	20	0	1	5	2	-	8	0	2	23	5	-	30	0	2	23	5	-	30	77	
% Lights	-	90.0	50.0	100.0	-	86.4	-	100.0	100.0	100.0	-	100.0	-	50.0	100.0	100.0	-	88.9	-	100.0	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	95.1	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	1	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	50.0	0.0	0.0	-	11.1	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.2	
Single-Unit Trucks	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1	
% Single-Unit Trucks	-	0.0	25.0	0.0	-	4.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.2	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	1	1	0	-	2	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	2	
% Bicycles on Road	-	10.0	25.0	0.0	-	9.1	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	2.5	
Pedestrians	-	-	-	-	1	-	-	-	-	-	9	-	-	-	-	-	0	-	-	-	-	-	1	-	-	-	-	-	1	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	



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Count Name: Van Buren Street and Humphrey Avenue
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Start Date: 03/12/2020
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Turning Movement Peak Hour Data (5:00 PM)

Start Time	Van Buren Street Eastbound						Van Buren Street Westbound						Humphrey Avenue Northbound						Humphrey Avenue Southbound														
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total		
5:00 PM	0	0	3	1	0	4	0	1	1	0	0	2	0	0	0	5	1	0	0	6	0	4	6	1	1	11	0	4	6	1	1	11	23
5:15 PM	0	0	0	4	0	4	0	0	1	0	3	1	0	3	1	1	1	0	5	0	2	4	4	2	10	0	2	4	4	2	10	20	
5:30 PM	0	3	0	1	0	4	0	0	4	2	3	6	2	0	1	2	4	5	0	1	7	0	2	8	0	1	7	0	2	8	23		
5:45 PM	0	1	3	1	0	5	0	1	4	0	0	5	0	1	0	1	0	2	0	1	2	0	2	3	0	1	2	0	2	3	15		
Total	0	4	6	7	0	17	0	2	10	2	6	14	2	4	7	5	4	18	0	8	19	5	7	32	0	8	19	5	7	32	81		
Approach %	0.0	23.5	35.3	41.2	-	-	0.0	14.3	71.4	14.3	-	-	11.1	22.2	38.9	27.8	-	-	0.0	25.0	59.4	15.6	-	-	0.0	25.0	59.4	15.6	-	-	-		
Total %	0.0	4.9	7.4	8.6	-	21.0	0.0	2.5	12.3	2.5	-	17.3	2.5	4.9	8.6	6.2	-	22.2	0.0	9.9	23.5	6.2	-	39.5	0.0	9.9	23.5	6.2	-	39.5	-		
PHF	0.000	0.333	0.500	0.438	-	0.850	0.000	0.500	0.625	0.250	-	0.583	0.250	0.333	0.350	0.625	-	0.750	0.000	0.500	0.679	0.313	-	0.727	0.000	0.500	0.679	0.313	-	0.727	0.880		
Lights	0	4	5	7	-	16	0	2	10	2	-	14	2	4	7	5	-	18	0	8	19	5	-	32	0	8	19	5	-	32	80		
% Lights	-	100.0	83.3	100.0	-	94.1	-	100.0	100.0	100.0	-	100.0	100.0	100.0	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	98.8		
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0		
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0		
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0		
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0		
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0		
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0		
Bicycles on Road	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1		
% Bicycles on Road	-	0.0	16.7	0.0	-	5.9	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.2		
Pedestrians	-	-	-	-	0	-	-	-	-	-	6	-	-	-	-	-	4	-	-	-	-	-	7	-	-	-	-	-	7	-	-		
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-		

% Bicycles on Road	0.0	5.6	0.0	0.0	1.9	-	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.8
Pedestrians	-	-	-	-	4	-	17	-	-	9	-	-	-	-	24	-	-	-
% Pedestrians	-	-	-	-	100.0	-	100.0	-	-	100.0	-	-	-	-	100.0	-	-	-



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Van Buren Street with Alley
Site Code:
Start Date: 03/12/2020
Page No: 3

Turning Movement Peak Hour Data (7:00 AM)

Start Time	Van Buren Street Eastbound						Van Buren Street Westbound						Alley Northbound						Alley Southbound													
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total							
7:00 AM	0	1	0	2	0	3	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	5	
7:15 AM	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	2	
7:30 AM	1	1	0	0	0	2	0	0	0	0	3	0	0	3	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0	5	10	
7:45 AM	0	0	0	1	0	1	0	0	2	0	0	2	0	2	0	0	1	2	0	0	0	0	4	0	0	0	0	4	0	4	9	
Total	1	2	1	3	0	7	0	0	3	0	3	3	0	5	0	0	1	5	0	0	0	0	11	1	0	0	0	11	1	11	26	
Approach %	14.3	28.6	14.3	42.9	-	-	0.0	0.0	100.0	0.0	-	-	0.0	100.0	0.0	0.0	-	-	0.0	0.0	0.0	0.0	100.0	-	-	0.0	0.0	0.0	42.3	-	42.3	-
Total %	3.8	7.7	3.8	11.5	-	26.9	0.0	0.0	11.5	0.0	-	11.5	0.0	19.2	0.0	0.0	-	19.2	0.0	0.0	0.0	0.0	42.3	-	42.3	0.000	0.000	0.000	0.550	-	0.550	0.650
PHF	0.250	0.500	0.250	0.375	-	0.583	0.000	0.000	0.375	0.000	-	0.375	0.000	0.417	0.000	0.000	-	0.417	0.000	0.000	0.000	0.000	0.550	-	0.550	0	0	0	11	-	11	25
Lights	1	2	1	2	-	6	0	0	3	0	-	3	0	5	0	0	-	5	0	0	0	0	11	-	11	0	0	0	100.0	-	100.0	96.2
% Lights	100.0	100.0	100.0	66.7	-	85.7	-	-	100.0	-	-	100.0	-	100.0	-	-	-	100.0	-	-	-	-	100.0	-	100.0	0	0	0	0	-	0	0
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Buses	0.0	0.0	0.0	0.0	-	0.0	-	-	0.0	-	-	0.0	-	0.0	-	-	-	0.0	-	-	-	-	0.0	-	0.0	0	0	0	0	-	0	0
Single-Unit Trucks	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	0	-	0	0	0	0	0	-	0	1
% Single-Unit Trucks	0.0	0.0	0.0	33.3	-	14.3	-	-	0.0	-	-	0.0	-	0.0	-	-	-	0.0	-	-	-	-	0.0	-	0.0	0	0	0	0	-	0	3.8
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	0.0	0.0	0.0	0.0	-	0.0	-	-	0.0	-	-	0.0	-	0.0	-	-	-	0.0	-	-	-	-	0.0	-	0.0	0	0	0	0	-	0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	0.0	0.0	0.0	0.0	-	0.0	-	-	0.0	-	-	0.0	-	0.0	-	-	-	0.0	-	-	-	-	0.0	-	0.0	0	0	0	0	-	0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	3	-	-	-	-	-	1	-	-	-	-	-	1	-	-	-	-	-	1	-	-	
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Van Buren Street with Alley
Site Code:
Start Date: 03/12/2020
Page No: 4

Turning Movement Peak Hour Data (5:00 PM)

Start Time	Van Buren Street Eastbound						Van Buren Street Westbound						Alley Northbound						Alley Southbound								
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total		
5:00 PM	0	4	1	1	0	6	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	2	1	1	2	8
5:15 PM	0	0	0	2	0	2	0	0	1	0	1	1	0	0	1	0	0	2	1	0	0	0	0	1	0	0	4
5:30 PM	0	1	1	2	2	4	0	2	0	0	1	2	0	2	0	0	3	2	0	0	0	4	3	4	4	12	
5:45 PM	0	2	2	1	0	5	0	0	1	0	0	1	0	4	1	0	0	5	0	0	1	0	3	1	1	12	
Total	0	7	4	6	2	17	0	2	2	0	3	4	0	6	2	0	5	8	0	0	1	6	8	7	7	36	
Approach %	0.0	41.2	23.5	35.3	-	-	0.0	50.0	50.0	0.0	-	-	0.0	75.0	25.0	0.0	-	-	0.0	0.0	14.3	85.7	-	-	-	-	
Total %	0.0	19.4	11.1	16.7	-	47.2	0.0	5.6	5.6	0.0	-	11.1	0.0	16.7	5.6	0.0	-	22.2	0.0	0.0	2.8	16.7	-	-	19.4	-	
PHF	0.000	0.438	0.500	0.750	-	0.708	0.000	0.250	0.500	0.000	-	0.500	0.000	0.375	0.500	0.000	-	0.400	0.000	0.000	0.250	0.375	-	-	0.438	0.750	
Lights	0	6	4	6	-	16	0	2	2	0	-	4	0	6	2	0	-	8	0	0	1	6	-	-	7	35	
% Lights	-	85.7	100.0	100.0	-	94.1	-	100.0	100.0	-	-	100.0	-	100.0	100.0	-	-	100.0	-	-	100.0	100.0	-	-	100.0	97.2	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	-	0.0	0.0	-	-	0.0	-	-	0.0	0.0	-	-	0.0	0.0	
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	-	0.0	0.0	-	-	0.0	-	-	0.0	0.0	-	-	0.0	0.0	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	-	-	0.0	-	0.0	0.0	-	-	0.0	-	-	0.0	0.0	-	-	0.0	0.0	
Bicycles on Road	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	1	
% Bicycles on Road	-	14.3	0.0	0.0	-	5.9	-	0.0	0.0	-	-	0.0	-	0.0	0.0	-	-	0.0	-	-	0.0	0.0	-	-	0.0	2.8	
Pedestrians	-	-	-	-	2	-	-	-	-	-	3	-	-	-	-	-	5	-	-	-	-	-	8	-	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	

Preliminary Site Plan

ITE Trip Generation Worksheets

Multifamily Housing (Low-Rise) (220)

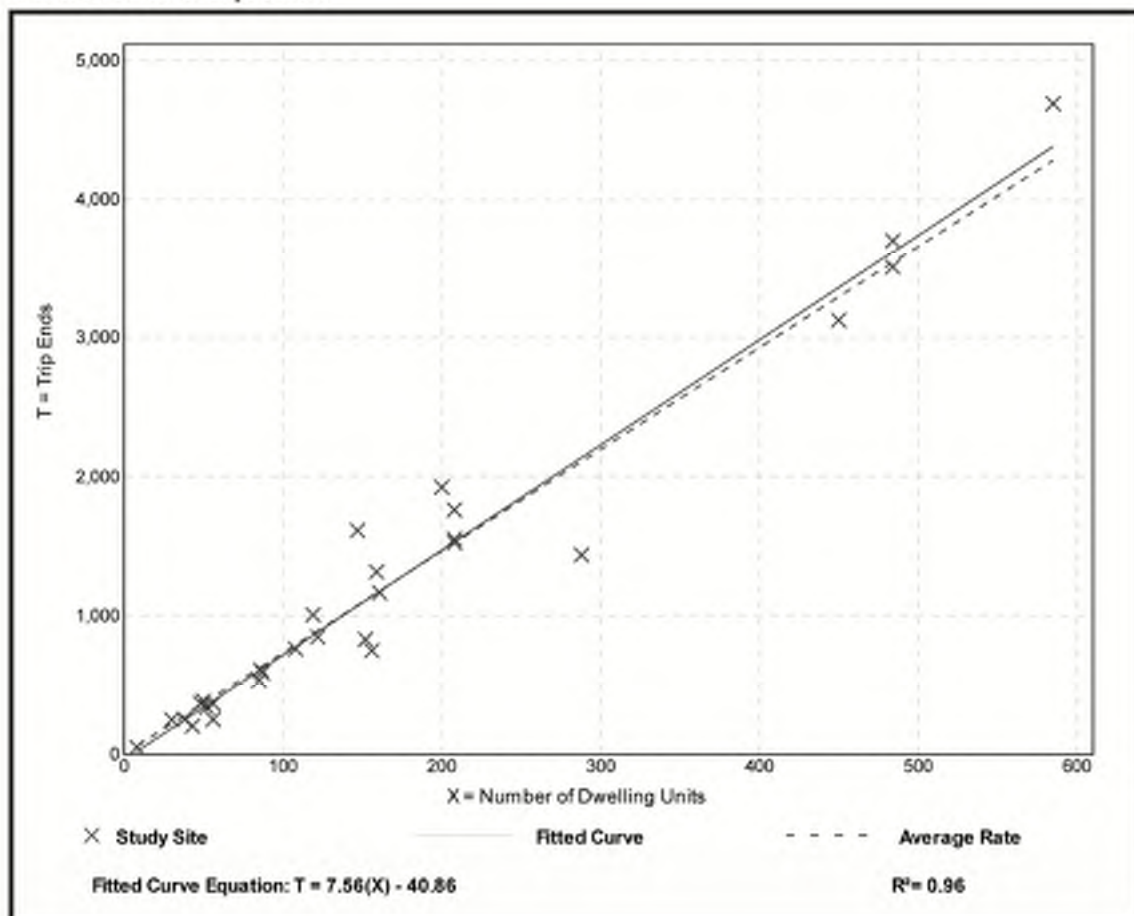
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 29
Avg. Num. of Dwelling Units: 168
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
7.32	4.45 - 10.97	1.31

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 42

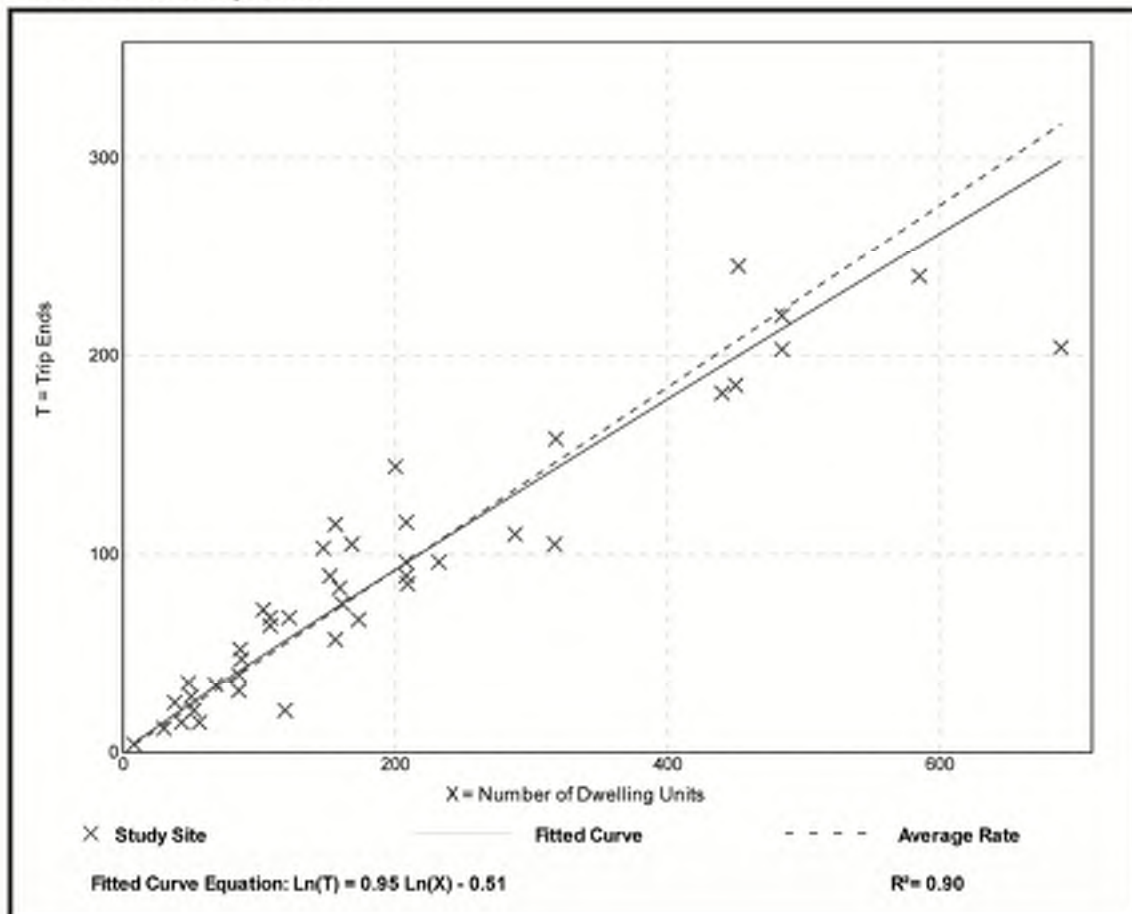
Avg. Num. of Dwelling Units: 199

Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.46	0.18 - 0.74	0.12

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 50

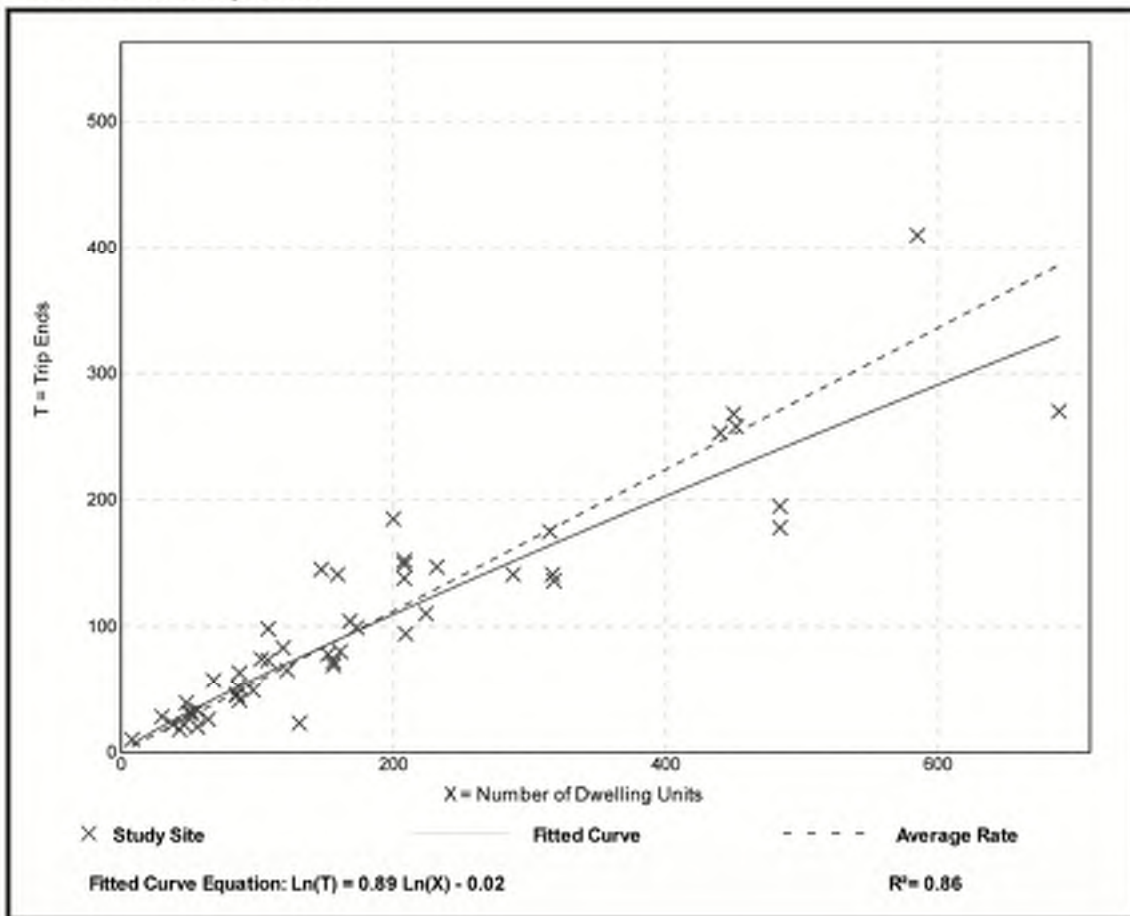
Avg. Num. of Dwelling Units: 187

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.56	0.18 - 1.25	0.16

Data Plot and Equation



CMAP 2050 Projections Letter



Chicago Metropolitan Agency for Planning

233 South Wacker Drive
Suite 800
Chicago, Illinois 60606
312 454 0400
www.cmap.illinois.gov

April 14, 2020

Elise Purguette
Traffic Engineer
Kenig, Lindgren, O'Hara and Aboona, Inc.
9575 West Higgins Road
Suite 400
Rosemont, IL 60018

Subject: Austin Boulevard @ Van Buren Street
IDOT

Dear Ms. Purguette:

In response to a request made on your behalf and dated April 14, 2020, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current Volume	Year 2050 ADT
Austin Blvd, @ Van Buren St	20,300	22,400

Traffic projections are developed using existing ADT data provided in the request letter and the results from the March 2020 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806.

Sincerely,

Jose Rodriguez, PTP, AICP
Senior Planner, Research & Analysis

cc: Quigley (IDOT)
2020_TrafficForecast\OakPark\ck-37-20\ck-37-20.docx

Level of Service Criteria

LEVEL OF SERVICE CRITERIA

Signalized Intersections		
Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	>80.0
Unsignalized Intersections		
Level of Service	Average Total Delay (SEC/VEH)	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	

Source: *Highway Capacity Manual*, 2010.

Capacity Analysis Summary Sheets
Existing Weekday Morning Peak Hour Conditions

HCM 6th TWSC
1: Humphrey Avenue & Van Buren Street

04/14/2020

Intersection												
Int Delay, s/veh	5.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	9	4	8	1	15	4	2	5	2	2	23	5
Future Vol, veh/h	9	4	8	1	15	4	2	5	2	2	23	5
Conflicting Peds, #/hr	1	0	0	0	0	1	1	0	9	9	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	75	75	75	75	75	75	75	75	75	75	75	75
Heavy Vehicles, %	10	50	0	0	0	0	50	0	0	0	0	0
Mvmt Flow	12	5	11	1	20	5	3	7	3	3	31	7

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	26	0	0	16	0	0	80	63	20	75	66	25
Stage 1	-	-	-	-	-	-	35	35	-	26	26	-
Stage 2	-	-	-	-	-	-	45	28	-	49	40	-
Critical Hdwy	4.2	-	-	4.1	-	-	7.6	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.6	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.6	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.29	-	-	2.2	-	-	3.95	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1538	-	-	1615	-	-	804	832	1064	920	829	1057
Stage 1	-	-	-	-	-	-	871	870	-	997	878	-
Stage 2	-	-	-	-	-	-	860	876	-	969	866	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1537	-	-	1615	-	-	770	824	1055	897	821	1055
Mov Cap-2 Maneuver	-	-	-	-	-	-	770	824	-	897	821	-
Stage 1	-	-	-	-	-	-	864	863	-	988	876	-
Stage 2	-	-	-	-	-	-	823	874	-	943	859	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	3.2	0.4	9.3	9.4
HCM LOS			A	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	852	1537	-	-	1615	-	-	858
HCM Lane V/C Ratio	0.014	0.008	-	-	0.001	-	-	0.047
HCM Control Delay (s)	9.3	7.4	0	-	7.2	0	-	9.4
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0.1

HCM 6th TWSC
2: Alley & Van Buren Street

04/14/2020

Intersection												
Int Delay, s/veh	5.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	3	2	3	0	4	0	5	0	0	0	0	11
Future Vol, veh/h	3	2	3	0	4	0	5	0	0	0	0	11
Conflicting Peds, #/hr	1	0	1	1	0	1	0	0	3	3	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	65	65	65	65	65	65	65	65	65	65	65	65
Heavy Vehicles, %	0	0	33	0	0	0	0	0	0	0	0	0
Mvmt Flow	5	3	5	0	6	0	8	0	0	0	0	17

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	7	0	0	9	0	0	32	24	10	26	26	7
Stage 1	-	-	-	-	-	-	17	17	-	7	7	-
Stage 2	-	-	-	-	-	-	15	7	-	19	19	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1627	-	-	1624	-	-	981	873	1077	990	871	1081
Stage 1	-	-	-	-	-	-	1008	885	-	1020	894	-
Stage 2	-	-	-	-	-	-	1010	894	-	1005	884	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1625	-	-	1622	-	-	962	869	1073	984	867	1080
Mov Cap-2 Maneuver	-	-	-	-	-	-	962	869	-	984	867	-
Stage 1	-	-	-	-	-	-	1004	881	-	1016	893	-
Stage 2	-	-	-	-	-	-	994	893	-	999	880	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	2.7	0	8.8	8.4
HCM LOS			A	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	962	1625	-	-	1622	-	-	1080
HCM Lane V/C Ratio	0.008	0.003	-	-	-	-	-	0.016
HCM Control Delay (s)	8.8	7.2	0	-	0	-	-	8.4
HCM Lane LOS	A	A	A	-	A	-	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0

HCM 6th TWSC
3: Harrison Street & Alley

04/14/2020

Intersection						
Int Delay, s/veh	0					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	
Traffic Vol, veh/h	0	482	252	0	1	2
Future Vol, veh/h	0	482	252	0	1	2
Conflicting Peds, #/hr	7	0	0	7	3	4
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	0	1	1	0	0	0
Mvmt Flow	0	536	280	0	1	2

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	287	0	0	826	291
Stage 1	-	-	-	287	-
Stage 2	-	-	-	539	-
Critical Hdwy	4.1	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	3.5	3.3
Pot Cap-1 Maneuver	1287	-	-	345	753
Stage 1	-	-	-	766	-
Stage 2	-	-	-	589	-
Platoon blocked, %		-	-		
Mov Cap-1 Maneuver	1278	-	-	340	745
Mov Cap-2 Maneuver	-	-	-	340	-
Stage 1	-	-	-	761	-
Stage 2	-	-	-	585	-

Approach	EB	WB	SB
HCM Control Delay, s	0	0	11.8
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1278	-	-	-	533
HCM Lane V/C Ratio	-	-	-	-	0.006
HCM Control Delay (s)	0	-	-	-	11.8
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0

Capacity Analysis Summary Sheets
Existing Weekday Evening Peak Hour Conditions

HCM 6th TWSC
1: Humphrey Avenue & Van Buren Street

04/14/2020

Intersection												
Int Delay, s/veh	6.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	4	5	7	2	10	2	6	7	5	8	19	5
Future Vol, veh/h	4	5	7	2	10	2	6	7	5	8	19	5
Conflicting Peds, #/hr	7	0	4	4	0	7	0	0	6	6	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	5	6	8	2	11	2	7	8	6	9	22	6

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	20	0	0	18	0	0	54	48	20	56	51	19
Stage 1	-	-	-	-	-	-	24	24	-	23	23	-
Stage 2	-	-	-	-	-	-	30	24	-	33	28	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1609	-	-	1612	-	-	949	847	1064	946	844	1065
Stage 1	-	-	-	-	-	-	999	879	-	1000	880	-
Stage 2	-	-	-	-	-	-	992	879	-	988	876	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1598	-	-	1606	-	-	919	834	1054	920	831	1058
Mov Cap-2 Maneuver	-	-	-	-	-	-	919	834	-	920	831	-
Stage 1	-	-	-	-	-	-	992	873	-	990	873	-
Stage 2	-	-	-	-	-	-	961	872	-	965	870	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	1.8	1	9	9.3
HCM LOS			A	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	915	1598	-	-	1606	-	-	882
HCM Lane V/C Ratio	0.022	0.003	-	-	0.001	-	-	0.041
HCM Control Delay (s)	9	7.3	0	-	7.2	0	-	9.3
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	-	0.1

HCM 6th TWSC
2: Alley & Van Buren Street

04/14/2020

Intersection												
Int Delay, s/veh	5.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	7	4	7	2	2	0	6	2	0	0	1	6
Future Vol, veh/h	7	4	7	2	2	0	6	2	0	0	1	6
Conflicting Peds, #/hr	8	0	5	5	0	8	2	0	3	3	0	2
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	75	75	75	75	75	75	75	75	75	75	75	75
Heavy Vehicles, %	14	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	9	5	9	3	3	0	8	3	0	0	1	8

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	11	0	0	19	0	0	49	50	18	49	54	13
Stage 1	-	-	-	-	-	-	33	33	-	17	17	-
Stage 2	-	-	-	-	-	-	16	17	-	32	37	-
Critical Hdwy	4.24	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.326	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1533	-	-	1611	-	-	956	845	1066	956	841	1073
Stage 1	-	-	-	-	-	-	988	872	-	1008	885	-
Stage 2	-	-	-	-	-	-	1009	885	-	990	868	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1521	-	-	1603	-	-	936	827	1058	938	823	1063
Mov Cap-2 Maneuver	-	-	-	-	-	-	936	827	-	938	823	-
Stage 1	-	-	-	-	-	-	977	862	-	994	876	-
Stage 2	-	-	-	-	-	-	996	876	-	978	858	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	2.9			3.6			9			8.6		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	906	1521	-	-	1603	-	-	1020
HCM Lane V/C Ratio	0.012	0.006	-	-	0.002	-	-	0.009
HCM Control Delay (s)	9	7.4	0	-	7.2	0	-	8.6
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0

HCM 6th TWSC
3: Harrison Street & Alley

04/14/2020

Intersection						
Int Delay, s/veh	0.1					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	
Traffic Vol, veh/h	3	261	412	7	4	0
Future Vol, veh/h	3	261	412	7	4	0
Conflicting Peds, #/hr	15	0	0	15	5	4
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	94	94	94	94	94	94
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	3	278	438	7	4	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	460	0	-	0	746 461
Stage 1	-	-	-	-	457 -
Stage 2	-	-	-	-	289 -
Critical Hdwy	4.1	-	-	-	6.4 6.2
Critical Hdwy Stg 1	-	-	-	-	5.4 -
Critical Hdwy Stg 2	-	-	-	-	5.4 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	1112	-	-	-	384 605
Stage 1	-	-	-	-	642 -
Stage 2	-	-	-	-	765 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1096	-	-	-	372 594
Mov Cap-2 Maneuver	-	-	-	-	372 -
Stage 1	-	-	-	-	631 -
Stage 2	-	-	-	-	754 -

Approach	EB	WB	SB
HCM Control Delay, s	0.1	0	14.8
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1096	-	-	-	372
HCM Lane V/C Ratio	0.003	-	-	-	0.011
HCM Control Delay (s)	8.3	0	-	-	14.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0

Capacity Analysis Summary Sheets
Projected Weekday Morning Peak Hour Conditions

HCM 6th TWSC
1: Humphrey Avenue & Van Buren Street

05/20/2020

Intersection												
Int Delay, s/veh	5.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	9	5	8	1	16	7	2	5	2	3	23	5
Future Vol, veh/h	9	5	8	1	16	7	2	5	2	3	23	5
Conflicting Peds, #/hr	1	0	0	0	0	1	1	0	9	9	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	75	75	75	75	75	75	75	75	75	75	75	75
Heavy Vehicles, %	10	50	0	0	0	0	50	0	0	0	0	0
Mvmt Flow	12	7	11	1	21	9	3	7	3	4	31	7

Major/Minor	Major1		Major2			Minor1			Minor2			
Conflicting Flow All	31	0	0	18	0	0	85	70	22	80	71	28
Stage 1	-	-	-	-	-	-	37	37	-	29	29	-
Stage 2	-	-	-	-	-	-	48	33	-	51	42	-
Critical Hdwy	4.2	-	-	4.1	-	-	7.6	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.6	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.6	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.29	-	-	2.2	-	-	3.95	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1531	-	-	1612	-	-	798	824	1061	913	823	1053
Stage 1	-	-	-	-	-	-	869	868	-	993	875	-
Stage 2	-	-	-	-	-	-	857	872	-	967	864	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1530	-	-	1612	-	-	764	816	1052	890	815	1051
Mov Cap-2 Maneuver	-	-	-	-	-	-	764	816	-	890	815	-
Stage 1	-	-	-	-	-	-	862	861	-	984	873	-
Stage 2	-	-	-	-	-	-	820	870	-	941	857	-

Approach	EB		WB			NB			SB			
HCM Control Delay, s	3		0.3			9.3			9.4			
HCM LOS						A			A			

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	845	1530	-	-	1612	-	-	853
HCM Lane V/C Ratio	0.014	0.008	-	-	0.001	-	-	0.048
HCM Control Delay (s)	9.3	7.4	0	-	7.2	0	-	9.4
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0.2

HCM 6th TWSC
2: Alley & Van Buren Street

05/20/2020

Intersection												
Int Delay, s/veh	5.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	3	2	5	0	4	0	9	0	0	0	0	11
Future Vol, veh/h	3	2	5	0	4	0	9	0	0	0	0	11
Conflicting Peds, #/hr	1	0	1	1	0	1	0	0	3	3	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	65	65	65	65	65	65	65	65	65	65	65	65
Heavy Vehicles, %	0	0	33	0	0	0	0	0	0	0	0	0
Mvmt Flow	5	3	8	0	6	0	14	0	0	0	0	17

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	7	0	0	12	0	0	33	25	11	27	29	7
Stage 1	-	-	-	-	-	-	18	18	-	7	7	-
Stage 2	-	-	-	-	-	-	15	7	-	20	22	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1627	-	-	1620	-	-	979	872	1076	988	868	1081
Stage 1	-	-	-	-	-	-	1006	884	-	1020	894	-
Stage 2	-	-	-	-	-	-	1010	894	-	1004	881	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1625	-	-	1618	-	-	960	868	1072	982	864	1080
Mov Cap-2 Maneuver	-	-	-	-	-	-	960	868	-	982	864	-
Stage 1	-	-	-	-	-	-	1002	880	-	1016	893	-
Stage 2	-	-	-	-	-	-	994	893	-	998	877	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	2.2			0			8.8			8.4		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	960	1625	-	-	1618	-	-	1080
HCM Lane V/C Ratio	0.014	0.003	-	-	-	-	-	0.016
HCM Control Delay (s)	8.8	7.2	0	-	0	-	-	8.4
HCM Lane LOS	A	A	A	-	A	-	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0

HCM 6th TWSC
3: Harrison Street & Alley

05/20/2020

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	
Traffic Vol, veh/h	1	491	257	1	6	6
Future Vol, veh/h	1	491	257	1	6	6
Conflicting Peds, #/hr	7	0	0	7	3	4
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	0	1	1	0	0	0
Mvmt Flow	1	546	286	1	7	7

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	294	0	0	845	298
Stage 1	-	-	-	294	-
Stage 2	-	-	-	551	-
Critical Hdwy	4.1	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	3.5	3.3
Pot Cap-1 Maneuver	1279	-	-	336	746
Stage 1	-	-	-	761	-
Stage 2	-	-	-	581	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1270	-	-	331	738
Mov Cap-2 Maneuver	-	-	-	331	-
Stage 1	-	-	-	755	-
Stage 2	-	-	-	577	-

Approach	EB	WB	SB
HCM Control Delay, s	0	0	13.1
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1270	-	-	-	457
HCM Lane V/C Ratio	0.001	-	-	-	0.029
HCM Control Delay (s)	7.8	0	-	-	13.1
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

HCM 6th TWSC
4: Alley & Proposed Access

05/20/2020

Intersection						
Int Delay, s/veh	5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	9	4	5	2	2	3
Future Vol, veh/h	9	4	5	2	2	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	9	4	5	2	2	3

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	13	6	0	0	7
Stage 1	6	-	-	-	-
Stage 2	7	-	-	-	-
Critical Hdwy	6.4	6.2	-	-	4.1
Critical Hdwy Stg 1	5.4	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-
Follow-up Hdwy	3.5	3.3	-	-	2.2
Pot Cap-1 Maneuver	1011	1083	-	-	1627
Stage 1	1022	-	-	-	-
Stage 2	1021	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	1010	1083	-	-	1627
Mov Cap-2 Maneuver	1010	-	-	-	-
Stage 1	1021	-	-	-	-
Stage 2	1021	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	8.5	0	2.9
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1031	1627
HCM Lane V/C Ratio	-	-	0.013	0.001
HCM Control Delay (s)	-	-	8.5	7.2
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Capacity Analysis Summary Sheets
Projected Weekday Evening Peak Hour Conditions

HCM 6th TWSC
1: Humphrey Avenue & Van Buren Street

05/20/2020

Intersection												
Int Delay, s/veh	6.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	4	6	7	2	11	4	6	7	5	12	19	5
Future Vol, veh/h	4	6	7	2	11	4	6	7	5	12	19	5
Conflicting Peds, #/hr	7	0	4	4	0	7	0	0	6	6	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	5	7	8	2	13	5	7	8	6	14	22	6

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	25	0	0	19	0	0	59	54	21	61	56	23
Stage 1	-	-	-	-	-	-	25	25	-	27	27	-
Stage 2	-	-	-	-	-	-	34	29	-	34	29	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1603	-	-	1611	-	-	942	841	1062	939	839	1060
Stage 1	-	-	-	-	-	-	998	878	-	996	877	-
Stage 2	-	-	-	-	-	-	987	875	-	987	875	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1592	-	-	1605	-	-	912	828	1052	913	826	1053
Mov Cap-2 Maneuver	-	-	-	-	-	-	912	828	-	913	826	-
Stage 1	-	-	-	-	-	-	991	872	-	986	870	-
Stage 2	-	-	-	-	-	-	956	868	-	964	869	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	1.7			0.9			9			9.3		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	910	1592	-	-	1605	-	-	880
HCM Lane V/C Ratio	0.022	0.003	-	-	0.001	-	-	0.046
HCM Control Delay (s)	9	7.3	0	-	7.2	0	-	9.3
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	-	0.1

HCM 6th TWSC
2: Alley & Van Buren Street

05/20/2020

Intersection												
Int Delay, s/veh	5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	7	4	12	2	2	0	9	2	0	0	1	6
Future Vol, veh/h	7	4	12	2	2	0	9	2	0	0	1	6
Conflicting Peds, #/hr	8	0	5	5	0	8	2	0	3	3	0	2
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	75	75	75	75	75	75	75	75	75	75	75	75
Heavy Vehicles, %	14	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	9	5	16	3	3	0	12	3	0	0	1	8

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	11	0	0	26	0	0	52	53	21	53	61	13
Stage 1	-	-	-	-	-	-	36	36	-	17	17	-
Stage 2	-	-	-	-	-	-	16	17	-	36	44	-
Critical Hdwy	4.24	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.326	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1533	-	-	1601	-	-	952	842	1062	951	834	1073
Stage 1	-	-	-	-	-	-	985	869	-	1008	885	-
Stage 2	-	-	-	-	-	-	1009	885	-	985	862	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1521	-	-	1593	-	-	932	824	1054	933	816	1063
Mov Cap-2 Maneuver	-	-	-	-	-	-	932	824	-	933	816	-
Stage 1	-	-	-	-	-	-	974	859	-	994	876	-
Stage 2	-	-	-	-	-	-	996	876	-	973	853	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	2.2			3.6			9			8.6		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	910	1521	-	-	1593	-	-	1019
HCM Lane V/C Ratio	0.016	0.006	-	-	0.002	-	-	0.009
HCM Control Delay (s)	9	7.4	0	-	7.3	0	-	8.6
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0	0	-	-	0	-	-	0

HCM 6th TWSC
 3: Harrison Street & Alley

05/20/2020

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↔	↔		↔	
Traffic Vol, veh/h	7	266	420	12	7	2
Future Vol, veh/h	7	266	420	12	7	2
Conflicting Peds, #/hr	15	0	0	15	5	4
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	94	94	94	94	94	94
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	7	283	447	13	7	2

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	475	0	-	0	771
Stage 1	-	-	-	-	469
Stage 2	-	-	-	-	302
Critical Hdwy	4.1	-	-	-	6.4
Critical Hdwy Stg 1	-	-	-	-	5.4
Critical Hdwy Stg 2	-	-	-	-	5.4
Follow-up Hdwy	2.2	-	-	-	3.5
Pot Cap-1 Maneuver	1098	-	-	-	371
Stage 1	-	-	-	-	634
Stage 2	-	-	-	-	755
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1082	-	-	-	358
Mov Cap-2 Maneuver	-	-	-	-	358
Stage 1	-	-	-	-	620
Stage 2	-	-	-	-	744

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	14.4
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1082	-	-	-	392
HCM Lane V/C Ratio	0.007	-	-	-	0.024
HCM Control Delay (s)	8.3	0	-	-	14.4
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

HCM 6th TWSC
4: Alley & Proposed Access

05/20/2020

Intersection						
Int Delay, s/veh	2.6					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W	R	T	R	L	T
Traffic Vol, veh/h	5	3	8	9	5	10
Future Vol, veh/h	5	3	8	9	5	10
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	5	3	8	9	5	11

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	34	13	0	0	17	0
Stage 1	13	-	-	-	-	-
Stage 2	21	-	-	-	-	-
Critical Hdwy	6.4	6.2	-	-	4.1	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	-	-	2.2	-
Pot Cap-1 Maneuver	984	1073	-	-	1613	-
Stage 1	1015	-	-	-	-	-
Stage 2	1007	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	981	1073	-	-	1613	-
Mov Cap-2 Maneuver	981	-	-	-	-	-
Stage 1	1012	-	-	-	-	-
Stage 2	1007	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	8.6	0	2.4
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1014	1613
HCM Lane V/C Ratio	-	-	0.008	0.003
HCM Control Delay (s)	-	-	8.6	7.2
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Parking – Availability of Additional Spaces in Nearby Municipal Lots

These are currently 22 unused spaces in the following Village municipal lots located within a block or two of the development site at 7 Van Buren Street. The distribution of these spaces is shown below:

	<u>Current Excess Parking Capacity</u>
• Lot 25A (capacity= 9 / Active = 9)	0
• Lot 30 (capacity = 21 / Active = 15)	6
• Lot 33 (capacity = 38 / Active = 37)	1
• Lot 47 (capacity= 15 / Active = 11)	4
• Lot 54 (capacity = 40 / Active = 34)	6
• Lot 68 (capacity = 15 / Active = 15)	0
• Lot 93 (<i>permit parking discontinued</i>)	0
• Lot 103 (capacity = 16 / Active = 15)	1
• <u>Lot 114</u> (capacity = 21 / Active = 17)	4
Total Excess Parking Capacity	22

In addition, this location is well served by mass transit (Bus and Rail), is highly walkable with easy access to neighborhood shopping and amenities, and with a Zip-car car-sharing location also available within several blocks of the site. One rental car agency pickup location is within ½ mile and another is just a few blocks further along Madison street.

EXHIBIT 10

PROJECT DRAWINGS

Location Map

Van Buren St

7 Van Buren St

S Humphrey Ave

S Austin Blvd

Lyman Ave

Google Earth

© 2021 Google



500 ft



Looking East toward Austin Boulevard

7 Van Buren St

Google Earth

© 2021 Google



100 ft

Looking West along Van Buren from Austin Boulevard

7 Van Buren St

Google Earth

© 2021 Google



100 ft

Looking East along Van Buren
(subject site on the right)



Across Van Buren from the site

NO
THRU
TRAFFIC

Lot 239
Health Park

Google Earth

© 2021 Google

10 ft



Looking Southwest at the Site



Google Earth

© 2021 Google

8.78 ft

WARE MALCOMB
 11515 ZOOB RD. #400
 OAK BROOK, IL 60521
 P: 630.231.0083

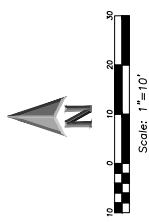


SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS

DATE	REVISIONS
02/21/2023	PERMIT SUBMITTAL
02/21/2023	PP APPLICATION

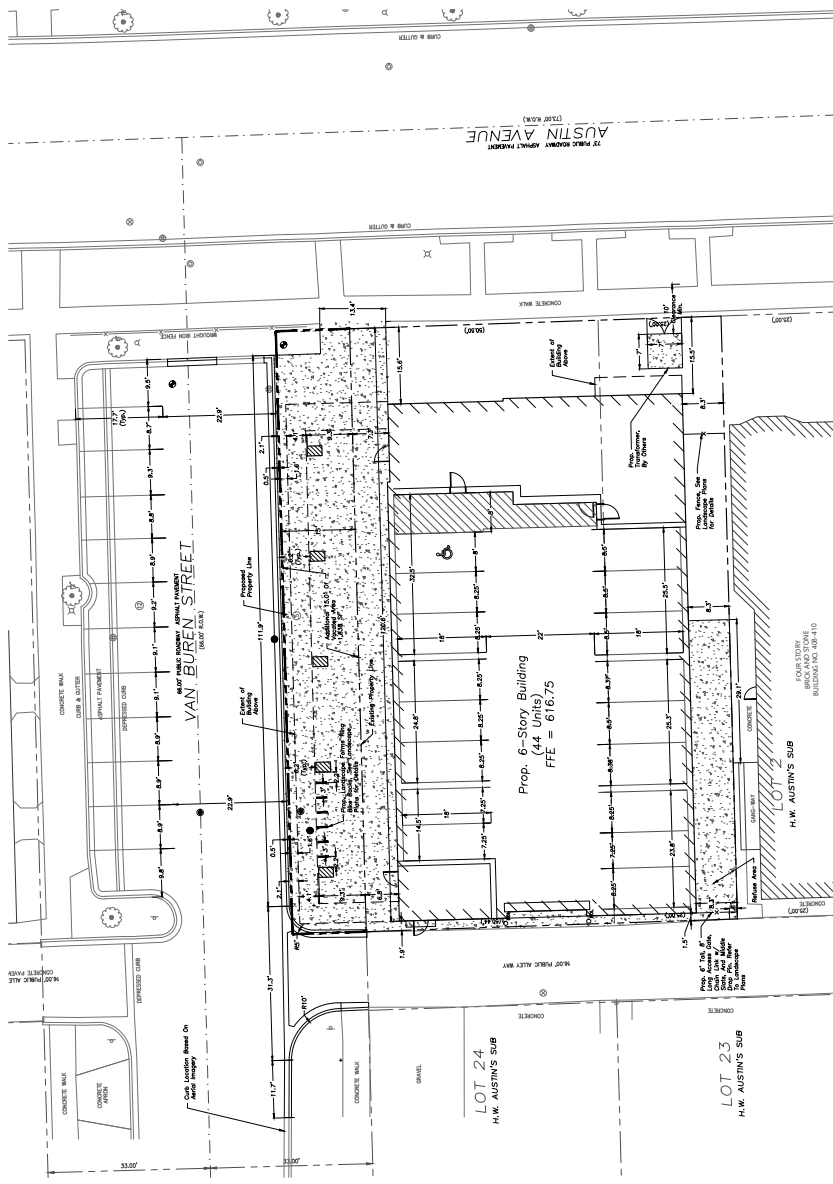
SCALE	1/4" = 1'-0"
TITLE	SITE GEOMETRY PLAN
PROJECT	SYNERGY - 7 VAN BUREN
DATE	02/21/2023

SHEET
C2.0



EXISTING	PROPOSED
1" = 1" (Symbol)	1" = 1" (Symbol)
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- GENERAL NOTES**
1. The information shown on this drawing is based on the information provided by the owner and the contractor. The engineer is not responsible for the accuracy of the information provided by the owner and the contractor.
 2. The engineer is not responsible for the accuracy of the information provided by the owner and the contractor.
 3. The engineer is not responsible for the accuracy of the information provided by the owner and the contractor.
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 10. The engineer is not responsible for the accuracy of the information provided by the owner and the contractor.



LOT 24
 H.W. AUSTIN'S SUB

LOT 23
 H.W. AUSTIN'S SUB

Prop. 6-Story Building
 (44 Units)
 FFE = 616.75

VAN BUREN STREET

AUSTIN AVENUE

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 201 STRUCTURAL CONCRETE COLUMN.
- 202 CONCRETE SLAB ON GRADE SEALED. SEE STRUCTURAL DRAWINGS.
- 207 ROOF ACCESS LADDER.
- 208 OUTLINE OF CANOPY ABOVE.
- 234 PARKING STRIPING.
- 236 PRE-FINISHED ALUMINUM COLUMN COVERS.
- 237 MACHINE ROOMLESS 3500 LB PASSENGER ELEVATOR - SPEED 500 FPM. VERIFY ELEVATOR PIT AND OVERRUN REQUIREMENTS WITH MANUFACTURER. FINISHES TO BE SELECTED FROM RANGE OF STANDARD FINISHES.

WALL LEGEND

- CONCRETE MASONRY WALL
- EXTERIOR PLASTER FINISH OVER METAL STUD WALL
- EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
- 1HR FIRE-RESISTANCE RATED
- INTERIOR NON-RATED PARTITION

BUILDING ELEMENT TYPE

EXTERIOR WALL TYPES

- E01 CEMENT BOARD ON CMU BACK-UP WALL.
- E02 ADHERED BRICK OR BURNISHED BLOCK VENEER ON CMU BACKUP WALL.
- E03 BRICK AND BURNISHED BLOCK ON CMU BACK UP WALL.
- E04 METAL PANEL ON CMU BACK-UP WALL.
- E05 METAL PANEL ON FIRE RATED WOOD FRAMED BACK UP WALL.

INTERIOR WALL TYPES

- A MS-5/8"
- OAB MS-5/8"
- OAD MS-5/8"
- B WD-5/8"
- 1BN WD-5/8"-1/2HR
- F WD-5/8"
- 0FN WD-5/8"
- H WD-5/8"
- H3HN WD-5/8"
- 0HP WD-5/8"
- 1HN WD-5/8"-1/2HR
- J WD-5/8"-1/2HR
- J1P WD-5/8"-1/2HR
- M CMU
- 0MH CMU-2HR
- 2MF CMU-2HR
- 2MH CMU-2HR
- 2ML CMU-2HR
- P CMU-2HR
- 1PQ WD-5/8"-1/2HR
- 1PR WD-5/8"-1/2HR
- S WD-5/8"-2HR
- 2SN WD-5/8"-2HR
- 2SP WD-5/8"-2HR

FLOOR TYPES

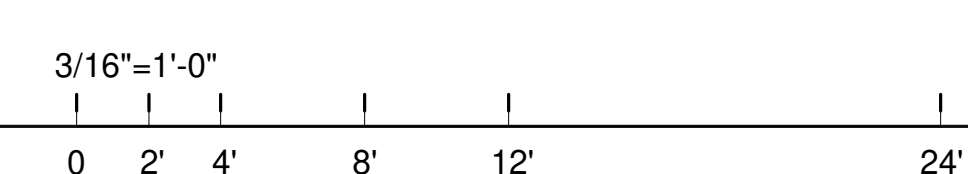
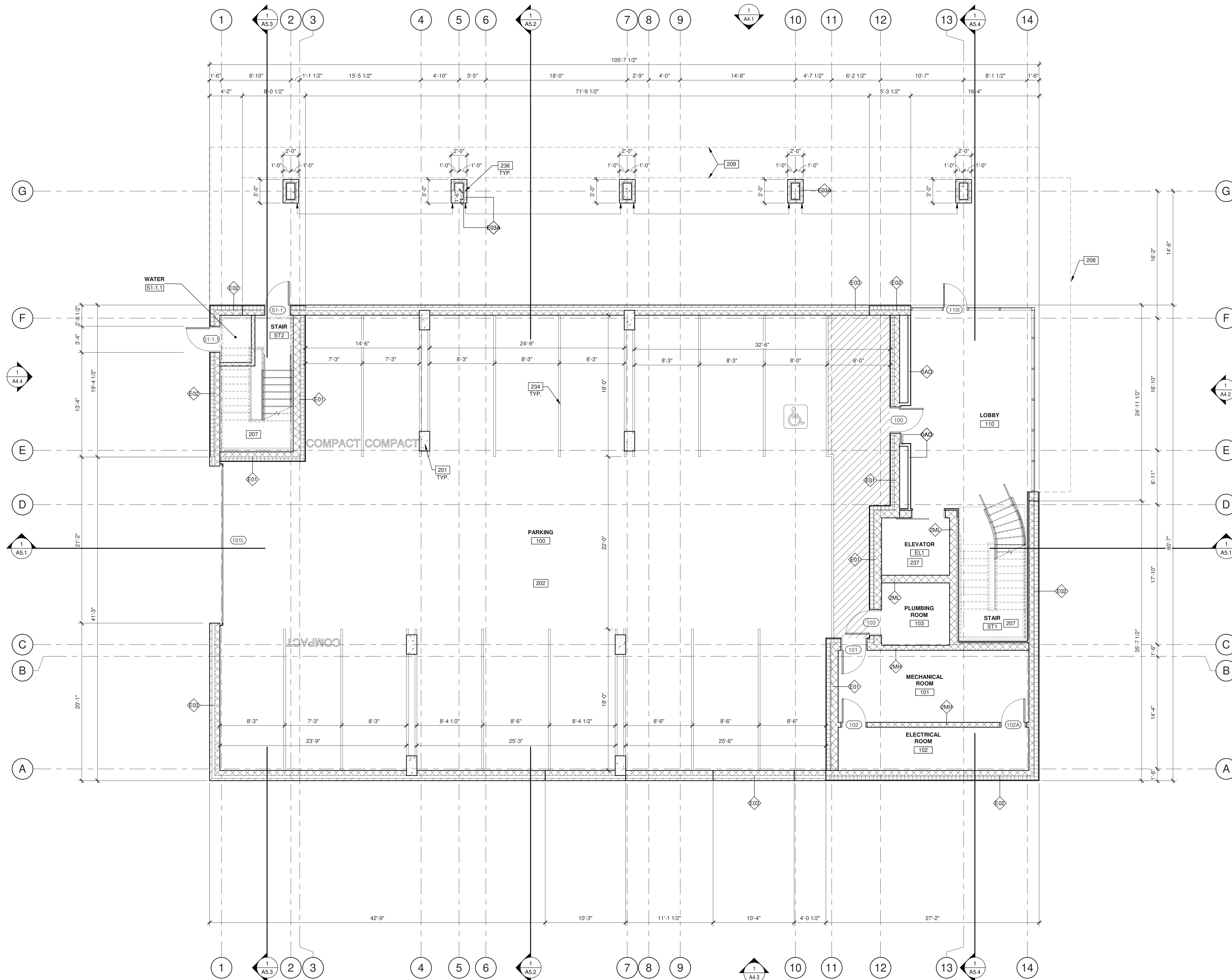
- F01 CONCRETE SLAB ON GRADE.
- F02 PRE-ENGINEERED WOOD TRUSS
- F03 PRE-CAST CONCRETE W/ FLOATING FLOOR.
- F04 WOOD FRAMED FLOOR.

CEILING TYPES

- C01 5/8" GYPSUM BOARD OVER 2"x4" CEILING JOIST.

ROOF TYPES

- R01 ENGINEERED WOOD TRUSS W/ TPO.
- R02 NOMINAL LUMBER FRAMING W/ TPO.
- R03 NOMINAL WOOD FRAMING W/ TPO.



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

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1312 25th St. #100
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SYNERGY - 7 VAN BUREN
7 VAN BUREN AVENUE
OAK PARK, ILLINOIS 60304

FIRST FLOOR OVERALL FLOOR PLAN

DATE	PROGRESS SET	REMARKS
06/07/2021		
1		

P.A.P.M.: J. DALGA
DRAWN BY: M.I.
JOB NO.: CH121-0119-00

SHEET
A2.1

GENERAL NOTES - FLOOR PLAN:

1. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS
4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. ALSO SEE G110 LIFE SAFETY PLANS
5. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS
6. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISION, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT
7. PROVIDE BLOCKING IN ALL UNIT BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS AND SHOWERS.
8. CONFIRM ALL INTERIOR UNIT PARTITIONS WITH ENLARGED PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION.

KEYNOTES - FLOOR PLAN

100	CHASE, SEE MEP
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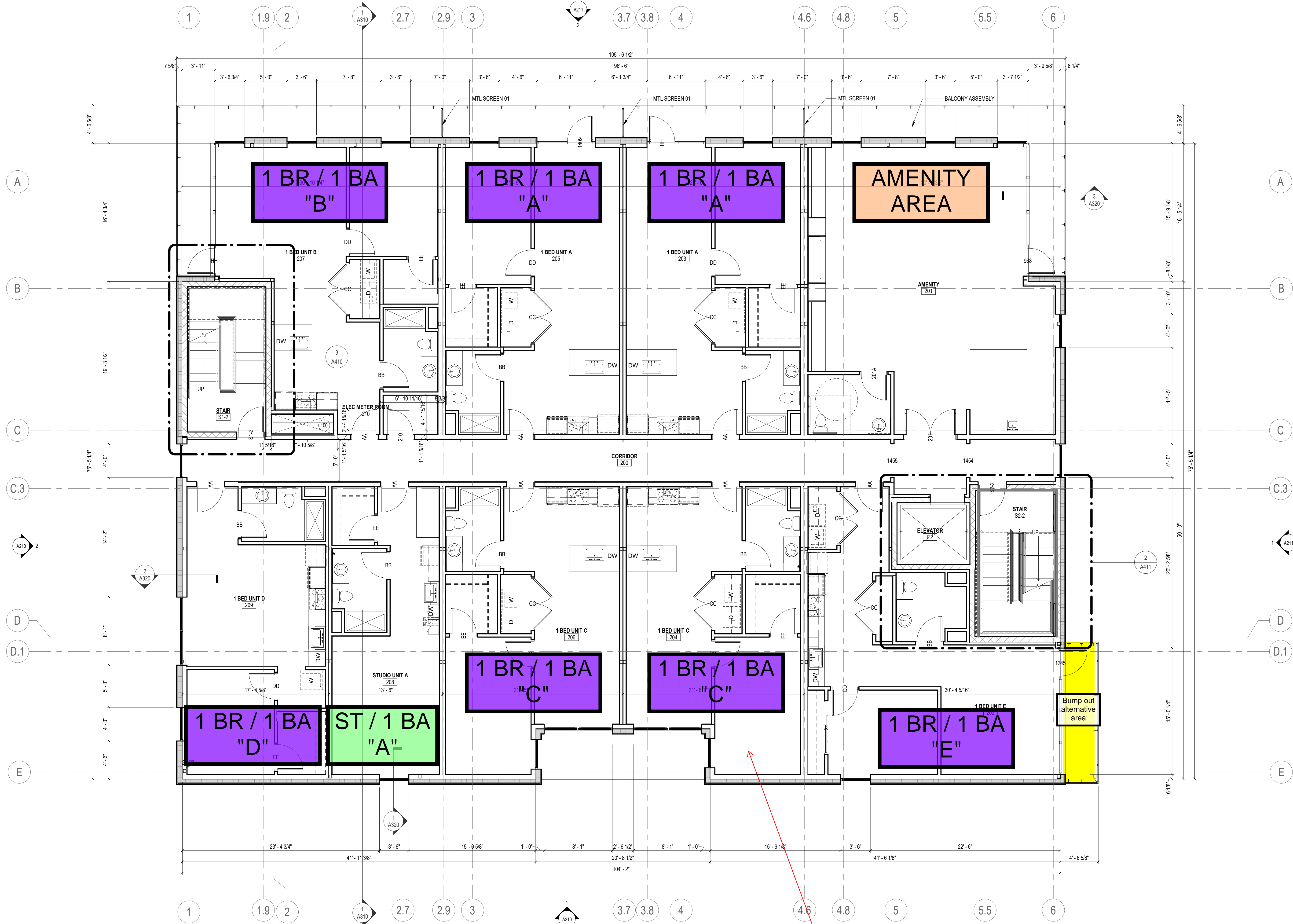
KEYNOTES - ASSEMBLIES & COMPONENTS

BALCONY ASSEMBLY	PRE-FABRICATED METAL BALCONY SYSTEM WITH COMPOSITE DECKING AND 4" REVEAL, WOOD-LOOK METAL CEILING SYSTEM
MTL SCREEN 01	PRE-FINISHED PERFORATED METAL PRIVACY SCREEN IN PRE-FINISHED METAL FRAME

PLAN LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS	ROOF DRAIN
INDICATES ACCESSIBLE GUESTROOM		FLOOR DRAIN
INDICATES HEARING IMPAIRED GUESTROOM		
PLAN KEYNOTE. SEE KEYNOTE LEGEND		
FIRE EXTINGUISHER CABINET (FEC)		
FIRE EXTINGUISHER (FE)		

NOT FOR CONSTRUCTION



THIS UNIT TO BE MIRRORED IN FINAL PRESENTATION

Revisions

DESIGN DEVELOPMENT

SCOPE DOCUMENTS

Drawing Date
05/28/2020

7 VAN BUREN MULTI FAMILY

7 VAN BUREN AVE
OAK PARK, ILLINOIS

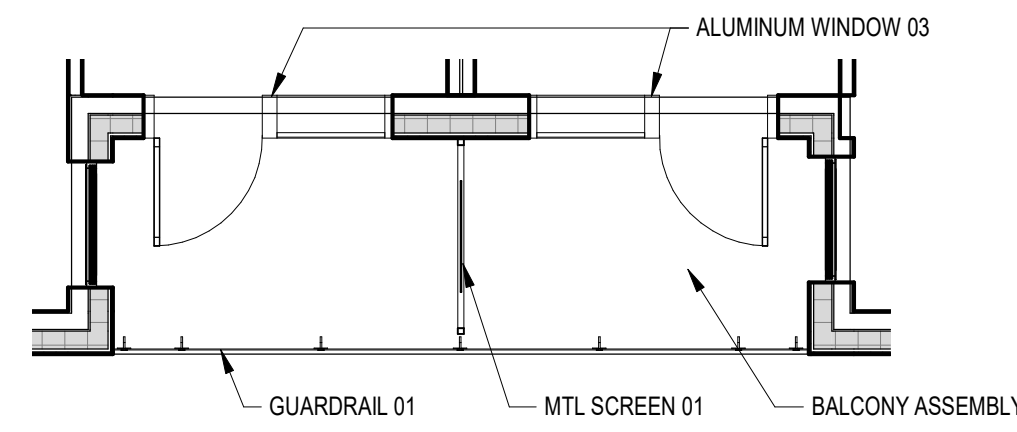
Project No. SYNERGY
219102.00 CONSTRUCTION
GROUP

Sheet Title
FLOOR PLAN - 2ND FLOOR

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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
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722 Williamson Street Madison, Wisconsin 53703
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Sheet No.
A112

02 - SECOND FLOOR PLAN
3/16" = 1'-0"



2 LIGHT WELL BALCONY - COST ALTERNATE #3B
3/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN:

1. VERIFY DIMENSIONS, CONDITIONS AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS
4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. ALSO SEE G110 LIFE SAFETY PLANS
5. PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING IN FINISHED AREAS
6. PROVIDE METAL PLATE AND/OR WOOD BLOCKING IN ALL WALLS & PARTITIONS IN PUBLIC AND PRIVATE SPACES FOR ALL WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO: ARTWORK, TELEVISION, LIGHT FIXTURES, MIRRORS, AND TOILET ACCESSORIES. VERIFY LOCATION WITH ELEVATIONS AND EQUIPMENT
7. PROVIDE BLOCKING IN ALL UNIT BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AT TOILETS, BATHTUBS AND SHOWERS.
8. CONFIRM ALL INTERIOR UNIT PARTITIONS WITH ENLARGED PLANS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION.

KEYNOTES - ASSEMBLIES & COMPONENTS

ALUMINUM WINDOW 03	TRIPLE GLAZED, ALUMINUM DOOR W/ SIDELIGHT, BASIS OF DESIGN GLO A7 DOOR w/ SIDELIGHTS
BALCONY ASSEMBLY	PRE-FABRICATED METAL BALCONY SYSTEM WITH COMPOSITE DECKING AND 4" REVEAL WOOD-LOOK METAL CEILING SYSTEM
GUARDRAIL 01	GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM - ATTACHED TO BALCONY EDGE
MTL SCREEN 01	PREFINISHED PERFORATED METAL PRIVACY SCREEN IN PREFINISHED METAL FRAME

PLAN LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS	ROOF DRAIN
INDICATES ACCESSIBLE GUESTROOM		FLOOR DRAIN
INDICATES HEARING IMPAIRED GUESTROOM		
PLAN KEYNOTE. SEE KEYNOTE LEGEND		
FIRE EXTINGUISHER CABINET (FEC)		
FIRE EXTINGUISHER (FE)		



1 TYPICAL FLOOR PLANS - 3RD THRU 6TH FLOOR
3/16" = 1'-0"

NOT FOR CONSTRUCTION

Revisions

DESIGN DEVELOPMENT

SCOPE DOCUMENTS

Drawing Date
05/28/2020

7 VAN BUREN MULTI FAMILY

7 VAN BUREN AVE
OAK PARK, ILLINOIS

Project No. SYNERGY
219102.00 CONSTRUCTION GROUP

Sheet Title
FLOOR PLAN - 3RD THRU 6TH FLOOR

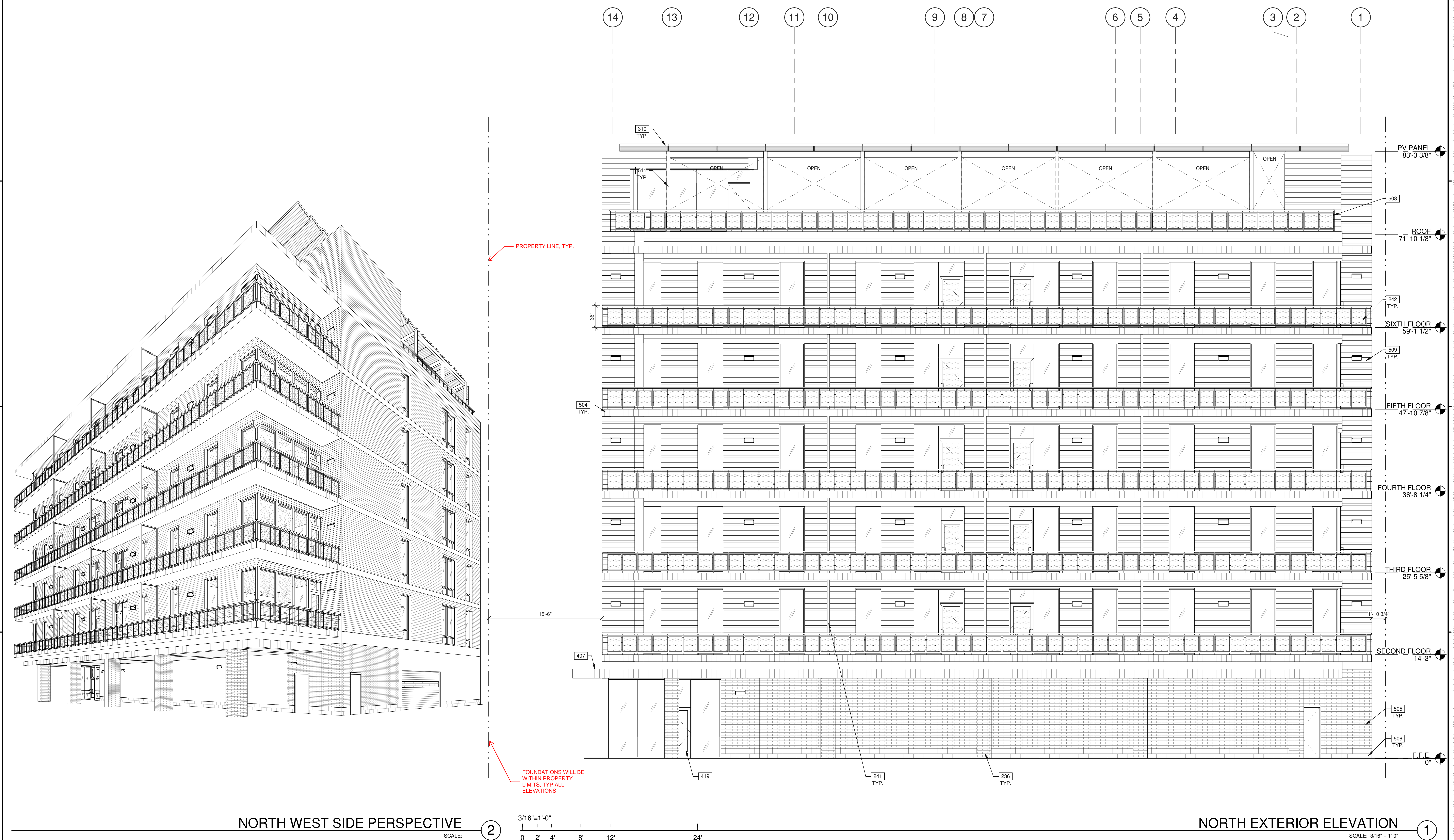
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Sheet No.
A113

EXTERIOR ELEVATIONS	
DATE	REMARKS
06/07/2021	PROGRESS SET
1	

P.A.P.M.:	J. DALGA
DRAWN BY:	M.I.
JOB NO.:	CHI21-0119-00



NORTH WEST SIDE PERSPECTIVE
 SCALE: 3/16" = 1'-0" (2)

NORTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" (1)

LEGEND

FINISH MATERIALS:

- BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT
- BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK
- MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE
- MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:

- VISION GLASS
- TEMPERED GLASS

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 236 PRE-FINISHED ALUMINUM COLUMN COVERS.
- 241 PREFINISHED PERFORATED METAL PRIVACY SCREEN IN PREFINISHED METAL FRAME.
- 242 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM - ATTACHED TO BALCONY EDGE.
- 310 SOLAR PANELS.
- 407 METAL CANOPY, PAINTED.
- 419 TRIPLE PANEL ARGON FILLED, LOW E COATING.
- 504 PREFABRICATED METAL BALCONY SYSTEM WITH COMPOSITE DECKING AND 4" REVEAL WOOD-LOOK METAL CEILING SYSTEM.
- 505 UNIT MASONRY-STANDARD BRICK UNIT.
- 506 UNIT MASONRY-BURNISHED BLOCK.
- 508 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM-ATTACHED TO PARAPET WALL.
- 509 METAL STRUCTURAL WALL PANEL 4" EXPOSURE.
- 511 STEEL COLUMN AND BEAM SUPPORT SYSTEM FOR PV ARRAY AND SUB-GIRT RACK SYSTEM.

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Oak Park
 Residence
 Corporation

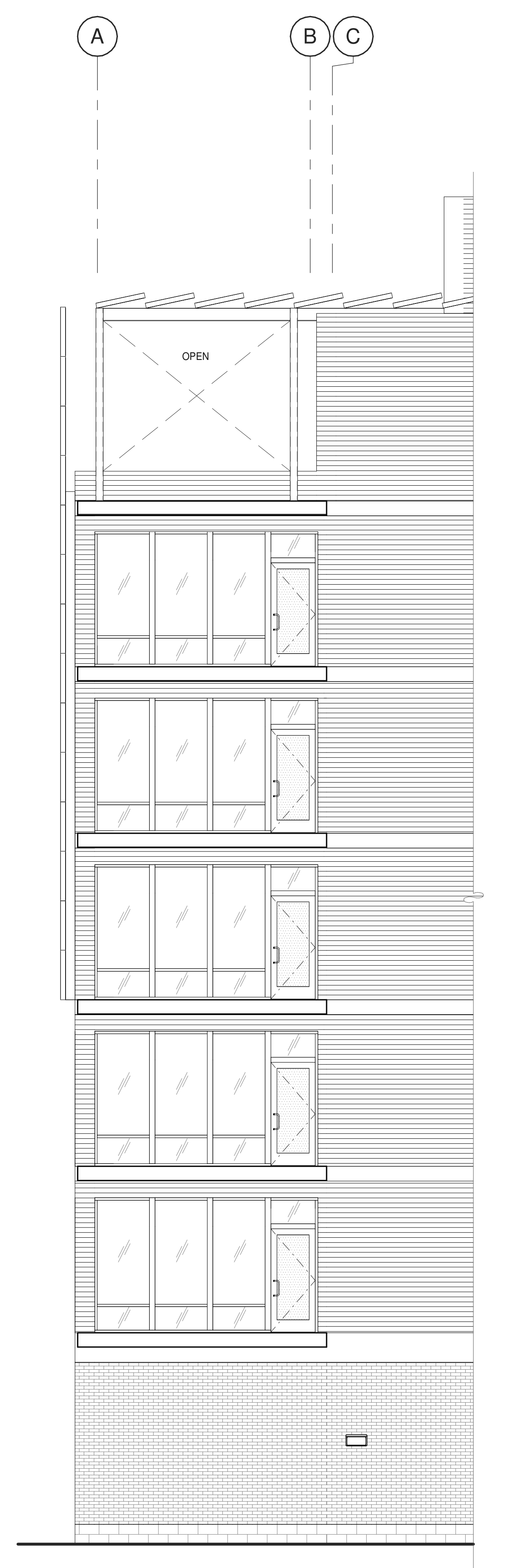
SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS 60304

EXTERIOR ELEVATION

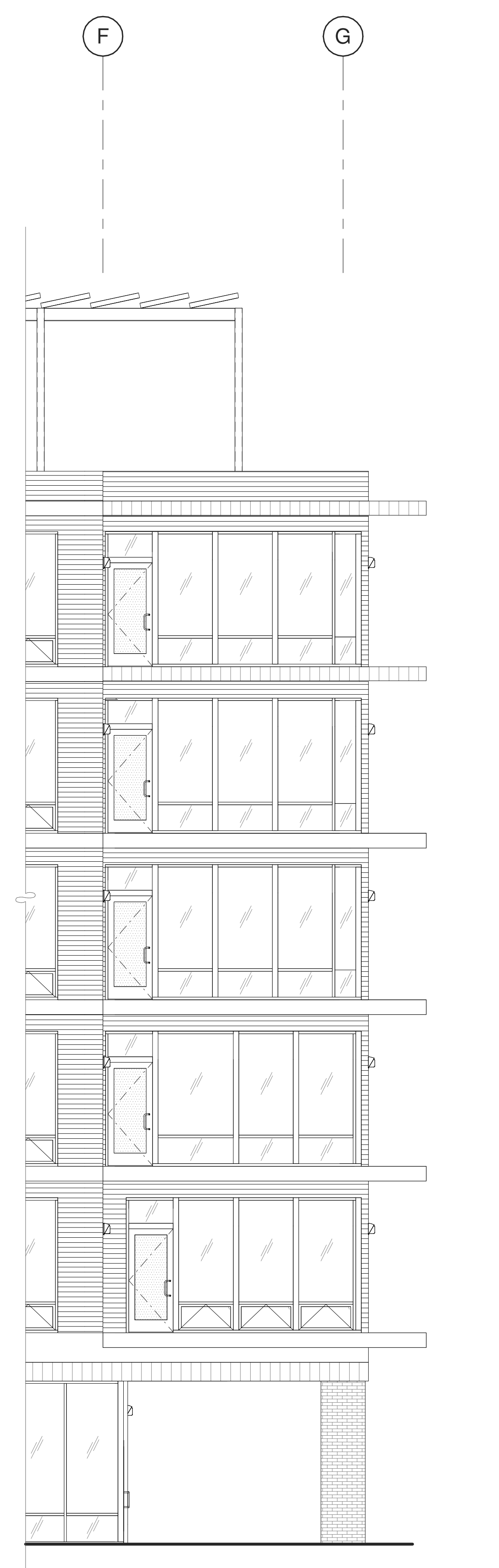
DATE	PROGRESS SET	REMARKS
06/07/2021		
1		

P/APP: J. DALGA
 DRAWN BY: M.I.
 JOB NO.: CH21-0119-00

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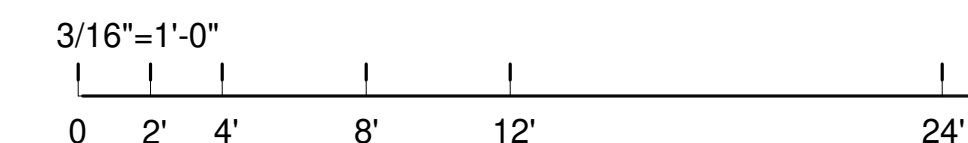
EAST EXTERIOR ELEVATION (UNOBSTRUCTED)
 SCALE: 3/16" = 1'-0" **2**



EAST EXTERIOR ELEVATION (UNOBSTRUCTED)
 SCALE: 3/16" = 1'-0" **3**



EAST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" **1**



LEGEND

FINISH MATERIALS:

- BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT
- BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK
- MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE
- MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:

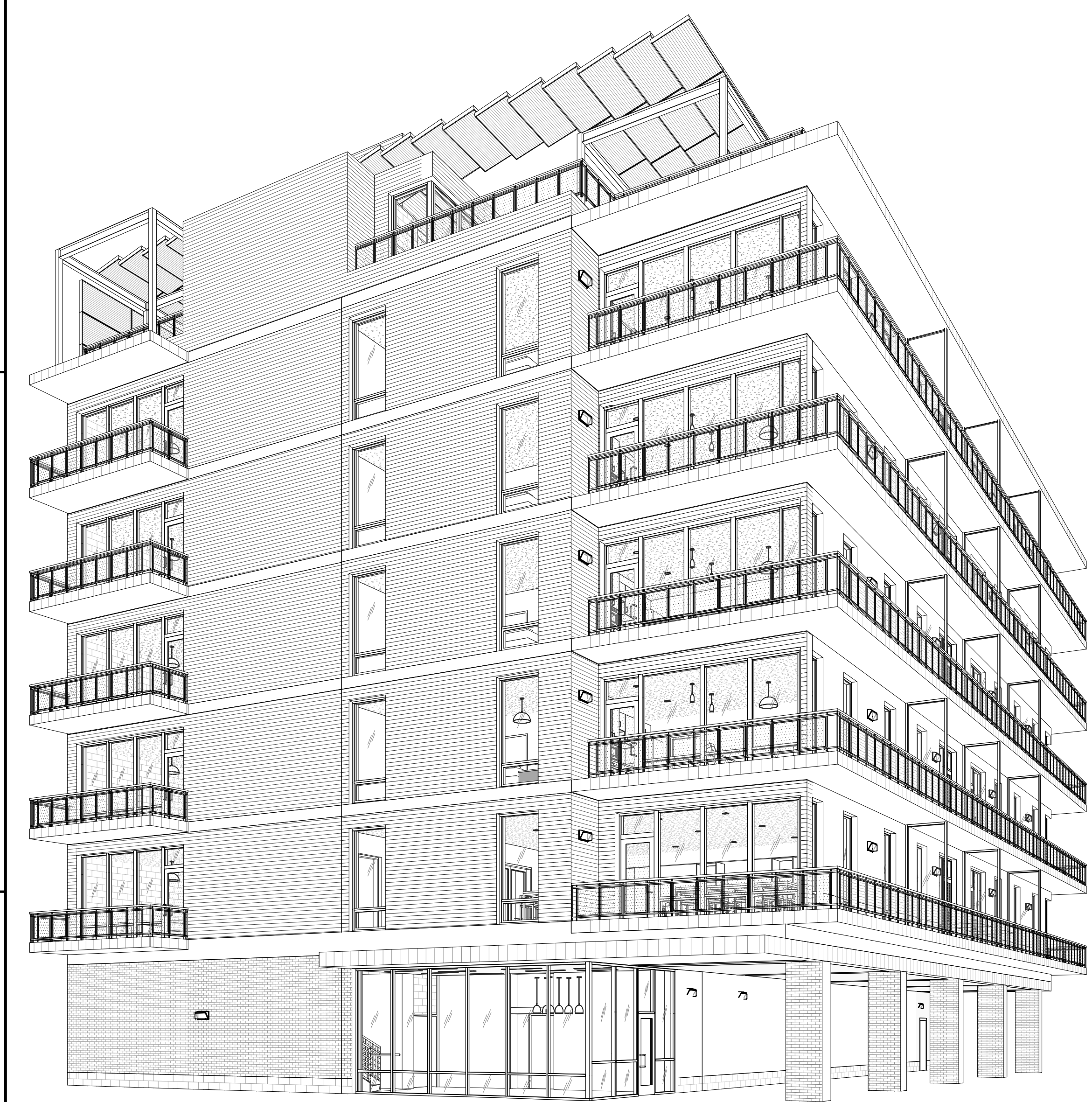
- VISION GLASS
- TEMPERED GLASS

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

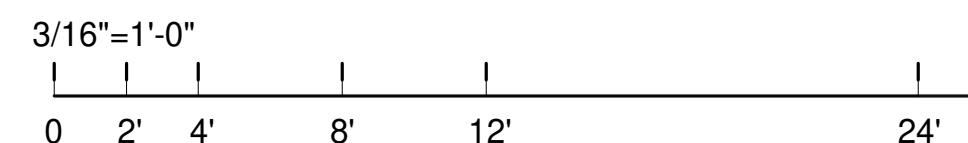
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- 505 UNIT MASONRY-STANDARD BRICK UNIT.
- 506 UNIT MASONRY-BURNISHED BLOCK.
- 508 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM-ATTACHED TO PARAPET WALL.
- 509 METAL STRUCTURAL BEAM SUPPORT SYSTEM FOR PV ARRAY AND SUB-GIRT RACK SYSTEM.
- 511 STEEL COLUMN AND BEAM SUPPORT SYSTEM FOR PV ARRAY AND SUB-GIRT RACK SYSTEM.
- 603 FACE MOUNTED DECORATIVE PAINTED STEEL GUARD, UP TO 42" ABOVE FINISH FLOOR.



SOUTH EAST SIDE PERSPECTIVE
 SCALE: 3/16" = 1'-0" ②



SOUTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0" ①



LEGEND

FINISH MATERIALS:

- BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT
- BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK
- MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE
- MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:

- VISION GLASS
- TEMPERED GLASS

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 242 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM - ATTACHED TO BALCONY EDGE.
- 310 SOLAR PANELS.
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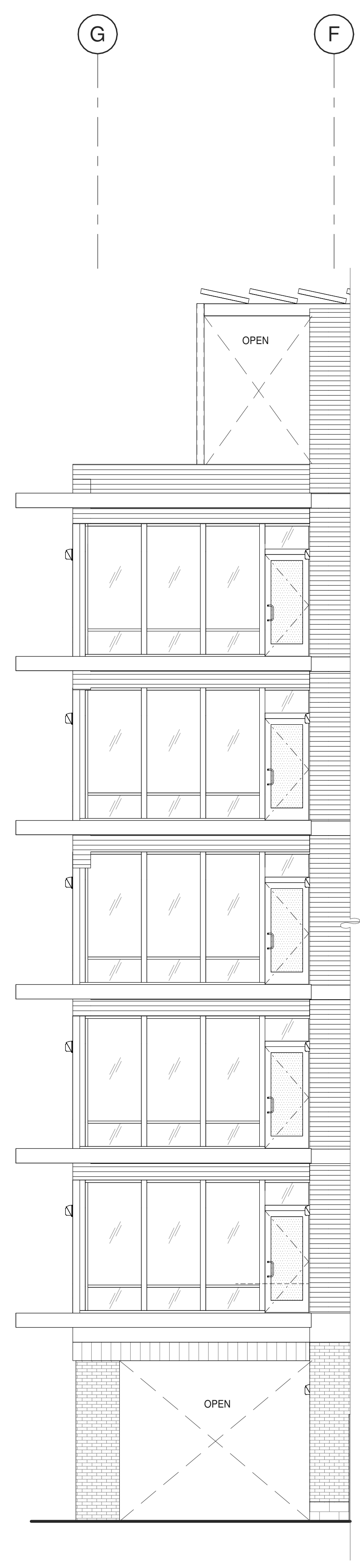
**Oak Park
 Residence
 Corporation**

SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS 60304

EXTERIOR ELEVATION	
DATE	REMARKS
06/07/2021	PROGRESS SET
1	

P.A.P.M.: J. DALGA
 DRAWN BY: M.I.
 JOB NO.: CHI21-0119-00

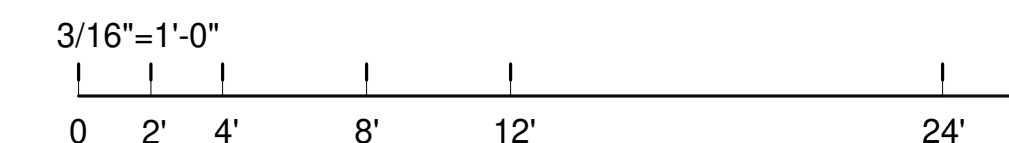
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WEST EXTERIOR ELEVATION (UNOBSTRUCTED) 2
 SCALE: 3/16" = 1'-0"



WEST EXTERIOR ELEVATION 1
 SCALE: 3/16" = 1'-0"



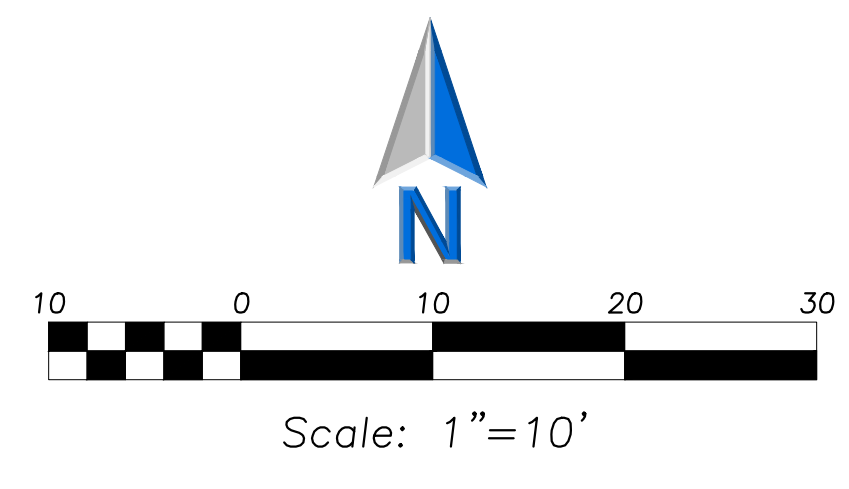
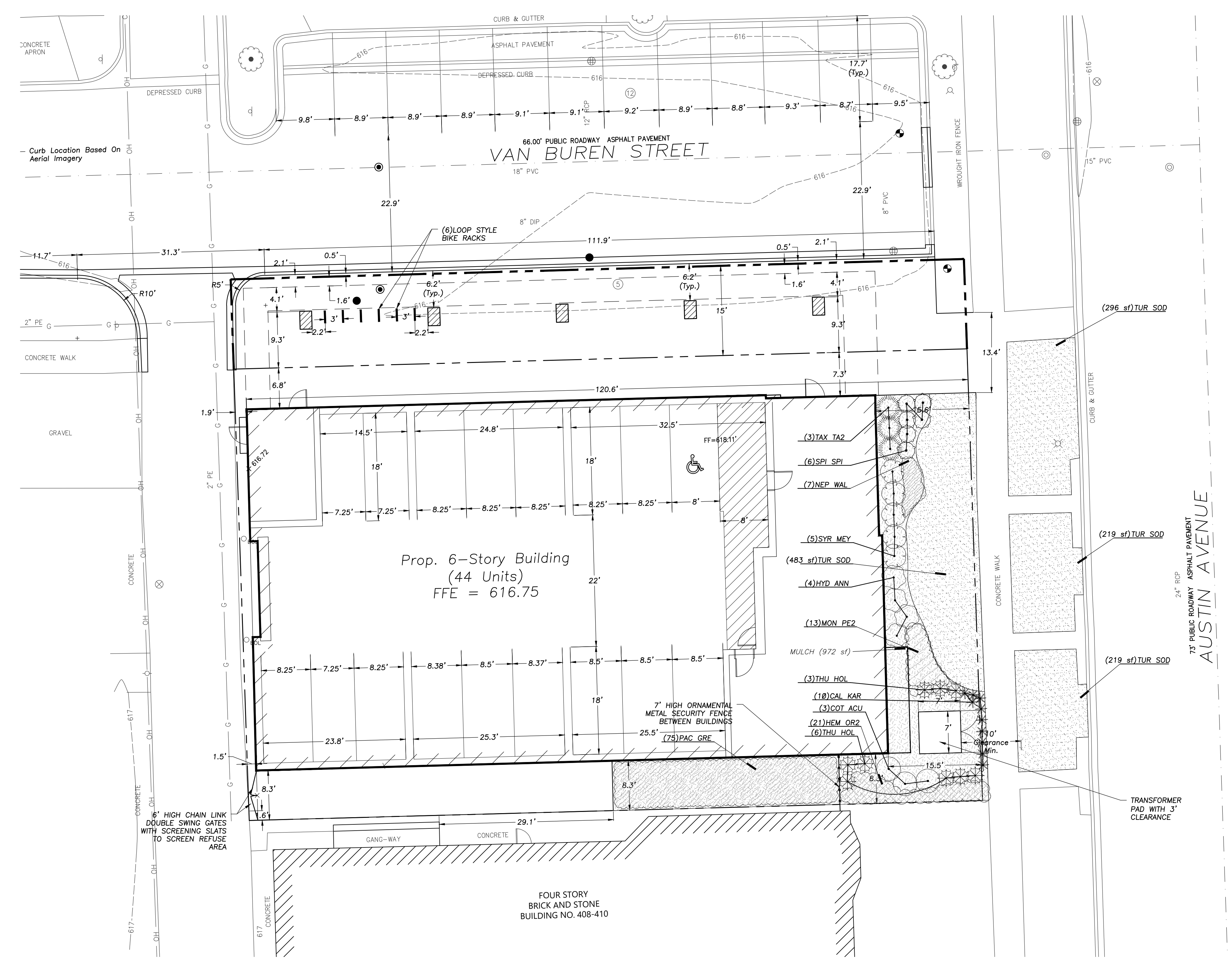
LEGEND

- FINISH MATERIALS:**
- BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT
 - BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK
 - MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE
 - MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE
- GLASS:**
- VISION GLASS
 - TEMPERED GLASS

KEYNOTES:

- SEE SHEET A0.2 FOR GENERAL NOTES
- 236 PRE-FINISHED ALUMINUM COLUMN COVERS.
 - 242 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM - ATTACHED TO BALCONY EDGE.
 - 310 SOLAR PANELS.
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 - 603 FACE MOUNTED DECORATIVE PAINTED STEEL GUARD, UP TO 42" ABOVE FINISH FLOOR.

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS



PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	5 GAL		3
HYD ANN	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	CONT.	#5	4
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	6
SYR MEY	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	B & B	30" HT.	5
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
TAX TA2	TAXUS X MEDIA 'TAUNTONII' / TAUNTON YEW	B & B	30" HT.	3
THU HOL	THUJA OCCIDENTALIS 'HOLMSTRUP' / HOLMSTRUP CEDAR	5 GAL		9
GRASSES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		10
GROUND COVERS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	21
MON PEZ	MONARDA DIDYMA 'PETITE DELIGHT' / PETITE DELIGHT BEE BALM	CONT.	QUART	13
NEP WAL	NEPETA X FAASSENI 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	7
PAC GRE	PACHYSANDRA TERMINALIS 'GREEN CARPET' / JAPANESE SPURGE	CONT.	QUART	75
TURF GRASS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
TUR SOD	TURF SOD / KENTUCKEY BLUEGRASS	S.F.		1,217 SF

LANDSCAPE NOTES

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED HARDWOOD MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED AND BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL, SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- THE VILLAGE FORESTER SHALL BE PROVIDED THE OPPORTUNITY TO TAG ALL TREES AND WOODY MATERIAL USED IN THE ROW. MATERIAL WHICH HAS NOT BE TAGGED BY THE FORESTER MAY BE REJECTED AND RETURNED AT NO EXPENSE. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE FORESTER. THE FORESTER SHALL HAVE THE OPTION TO SELECT THE HERBACEOUS MATERIALS IN THE ROW.

TREE PRESERVATION NOTES

- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.

MULCH SCHEDULE

	MULCH	972 SF
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WARE MALCOMB
 1315 22nd St. #410
 Oak Brook, IL 60523
 P 630.238.0063
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT

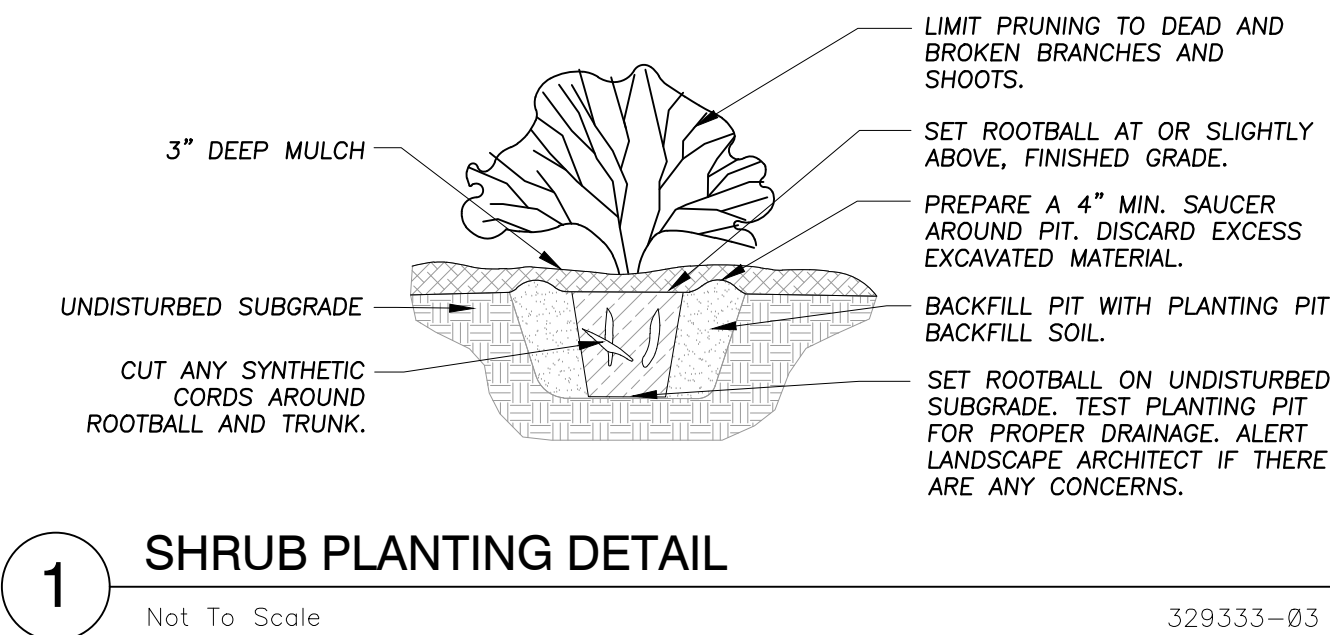


SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS

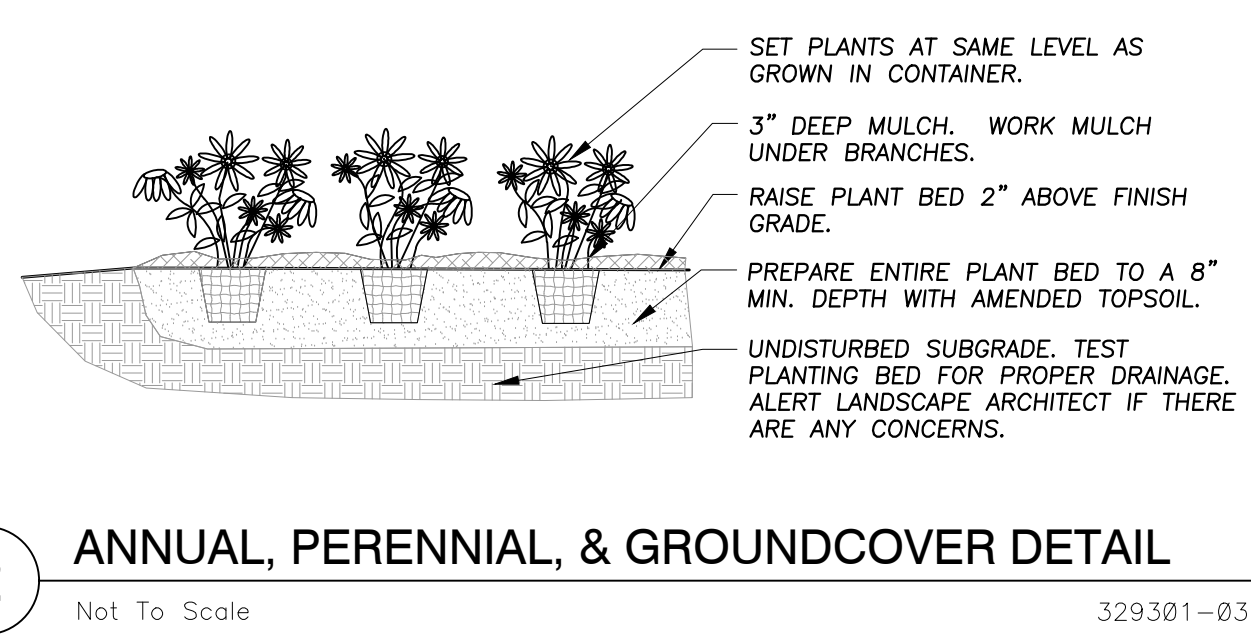
LANDSCAPE PLAN	
DATE	REMARKS
2021-08-23	PD APPLICATION
2021-09-07	PERMIT SUBMITTAL

P/APP:	BJA
DRAWN BY:	SSG
JOB NO.:	CH21-0118-00

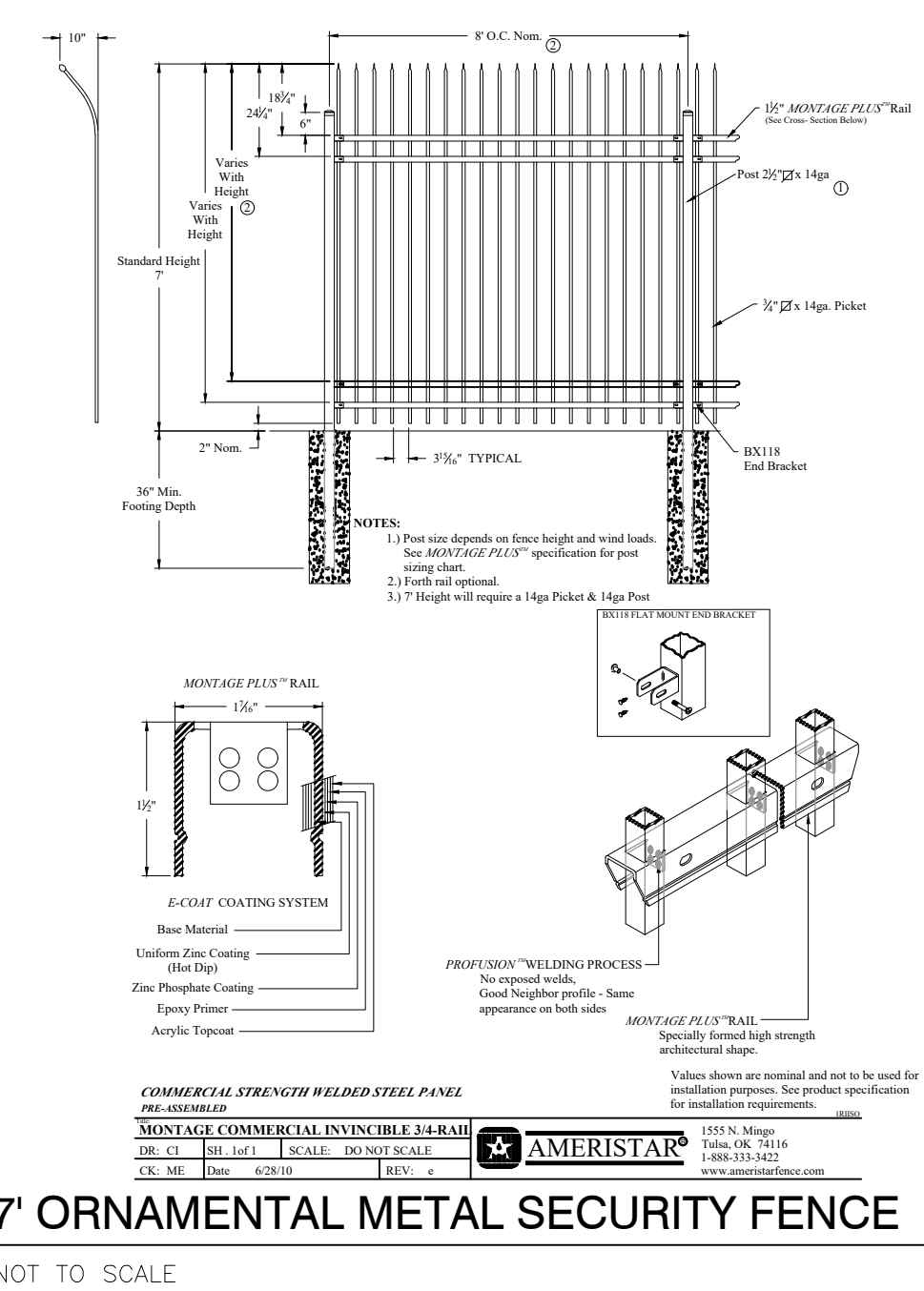
SHEET
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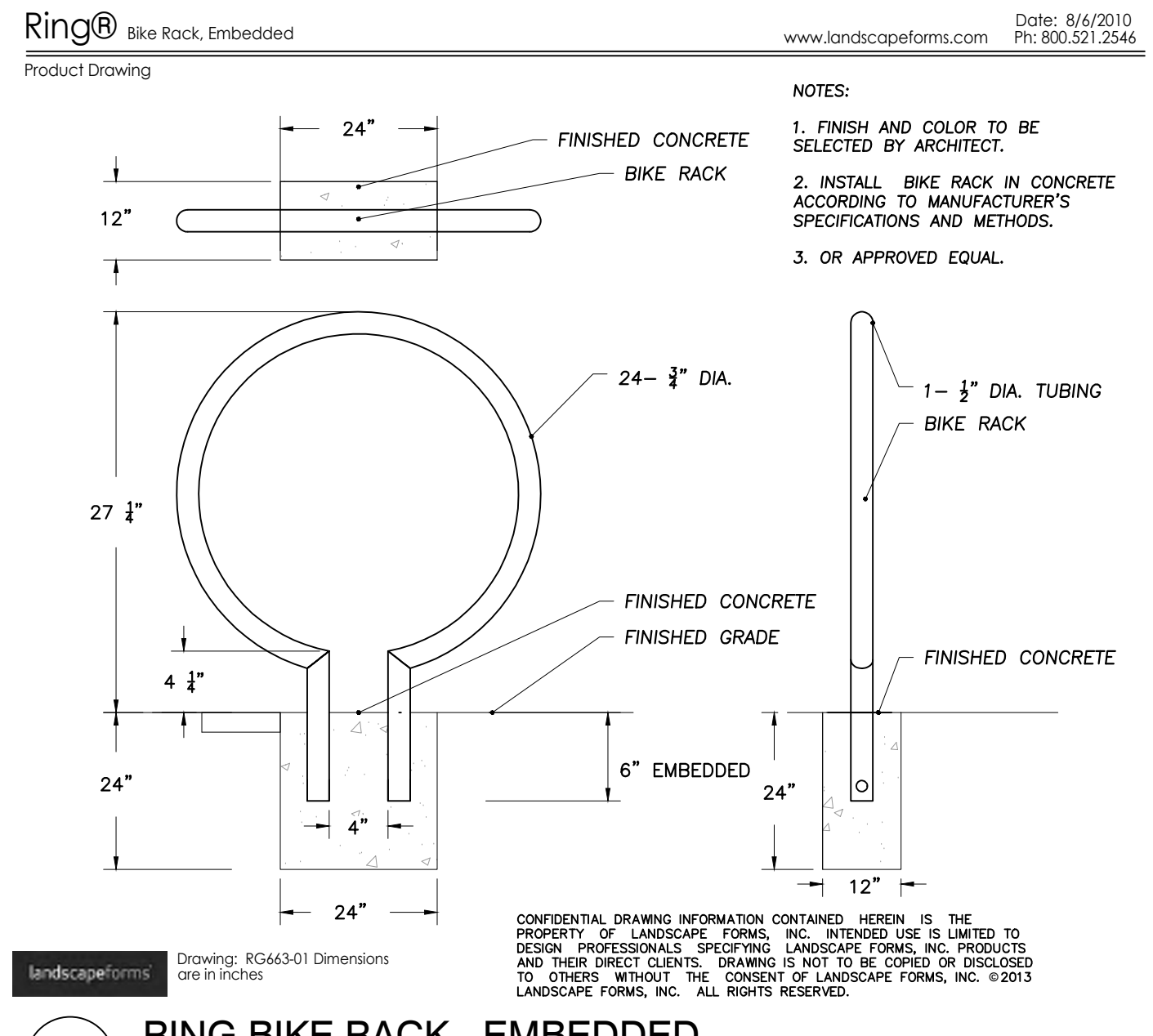
1 SHRUB PLANTING DETAIL
 Not To Scale 329333-03



2 ANNUAL, PERENNIAL, & GROUND COVER DETAIL
 Not To Scale 329301-03



3 7' ORNAMENTAL METAL SECURITY FENCE
 NOT TO SCALE 323119-12



4 RING BIKE RACK - EMBEDDED
 Not to Scale 12 9313.01-16



SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS

LANDSCAPE DETAILS	
DATE	REMARKS
2021/08/23	PD APPLICATION
2021/09/07	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	SSG
JOB NO.:	CH21-0119-00

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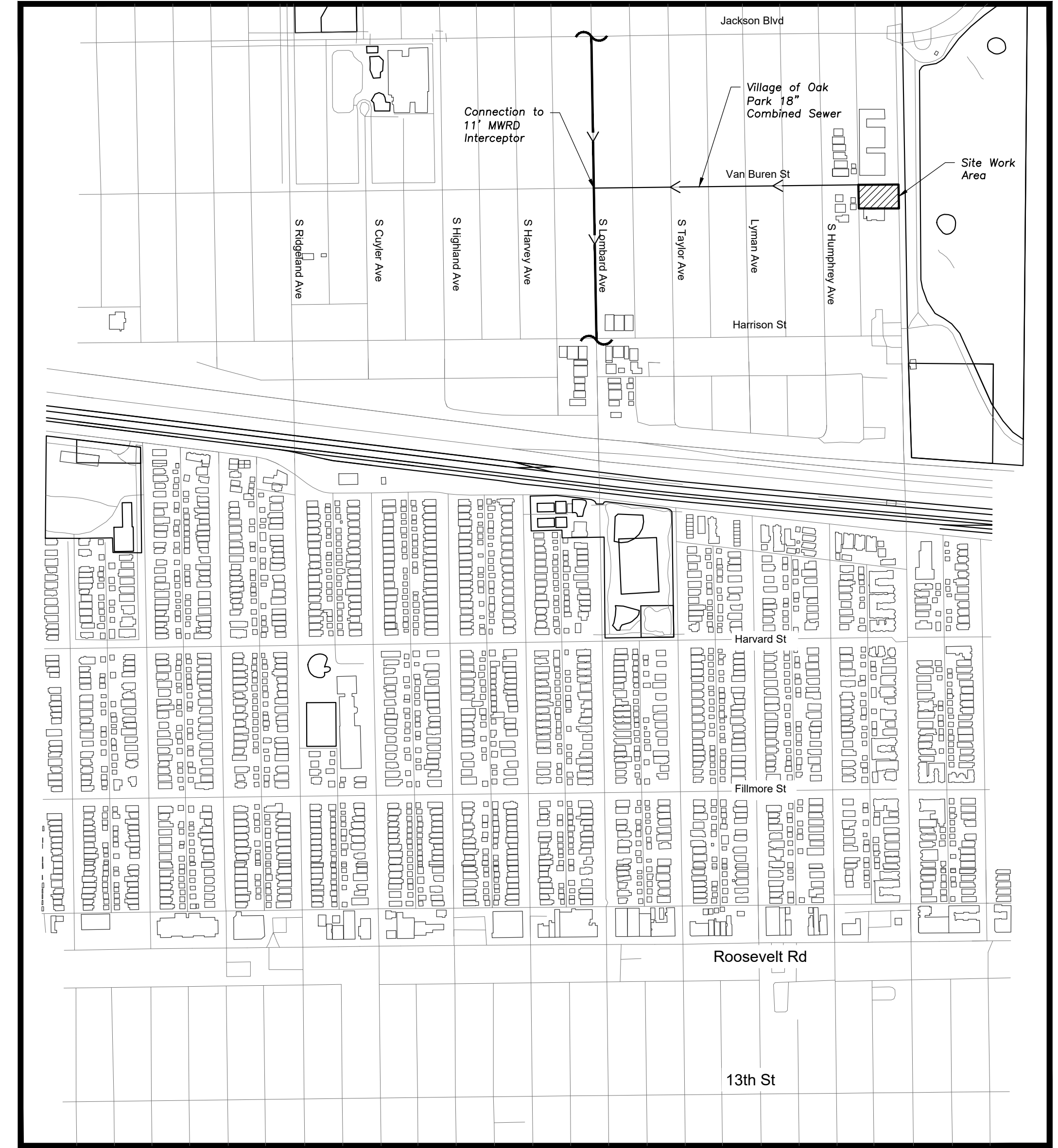
Synergy - 7 Van Buren

7 Van Buren St, Oak Park, IL 60304

OWNER:
Oak Park Residence Corp.
21 South Blvd.
Oak Park, IL 60302
T: 1 (708) 386-5823

ARCHITECT:
Kahler Slater
111 W. Wisconsin Ave.
Milwaukee, WI 53202
T: 1 (414) 272-2000
Attn: Peter Bissen

CIVIL ENGINEER:
Eriksson Engineering Assoc., Ltd.
135 S. Jefferson St., Suite 135
Chicago, IL 60661
T: 1 (312) 463-0551
Attn: Ben Ahring, PE



SITE LOCATION MAP (1" = 400')

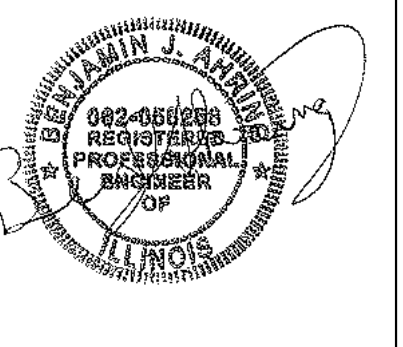
INDEX OF SHEETS

- CO.0 CIVIL COVER SHEET
- CS.1 NOTES & LEGENDS
- C1.0 SITE DEMOLITION PLAN
- C2.0 SITE GEOMETRY PLAN
- C3.0 SITE UTILITY PLAN
- C4.0 GRADING AND PAVING PLAN
- CS.0 SITE WORK DETAILS
- CS.1 SITE WORK DETAILS
- CS.2 SITE WORK DETAILS
- EX1.0 AUTOTURN EXHIBIT

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ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRIDGING
BUILDING MEASUREMENT



SYNERGY - 7 VAN BUREN

**7 VAN BUREN AVENUE
OAK PARK, ILLINOIS**

CIVIL COVER SHEET	
DATE	REMARKS
2021-08-23	PD APPLICATION
2021-09-07	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-0119-00

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MWRDGC GENERAL NOTES

- Referenced Specifications
1. All Construction Shall Be In Accordance With The Applicable Sections Of The Following, Except As Modified Herein Or On The Plans.
Standard Specifications For Road And Bridge Construction (Latest Edition), By The Illinois Department Of Transportation (IDOT SS) For All Improvements
Standard Specifications For Water And Sewer Main Construction In Illinois, Latest Edition (SSW) For Sanitary Sewer And Water Main Construction
Metropolitan Water Reclamation District Of Greater Chicago (MWRD) Watershed Management Ordinance And Technical Guidance Manual
In Case Of Conflict Between The Applicable Ordinances Noted, The More Stringent Shall Take Precedence And Shall Control All Construction.
2. MWRD Local Sewer Systems Section Field Office Must Be Notified At Least Two (2) Working Days Prior To The Commencement Of Any Work (Call 708-588-4055).
3. The Village Of Brookfield Engineering Department And Public Must Be Notified At Least 24 Hours Prior To The Start Of Construction And Prior To Each Phase Of Work. Contractor Shall Determine Items Requiring Inspection Prior To Start Of Construction Or Each Work Phase.
4. The Contractor Shall Notify All Utility Companies Prior To Beginning Construction For The Exact Locations Of Utilities And For Their Protection During Construction. If Existing Utilities Are Encountered That Conflict In Location With New Construction, Immediately Notify The Engineer So That The Conflict Can Be Resolved. Call J.U.L.I.E. At 1-800-892-0923.
5. General Notes
All Elevations Shown On Plans Reference The North American Vertical Datum Of 1988 (NAVD83) Unless Otherwise Indicated.
MWRD, The Municipality And The Owner Or Owner's Representative Shall Have The Authority To Inspect, Approve, And Reject The Construction Improvements.
The Contractor(s) Shall Indemnify The Owner, Engineer, Municipality, MWRD, And Their Agents For Any Liability Incurred With The Construction, Installation, Or Testing Of This Work On The Project.
The Proposed Improvements Must Be Constructed In Accordance With The Engineering Plans As Approved By MWRD And The Municipality Unless Changes Are Approved By MWRD, The Municipality, Or Authorized Agent. The Construction Details, As Presented On The Plans, Must Be Followed. Proper Construction Techniques Must Be Followed On The Improvements Indicated On The Plans.
The Location Of Various Underground Utilities Which Are Shown On The Plans Are For Information Only And Represent The Best Knowledge Of The Engineer. Verify Locations And Elevations Prior To Beginning The Construction Operations.
Any Existing Pavement, Sidewalk, Driveway, Etc., Damaged During Construction Operations And Not Called For To Be Removed Shall Be Repaired At The Contractor's Expense Of The Contractor.
Material And Compaction Testing Shall Be Performed In Accordance With The Requirements Of The Municipality, MWRD, And The Owner.
The Underground Contractor Shall Make All Necessary Arrangements To Notify All Inspection Agencies.
All New And Existing Utility Structures On Site And In Areas Disturbed During Construction Shall Be Adjusted To Finish Grade Prior To Final Inspection.
Record Drawings Shall Be Kept By The Contractor And Submitted To The Engineer As Soon As Practicable After Completion Of Construction. Final Payments To The Contractor Shall Be Held Until They Are Received, Any Changes In Length, Location, Or Material Shown In Red. All Wyes Or Bends Shall Be Located From The Downstream Manhole. All Valves, B-Boxes, Sigs Or Bends Shall Be Tied To A Fire Hydrant.
6. Sanitary Sewer
The Contractor Shall Take Measures To Prevent Any Polluted Water, Such As Ground And Surface Water, From Entering The Existing Sanitary Sewers.
A Water-Tight Plug Shall Be Installed In The Downstream Sewer Pipe At The Point Of Sewer Connection Prior To Commencing Any Sewer Construction. The Plug Shall Remain In Place Until Removal Is Authorized By The Municipality And/Or MWRD After The Sewers Have Been Tested And Accepted.
Discharging Any Unpolluted Water Into The Sanitary Sewer System For The Purpose Of Sewer Flushing Or Lines For The Deflection Test Shall Be Prohibited Without Prior Approval From The Municipality Or MWRD.
All Sanitary Sewer Construction Shall Be In Accordance With The Standard Specifications For Water And Sewer Main Construction In Illinois (Latest Edition).
All Floor Drains Shall Discharge To The Sanitary Sewer System.
All Downspouts And Footing Drains Shall Discharge To The Storm Sewer System.
All Sanitary Sewer Pipe Materials And Joints (And Storm Sewer Pipe Materials And Joints In A Combined Sewer Area) Shall Conform To The Following:
Reinforced Concrete Sewer Pipe ASTM C-76 ASTM C-443
Cast Iron Soil Pipe ASTM A-74 ASTM C-564
Ductile Iron Pipe ANSI A21.51 ANSI A21.11
Polyvinyl Chloride (PVC) Pipe
6-inch To 36-inch Diameter SDR 35 ASTM D-3034 ASTM D-3212
18-inch To 27-inch Diameter F/DR46 ASTM F-679 ASTM S-3212
High Density Polyethylene (HDPE)
4-inch To 12-inch AWWA C900 ASTM D-3139
14-inch To 48-inch AWWA C905 ASTM D-3212
7. All Sanitary Sewer Construction (And Storm Sewer Construction In Combined Sewer Areas) Requires Stone Bedding With Stone 1/2 To 1 In Size, With A Minimum Of 6 Inches Below The Sewer Pipe. The Stone Bedding Shall Be Extended At Least 12" Above The Top Of The Pipe When Using PVC.
8. Band Seal Or Similar Non-shear Flexible-type Couplings Shall Be Used In The Connection Of Sewer Pipes Of Dissimilar Materials.
9. Below The Flood Protection Elevation (FPE = BFE + 2 Feet), All Sanitary Sewer Manholes And Structures Shall Be Provided With Bolted, Water-tight Covers. Sanitary Lids Shall Be Constructed With A Concealed Pickhole And Watertight Gasket With The Word "Sanitary" Cast Into The Lid.
10. When Connecting To An Existing Sewer Main By Means Other Than An Existing Wye, Tee, Or An Existing Manhole, One Of The Following Methods Shall Be Used:
(a) A Circular Saw-Cut Of Sewer Main By Proper Tools ("Shear-Top" Machine Or Similar) And Proper Installation Of Hubwee Saddle Or Hub-Tee Saddle.
(b) Remove An Entire Section Of Pipe (Breaking Only The Top Of One Bell).
(c) With Pipe Cutter, Neatly And Accurately Cut Out Desired Length Of Pipe For Insertion Of Proper Fitting, Using "Band Seal" Or Similar Couplings To Hold It Firmly In Place.
11. Whenever A Sanitary/Combined Sewer Crosses Under A Watermain, The Minimum Vertical Distance From The Top Of The Sewer To The Bottom Of The Watermain Shall Be 18 Inches. Furthermore, A Minimum Horizontal Distance Of 2 Feet Between Sanitary/Combined Sewers And Watermains Shall Be Maintained Unless The Sewer Is Laid In A Separate Trench.
12. All Sanitary Sewer Construction (And Storm Sewer Construction In Combined Sewer Areas) Shall Be Constructed In A Separate Trench With The Watermain Located At The Opposite Side On A Bench Of Undisturbed Earth, Keeping A Minimum 18 Inches Vertical Or Horizontal Separation. Vertical Or Horizontal Distances Described Above Cannot Be Maintained, Or The Sewer Crosses Above The Watermain, The Sewer Shall Be Constructed To Watermain Standards.
13. All Existing Septic Systems Shall Be Abandoned. Abandoned Tanks Shall Be Filled With Granular Material Or Removed.
14. All Sanitary Manholes, (And Storm Manholes In Combined Sewer Areas), Shall Have A Minimum Inside Diameter Of 48 Inches, And Shall Be Cast In Place Or Pre-Cast Reinforced Concrete.
15. All Sanitary Manholes, (And Storm Manholes In Combined Sewer Areas), Shall Have Precast Rubber Boots That Conform To ASTM C-923 For All Pipe Connections. Precast Sections Shall Consist Of Modified Groove Tongue And Rubber Gasket Joint Types.
16. All Abandoned Sanitary Sewers Shall Be Plugged At Both Ends With At Least 2 Feet Long Non-shrink Concrete Or Mortar Plug.
17. Except For Foundation/Footing Drains Provided To Protect Buildings, Or Perforated Pipes Associated With Volume Control Facilities, Drain Tiles/Field Tiles/Underdrains/perforated Pipes Are Not Allowed To Be Connected Tributary To Combined Sewers, Sanitary Sewers, Or Storm Sewers Tributary To Combined Sewers. In Combined Sewer Areas, Construction New Facilities Of This Type Is Prohibited. And All Existing Drain Tiles And Perforated Pipes Installed Within The Project Area Shall Be Plugged Or Removed, and Shall Not Be Connected To Combined Sewers, Sanitary Sewers, Or Storm Sewers Tributary To Combined Sewers.
18. A Backflow Preventer Is Required For All Detention Basins Tributary To Combined Sewers. Backflow Preventers Shall Be Installed, Tested, And Exercised Annually By The Property Owner To Ensure Proper Operation. And Any Necessary Repairs Shall Be Performed To Ensure Functionality. In The Event Of A Sewer Surge/Inflow Into An Open Detention Basin Tributary To Combined Sewers, The Permittee Shall Immediately Clean Up And Wash Out Of Sewage Takes Place Within 48 Hours Of The Storm Event.
19. No Construction Traffic Allowed In Alley, Alley To Remain Open For Residents At All Times. Alley May Not Be Used By Contractor.

MWRD RECORDING & MAINTENANCE NOTES

The Owner Of This Development, With Facilities As Shown On This Exhibit (Exhibit B), Shall Assume Responsibility For The Following Perpetual Maintenance Activities:

- 1. General Regular Inspections And Routine Maintenance Of General Areas Shall Be Performed On A Monthly Or As-Needed Basis. Specific Items Of Concern Include:
Litter And Debris Shall Be Controlled
Landscaped Areas Shall Be Maintained With Regular Mowing And Restored With Appropriate Seeding / Vegetation As Necessary
Accumulated Sediment Shall Be Disposed Of Properly, Along With Any Wastes Generated During Maintenance Operations
Riprap Areas Shall Be Replaced With The Addition Of New Riprap, As Necessary, Of Similar Size And Shape
Roofs Shall Be Swept, Vacuumed And/Or Washed On A Regular Basis
2. Stormwater Management Facilities
All Components Of The Stormwater Management Facilities Shall Be Checked Monthly Between March And November And Maintained As Necessary To Ensure Proper Routing Performance. It Is Critical That All Inflows And Outflows To The Detention Facility Are Clean And Performing As Designed. In Addition, The Design Volume Of The Detention Facility Shall Also Be Maintained. Inspections For The Following Specific Items Should Be Conducted Monthly Between March And November:
Side Slopes/Embankment/Emergency Overflow Structures
Inspect Embankments For Settlement And Erosion
Remove Woody Growth From The Embankment
Any Brick And/Or Concrete Structures Requiring Maintenance For Design Resolution
Seed And Sod Any Eroded Areas
Signs Of Piping (Leakages) Or Seepage, Repair
Stabilize Emergency Overflow, Where Possible, If Erosion Observed
Remove Obstructions Blocking Emergency Overflow Spilloway
Vegetated Areas
Regular Mowing To Control Vegetation, No Cutting Of Native Vegetation
Need For Planting, Re-seeding, Or Sodding. Supplement Alternative Native Vegetation If A Significant Portion Has Not Been Established (50% Of The Surface Area). Re-seed With Alternative Grass Species If Original Grass Cover Has Not Been Successfully Established.
Evidence Of Grazing, Motorbikes Or Other Vehicles, Repair
Check For Invasive Vegetation, Remove Where Possible
All Vegetation Must Be Maintained Per The Approved Planting Plan
3. Outlet Control Structures
Inspect Restrictor And Remove Debris If Clogged Or Discharge Reduced
Remove Accumulated Sediment At Outlet
Scour And Erosion At Outlet, Repair And Re-seed
Any Ice Damages To Outlet Pipe, Repair If Necessary
Condition Of Trash Racks, Remove Debris
Outlet Pipe Conditions Downstream
Access For Maintenance Equipment
Remove Any Obstructions Placed In Maintenance Easements
Safety Features
Access Closures To Hazardous Areas
Fences
Loose Or Damaged Posts
Loose Or Broken Wires
Condition Of Gates
Signs
4. Stormwater Collection System
The Owner Shall Perform Monthly Inspections Of All Components Of The Stormwater Collection System. The Monthly Inspection Shall Occur Between March And November And Include The Following Specific Areas Of Concern:
Storm Inlets/Manholes
Remove Accumulated Leaves And Other Debris From Grates
Re-seat Covers/Lids On As-Needed Basis
Remove Accumulated Sediment From Manhole Bottom When 50% Of Sump Is Filled
Storm Sewers/Culverts
Visually Inspect Pipes By Removing Manhole Lids, Make Repairs As Necessary
Storm Sewers And Culverts Shall Be Checked For Situation Deposits At Inlets, Outlets, And Within The Conduit; Clean Out As Necessary
Restore Riprap At Outlets If Erosion Observed
Re-pipe And Re-seed Any Eroded Areas
Overland Flow Routes (Ditches/Slopes)
Annual Visual Inspections Shall Be Performed That Verify The Design Capacity Of The Overland Flow Routes Is Maintained, The Slope And Cross-Sectional Area Of The Ditch/Slope Shall Be Verified During This Inspection
Remove Any Obstructions That Have Been Placed In The Drainage Path
Seed And Sod Any Eroded Areas
Restore Riprap As Necessary
Regrade To Provide Positive Drainage As Necessary
Regular Mowing To Control Vegetation
5. Vegetated Areas
Need For Planting, Seeding, Or Sodding. Supplement Alternative Native Vegetation If A Significant Portion Has Not Been Established (50% Of The Surface Area After Second Growing Season). Re-seed With Alternative Native Grass Species If Original Grass Cover Has Not Successfully Established.
Evidence Of Grazing, Motorbikes, Or Other Vehicles, Repair
Check For Invasive Vegetation, Remove When Possible
Regular Mowing To Control Vegetation; It Is Recommended That Native Vegetation Remain Uncut.
Dead Or Damaged Non-Native Grass Areas, Repair With Seeding With Fertilization Or Seeding With Mulch.
Compensatory Storage Area Shall Be Re-seeded With Appropriate Vegetation According To The Approved Planting Plan.
6. Qualified Sewer Construction
Perform Monthly Inspections Once Every Five Years, Make Repairs As Necessary
Perform Sewer Inspections Once Every Five Years, Make Repairs As Necessary
Perform Regular Cleaning So That Each Sewer Segment Is Cleaned Once Every 3 Years
Remove Any Obstructions Placed In Maintenance Easements That May Impede Maintenance Equipment Access.

MWRDGC ESC NOTES

- E. Erosion And Sediment Control
The Contractor Shall Install The Erosion And Sediment Control Devices As Shown On The Approved Erosion And Sediment Control Plan.
Erosion And Sediment Control Practices Shall Be Functional Prior To Hydrologic Disturbance Of The Site.
All Design Criteria, Specifications, And Installation Of Erosion And Sediment Control Practices Shall Be In Accordance With The Illinois Urban Manual.
A Copy Of The Approved Erosion And Sediment Control Plan Shall Be Maintained On The Site At All Times.
Inspections And Documentation Shall Be Performed, At A Minimum:
(a) Upon Completion Of Initial Erosion And Sediment Control Measures, Prior To Any Soil Disturbance.
(b) Once Every Seven (7) Calendar Days And Within 24 Hours Of The End Of A Storm Event With Greater Than 0.5 Inch Of Rainfall Or Liquid Equivalent Precipitation.
Soil Disturbance Shall Be Conducted In Such A Manner As To Minimize Erosion. If Stripping, Clearing, Grading, Or Landscaping Are To Be Done In Phases, The Contractor Shall Plan For Appropriate Soil Erosion And Sediment Control Measures.
A Stabilized Mat Of Crushed Stone Meeting The Standards Of The Illinois Urban Manual Shall Be Installed At Any Point Where Traffic Will Be Entering Or Leaving A Construction Site, Sediment Or Soil Reaching An Improved Public Right-Of-Way, Street, Alley, Or Parking Area, Shall Be Removed By Scrubbing Or Street Cleaning As Accumulations Warrant And Transported To A Controlled Sediment Disposal Area.
Concrete Washout Facilities Shall Be Constructed In Accordance With The Illinois Urban Manual And Shall Be Installed Prior To Any On Site Construction Activities Involving Concrete.
Mortar Washout Facilities Shall Be Constructed In Addition To Concrete Washout Facilities. Any Brick And/Or Concrete Structures Requiring Maintenance For Design Resolution Shall Be Constructed As Necessary To Direct All Runoff From Hydrologically Disturbed Areas To An Appropriate Sediment Trap Or Basin. Stabilize Emergency Overflow, Where Possible, If Erosion Observed.
Disturbed Areas Of The Site Where Construction Activities Have Temporarily Or Permanently Ceased Shall Be Stabilized With Temporary Or Permanent Measures Within Seven (7) Days.
All Flood Protection Areas And Volume Control Facilities Shall, At A Minimum, Be Protected With A Double-Row Of Silt Fence (Or Equivalent).
Volume Control Facilities Shall Not Be Constructed Until All Of The Contributing Drainage Area Has Been Stabilized.
Soil Stockpiles Shall, At A Minimum, Be Protected With Perimeter Sediment Control. Soil Stockpiles Shall Not Be Placed In Flood Protection Areas Or Their Buffers.
Earthen Embankment Side Slopes Shall Be Stabilized With Appropriate Erosion Control Blanket.
Storm Sewers That Are Or Will Be Functioning During Construction Shall Be Maintained By Appropriate Control Measures.
The Contractor Shall Either Remove Or Replace Any Existing Drain Tiles And Incorporate Them Into The Drainage Plan For The Development. Drain Tiles Cannot Be Tributary To A Sanitary Sewer.
If Dewatering Services Are Used, Adjacent Properties And Discharge Locations Shall Be Protected From Erosion And Sedimentation. Dewatering Systems Should Be Inspected Daily During Operational Periods. The Site Inspector Must Be Present At The Commencement Of Dewatering Activities.
The Contractor Shall Be Responsible For Trench Dewatering And Excavation For The Installation Of Sanitary Sewers, Storm Sewers, Watermains As Well As Their Connections. All Trenches Shall Be Dewatered And Protected From Surface Pit, Filter Bag Or Existing Vegetated Upland Area. Sediment Laden Waters Shall Not Be Discharged To Waterways, Flood Protection Areas Or The Combined Sewer System.
All Permanent Erosion Control Practices Shall Be Initiated Within Seven (7) Days After Completion Of Soil Disturbing Activities.
All Erosion And Sediment Control Measures Shall Be Maintained And Repaired As Needed On A Year-Round Basis During Construction And Any Periods Of Construction Shutdown. Permanent Stabilization Shall Be Achieved.
All Temporary Erosion And Sediment Control Measures Shall Be Removed Within Thirty (30) Days After Permanent Site Stabilization.
The Erosion And Sediment Control Measures Shown On The Plans Are The Minimum Requirements. Additional Measures May Be Required, As Directed By The Engineer, Site Inspector, Or MWRD.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- 1. Illinois Urban Manual Shall Govern All Soil Erosion And Sediment Control, And Related Work.
2. Contractor Shall Be Responsible For Compliance With EPA NPDES and ILR10 Permit Requirements For Project.
3. Soil Disturbance Shall Be Conducted In Such A Manner As To Minimize Erosion. Soil Stabilization Measures Shall Consider The Time of Year, Site Conditions, And The Use Of Temporary Or Permanent Measures.
4. Soil Erosion And Sediment Control Features Shall Be Constructed Prior To The Commencement Of Upland Disturbance.
5. Temporary Soil Stabilization Shall Be Applied To Topsoil Stockpiles And Disturbed Areas, Where Construction Activity Will Not Occur For A Period Of More Than 14 Calendar Days. Temporary Measures Shall Be Applied Within 7 Calendar Days Of The End Of Active Hydrologic Disturbance. The Sediment Control Measures Shall Be Maintained On A Continuing Basis Until The Site Is Permanently Stabilized And All Inspections Are Complete. Permanent Stabilization Shall Be Completed Within 14 Days After Completion Of Final Grading Of Soil.
6. All Temporary And Permanent Erosion Control Measures Shall Be Removed Within 30 Days After Final Site Stabilization Is Achieved Or After The Temporary Measures Are No Longer Needed. Trapped Sediment And Other Disturbed Soil Areas Shall Be Permanently Stabilized.
7. Final Site Stabilization Is Defined By The EPA General Permit As Meaning That All Soil Disturbing Activities At The Site Have Been Completed, And That A Uniform Permanent Vegetative Cover With A Density Of 70 Percent Of The Cover For Unpaved Areas Not Covered By Permanent Structures Has Been Established Or Equivalent Permanent Stabilization Measures (Such As The Use Of Riprap, Gabions, Or Geotextiles) Have Been Employed.
8. All Storm Sewer Structures That Are, Or Will Be, Functioning During Construction Shall Be Protected, Filtered, Or Otherwise Treated To Remove Sediment. The General Contractor Shall Use "Catch-All" Inlet Protectors (Or Equivalent) And Filter Wads Around The Grate In Landscaped Areas And "Catch-All" Inlet Protectors (Or Equivalent) In Paved Areas To Prevent Siltation.
9. All Temporary And Permanent Sediment And Erosion Control Measures Must Be Maintained, Repaired, And Inspected In Conformance With All Applicable EPA-NPDES Phase II.
10. Following The Termination Of Construction Activities And Issuance Of The Required "Notice Of Termination" The Permittee Must Keep A Copy Of The Storm Water Pollution Prevention Plan, Inspection Reports, And Records Of All The Data Used To Complete The Notice Of Intent For A Period Of At Least Three Years Following Final Stabilization.
11. Install And Maintain Silt Fence At The Perimeter Of The Construction Zone And Wetland Areas And As Shown On The Plans. Maintain Silt Fence Throughout Construction And Until Vegetation Has Been Fully Established.
12. Contractor Shall Provide Qualified Soil Erosion And Sediment Control Inspector Services In Accordance With NPDES and Governmental Requirements. Inspections Shall Occur At Every Seven Calendar Days Or Within 24 Hours of a 0.5" or Greater Rainfall Event. Engineer Shall Be Copied on Inspection Logs.
13. The Erosion Control Measures Indicated On The Drawings Are The Minimum Requirements. Additional Measures May Be Required As Directed By The Qualified Soil And Erosion Sediment Control Inspector Or Governing Agency.
14. Unless Otherwise Indicated on the Drawings, Stabilize All Disturbed Ground Areas Where Slopes Exceed 6:1 or Within Swales with North American Green SiltNet 3015089 Erosion Control Blanket, or Approved Equal.
15. Report Releases of Reportable Quantities of Oil or Hazardous Materials If They Occur In Accordance With EPA NPDES Requirements.
16. All Concrete Washout Shall Conform To The "Temporary Concrete Washout Facility" Standards (Code 954) of the Illinois Urban Manual, Latest Edition.
17. Dewatering Of Excavations Shall Be Performed In A Manner Such As Through the Use of Filter Bags or Polymer Treated Dewatering Socks, so as to Not Discharge Sediment Laden Water Into Storm Sewers Tributary to Open Water.

UTILITY NOTES

- 1. Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
2. Refer to Plumbing Drawings for Continuation of All Utilities Within 3 Feet of Building Face.
3. Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures Of Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation If Discrepancy Exists With These Drawings.
4. Coordinate the Relocation Of Any Utilities Encountered And Replacement Of Any Utilities Damaged Within Influence Zone Of New Construction. Contact Engineer If The Existing Utilities Vary Appreciably From The Plans.
5. All Water Main and Services Shall Be Installed to a Minimum Depth of 5.5' From Top of Finished Ground to Top of Main.
6. Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
7. Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
8. Provide Adequate Coupling Device and/or Oversized Concrete Flared End Section to Accommodate Relocation of Storm Sewer.
9. The Standard Specifications for Water and Sewer Main Construction in Illinois, Current Edition Shall Govern Work Where Applicable.

STRUCTURE NOTES

- 1. All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2004-D Frame & Grate or Approved Equal.
2. All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Concrete Sections Install a Minimum of 4" Grade Rings For Topsoil Retention. For Flat Slab Tops install the Following Minimum Height of Grade Rings:
4" Diameter Structure- 4"
6" Diameter Structure- 6"
8" Diameter Structure- 8"
3. All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R1713-B Frame & Grate or Approved Equal.
4. All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep. B-6.12) Shall Have East Jordan IRW Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
5. Where Structures are Shown Along the Curbside, Unless Otherwise Noted, Catch Basins Shall Be Located At The Frame of the Structure Is To Fall Within The Flowline Of The Outlet or at the Pavement Edge Where No Outlet Exists.
6. All Manholes Shall Have Neenah R1713-B Frame & Closed Lid (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
7. For All Structures Indicated to Be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
8. All Flared End Sections 12" and Larger Shall Include an IDOT Standard Grate.
9. All Flared End Sections Shall Be Concrete.
10. All Sanitary Manholes Shall Include a Chimney Seal.

GRADING NOTES

- 1. Install And Maintain Silt Fence at the Perimeter of the Construction Zone. Install High Bale Erosion Control Around All Proposed and Existing Structures Receiving Drainage From Disturbed Areas. Silt Fabric Under the Lid Is Not an Acceptable Alternative In Landscaped Areas.
2. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
3. All Landscaped Areas Disturbed By Construction Shall Be Re-seeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Notes Otherwise On The Landscape Drawings.
4. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
5. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% In Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.5%. Contact Engineer if Conflicts Exist.

CONSTRUCTION NOTES

PER THE VILLAGE OF OAK PARK

- 1. Austin Boulevard is Prohibited To Truck Traffic Per Code Except Within Three Blocks of Delivery Area.
2. The Curb Land Of Austin Is A Traffic Lane Between The Hours Of 7-9 A.M. and 4-6 P.M. Austin Shall Not Be Used At Those Times.
3. No Construction Traffic is Allowed On Humphrey.

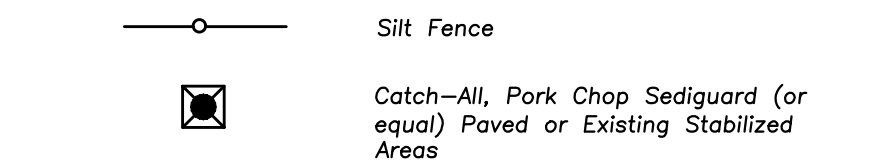
DEMOLITION NOTES

- 1. All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
2. Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
3. Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
4. Coordinate Removal of Overhead Wires And Utility Poles with Authorities Having Jurisdiction And Respective Utility Providers.
5. The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
6. All Sawcutting Shall Be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
7. Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
8. All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
9. Perform Tree Pruning In All Locations Where Proposed Pavement And/Or Utility Installation Encroach Within the Existing Drip Line Of Trees To Remain. All Trimming Within The Drip Line Of Existing Trees to Remain Shall Be Done Radially Away From Trunk If Roots In Excess Of 1" Diameter Are Exposed. Roots Must Be Cut By Reputable Tree Trimming Service Prior To Any Transverse Trenching. Obtain Approval Of The Architect Prior To Operations For A Variance From This Procedure.
10. Coordinate Tree Removal with Landscape Architect. All Trees To Be Removed Shall Be Removed In Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
11. Provide Tree Protection Fencing Prior To Construction Operations. Maintain Throughout Construction.
12. Contractor to locate existing building sanitary services. Disconnect at main and plug with 2" non-shrink grout. Contractor shall ensure no grout is in main line of pipe.

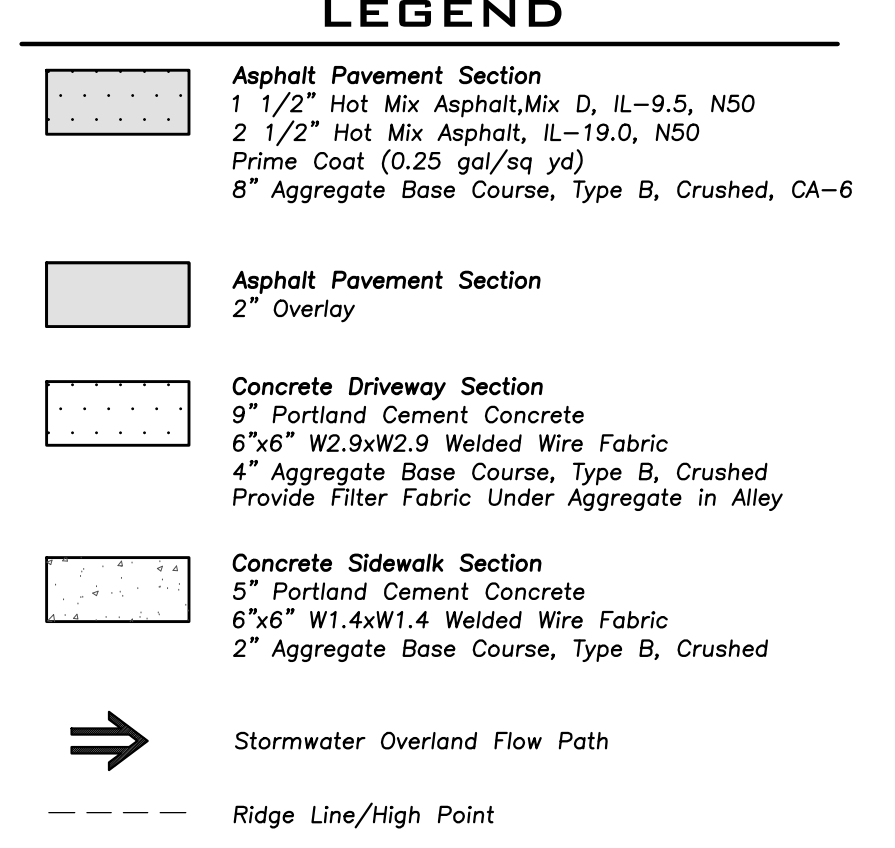
GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
2. All Pavement Stripping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Stripping Shall Be 45° At 2'-0" Centers.
3. All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
4. Refer to Architectural Drawings for Exact Locations of All Buildings.
5. Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
6. Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 11 Gauge Steel, Embedded 42" Minimum Into Ground.

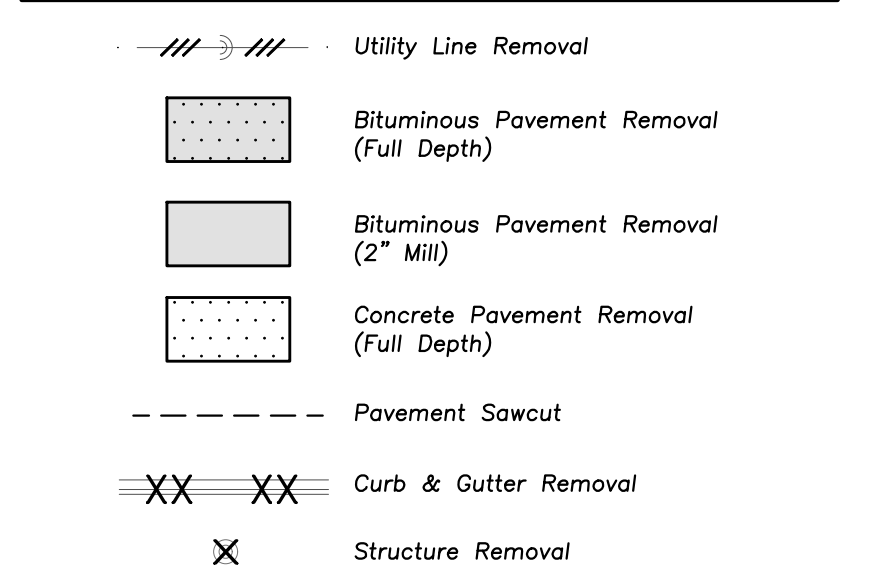
SOIL EROSION & SEDIMENTATION CONTROL LEGEND



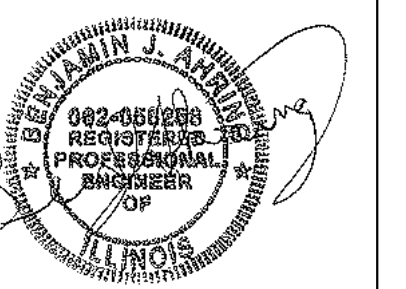
PAVING & SURFACE LEGEND



DEMOLITION LEGEND



WARE MALCOMB ARCHITECTURE CIVIL ENGINEERING PLANNING BUILDING MEASUREMENT INTERIORS



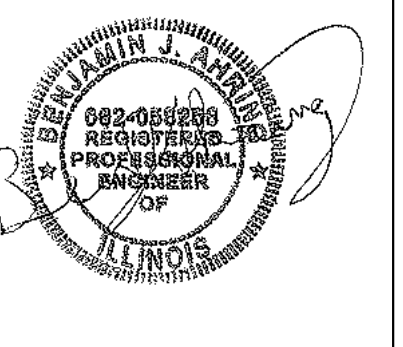
ERIKSSON ENGINEERING ASSOCIATES, LTD. 1000 N. WISCONSIN ST. CHICAGO, IL 60610-1100

SYNERGY - 7 VAN BUREN 7 VAN BUREN AVENUE OAK PARK, ILLINOIS

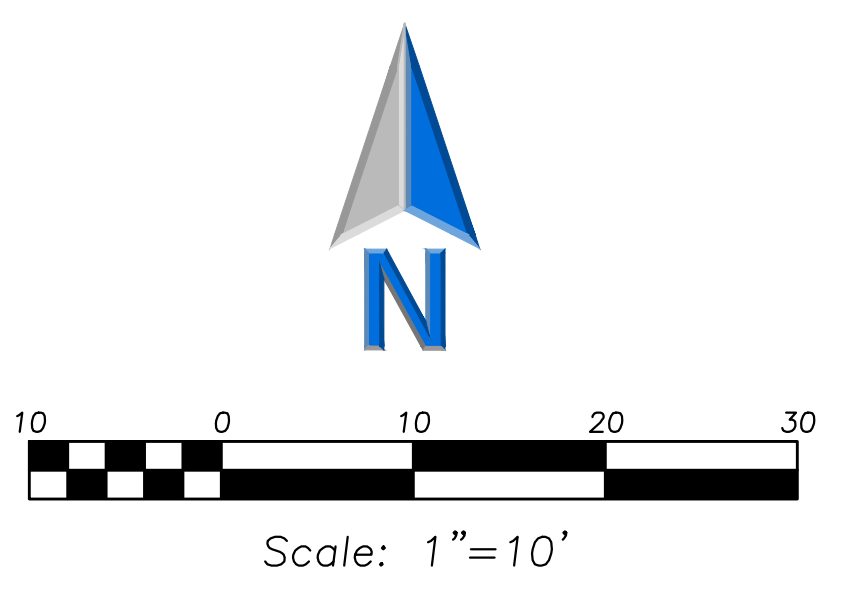
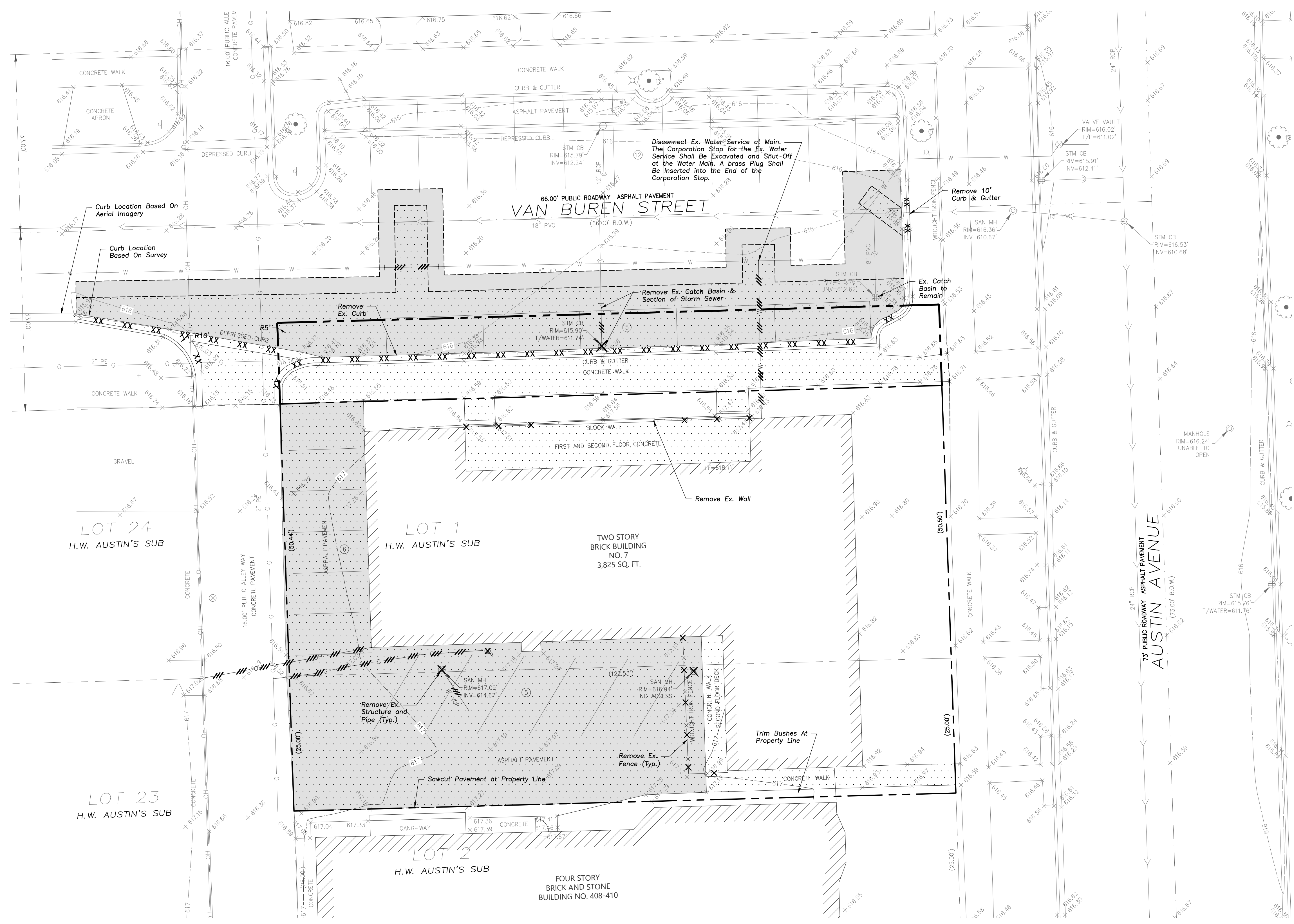
NOTES & LEGENDS REMARKS: PD APPLICATION PERMIT SUBMITTAL DATE: 2021-08-23 2021-09-07

PA/PM: SJM DRAWN BY: LMR JOB NO.: CH21-0119-00

SHEET C0.1



SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS



LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
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Combined Sewer	Combined Sewer
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Gas Line	Gas Line
Overhead Wires	Overhead Wires
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Downspout	Downspout
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ComEd Manhole	ComEd Manhole
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Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
SideWalk Elevation	SideWalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

- GENERAL NOTES**
- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
 - Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
 - Notify The Owner, Engineer and The Village of Oak Park A Minimum of 48 Hours in Advance of Performing Any Work.
 - All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
 - These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
 - No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
 - The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions and Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
 - Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
 - The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

- DEMOLITION NOTES**
- Contractor to Locate and Disconnect Existing Building Sewer Service At The Main. Sewer Service Shall Be Plugged At Main With 2" Non-Shrink Grout. Pavement Replaced Per Village Standards.
 - Contractor to Locate and Disconnect Existing Building Water Service At The Main. The Existing Corporation Stop Shall be Shut Off and A Brass Plug Shall Be Inserted Into The End Of The Corporation Stop.
 - Sawcut, Remove and Replace Pavement As Necessary. Replace Pavement Per Village Standards.

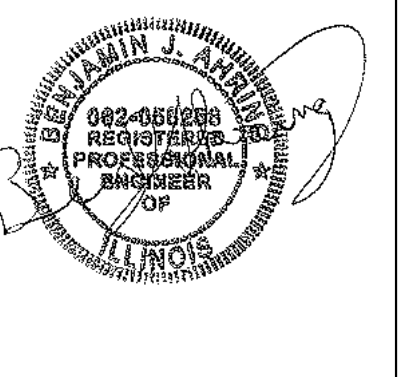
DEMOLITION LEGEND

	Utility Line Removal
	Bituminous Pavement Removal (Full Depth)
	Bituminous Pavement Removal (2" Mill)
	Concrete Pavement Removal (Full Depth)
	Pavement Sawcut
	Curb & Gutter Removal
	Structure Removal

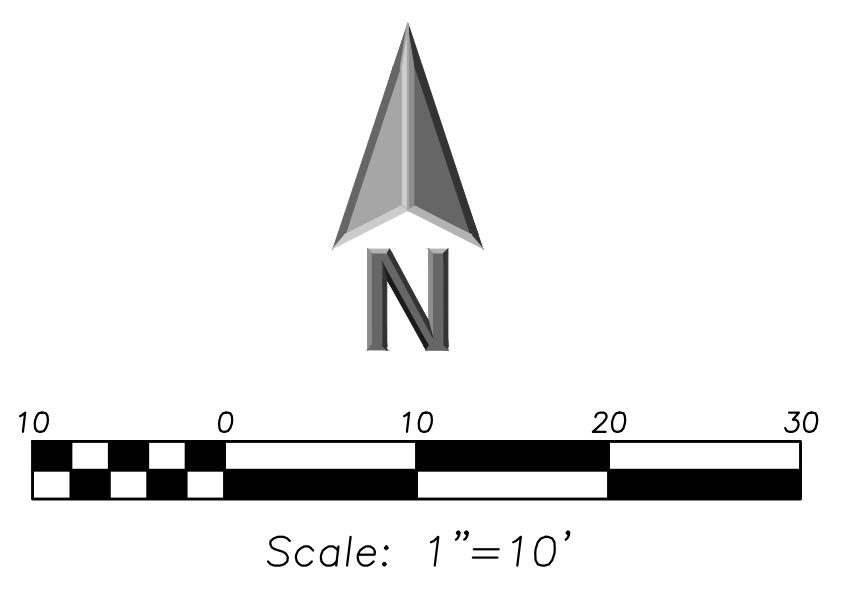
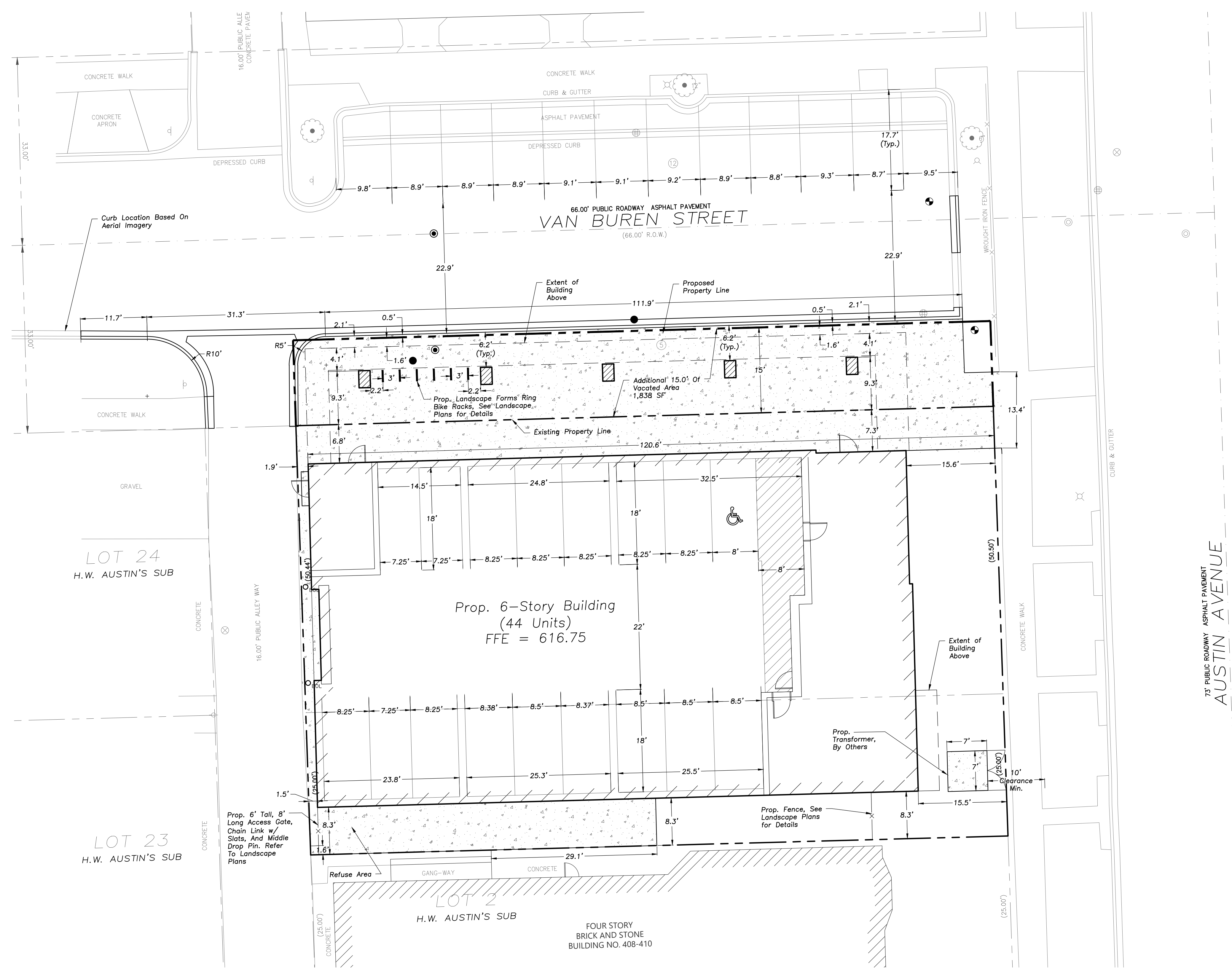
SITE DEMOLITION PLAN

DATE	REVISIONS
2021-08-23	ISSUE FOR PERMIT
2021-08-27	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-019-00



SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS



LEGEND

EXISTING	PROPOSED

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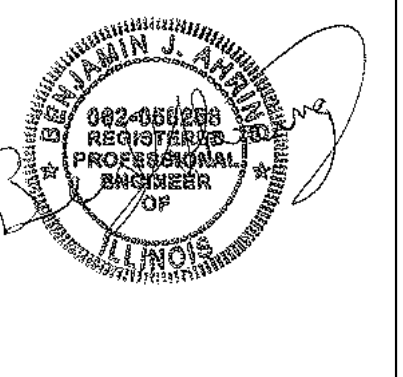
SITE GEOMETRY PLAN

DATE	REMARKS
2021-08-23	PD APPLICATION
2021-08-30	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-0119-00

WARE MALCOMB
 1315 21st St. #410
 Oak Brook, IL 60421
 P. 630.218.0085

ARCHITECTURE
 CIVIL ENGINEERING
 PLANNING
 BRANDING
 BUILDING MEASUREMENT
 INTERIORS



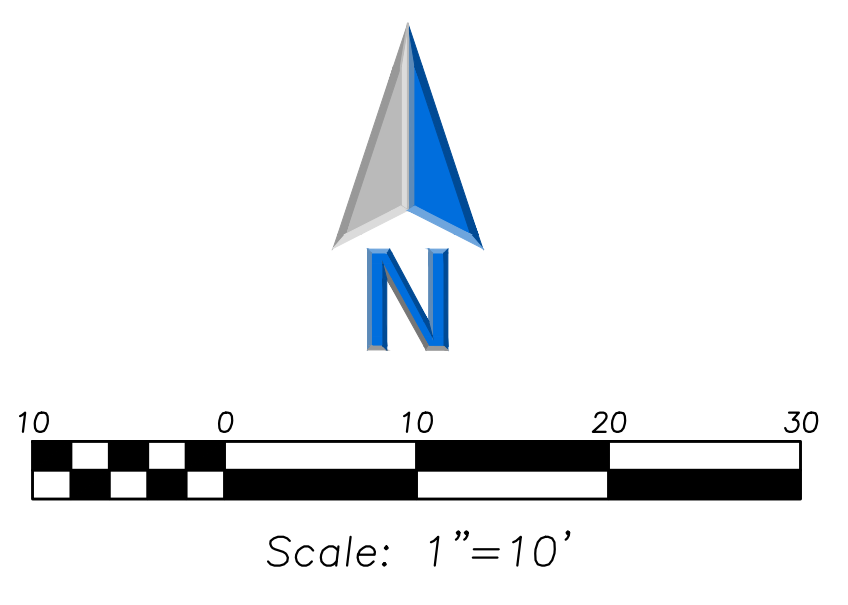
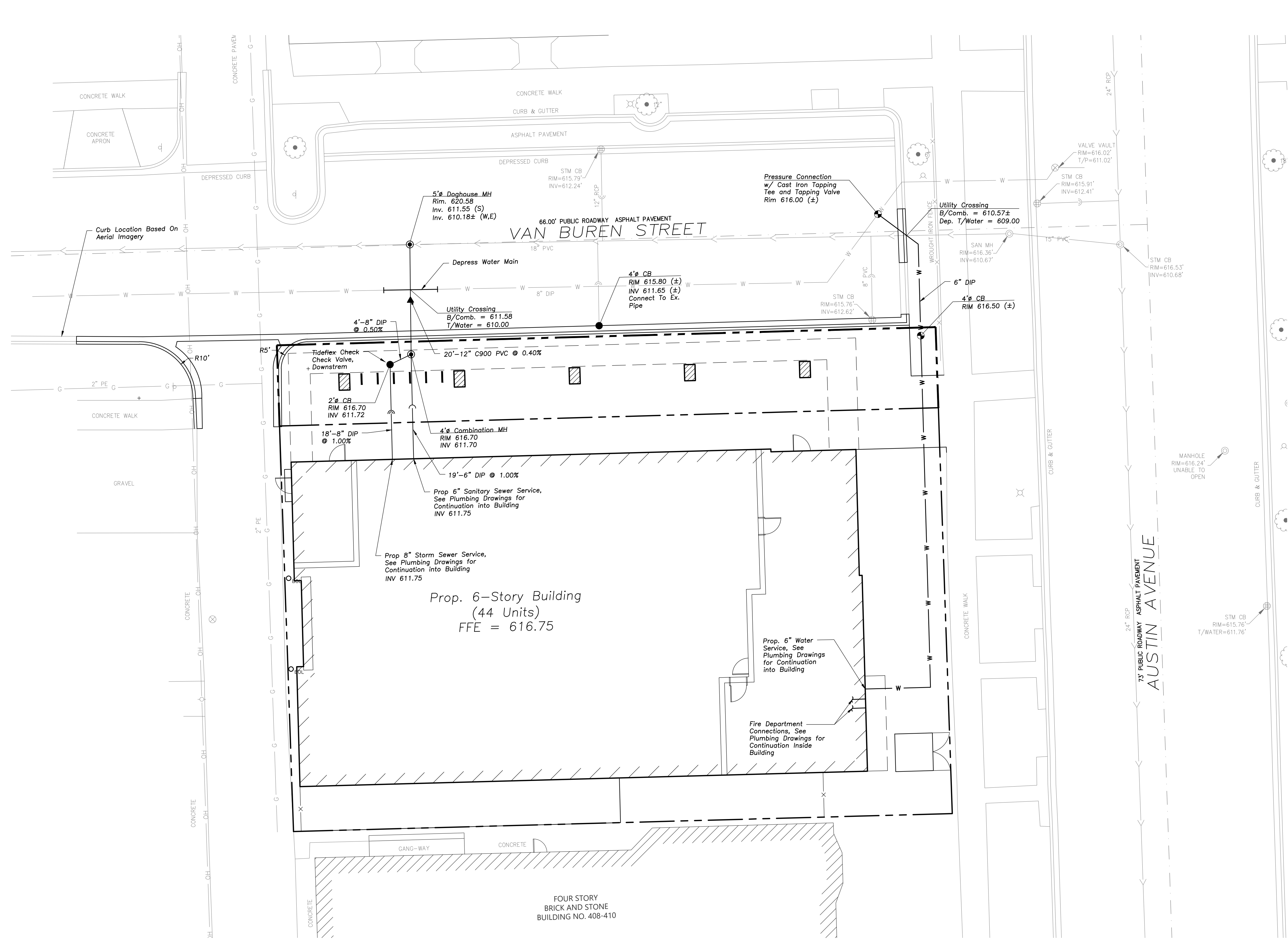
SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS

SITE UTILITY PLAN

REMARKS	
PD APPLICATION	
PERMIT SUBMITTAL	
DATE	
2021-08-23	
2021-03-07	

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-0119-00

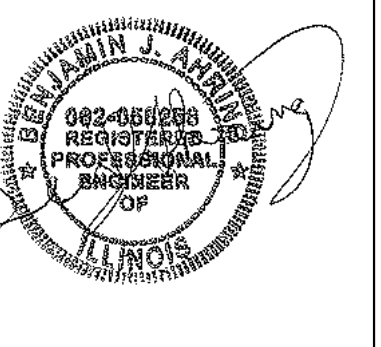
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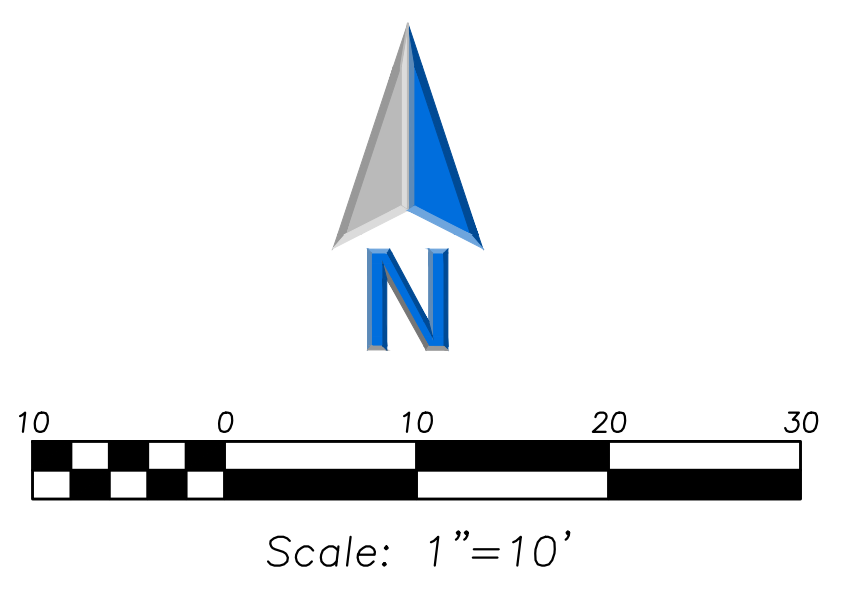
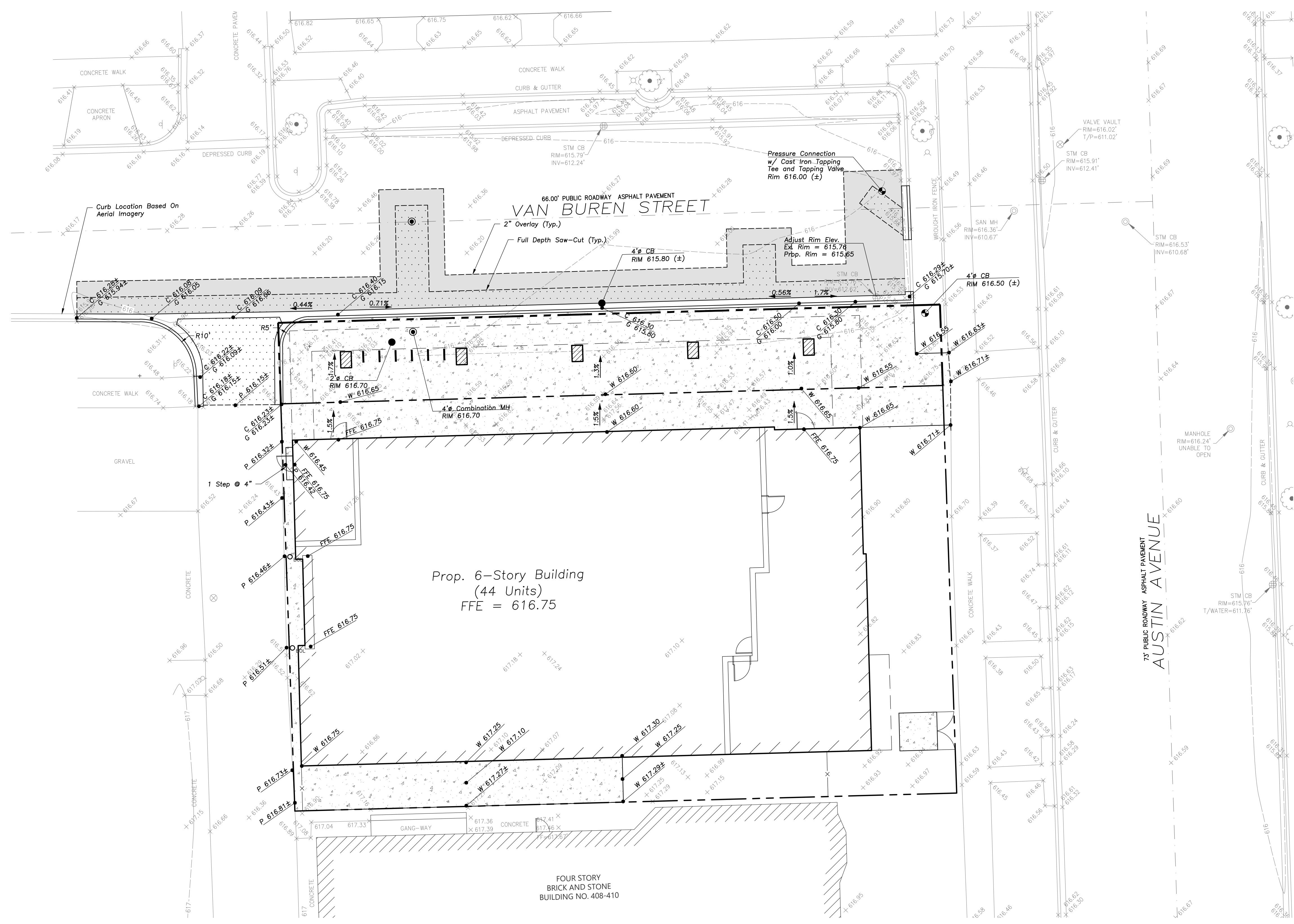
LEGEND

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Downspout	Downspout
Boiler	Boiler
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Gas Meter	Gas Meter
Electric Meter	Electric Meter
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Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
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SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS



LEGEND

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Telephone Manhole	Telephone Manhole
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Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
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Ground Elevation	Ground Elevation
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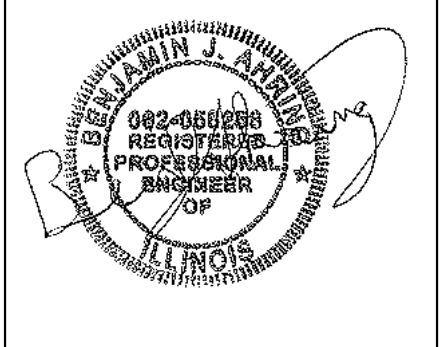
PAVING & SURFACE LEGEND

	Asphalt Paving Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0 2 1/2" Hot Mix Asphalt, IL-19.0, NS0 Prime Coat (0.25 gal/sq yd) 8" Aggregate Base Course, Type B, Crushed, CA-6
	Asphalt Pavement Section 2" Overlay
	Concrete Driveway Section 9" Portland Cement Concrete 6"x6" W2.9xW2.9 Welded Wire Fabric 4" Aggregate Base Course, Type B, Crushed Provide Filter Fabric Under Aggregate in Alley
	Concrete Sidewalk Section 5" Portland Cement Concrete 6"x6" W1.4xW1.4 Welded Wire Fabric 2" Aggregate Base Course, Type B, Crushed
	Stormwater Overland Flow Path
	Ridge Line/High Point

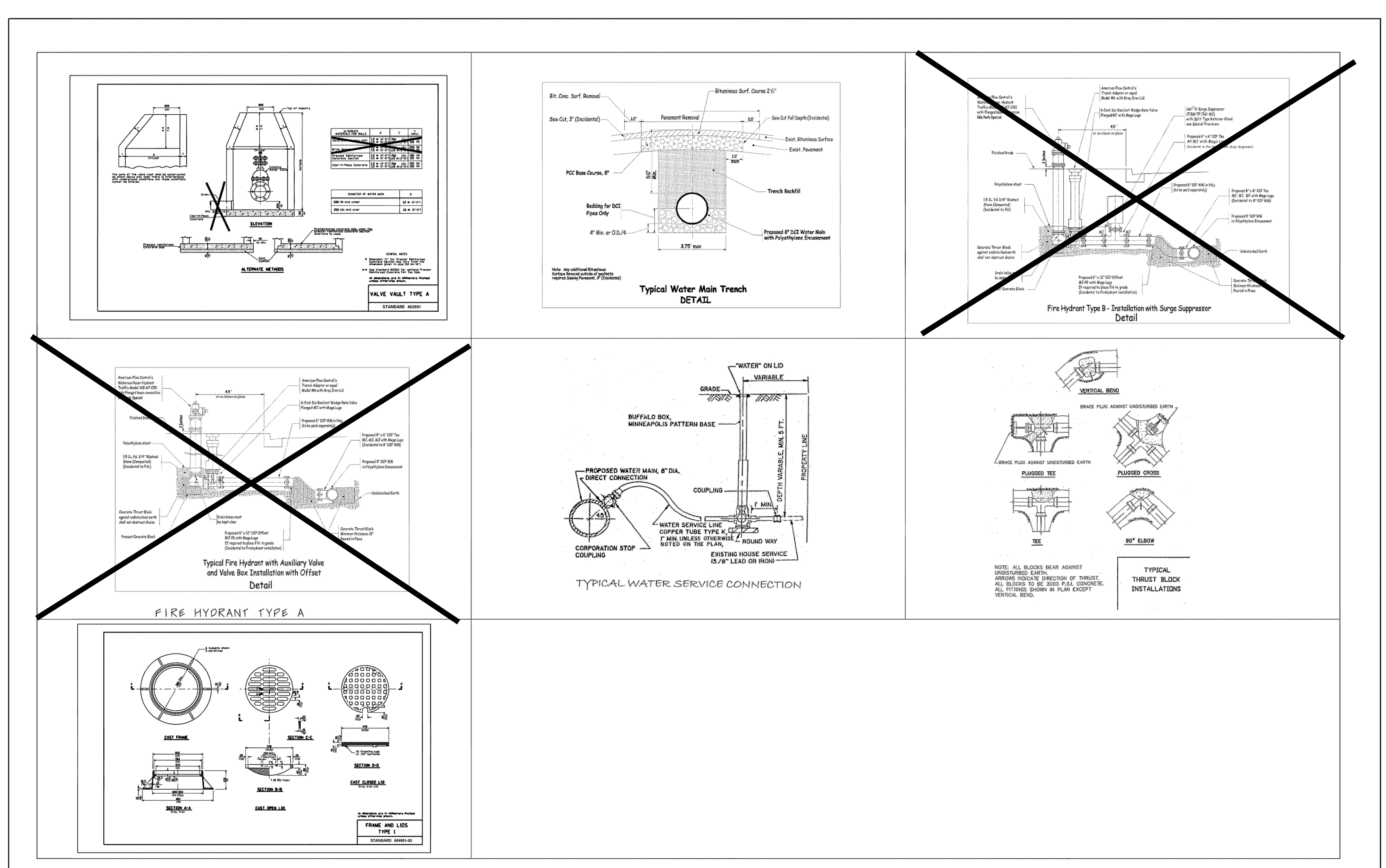
GRADING AND PAVING PLAN

DATE	REVISIONS
2021-08-23	PD APPLICATION
2021-09-07	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-019-00



SYNERGY - 7 VAN BUREN
 7 VAN BUREN AVENUE
 OAK PARK, ILLINOIS



	PROJECT No. 16-17 DESIGNED BY: JP DESIGNED CHK:	PROJECT NAME: WATER AND SEWER MAIN IMPROVEMENTS FILE NAME: 11 Water Main Details and Standards 16-17.dgn SCALE: 1/8" = 1'-0" DATE: 6/17/16	REVISIONS:	SHEET: 11 OF 25
	VILLAGE OF OAK PARK ENGINEERING DIVISION	PROJECT No. 16-17 DESIGNED BY: JP DESIGNED CHK:	PROJECT NAME: WATER AND SEWER MAIN IMPROVEMENTS FILE NAME: 11 Water Main Details and Standards 16-17.dgn SCALE: 1/8" = 1'-0" DATE: 6/17/16	REVISIONS:

SITE WORK DETAILS	
DATE	REMARKS
2021-08-23	PD APPLICATION
2021-09-07	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY:	LMR
JOB NO.:	CH21-0119-00

SHEET
C5.1

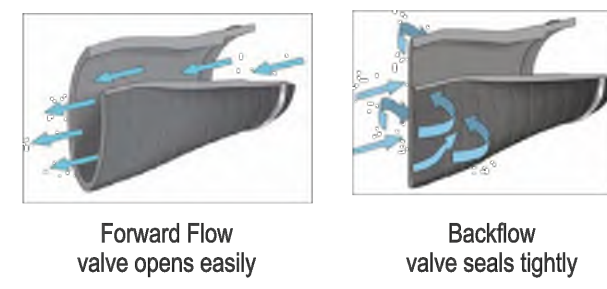
ValvesSensorsSystems

measurIT technologies

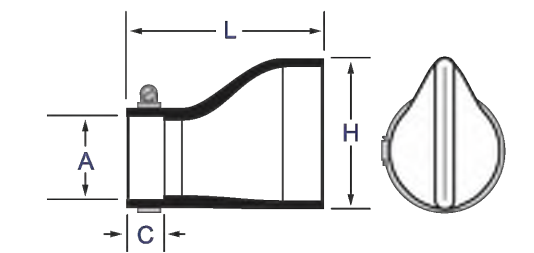


Tideflex® TF-1 Check Valve

- Lightweight, all-elastomer design
- Seals around entrapped solids
- Odour control
- Excellent drainage with low falls
- Minimum bottom clearance required
- Quiet - no slamming
- Ideal for manhole installations
- Self cleaning, low maintenance
- Working underwater or buried in sand
- Long operational life span



MATERIALS:
Body: Neoprene, Buna-N, Hypalon, EPDM, Viton,
Mounting bands / back-up rings: AISI 304.



OPERATION:
The Tideflex® TF-1 Check Valves eliminate potential backflow and are an excellent replacement for ineffective metal flap gate valves. Tideflex valves do not corrode, warp or freeze and are virtually maintenance free. They handle large obstructions without jamming, and there is no flap, gate or door to hang open or jam shut. Due to its nature, the valve collapses around any debris and seals off the backflow.

Tideflex DN450 (18") and larger are constructed with a 180° curved bill, which increases the sealing area and allows the valve to form a tighter seal area around solids. The more flexible curved tip allows even lower headloss.

The flat bottom and offset-bill design of the Tideflex valve allows it to be installed without any modifications to the structure of existing interceptors, manholes and chambers.

To eliminate standing water Tideflex valve offers low cracking pressure that is not affected by rust, corrosion or lack of lubrication.

For example, in tidal areas the duckbill lips collapse tighter and tighter as the tide height increases. The pressure forcing the lips together puts a squeeze effect on any solids build-up. The valve forms around the obstruction until enough runoff flexes the lips open and flushes the material out.

Valves permanently located underwater or buried in sand, silt or mud can still discharge flow.

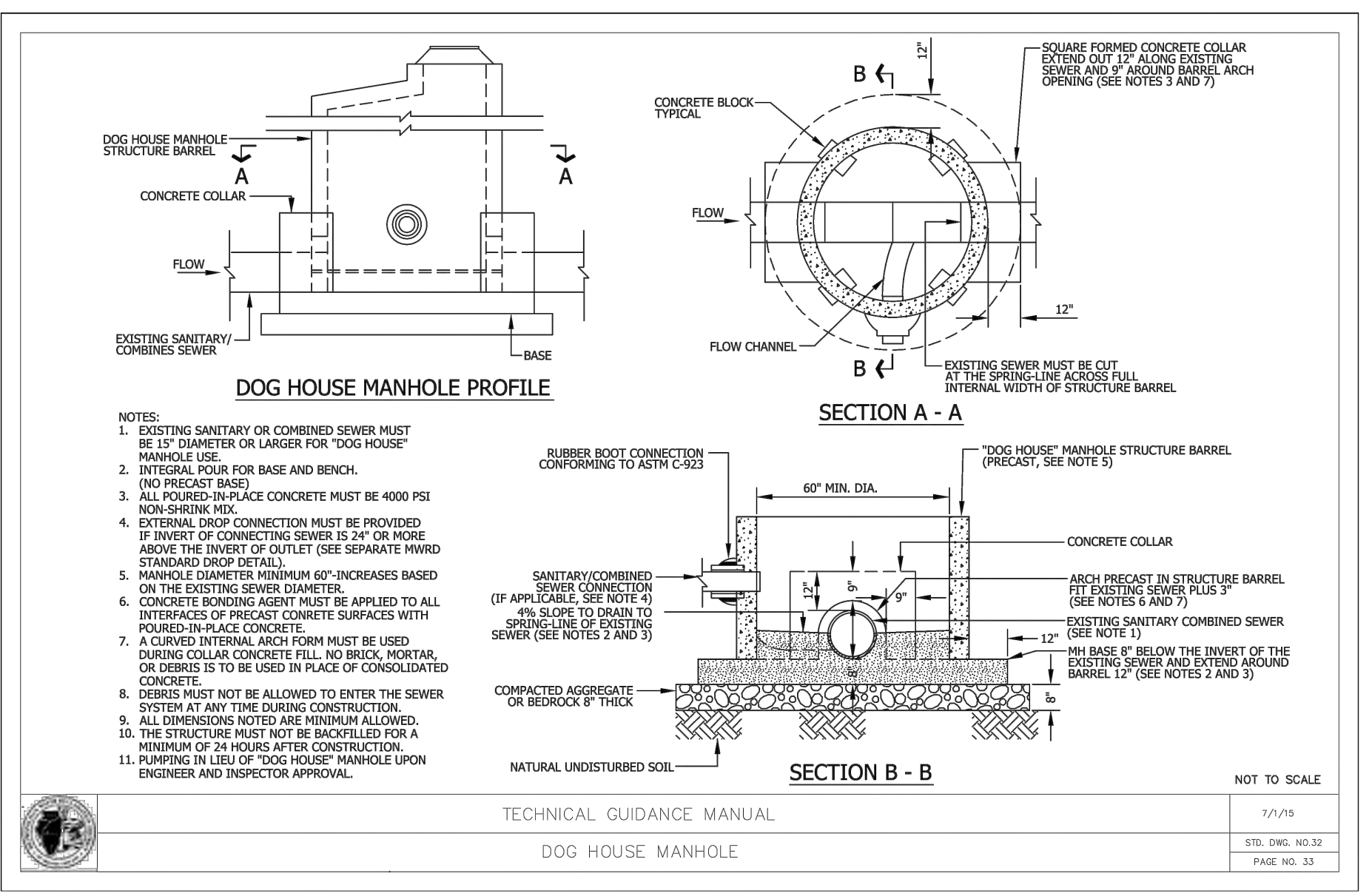
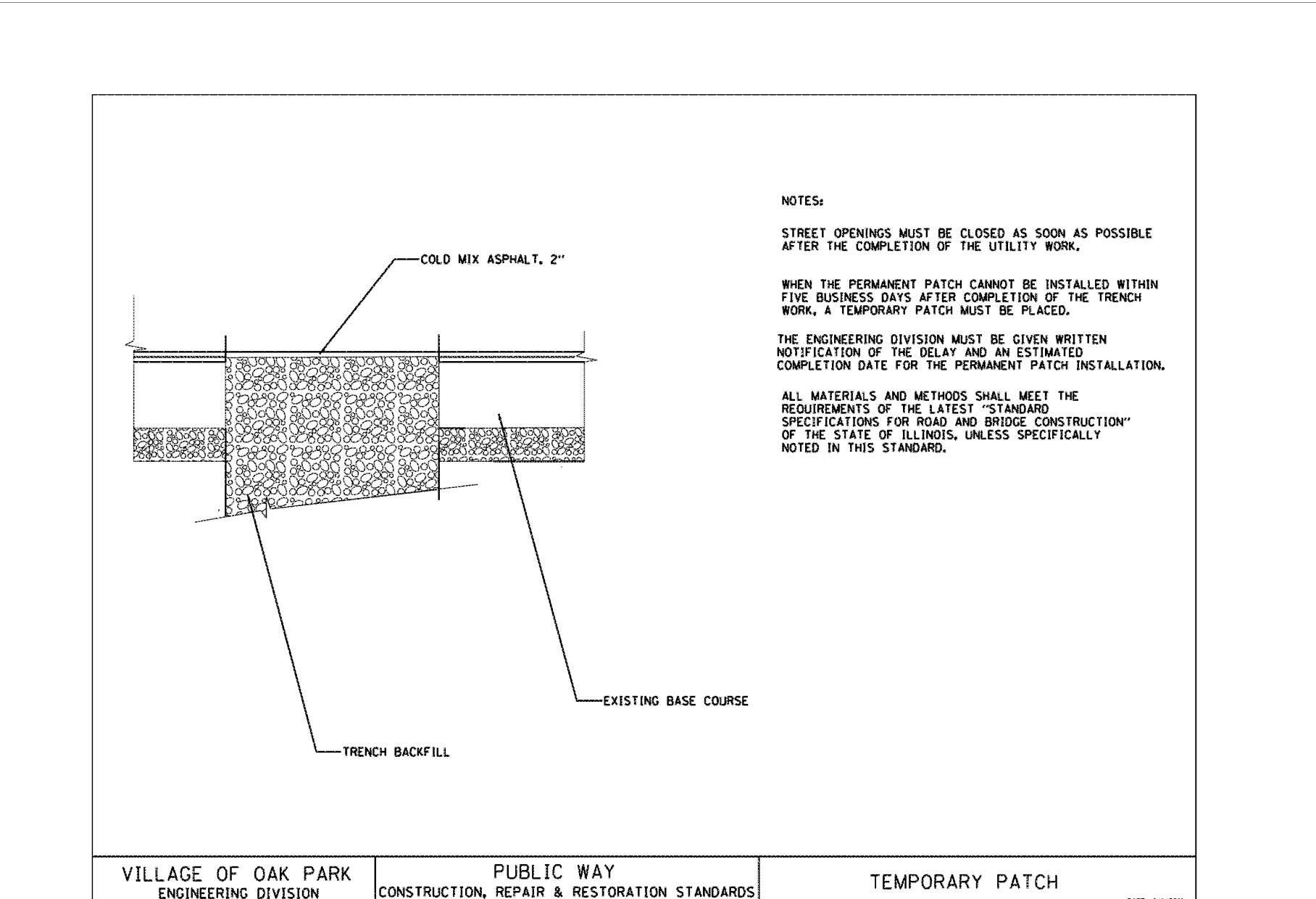
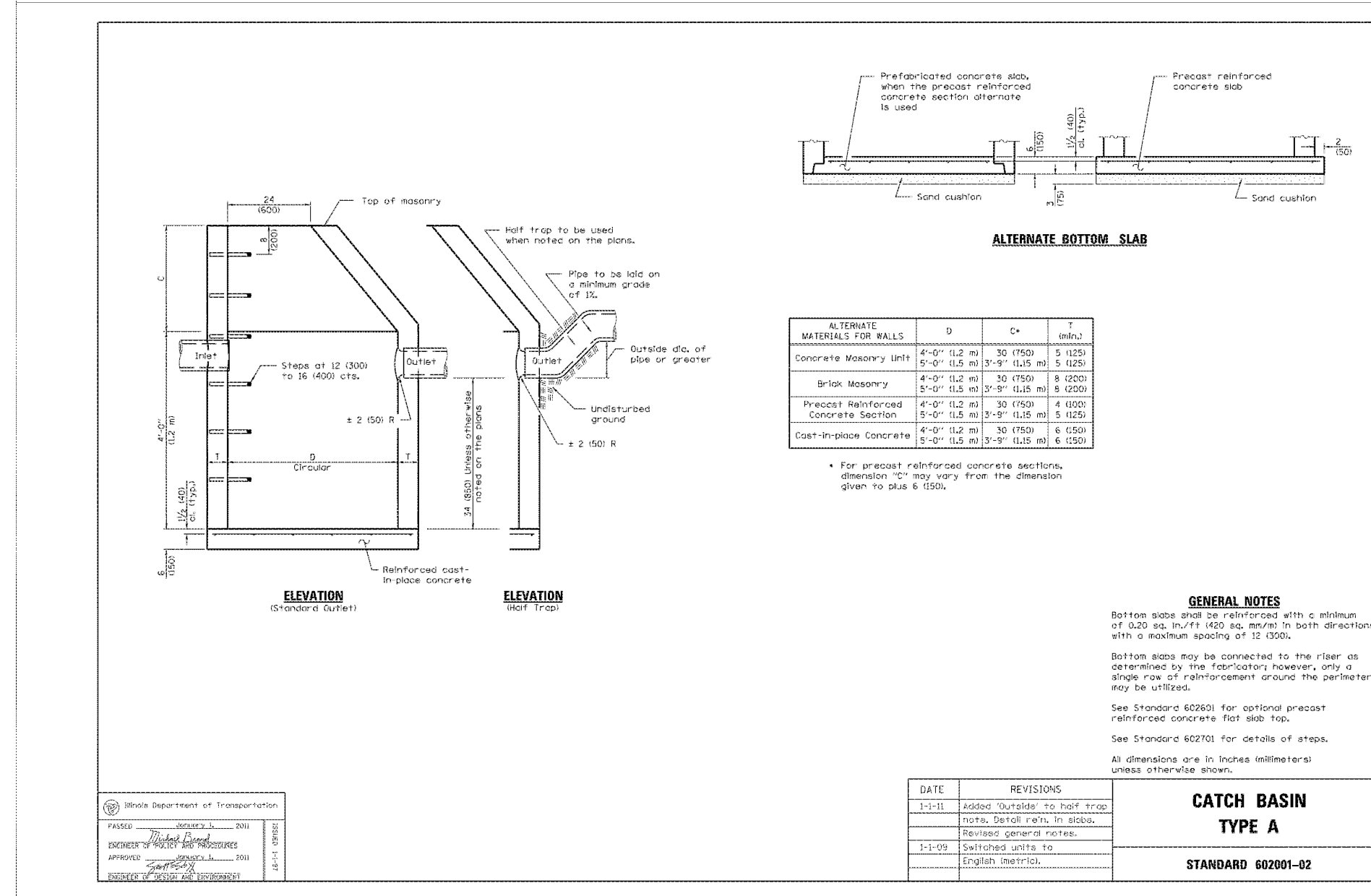
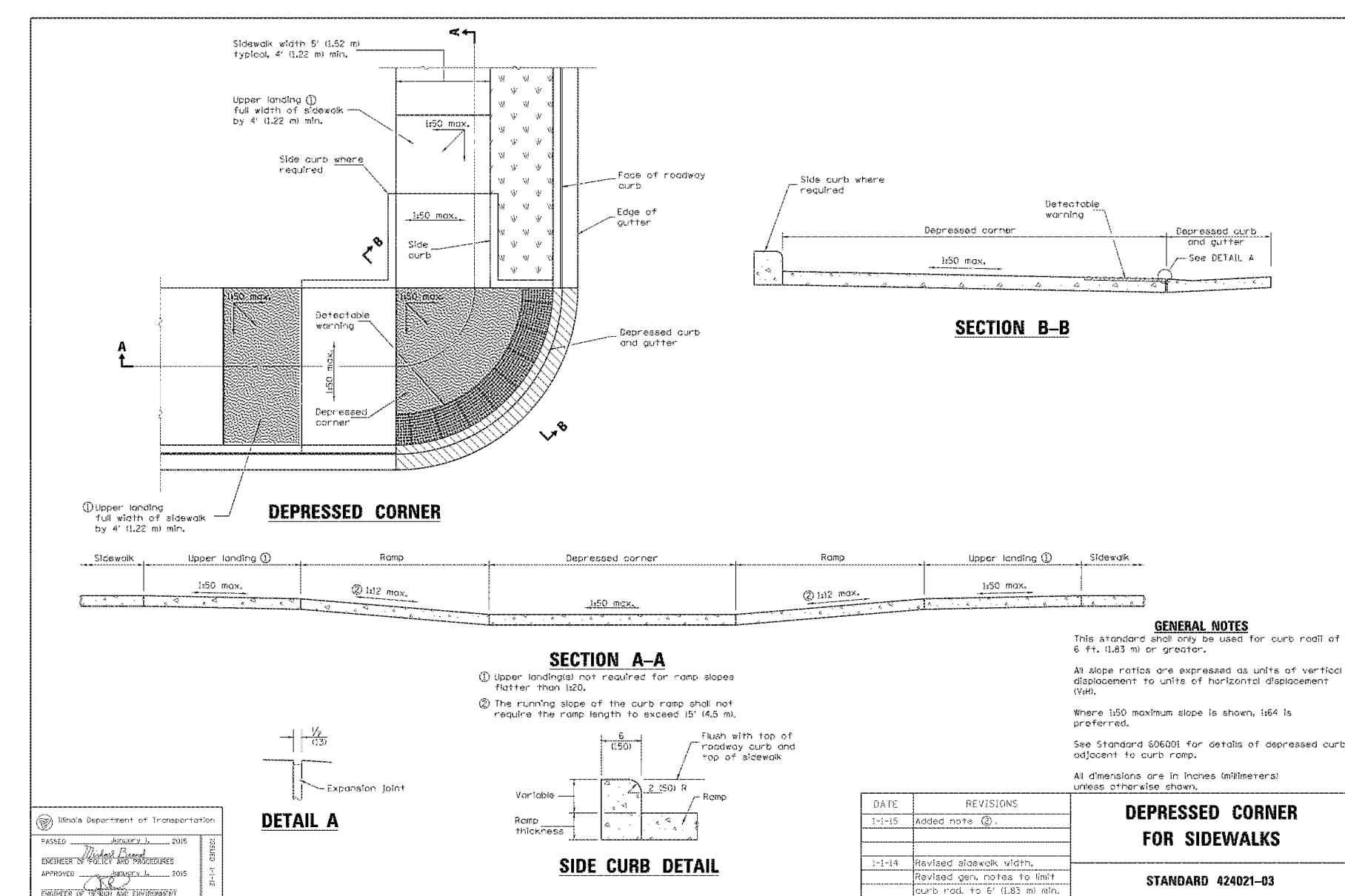
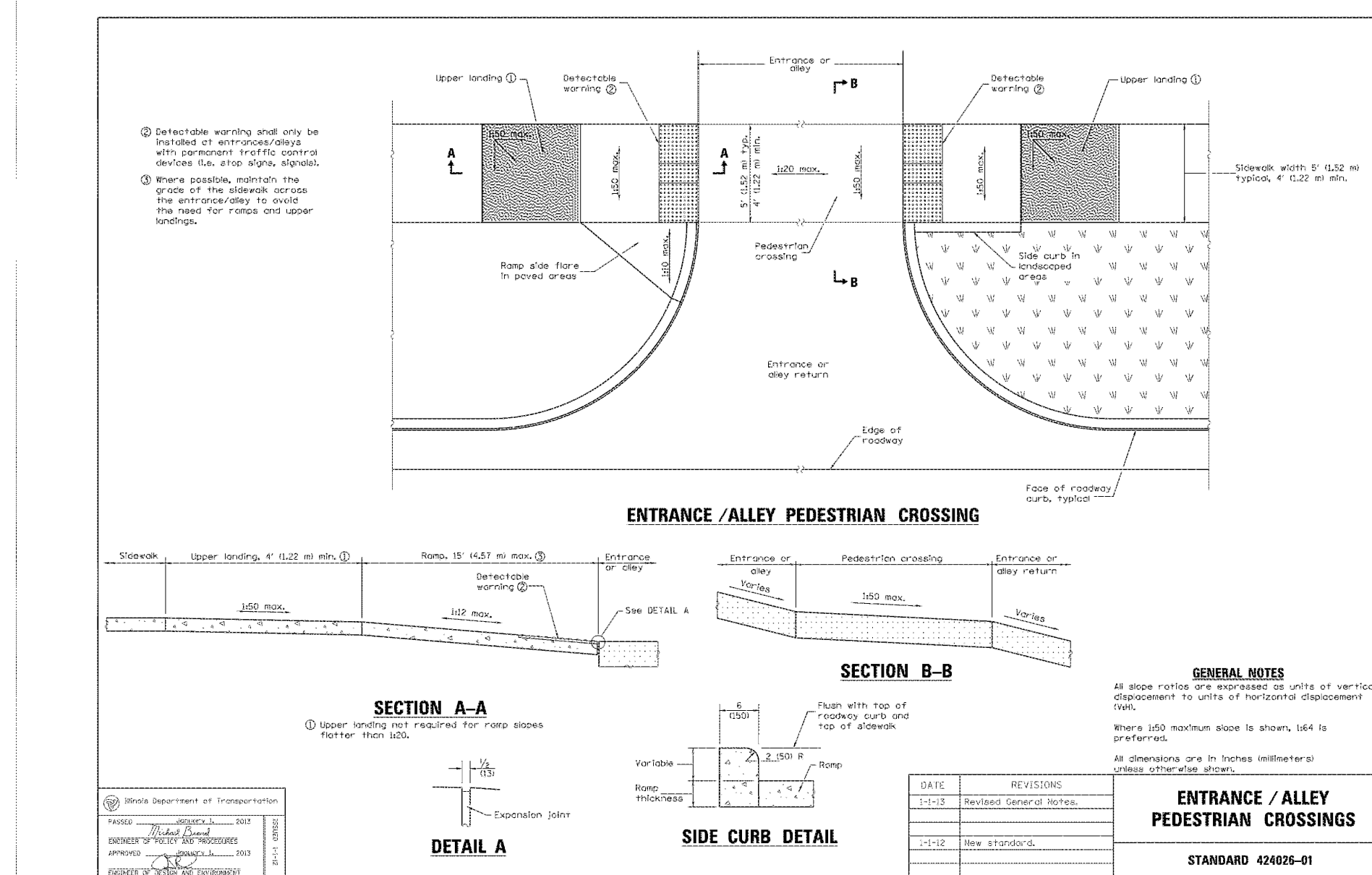
A" (mm)	L (mm)	H (mm)	C (mm)
100	355	305	50
150	355	305	50
200	440	390	50
250	545	480	75
300	660	560	100
400	815	740	130
500	1015	915	205
600	1170	1100	205
750	1405	1400	230
900	1650	1750	255
1050	1510	1800	255
1200	1800	2300	255
1500	2050	2450	330
1800	2440	2920	410

* Please note that Tideflex valve's body is made every 50mm/2in. - 100mm, 150mm, etc., and the valve's cuff is precisely made to fit the pipe.

Headloss charts request. Please email us with information about valve type and size.

measurIT Technologies Ltd.
Clair, Clonsilla, Co. Wick, Ireland

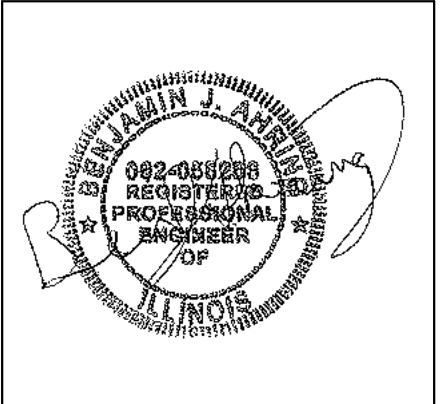
email: info@measurIT.com Phone: +353 (01) 484 7832
www.measurIT.com



WARE MALCOMB
1315 27th St. #410
Oak Brook, IL 60523
P. 630.218.0063

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRIDGING
BUILDING MEASUREMENT



ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

SYNERGY - 7 VAN BUREN
7 VAN BUREN AVENUE
OAK PARK, ILLINOIS

SITE WORK DETAILS

DATE	REVISIONS
2021-08-23	1. INITIAL PERMIT SUBMITTAL
2021-09-01	2. PERMIT SUBMITTAL

PA/PM: BJA
DRAWN BY: LMR
JOB NO.: CH21-0119-00

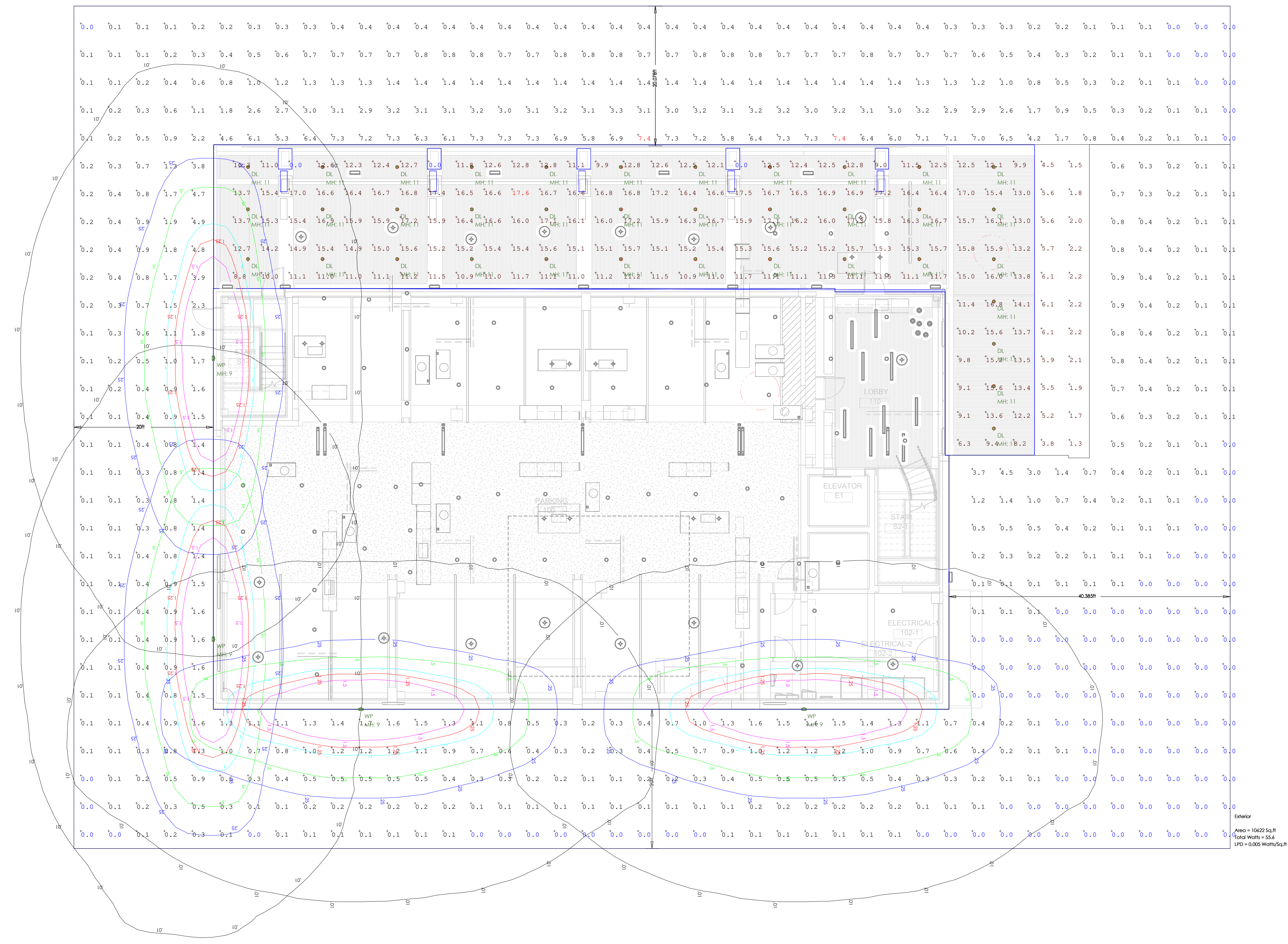
SHEET
C5.2

**7 VAN BUREN MULTI
FAMILY
7 VAN BUREN AVE
OAK PARK, ILLINOIS**

LIGHTING PHOTOMETRICS SITE PLAN
DATE: 09/07/2021
PROGRESS SET
REMARKS

PA/PM: Approver
DRAWN BY: ??
JOB NO.: 219102.00

SHEET
E.012



1 LIGHTING PHOTOMETRIC SITE PLAN
1/8" = 1'-0"
0 4 8 16 32

Area = 18622 sq ft
Total Watts = 23.6
WPM = 0.000 Watts/sqft

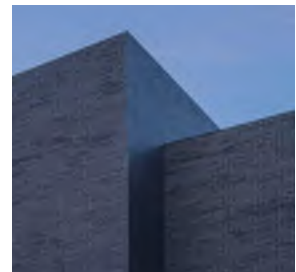
7 Van Buren Development - View from East



7 Van Buren Development - Exterior Building Materials Representation



1 | WOOD-LOOK METAL PANEL



2 | SMOOTH IRONSPOT BRICK



3 | INTERLOCKING METAL PANEL
DARK GREY



4 | PHOTOVOLTAIC ARRAY



EAST-WEST STREESCAPE ELEVATION ALONG VAN BUREN ST.



NORTH-SOUTH STREESCAPE ELEVATION ALONG S. AUSTIN BLVD.



Shadow Study

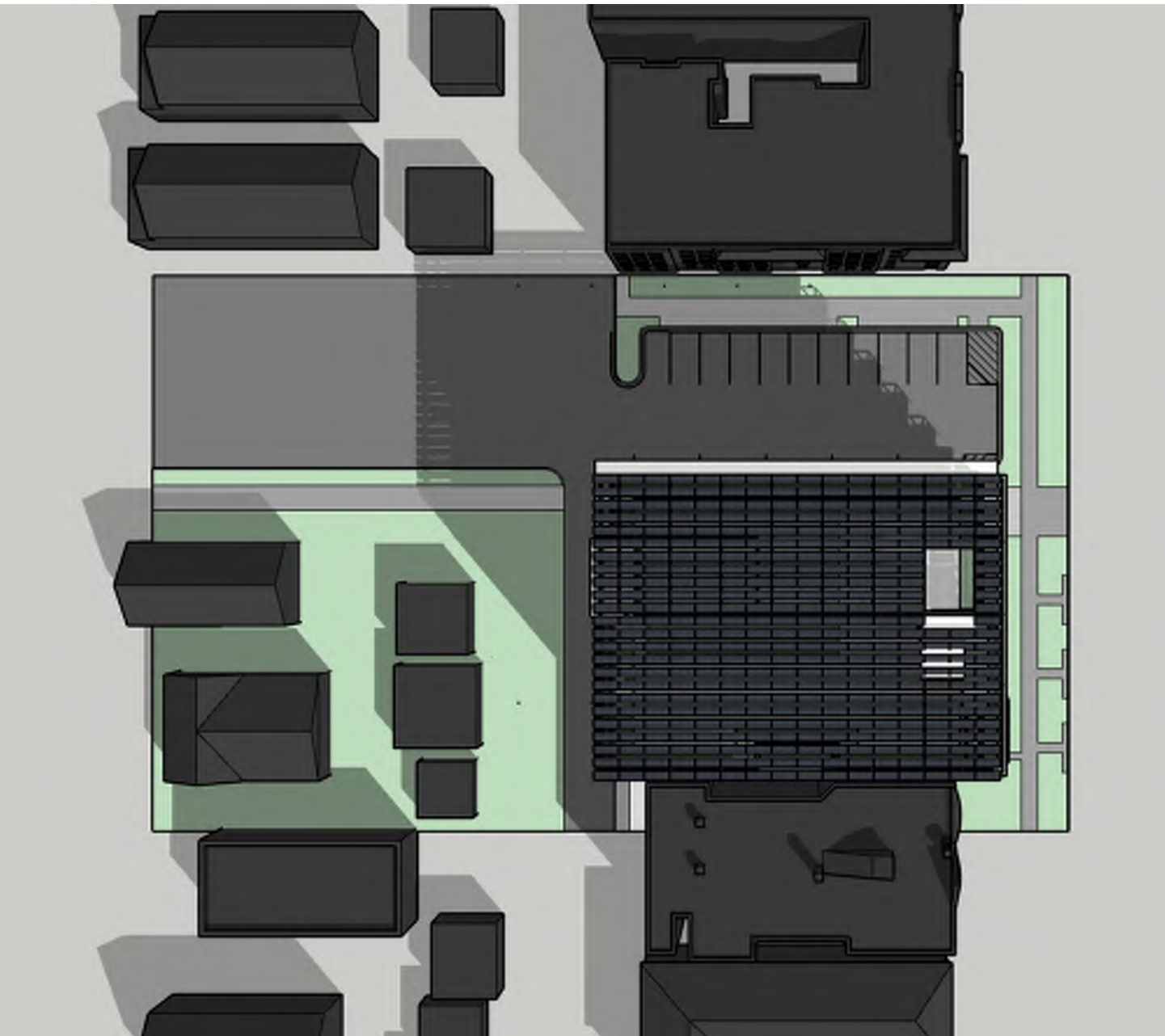
The following slides depict mid-morning (10:00 a.m.) and mid-afternoon (3:00 p.m.) shadows cast on each of the following dates:

- March 20
- June 21
- September 22
- December 21

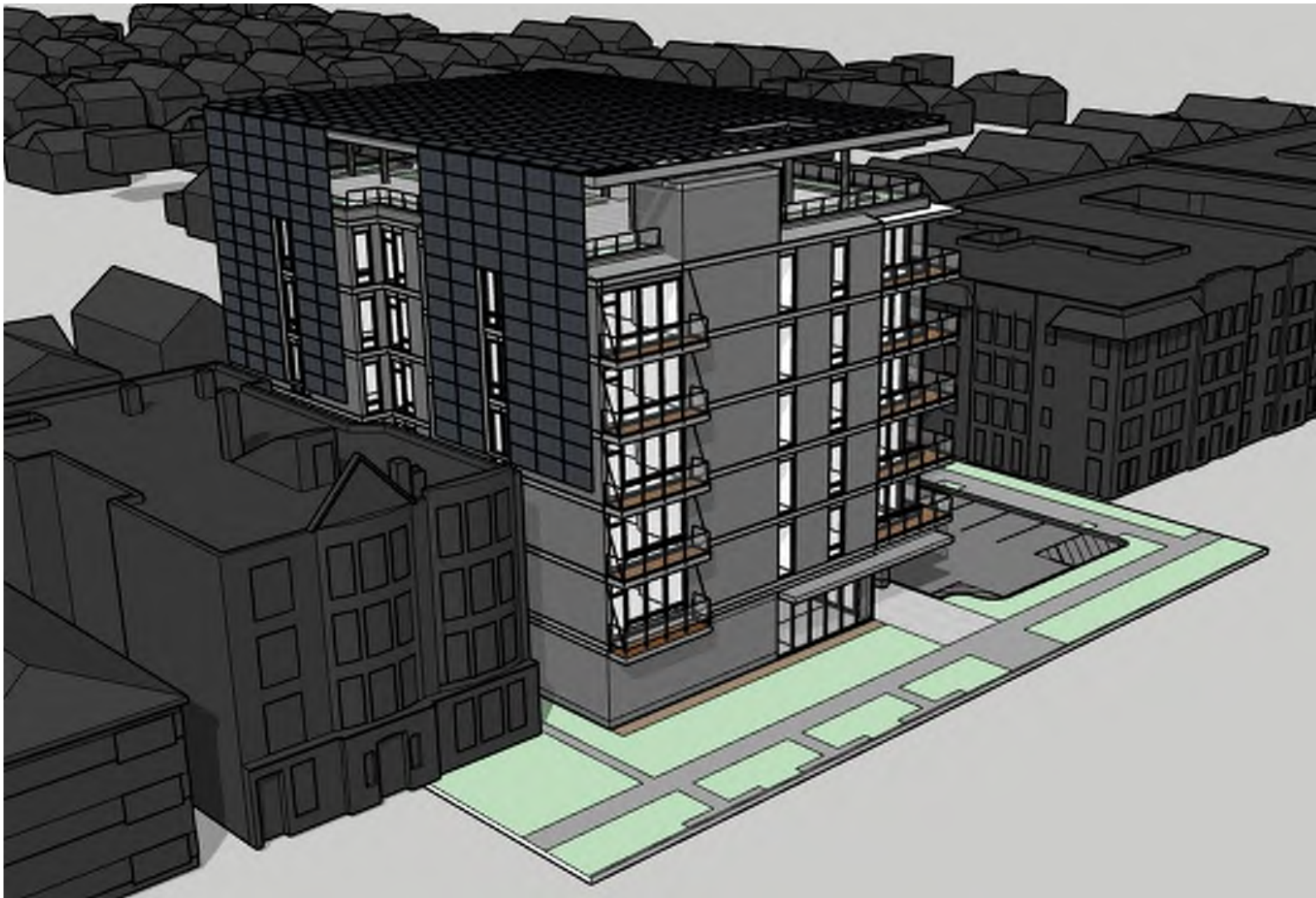
For each date and time, the following five views are presented:

- Overhead
- Facing Northwest
- Facing Southwest
- Facing Southeast
- Facing Northeast

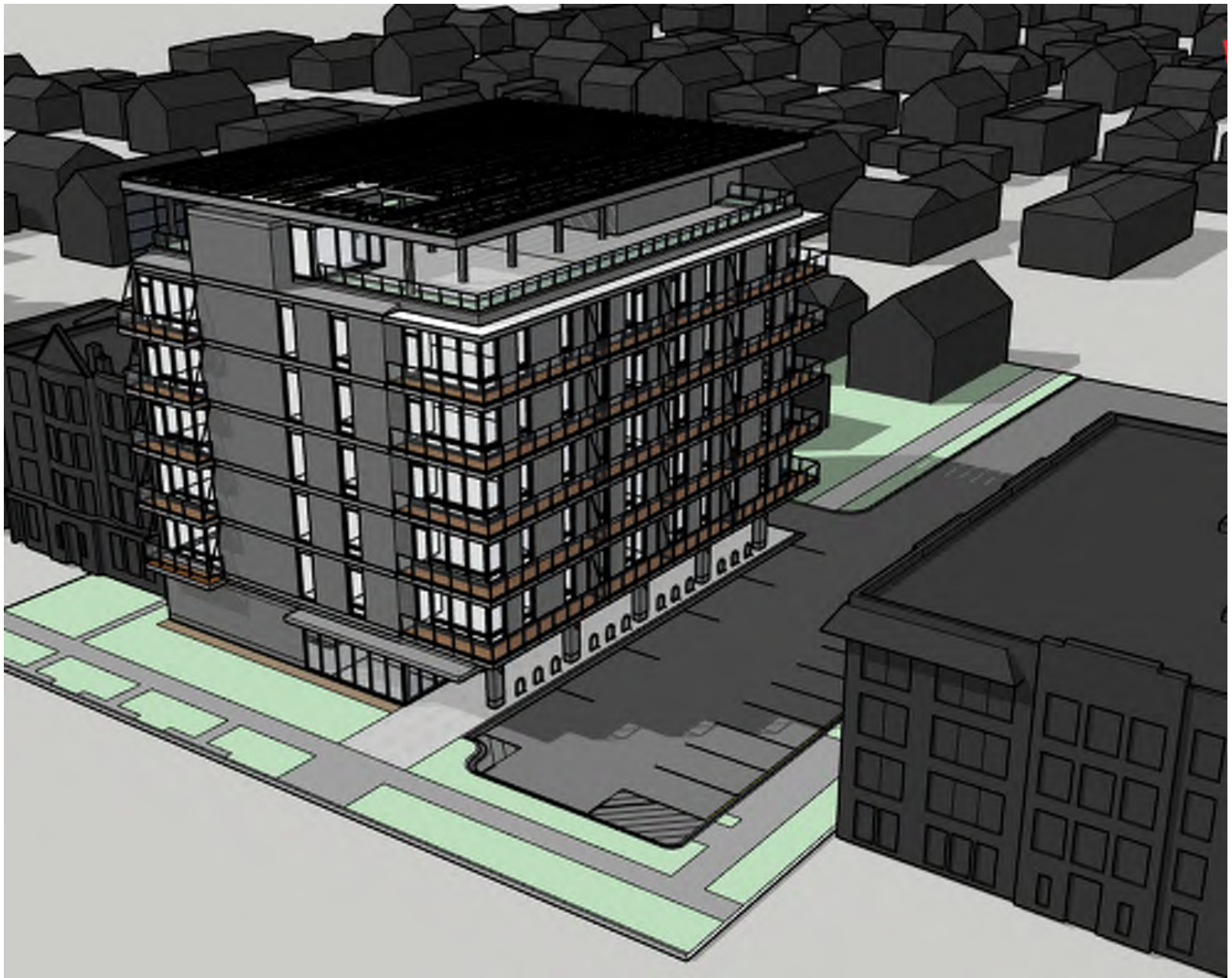
These shadow studies represent shadows that would be cast on a sunny day. You'll want to keep in mind that sunny days here in the Chicago region are not equally distributed throughout the year. On average we experience only 45 full sun days (0 % cloud cover) throughout the year. November through January are the three cloudiest months of the year. For example, during January 2020 we experienced only 27% of total potential sunshine due to cloud cover.



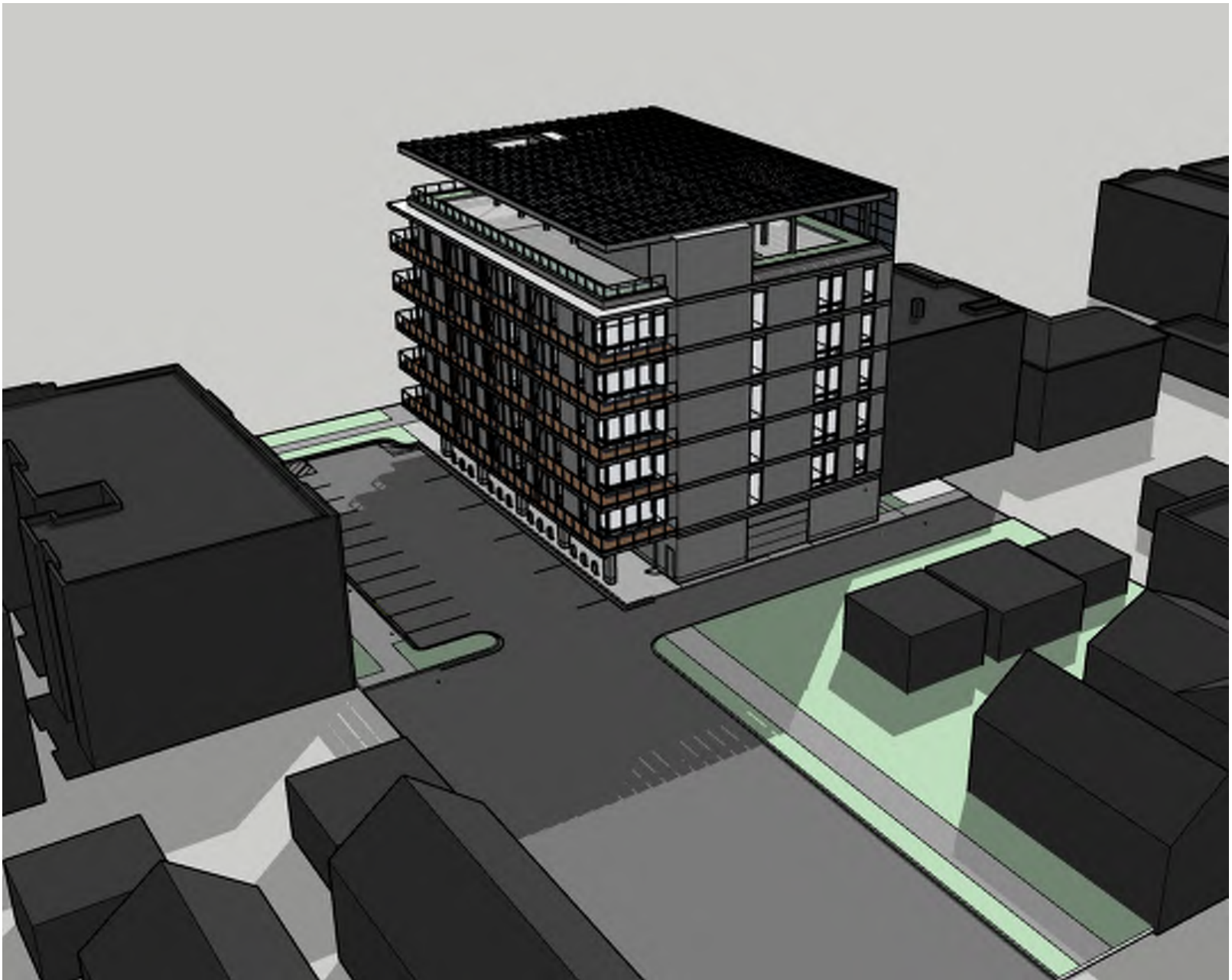
7 Van Buren - March 20 at Mid Morning
Overhead View



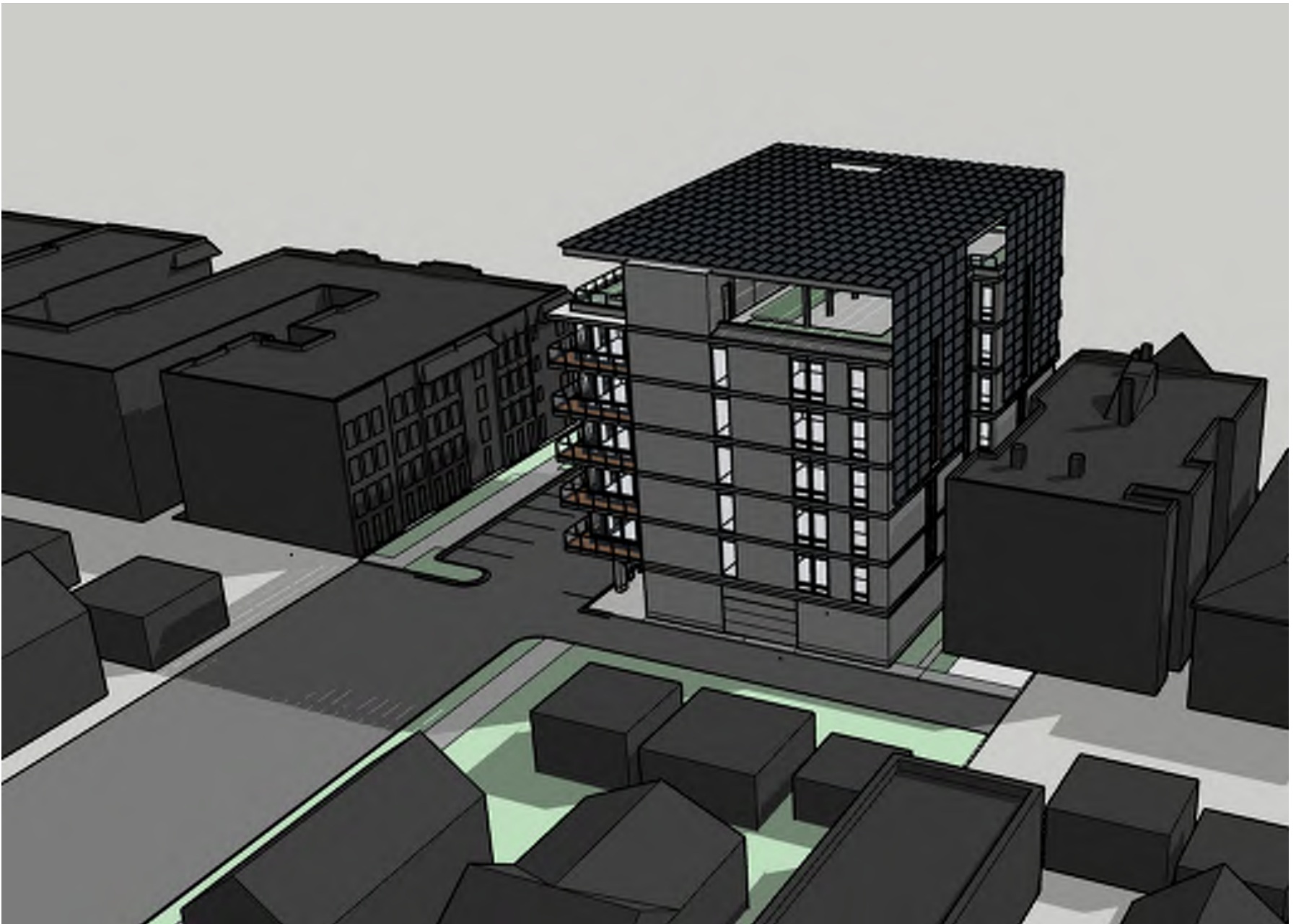
7 Van Buren - March 20 at Mid Morning
Facing Northwest



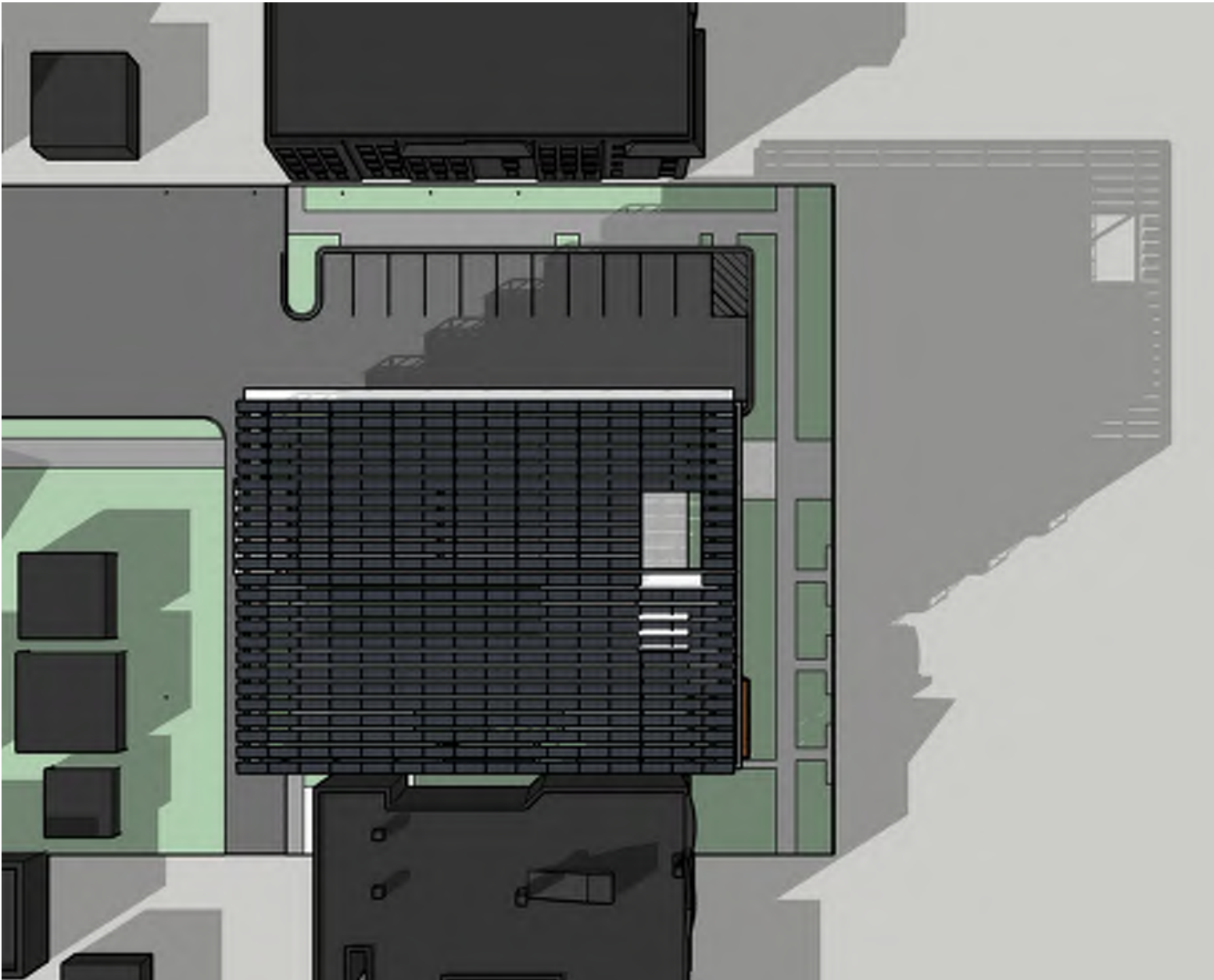
7 Van Buren - March 20 at Mid Morning
Facing Southwest



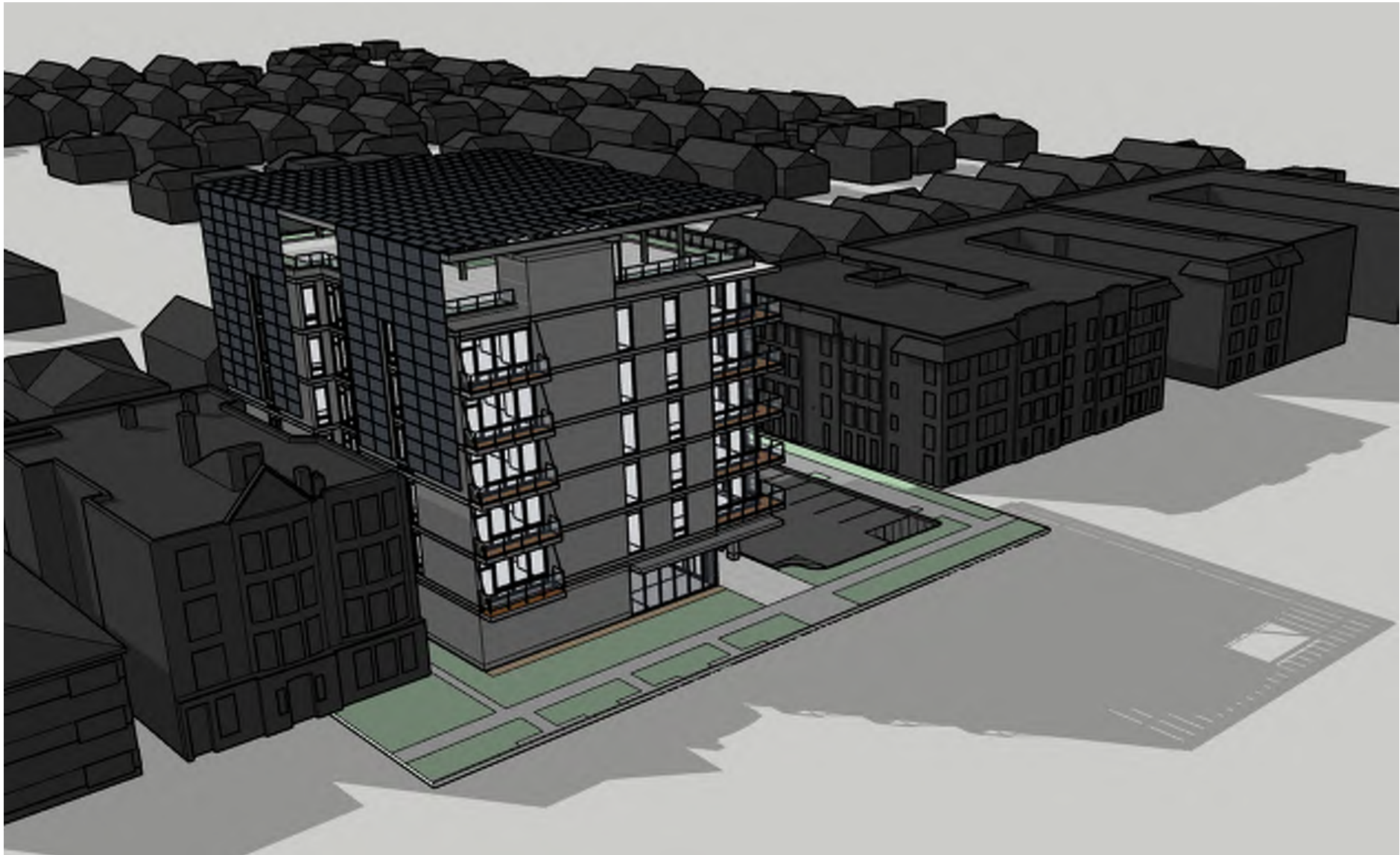
7 Van Buren - March 20 at Mid Morning
Facing Southeast



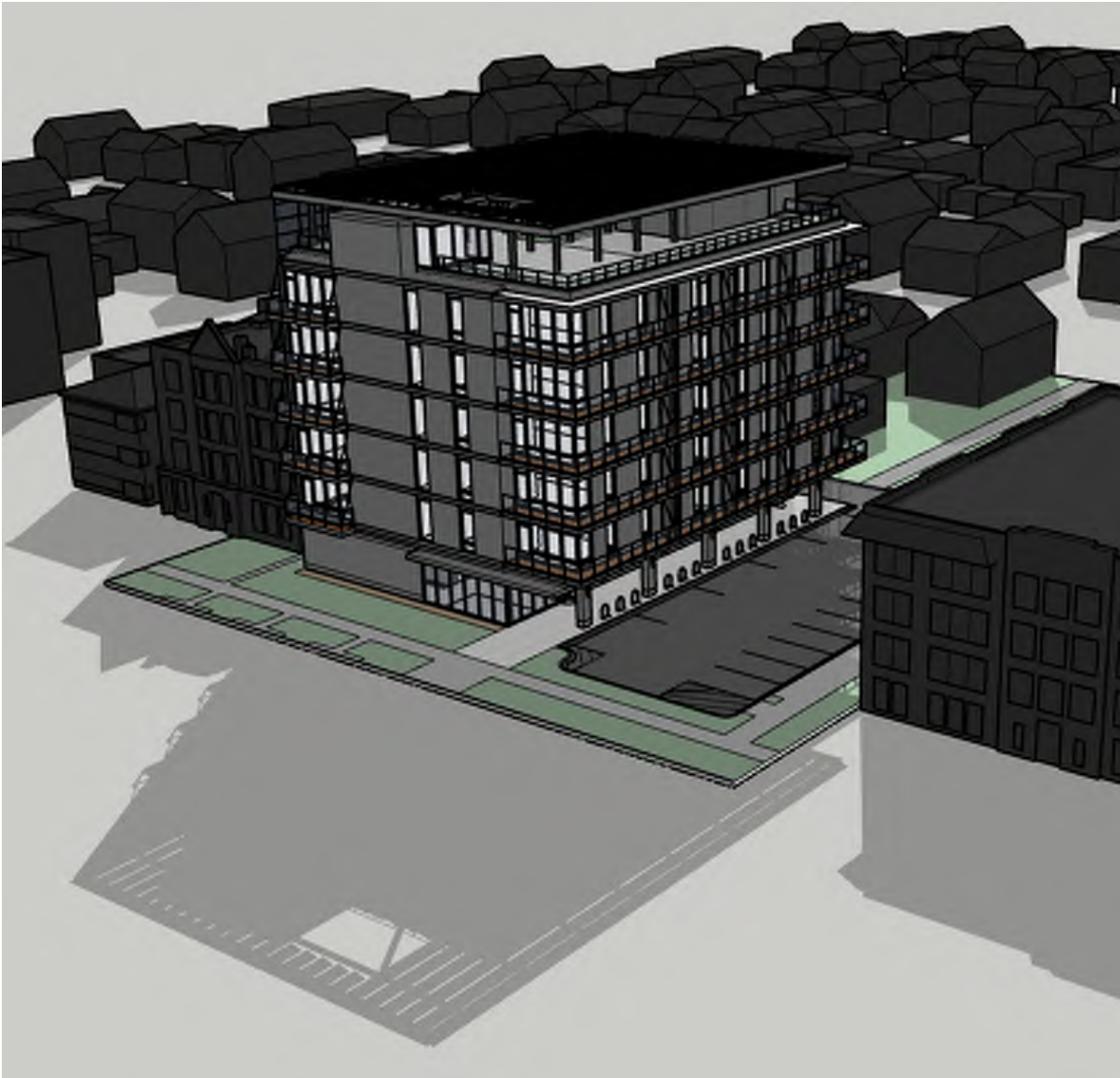
7 Van Buren - March 20 at Mid Morning
Facing Northeast



7 Van Buren - March 20 at Mid Afternoon
Overhead View



7 Van Buren - March 20 at Mid Afternoon
Facing Northwest



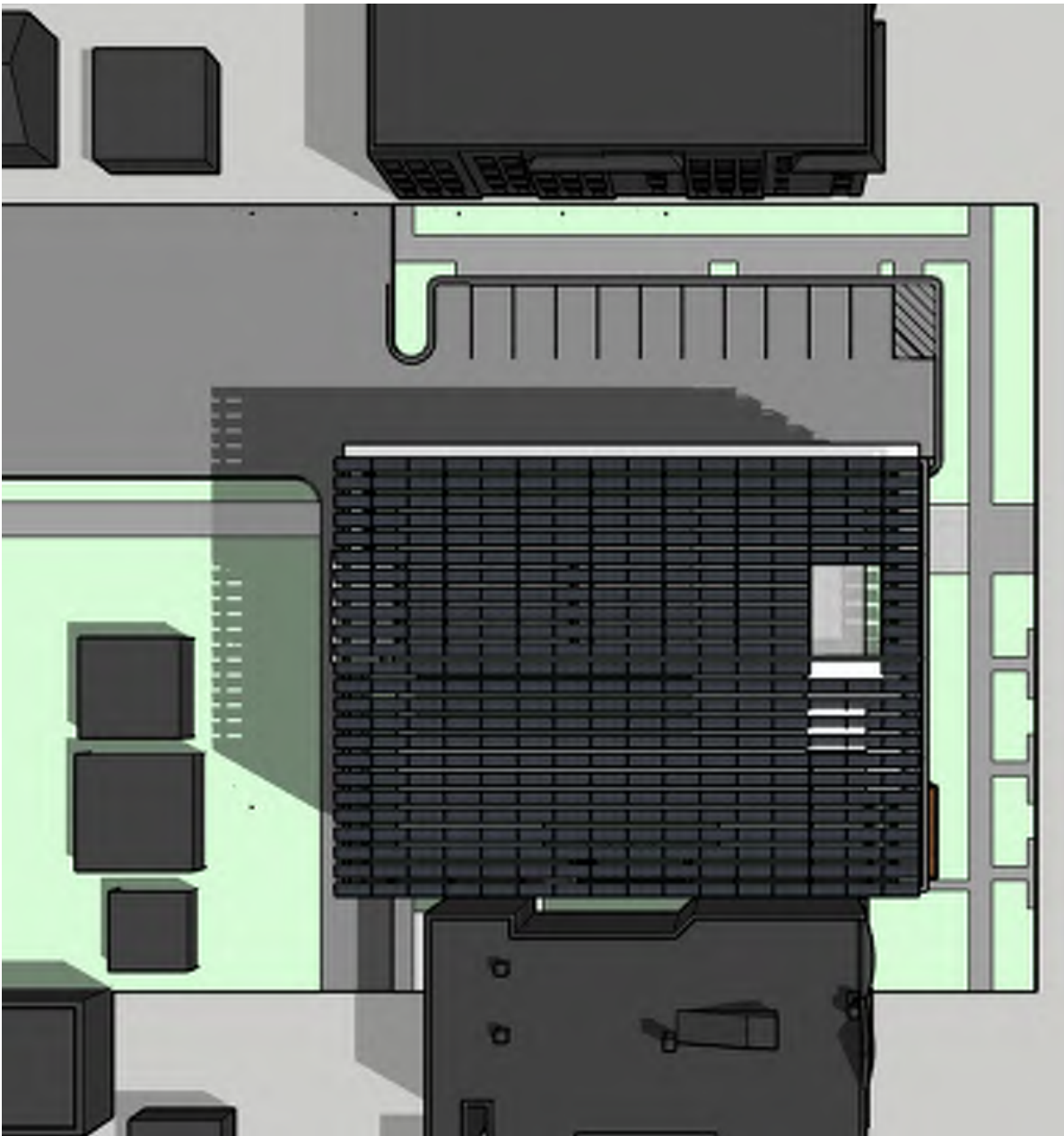
7 Van Buren - March 20 at Mid Afternoon
Facing Southwest



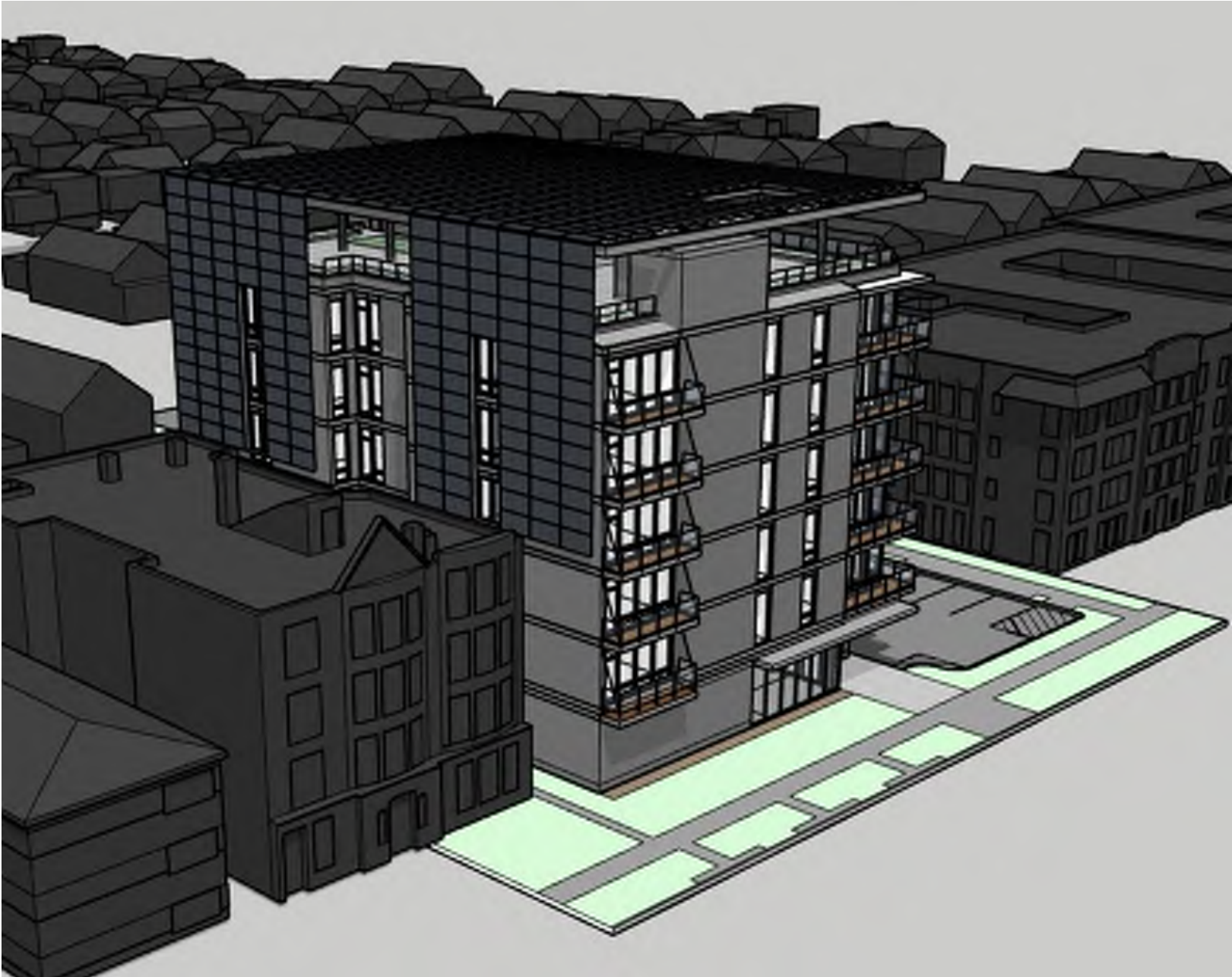
7 Van Buren - March 20 at Mid Afternoon
Facing Southeast



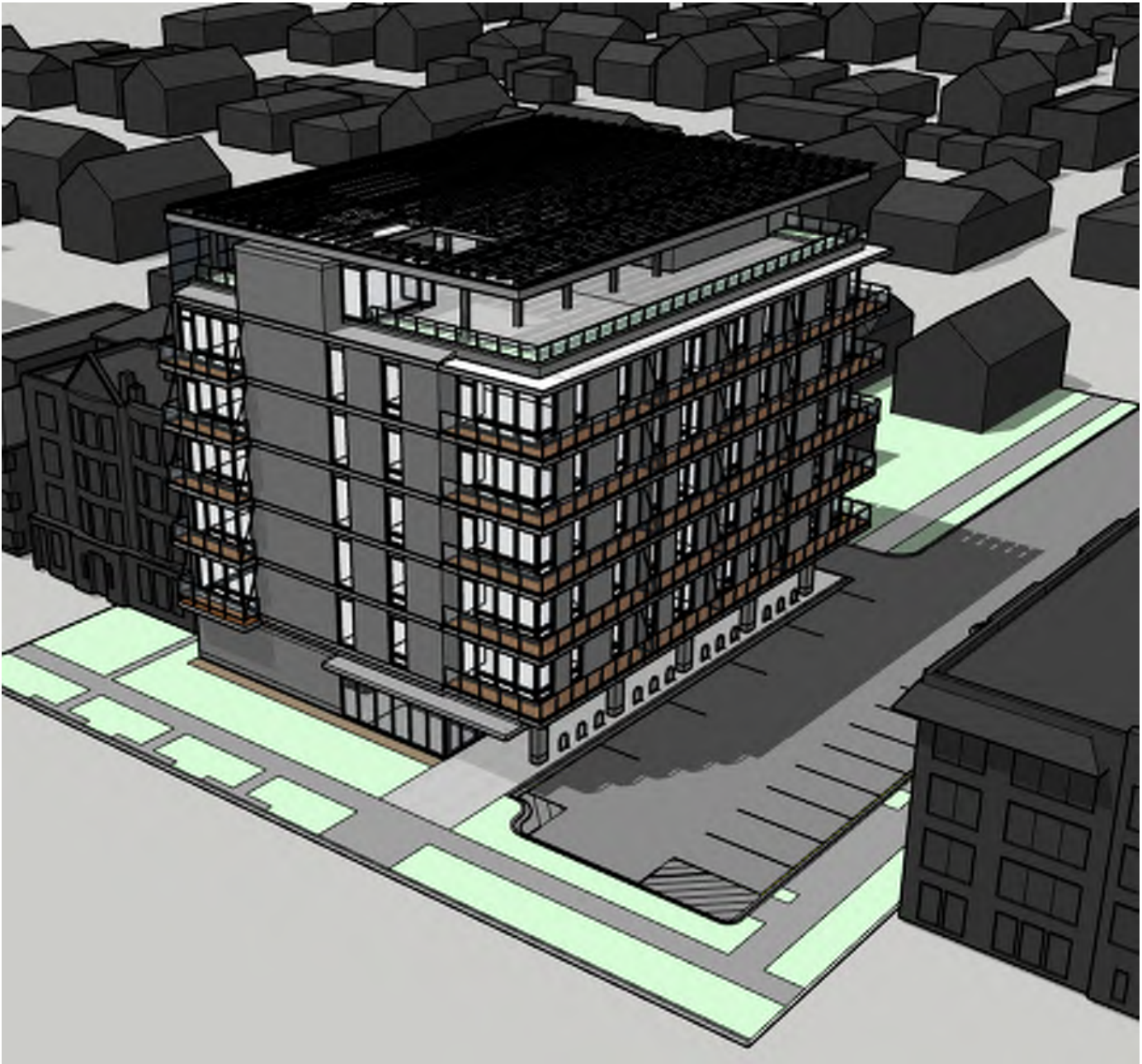
7 Van Buren - March 20 at Mid Afternoon
Facing Northeast



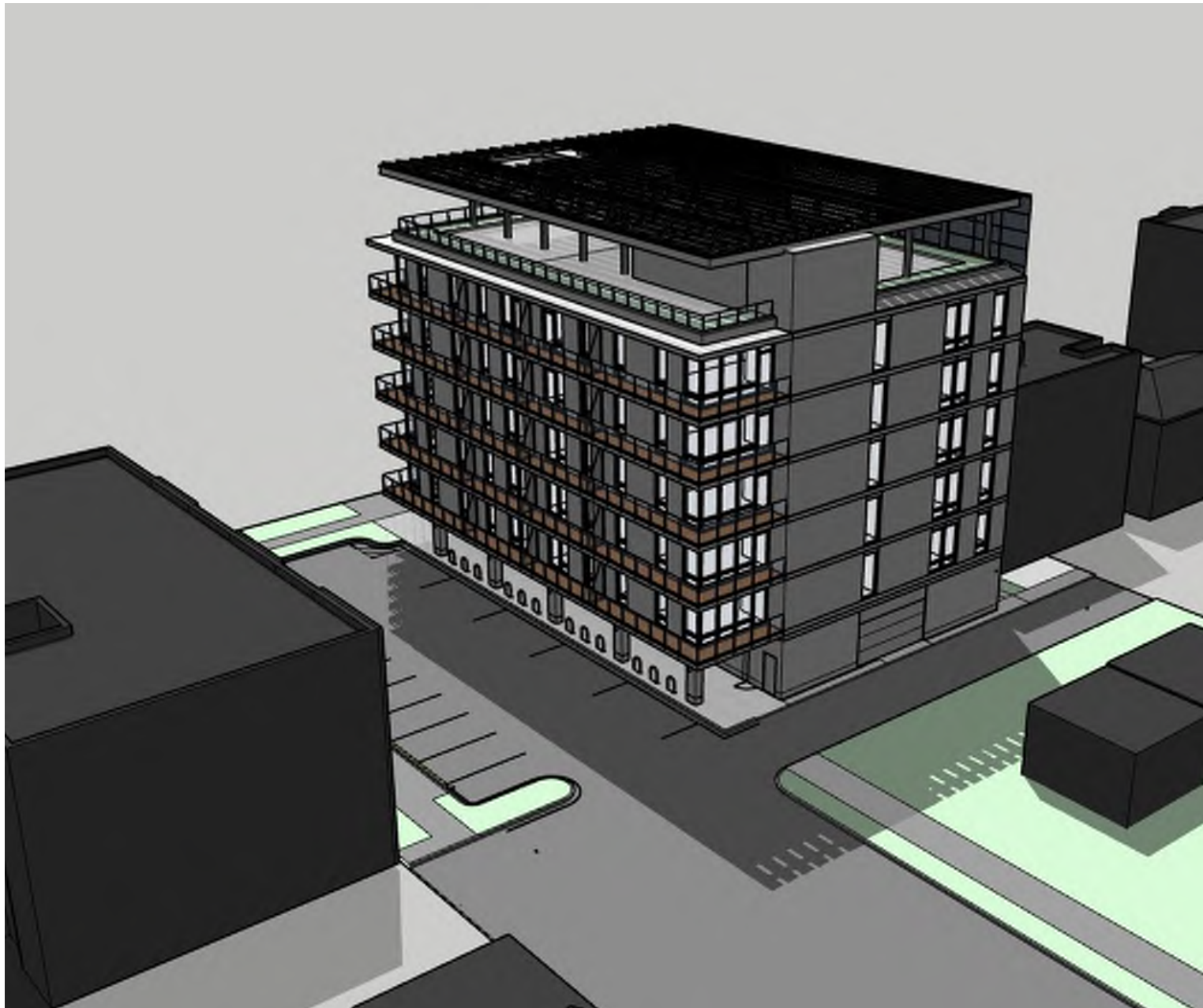
7 Van Buren – June 21 at Mid Morning
Overhead View



7 Van Buren – June 21 at Mid Morning
Facing Northwest



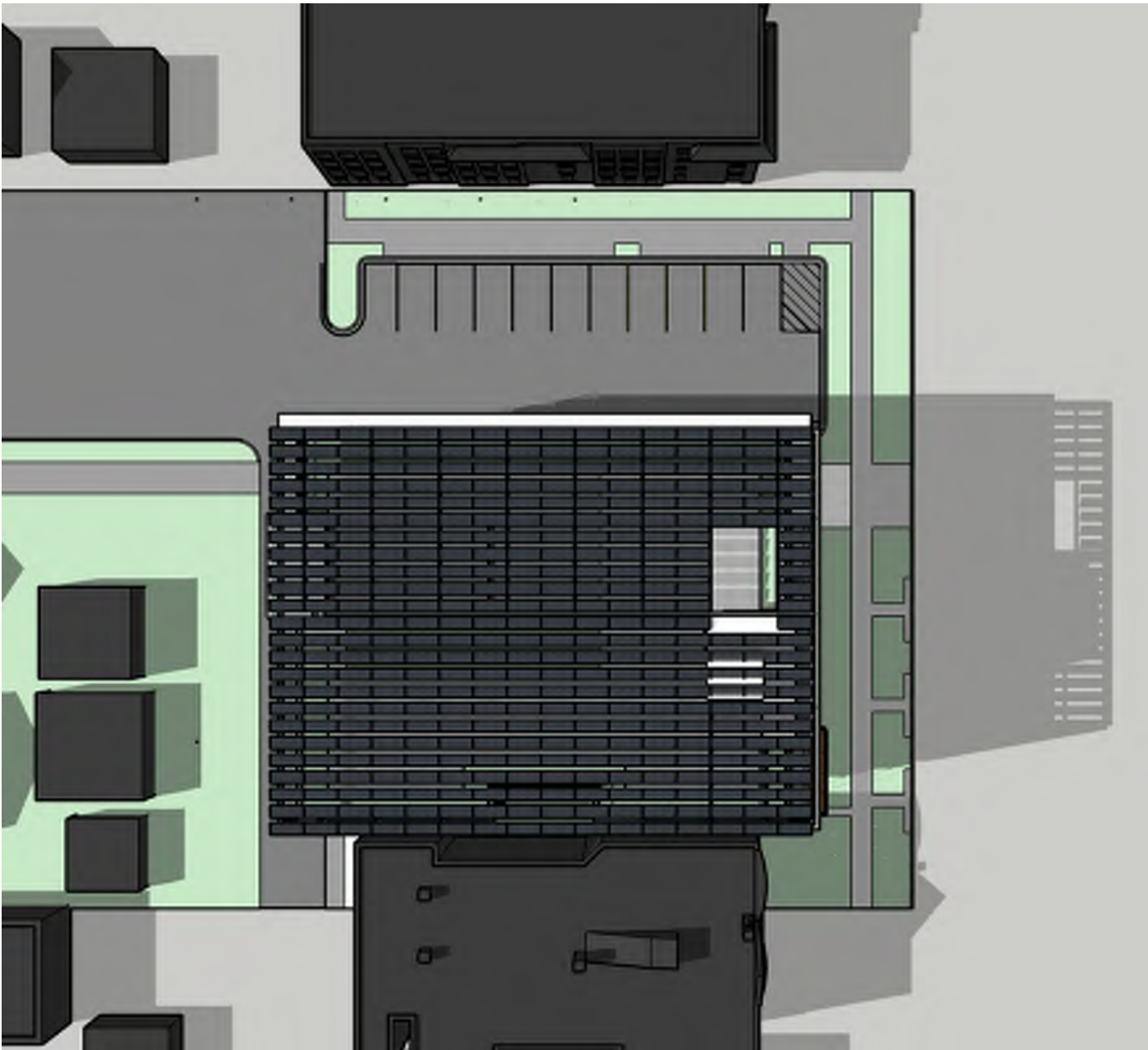
7 Van Buren – June 21 at Mid Morning
Facing Southwest



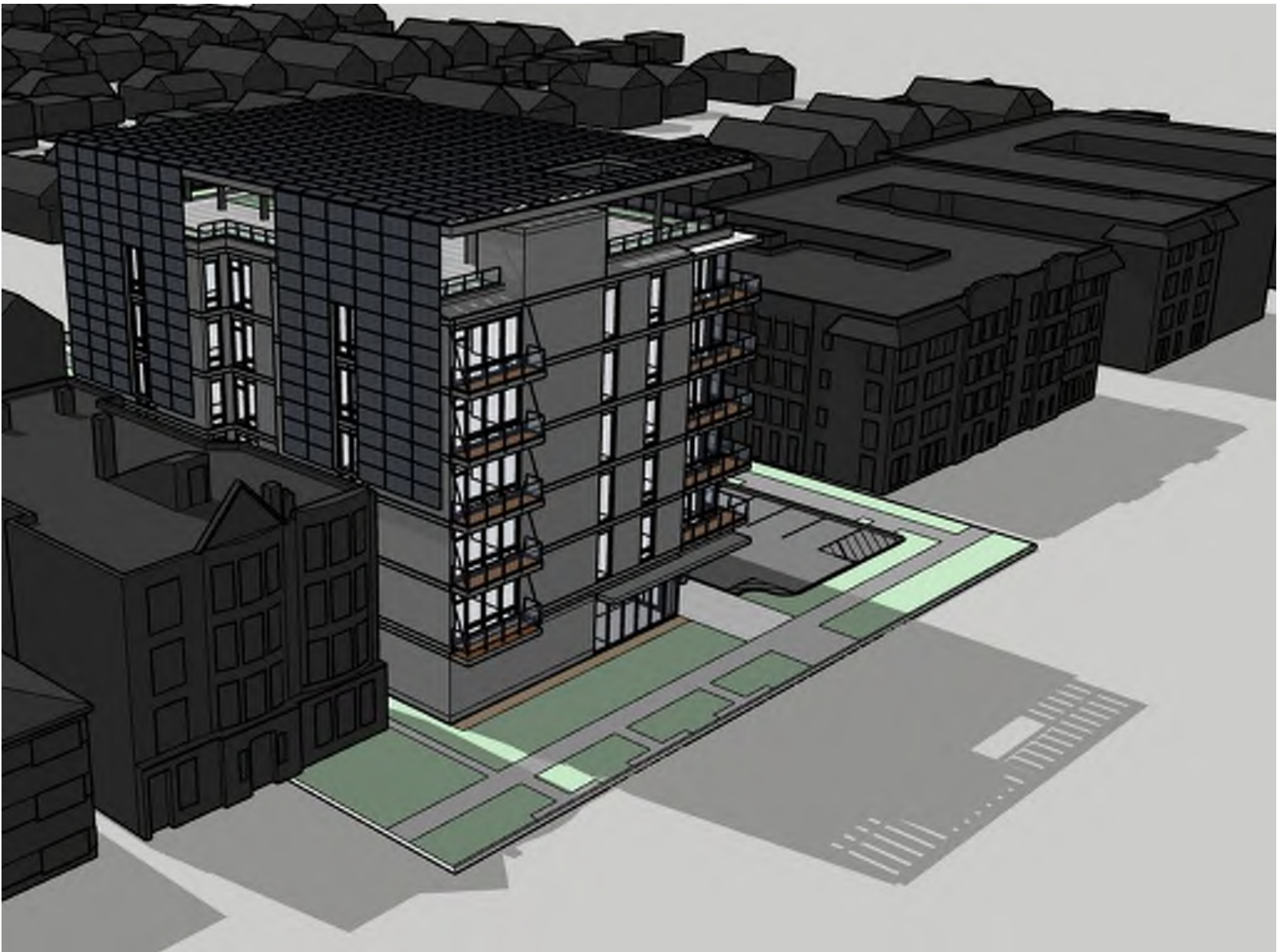
7 Van Buren – June 21 at Mid Morning
Facing Southeast



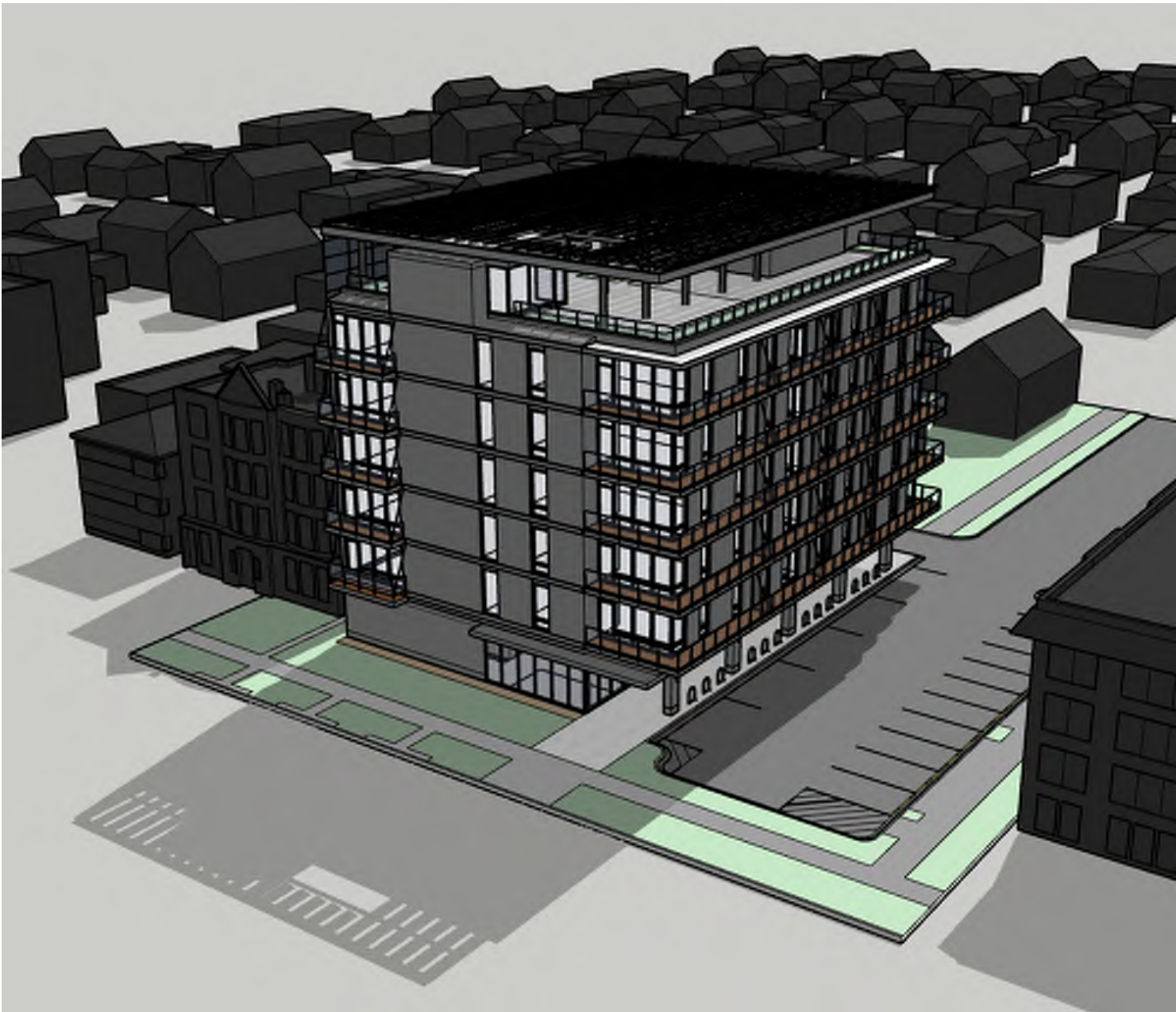
7 Van Buren – June 21 at Mid Morning
Facing Northeast



7 Van Buren – June 21 at Mid Afternoon
Overhead View



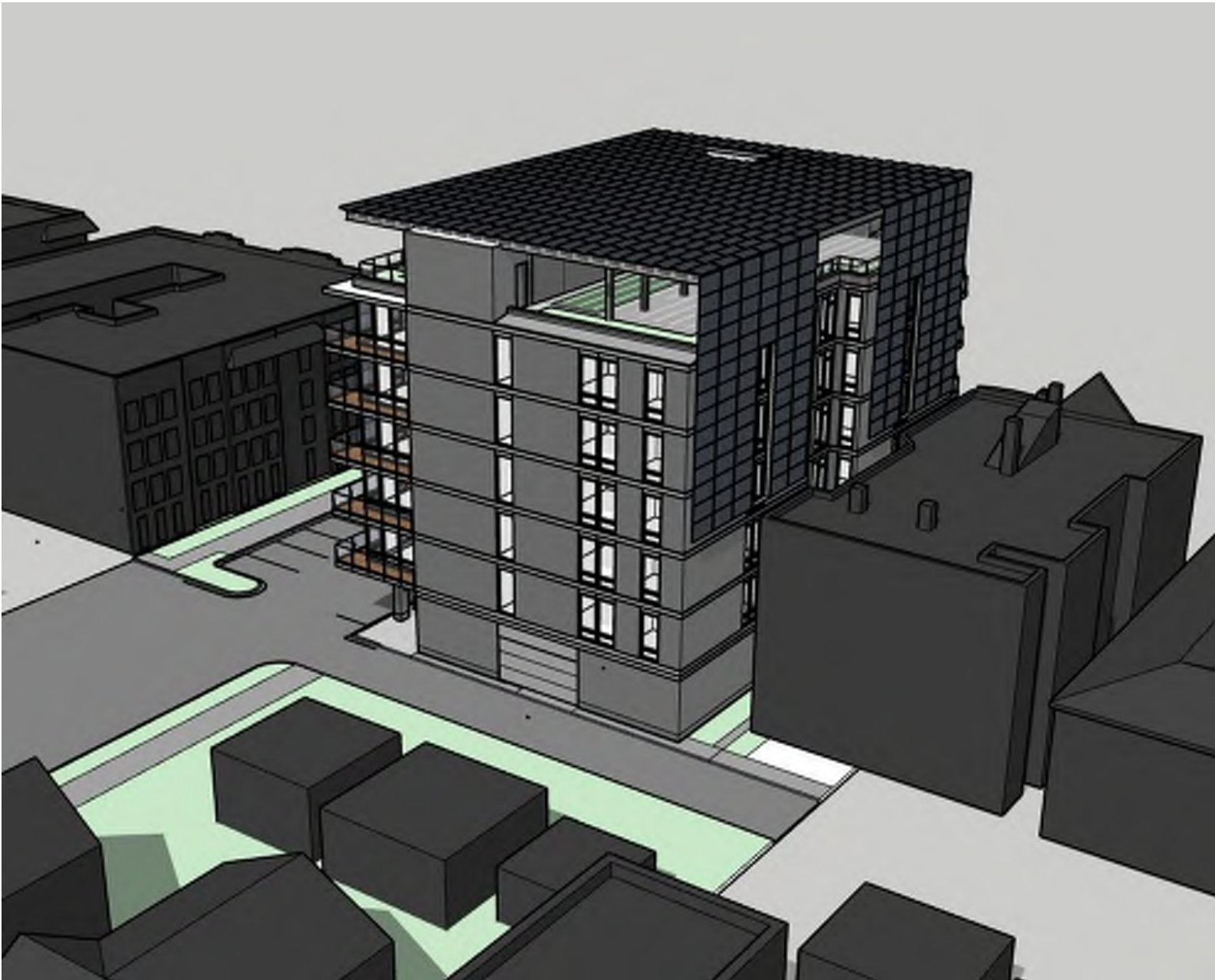
7 Van Buren - June 21 at Mid Afternoon
Facing Northwest



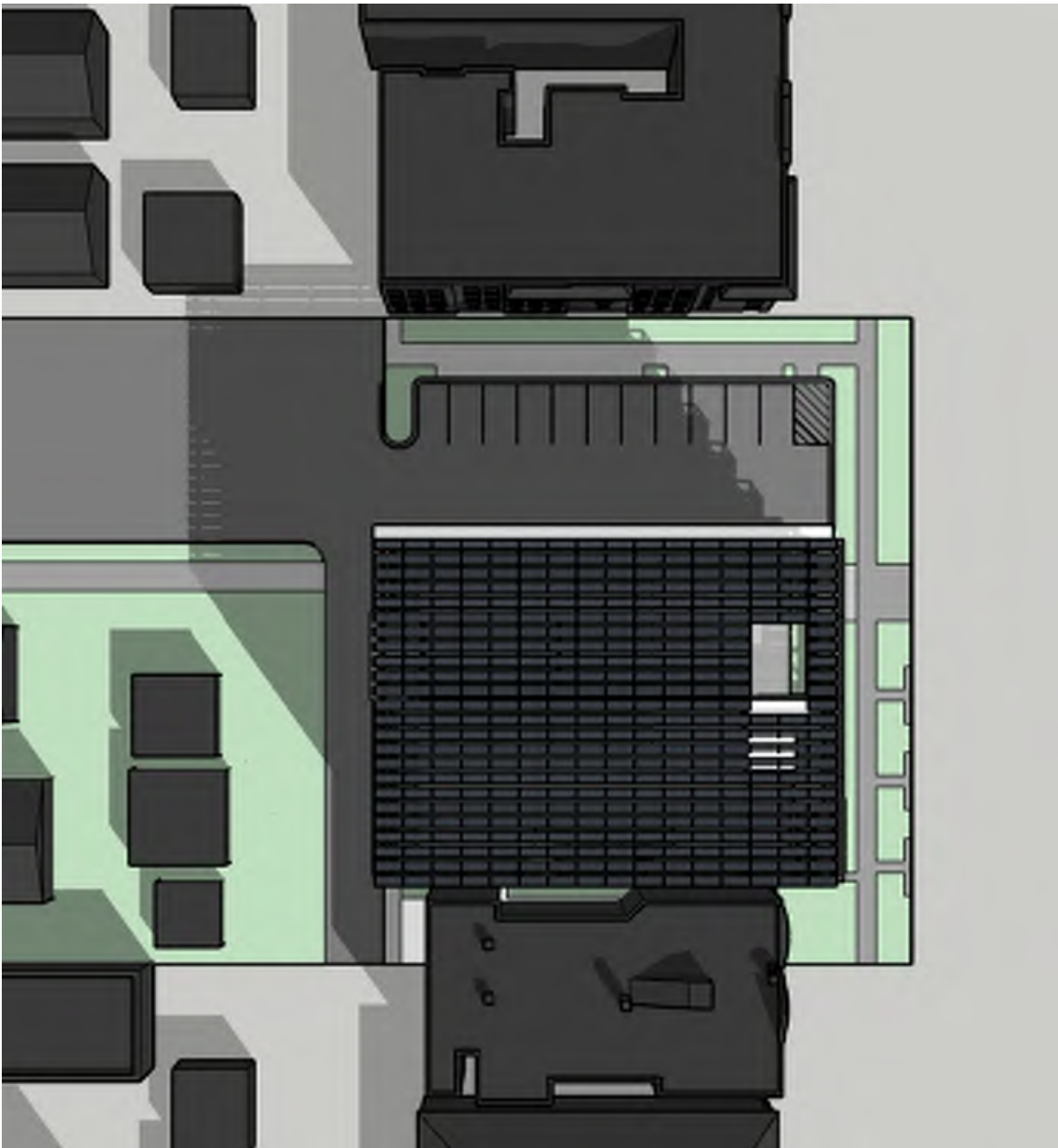
7 Van Buren - June 21 at Mid Afternoon
Facing Southwest



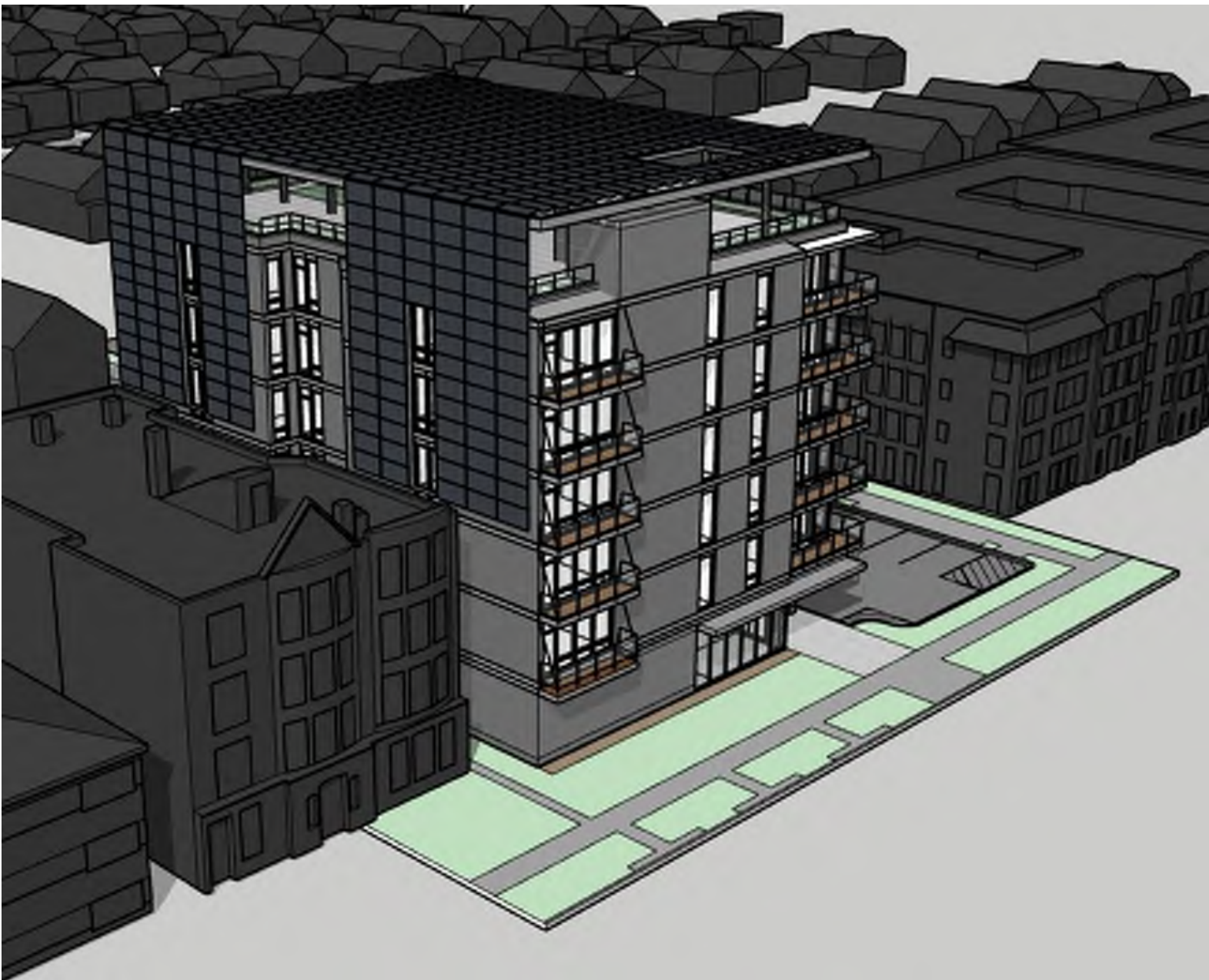
7 Van Buren - June 21 at Mid Afternoon
Facing Southeast



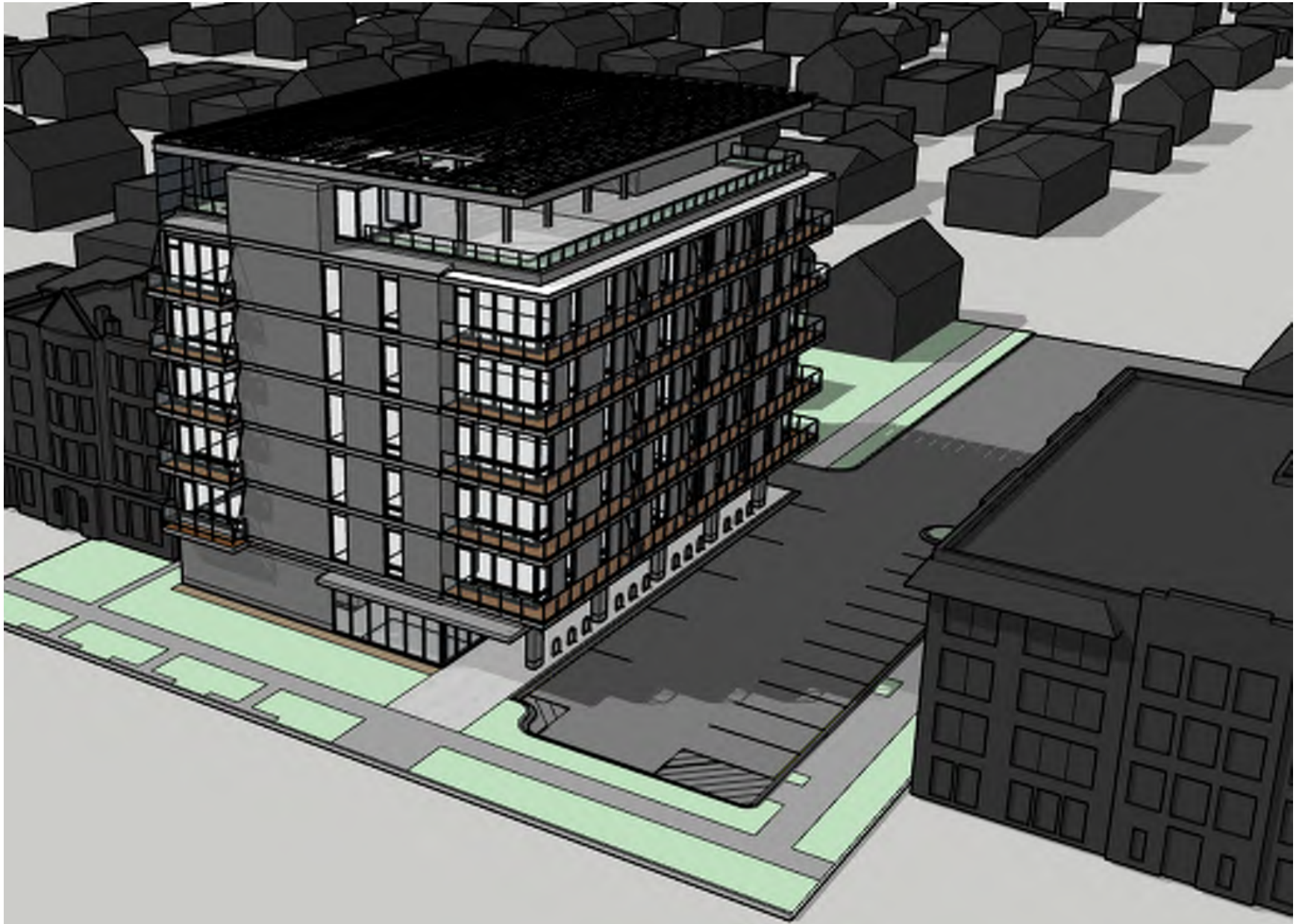
7 Van Buren - June 21 at Mid Afternoon
Facing Northeast



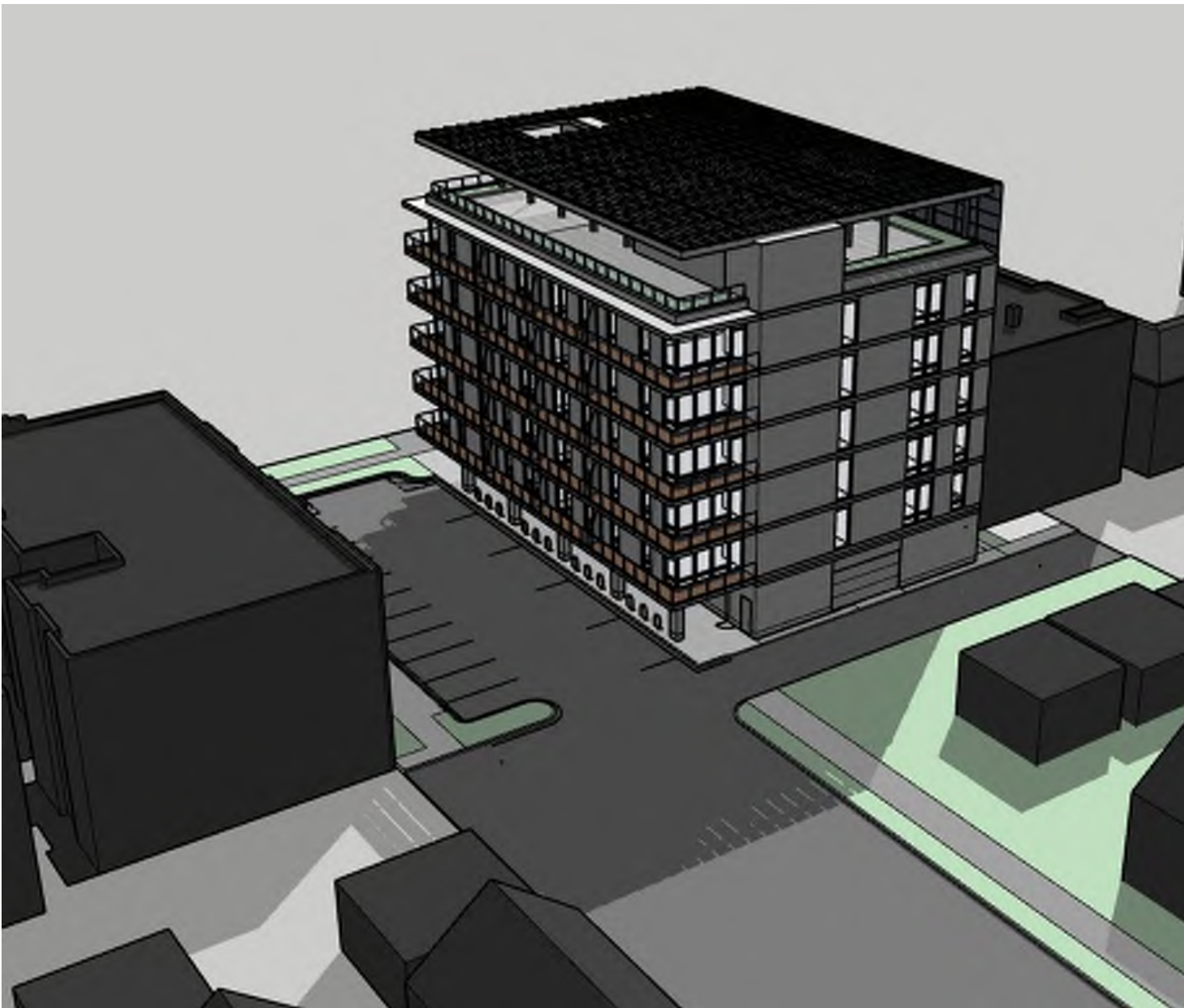
7 Van Buren – September 22 at Mid Morning
Overhead View



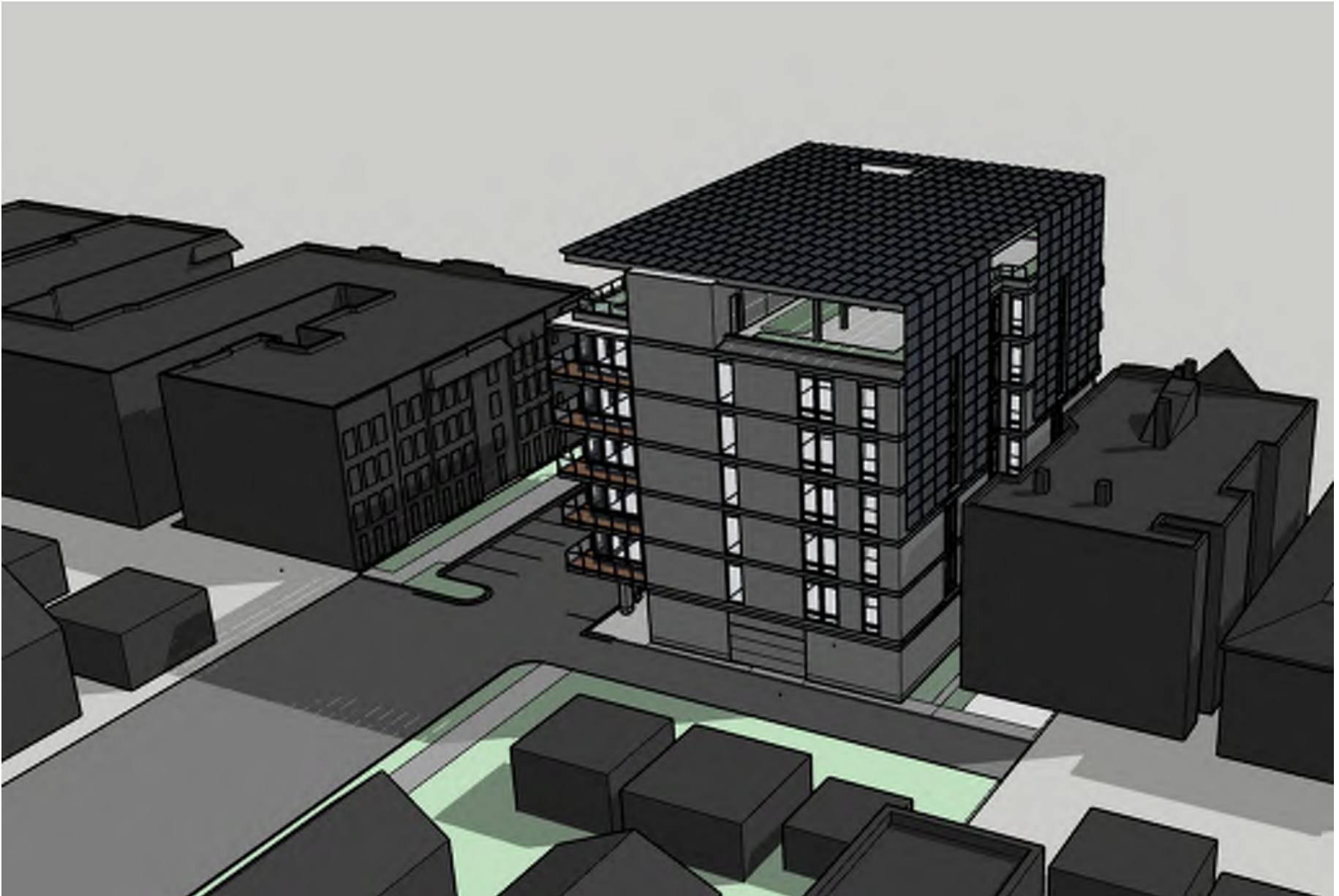
7 Van Buren - September 22 at Mid Morning
Facing Northwest



7 Van Buren - September 22 at Mid Morning
Facing Southwest



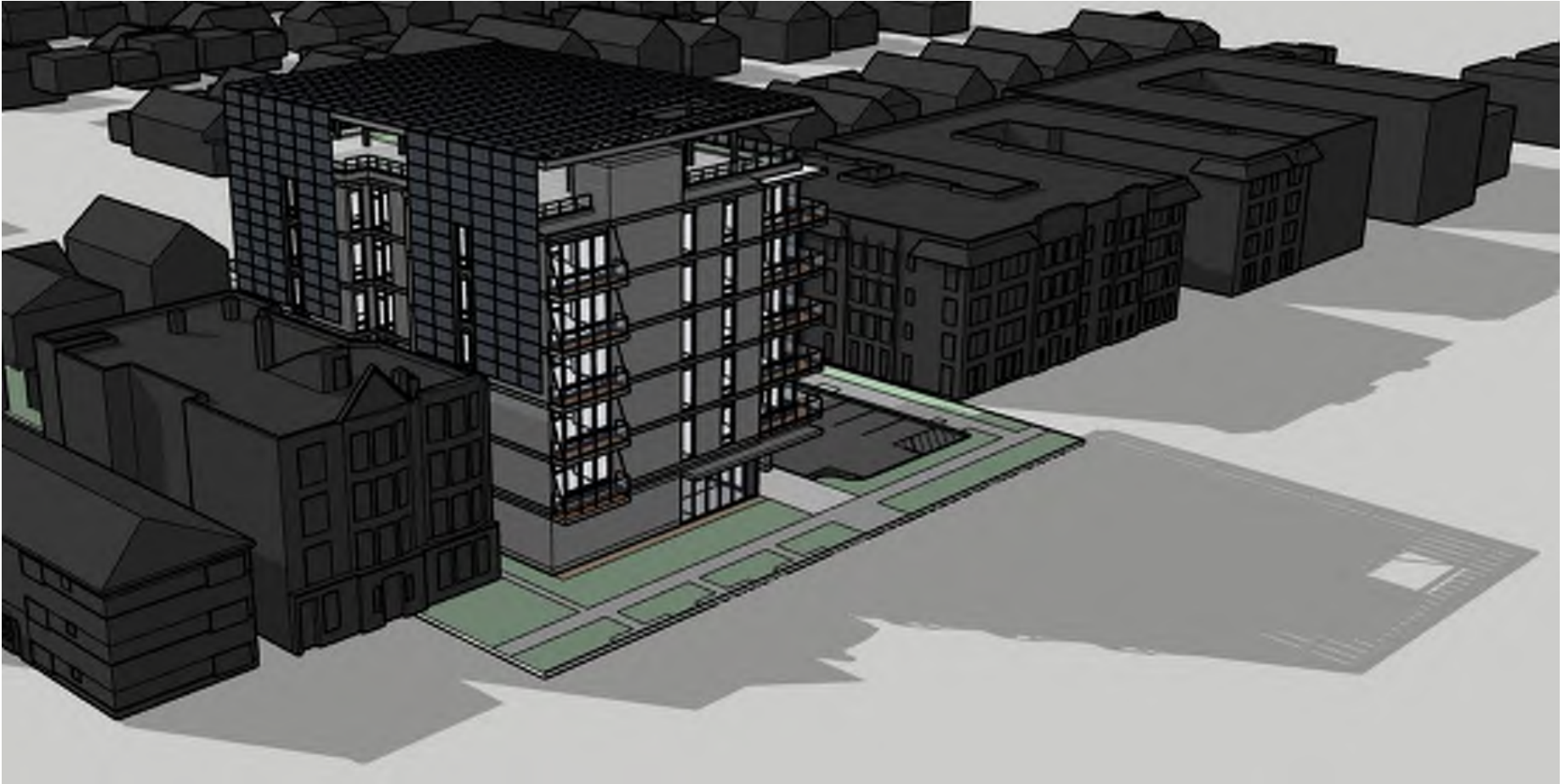
7 Van Buren - September 22 at Mid Morning
Facing Southeast



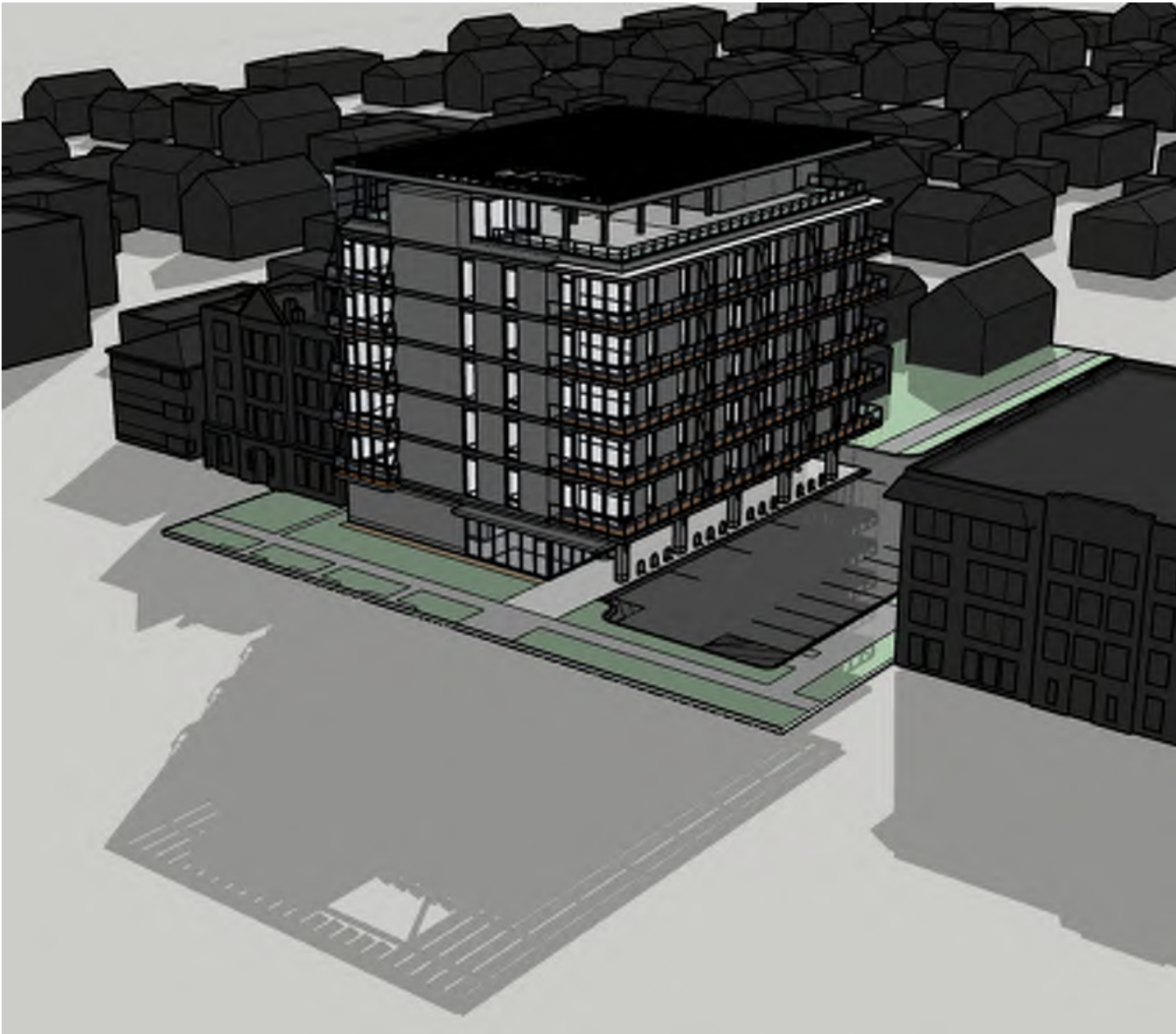
7 Van Buren - September 22 at Mid Morning
Facing Northeast



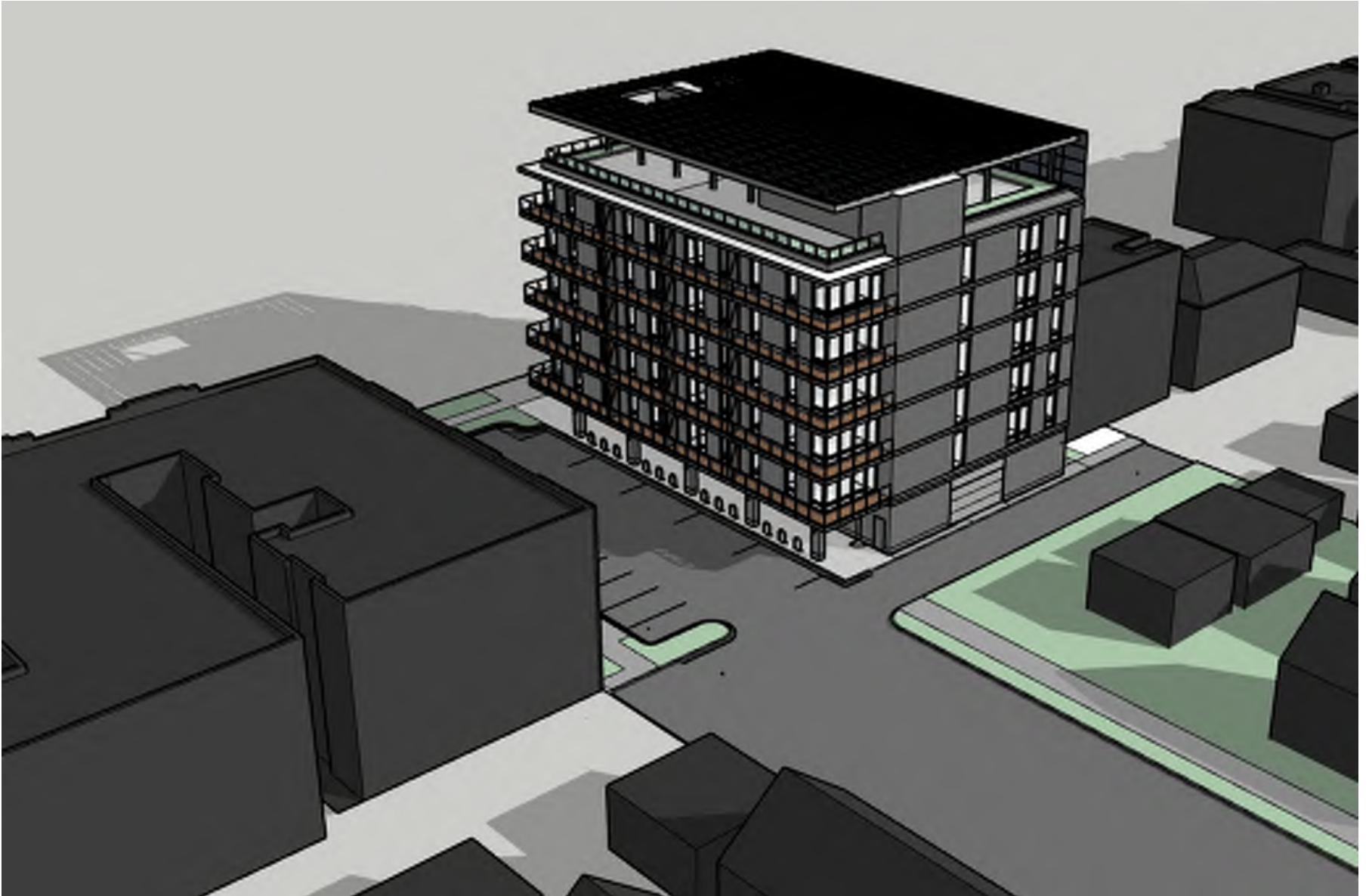
7 Van Buren – September 22 at Mid Afternoon
Overhead View



7 Van Buren - September 22 at Mid Afternoon
Facing Northwest



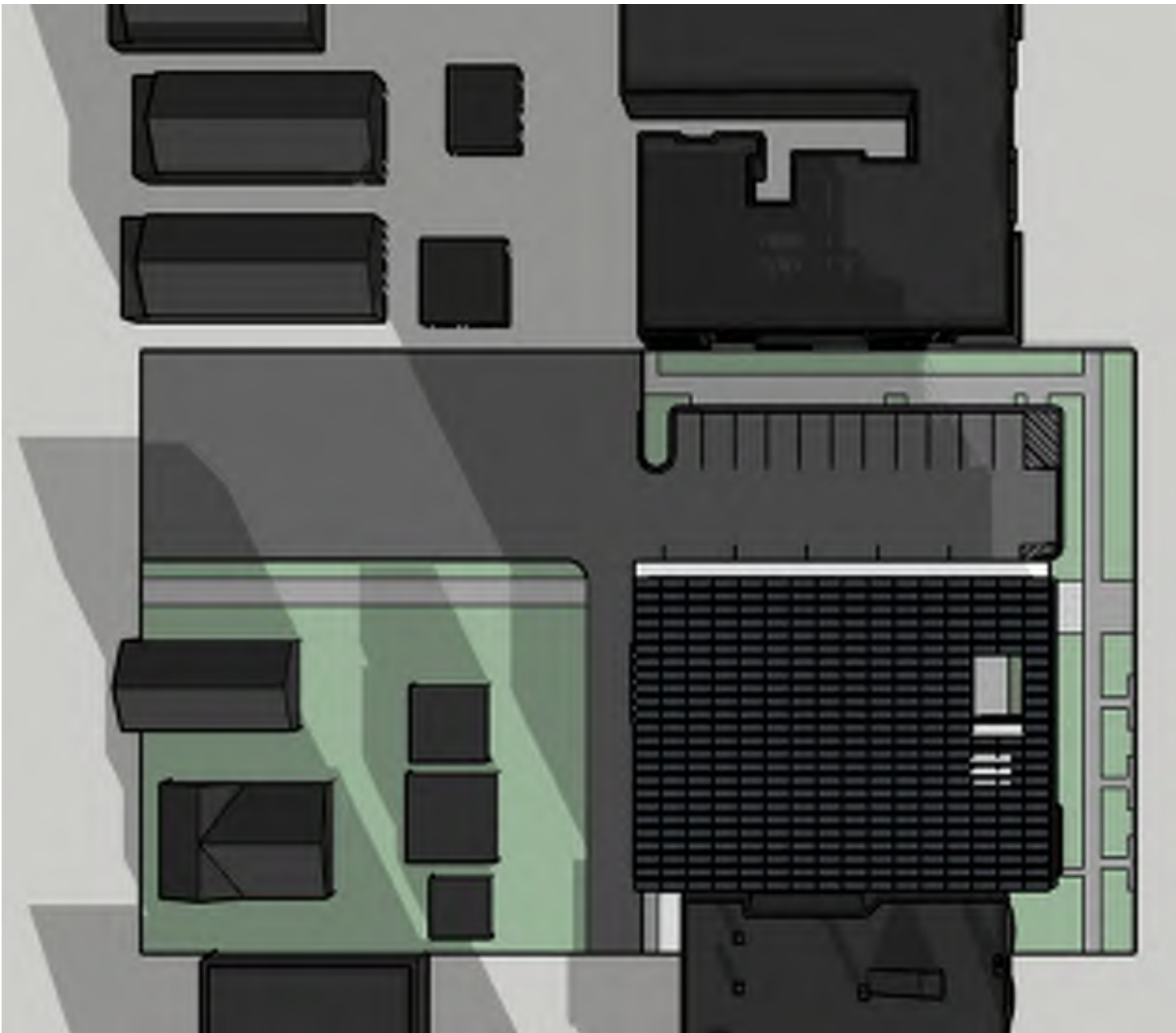
7 Van Buren - September 22 at Mid Afternoon
Facing Southwest



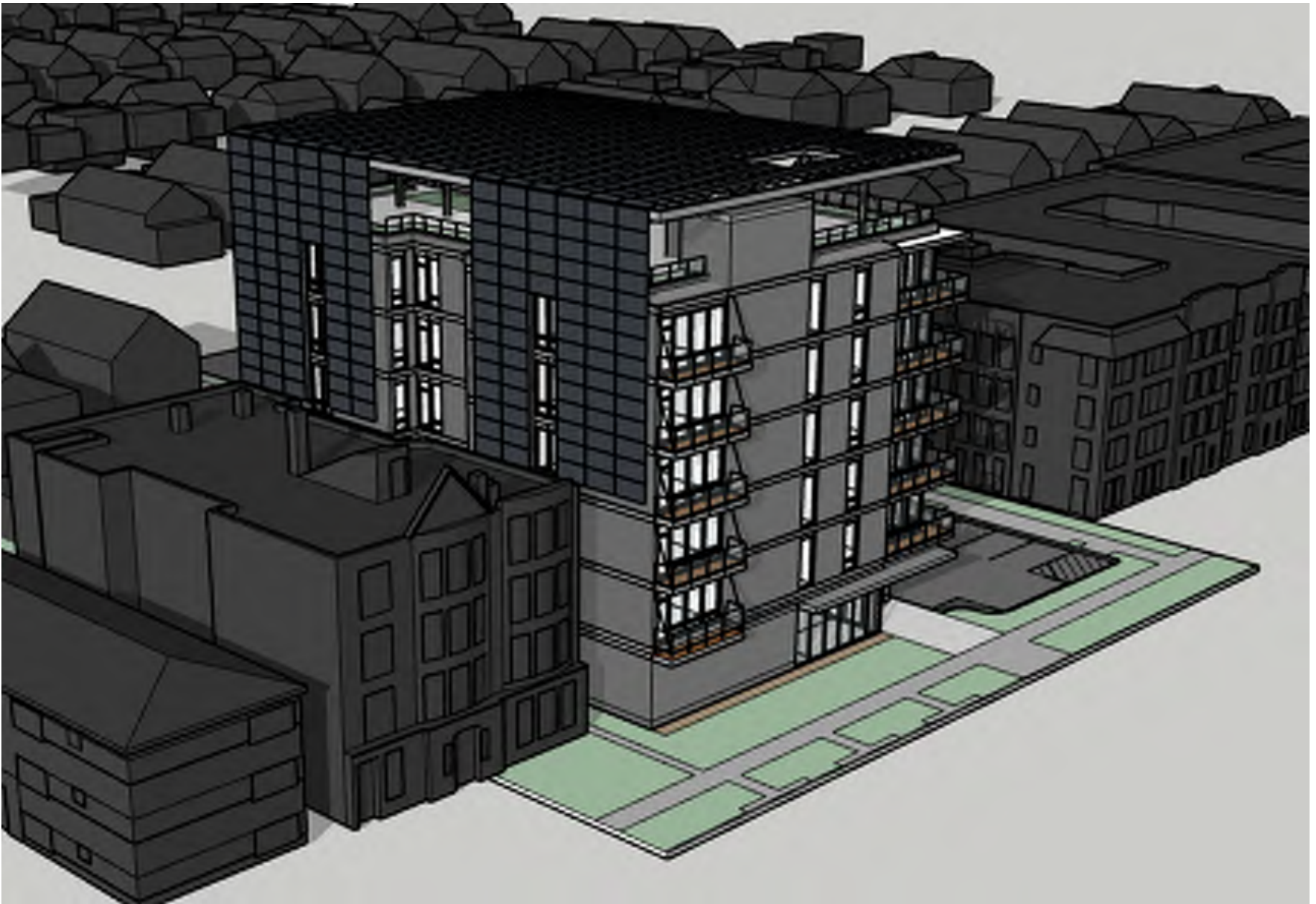
7 Van Buren - September 22 at Mid Afternoon
Facing Southeast



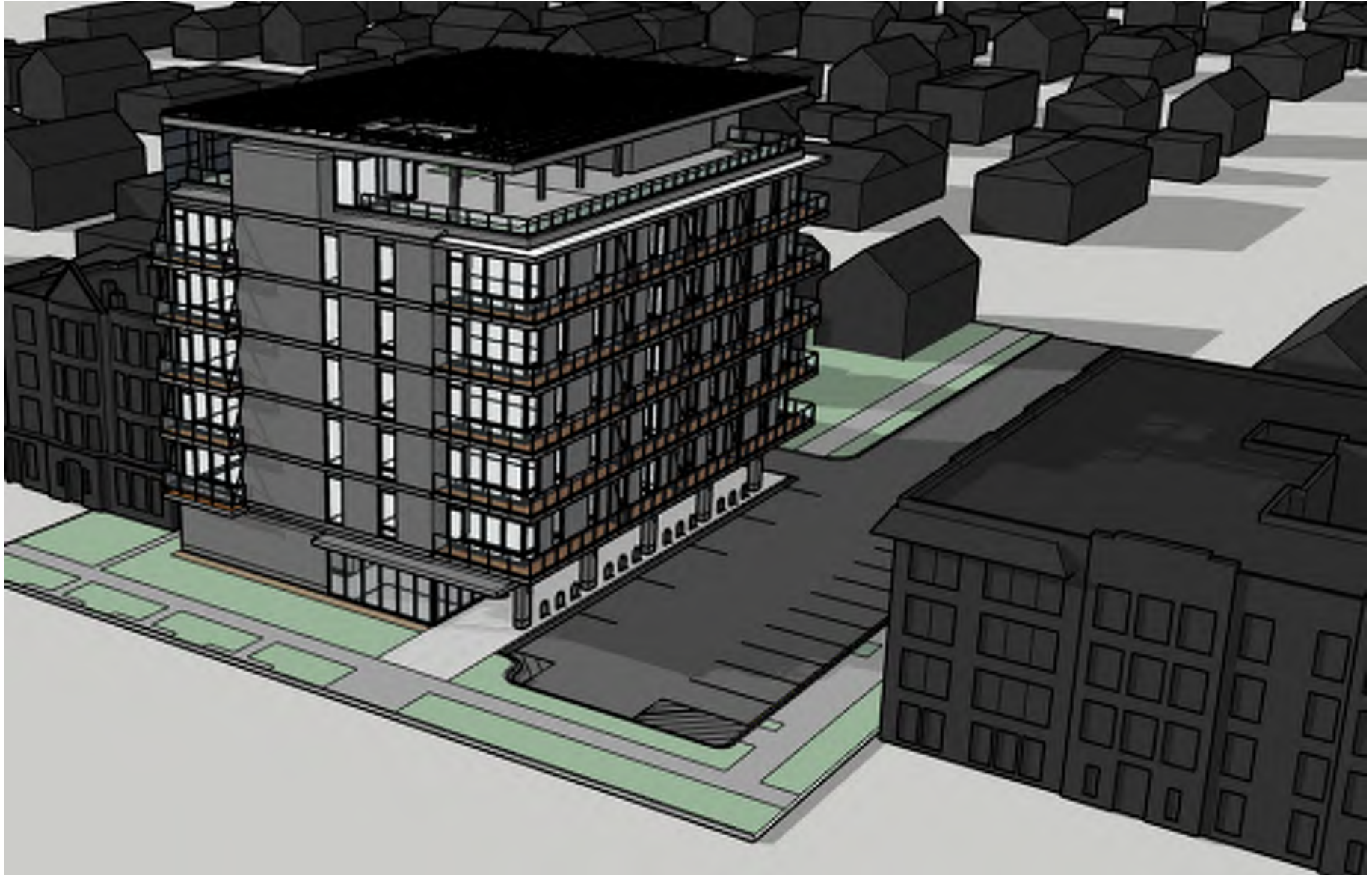
7 Van Buren - September 22 at Mid Afternoon
Facing Northeast



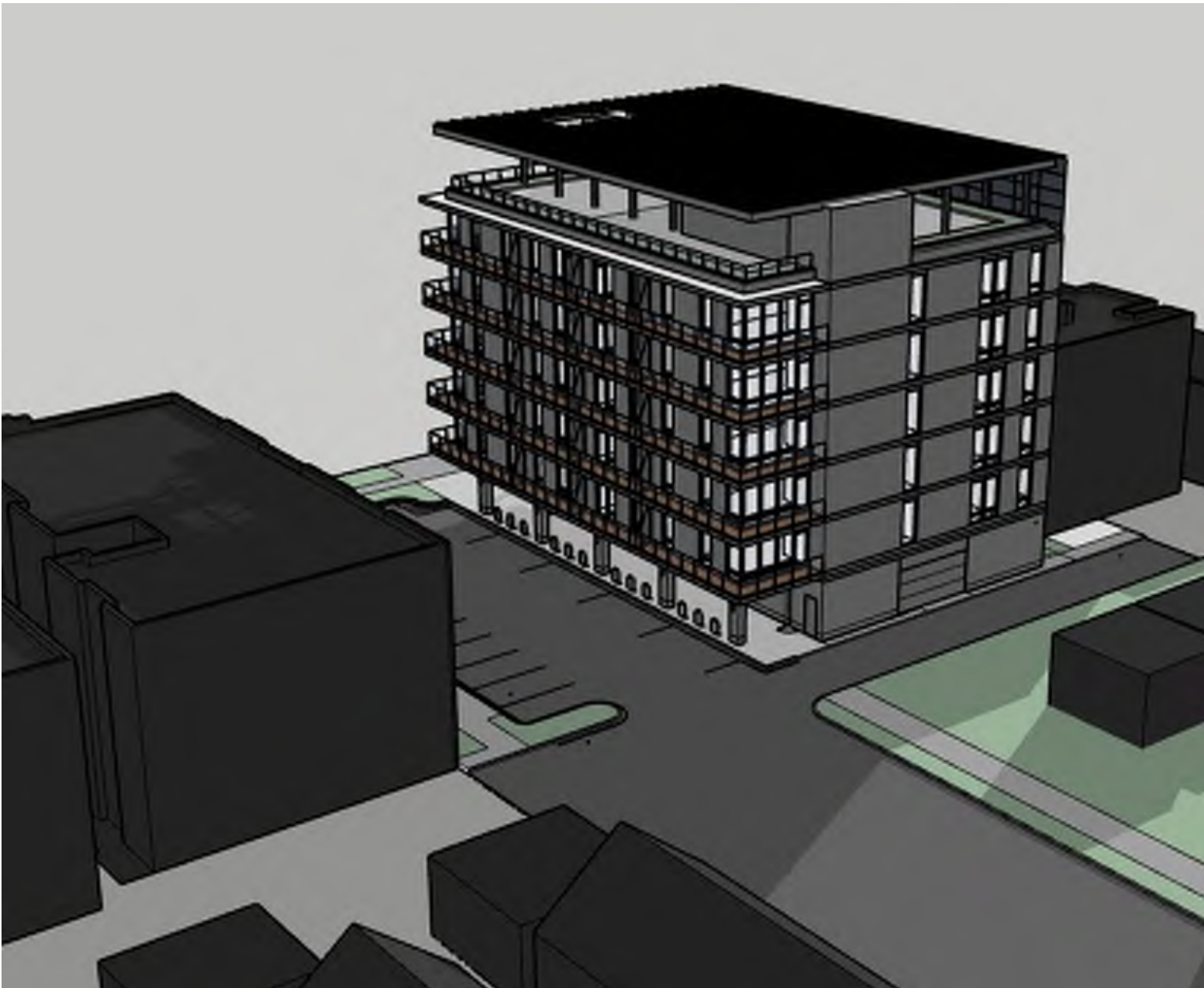
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Overhead View



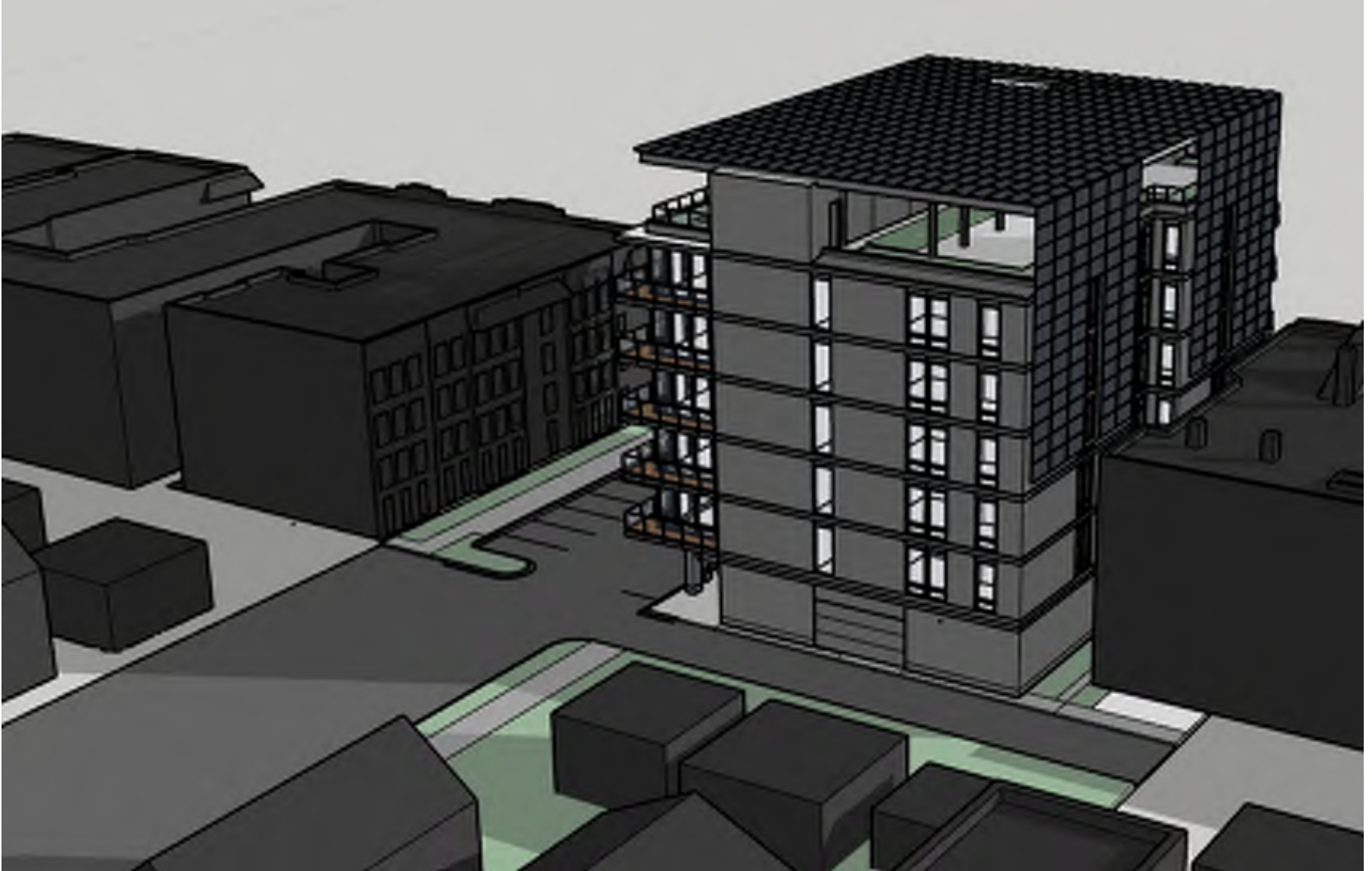
7 Van Buren - December 21 at Mid Morning
Facing Northwest



7 Van Buren - December 21 at Mid Morning
Facing Southwest



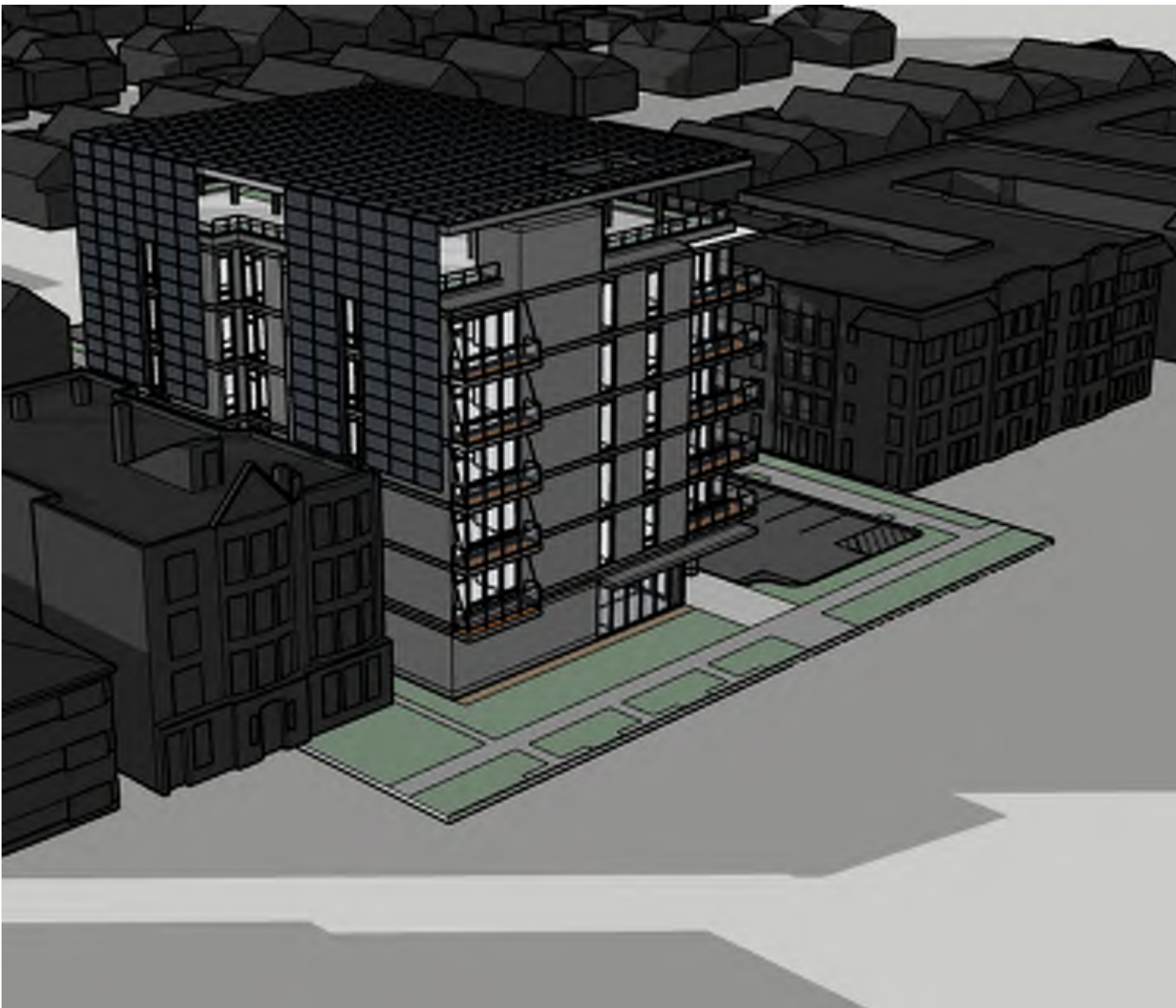
7 Van Buren - December 21 at Mid Morning
Facing Southeast



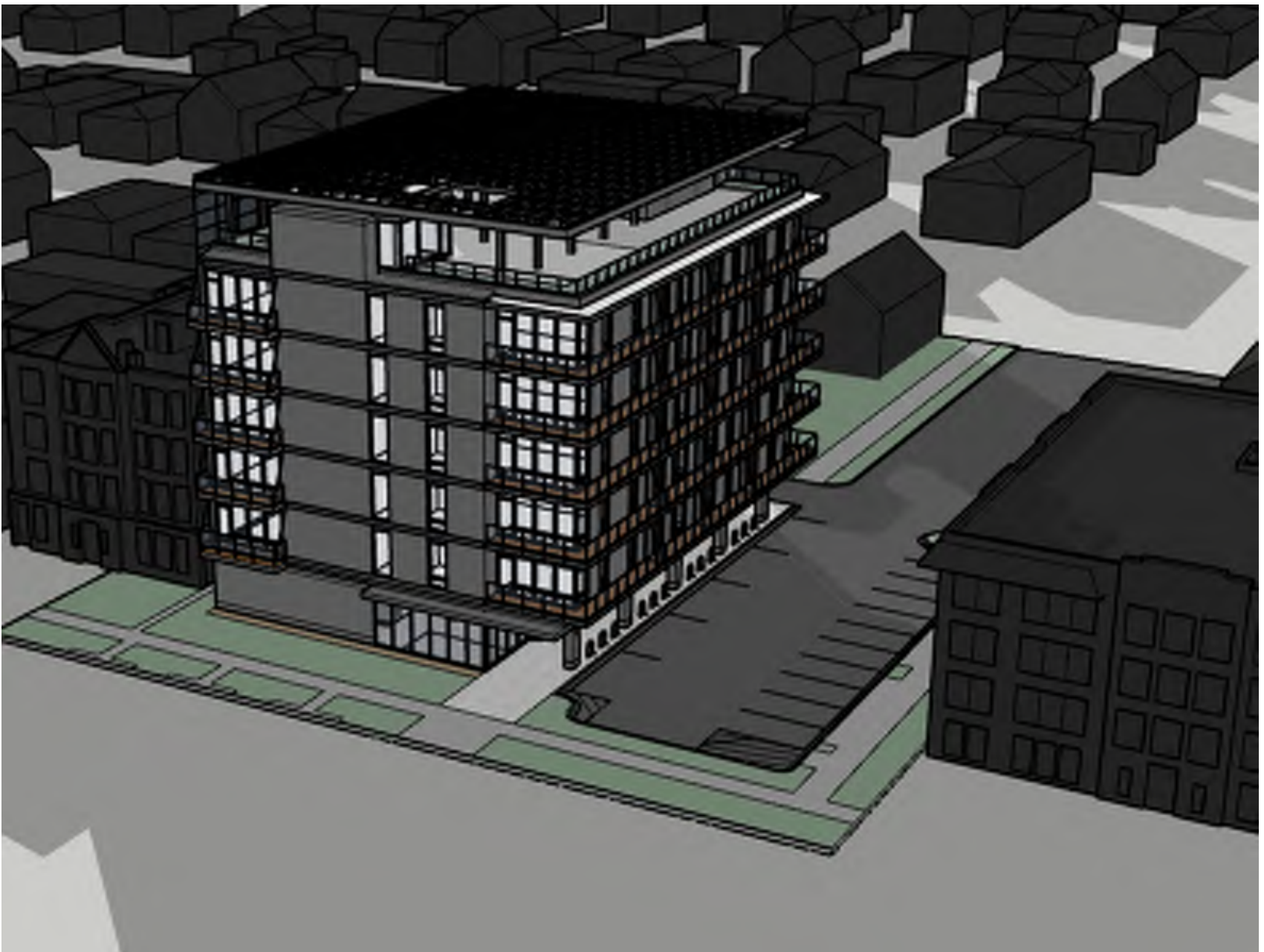
7 Van Buren - December 21 at Mid Morning
Facing Northeast



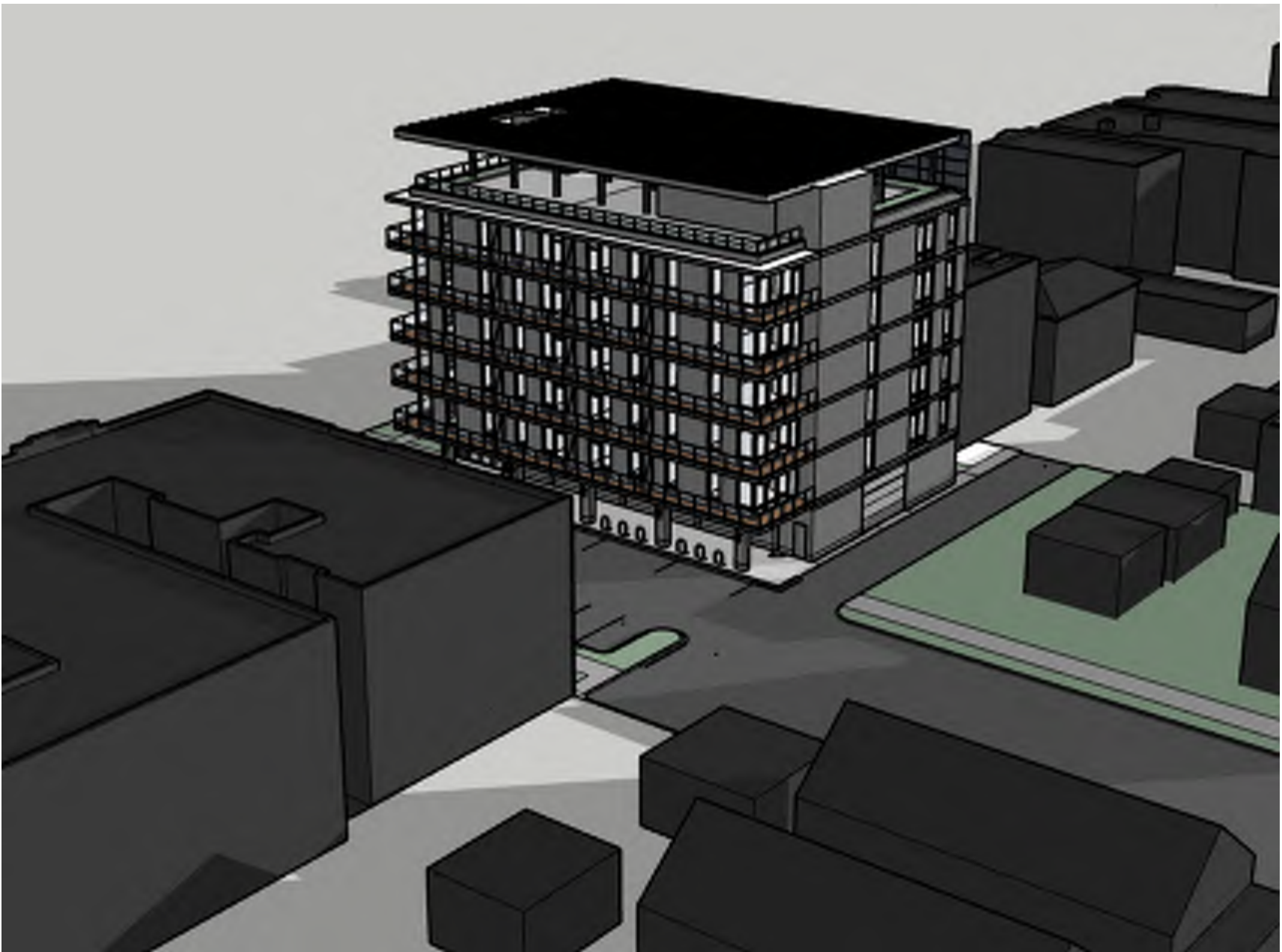
7 Van Buren – December 21 at Mid Afternoon
Overhead View



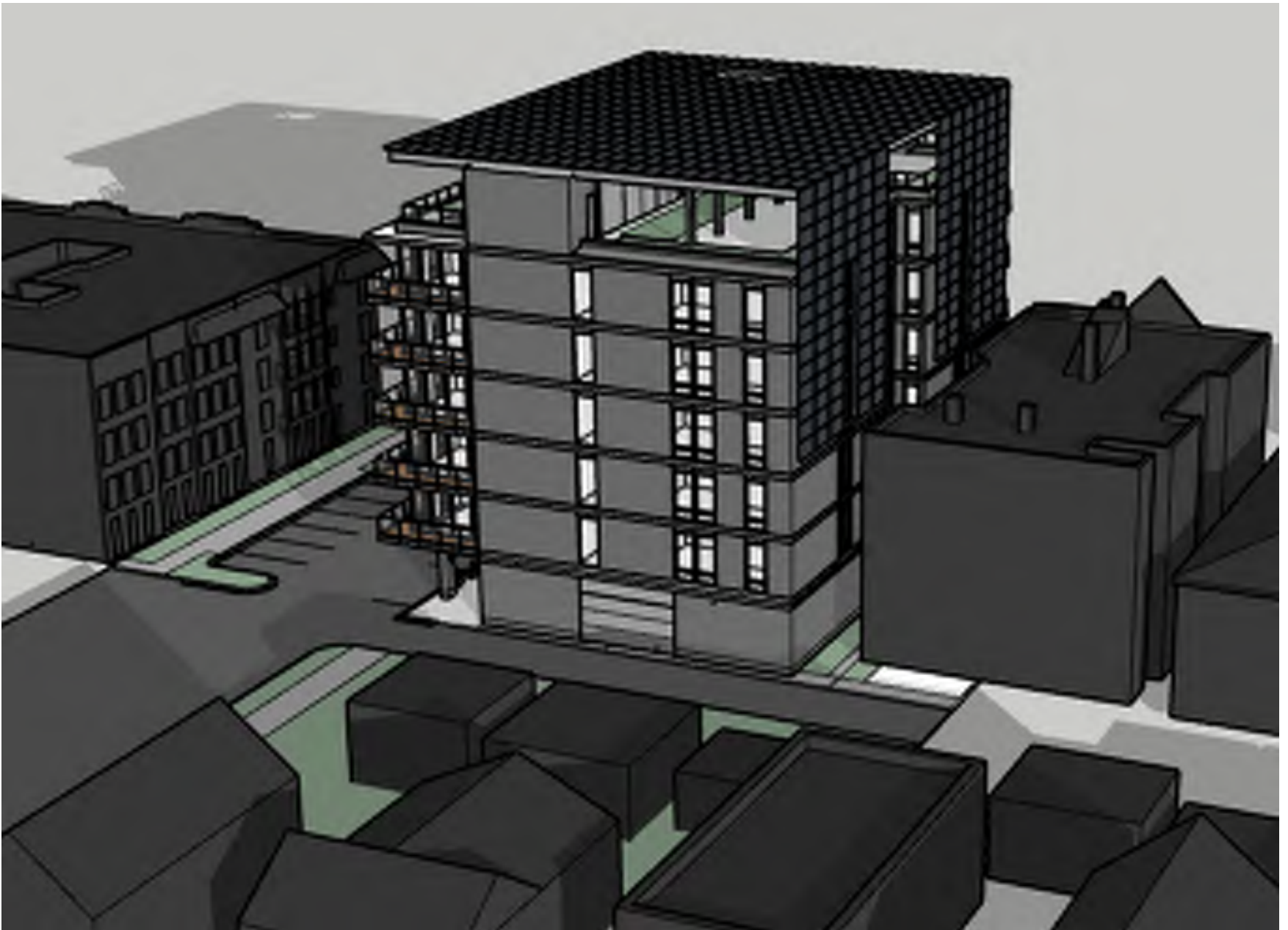
7 Van Buren - December 21 at Mid Afternoon
Facing Northwest



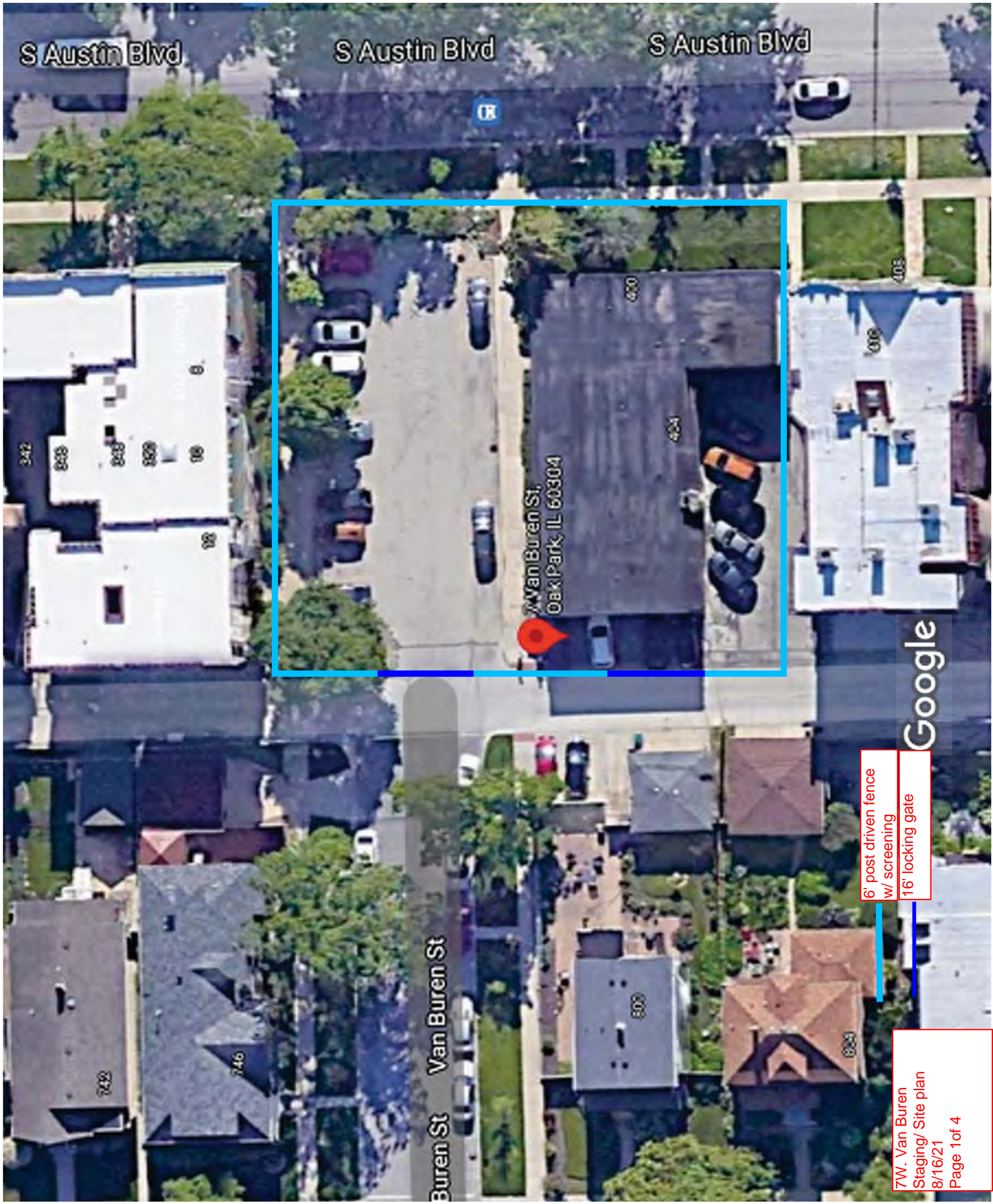
7 Van Buren - December 21 at Mid Afternoon
Facing Southwest



7 Van Buren - December 21 at Mid Afternoon
Facing Southeast

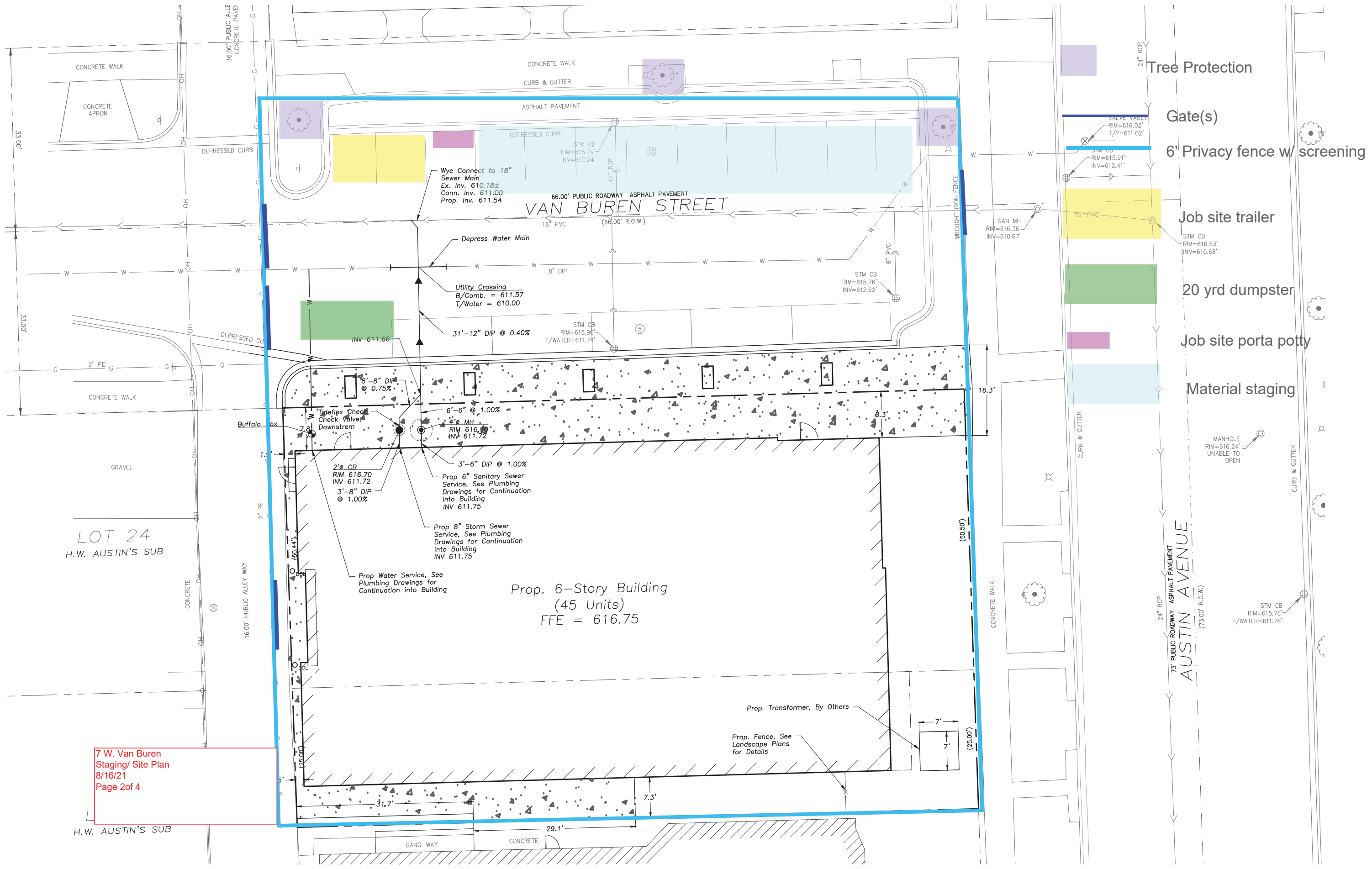


7 Van Buren - December 21 at Mid Afternoon
Facing Northeast



6' post driven fence
w/ screening
16' locking gate

7W. Van Buren
Staging/ Site plan
8/16/21
Page 1 of 4



10

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LOT 24
H.W. AUSTIN'S SUB

H.W. AUSTIN'S SUB

7 W. Van Buren
Staging/ Site Plan
8/16/21
Page 2 of 4

Prop. 6-Story Building
(45 Units)
FFE = 616.75

- Tree Protection
- Gate(s)
- 6' Privacy fence w/ screening
- Job site trailer
- 20 yrd dumpster
- Job site porta potty
- Material staging

MANHOLE
RIM=616.24'
UNABLE TO OPEN

STM CB
RIM=615.76'
T/WATER=611.76'

Prop. Transformer, By Others

Prop. Fence, See
Landscape Plans
for Details

Wye Connect to 18"
Sewer Main
Ex. Inv. 610.18±
Conn. Inv. 611.00
Prop. Inv. 611.54

Depress Water Main

Utility Crossing
B/Comb. = 611.57
T/Water = 610.00

Tideflex Check
Check Valve,
Downstream

Prop 6" Sanitary Sewer
Service, See Plumbing
Drawings for Continuation
into Building
INV 611.75

Prop 8" Storm Sewer
Service, See Plumbing
Drawings for Continuation
into Building
INV 611.75

Prop Water Service, See
Plumbing Drawings for
Continuation into Building

2" CB
RIM 616.70
INV 611.72

3'-8" DIP
@ 1.00%

3'-6" DIP @ 1.00%

6'-6" @ 1.00%

4" MH
RIM 616.70
INV 611.72

3'-8" DIP
@ 0.75%

8" DIP

31'-12" DIP @ 0.40%

STM CB
RIM=615.90'
T/WATER=611.74'

STM CB
RIM=615.76'
INV=612.62'

STM CB
RIM=615.79'
INV=612.24'

VALVE VAULT
RIM=616.02'
T/P=611.02'

STM CB
RIM=615.91'
INV=612.41'

STM CB
RIM=616.53'
INV=610.68'

SAN MH
RIM=616.36'
INV=610.67'

MANHOLE
RIM=616.24'
UNABLE TO OPEN

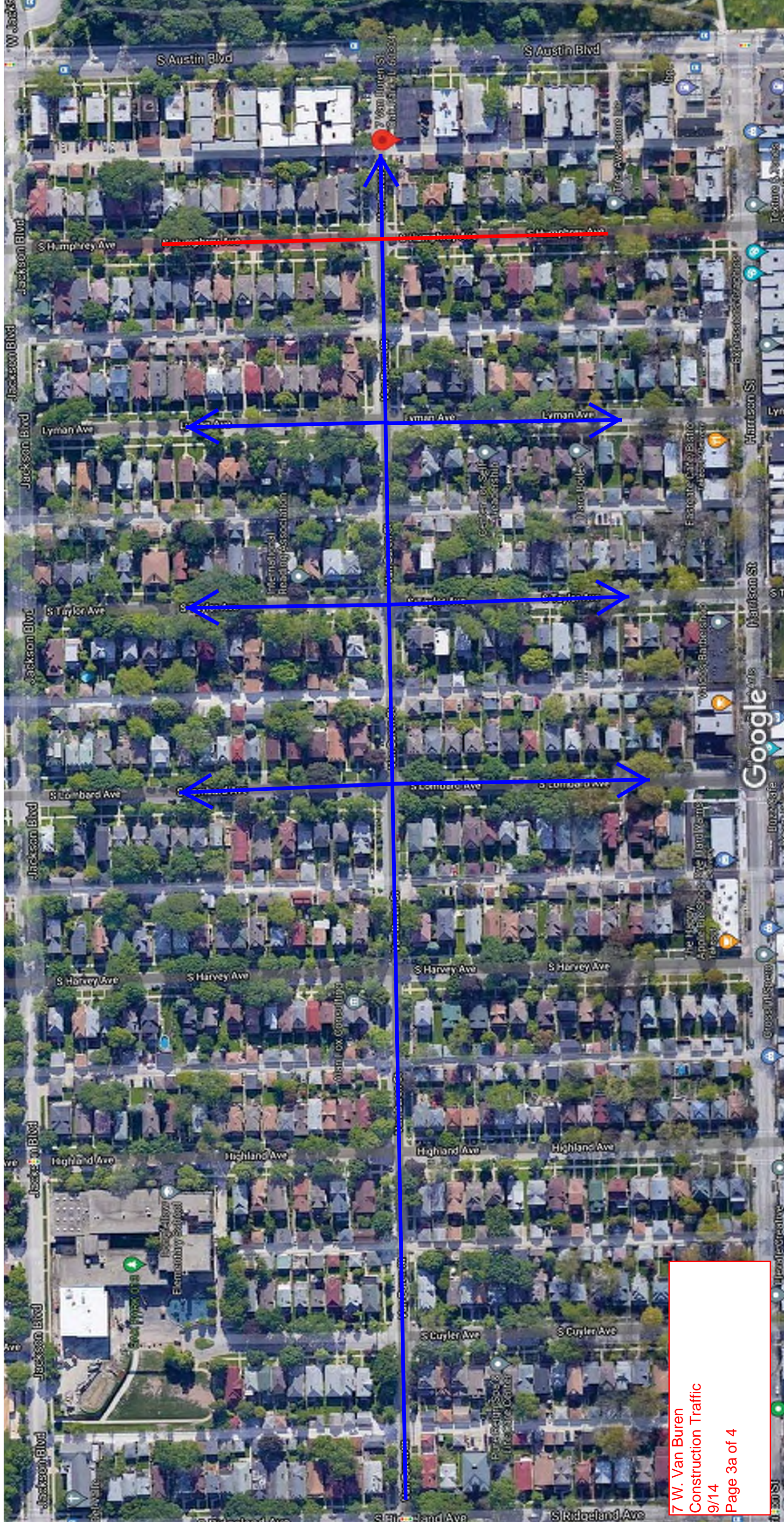
STM CB
RIM=615.76'
T/WATER=611.76'



Signage
Overhead work
ahead flagger as
required

Signage
Trucks leaving
and entering site

everyday
construction
traffic



7 W. Van Buren
Construction Traffic
9/14
Page 3a of 4

— Prohibited Construction Traffic

— Active Construction Traffic

7 Van Buren - Projected Project Schedule					
#	Scope	Start	Finish	Days	Months
1	PUD Approval	8/23/2021	11/1/2021	70	2.3
2	Demolition	11/5/2021	12/3/2021	28	1
3	Excavation/Foundations	12/6/2021	1/14/2022	39	1.3
4	Podium Construction	1/15/2022	2/15/2022	31	1.1
5	Framing	2/16/2022	5/24/2022	97	3.2
6	Enclosure	4/1/2022	6/15/2022	75	2.5
7	MEP Rough-In	4/1/2022	7/15/2022	105	3.5
8	Finishes	6/15/2022	12/1/2022	169	5.6
9	Punchlist, Turnover	12/1/2022	12/30/2022	29	1
10	Substantial Completion	12/30/2022	12/30/2022	0	0

EXHIBIT 11

RESPONSIBILITY TO RECORD



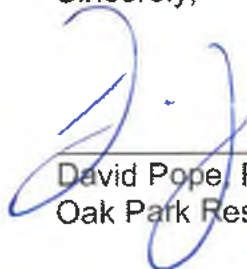
**Oak Park
Residence
Corporation**

August 23, 2021

To: Village of Oak Park

Oak Park Residence Corporation (the "Applicant") has filed a Planned Development Application for the property commonly known as 7 Van Buren Street, Oak Park, IL, with PIN: 16-17-131-013-0000. The Applicant hereby acknowledges that it is responsible for recording a copy of the Planned Development Ordinance (the "Ordinance") should the filed Application be approved and to provide the Village proof of such recording within 30 days of the approval of the Ordinance.

Sincerely,



David Pope, President
Oak Park Residence Corporation

EXHIBIT 12

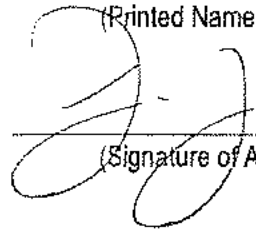
NOTICE INFORMATION

Affidavit of Notice

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

David Pope, President
Oak Park Residence Corporation

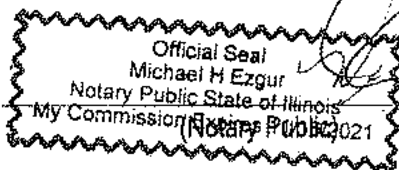

(Printed Name of Applicant)



(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

27th DAY OF September, 2021

Notice of Public Hearing

DOCKET NUMBER: PC-21-06

HEARING DATE: October 7, 2021

TIME: 7:00 p.m. or as soon thereafter as the Agenda permits

LOCATION OF HEARING: The Plan Commission will conduct the public hearing remotely with live audio available and optional video. The meeting will be streamed live and archived online for on-demand viewing at www.oak-park.us/commissiontv as well as cablecast on VOP-TV, which is available to Comcast subscribers on channel 6 and ATT Uverse subscribers on channel 99. The remote public hearing is authorized pursuant to Section 7(e) of the Open Meetings Act. The Village President has determined that an in-person public hearing is not practical due to the COVID-19 outbreak during Governor JB Pritzker's current disaster proclamation. It is also not feasible to have a person present at the public hearing due to public safety concerns related to the COVID-19 outbreak.

Written testimony or comments regarding the application may be provided prior to the start of the public hearing by email to planning@oak-park.us. The individual's name and a reasonable part of their testimony or comment will be read aloud into the record at the public hearing if received no later than 30 minutes prior to the start of the public hearing. If email is not an option, written testimony or comment can be dropped off in the Oak Park Payment Drop Box across from the south entrance to Village Hall, 123 Madison Street, to be received no later than 5:00 PM on October 7, 2021. All written testimony and comments will be distributed to the Plan Commission and made a part of the official hearing record. Those wishing to **provide public testimony** at the hearing must contact the Village Planner at planning@oak-park.us for instructions on attending the hearing live via Zoom by 5:00 PM the day of the hearing. Interested persons may also participate in the hearing to **cross examine** the applicant and its witnesses by emailing a completed cross-examination form to clerk@oak-park.us before 5:00 PM on the day prior to the public hearing to sign up. Individuals who sign up to participate in this manner will receive an email from Village staff with information about how to join the hearing online through Zoom web-conference means or by phone. Questions regarding written testimony, comment or cross examination may be directed by phone to 708-358.5420 or email planning@oak-park.us

SUBJECT PROPERTY ADDRESSES: 7 Van Buren Street, Oak Park, Illinois 60304

LEGAL DESCRIPTION: Lots 1 AND THE NORTHERN HALF OF LOT 2 IN BLOCK 2 IN H.W. AUSTIN'S SUBDIVISION OF BLOCK 2 AND 3 OF JAMES B. HOBBS SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 39 NORTH. RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ALSO INCLUDES THE PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 38 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT 1 IN H.W. AUSTIN'S SUBDIVISION, THENCE SOUTH 88 DEGREES 24 MINUTES 45 SECONDS WEST ALONG THE NORTH LINE OF SAID LOT 1, 122.52 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 01 DEGREES 57 MINUTES 46 SECONDS WEST ALONG THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID LOT 1, 15.00 FEET TO A LINE PARALLEL WITH AND 15.00 FEET PERPENDICULARLY DISTANT NORTHERLY OF SAID NORTH LINE; THENCE NORTH 88 DEGREES 24 MINUTES 45 SECONDS EAST ALONG SAID PARALLEL LINE, 122.52 FEET TO THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 1; THENCE SOUTH 01 DEGREES 58 MINUTES 13 SECONDS EAST ALONG SAID NORTHERLY EXTENSION, 15.00 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

P.I.N.s: 16-17-131-013-0000

PROPERTY OWNER: Oak Park Residence Corporation, c/o Beth Swaggerty, 21 South Blvd. Oak Park, IL 60302

PETITIONER(S): Oak Park Residence Corporation, c/o Beth Swaggerty, 21 South Blvd. Oak Park, IL 60302
bswaggerty@oakparkrc.com 708-386-6061 x123

REQUEST: The Petitioner is requesting a planned development for a six (6) story, 45-unit multiple family building in the R-7 Multi-Family Residential Zoning District. The Petitioner seeks the following allowances from the Oak Park Zoning Ordinance associated with the Planned Development application, found in Article 4 – Table 4-1 Residential Districts Dimensional Standards: a decrease in lot area from 35,100 sq. ft. to 11,085 sq. ft.; an increase in height from 45 feet to 71.85 feet; an increase in maximum building coverage from 70% to 85.17%; a decrease in minimum interior side setback of the newly dimensioned parcel from 9.05 feet to 8.30 feet; a decrease in minimum rear setback from 24.50 feet to 1.5 feet; a decrease in automobile parking from 34 spaces to 17 spaces; a decrease in loading from one space to zero spaces. The Petitioner is also requesting to vacate a portion of the Van Buren right-of-way abutting the subject property a length of 122.52 feet by 15 feet wide.

A copy of the application and each of the applicable documents are on the Village Website at www.oak-park.us and also on file and available for inspection at the Village Hall, Development Customer Services Department, 123 Madison Street, Oak Park, Illinois 60302, during current business hours, Monday through Thursday, between 9:00 a.m. and 5:00 p.m. The Plan Commission may continue the hearing to another date without further notice by public announcement at the hearing setting forth the time and place thereof. Anyone with questions about the application may contact the Village by phone at 708-358.5420 or by email at planning@oak-park.us.

ALL INTERESTED PERSONS ARE INVITED TO BE HEARD
OAK PARK PLAN COMMISSION, 123 Madison Street, Oak Park, Illinois 60302



1 N. LaSalle St. Suite 500, Chicago, IL 60602 312-637-4845

Tax Assesses Listing

Order Information**Order Number: 66675608-CRP REVISED
SEARCH****Customer: OakParkResidenceCorporation****Date Prepared: 09/10/2021****OAK PARK RESIDENCE CORPORATION
21 SOUTH BOULEVARD
OAK PARK, IL 60302****ATTN: JACK LOVELL**

In accord with the application, a search of the authentic computerized records of Cook County, Illinois, as of the above cover date, pertaining to all property within **300** feet, excluding streets and right of ways, in every direction of the location of the property in question assigned permanent tax number (s) (PINS):

16-17-131-013-0000

By the appropriate office of COOK County, Illinois, and reflected on the official tax maps, as most currently revised, excluding all public roads, streets, alleys and other public ways and find the following names and addresses of the assesses as appear from said records:

SEE ATTACHED LIST AND MAP FOR SURROUNDING PINS

The information provided in this search is required in part by 65 ILCS5/11-3-7

Additional Notes

REVISED COVER PAGE TO SHOW 300 FEET FOR THE RADIUS, ALSO CUSTOMER'S REQUEST TO INCLUDE THE STREETS AND ROWS.

This is not a title insurance policy, guarantee, or opinion of title and should not be relied upon as such;
See terms and conditions on application.

JACKSON BLVD

150	69
151 -001	68 -019
152 -002	67
153 -003	66 -020
154 -004	65
155	64 -021
156 -005	"B" 63 -022
157 -006	62
158 -007	61 -023
159	60 -024
160 -008	59 -025
161 -009	58 -026
162 -010	57 -027
163 -011	56 -028
164 -012	55 -029
165 -013	54 -030
65 -014	53 -031
64 -015	52 -032
63 -016	51 -033
62 -017	50 -034
61 -018	49 -035

38 -007	1 -019
39 -008	2 -020
40 -009	-021
41 -003	3 -022
42 -004	4 -023
43	"B" 5 -024
44 -005	"N" 6 -025
45	7 -026
46 -006	8 -027
47	9 -028
48 -007	10 -029
49 -008	11 -030
50 -009	12 -031
51 -010	13 -032
52 -011	14 -033
53 -012	15 -034
1 -019	16 -035
2 -020	17 -036
3 -021	18 -037
4 -022	19 -038
5 -023	20 -039
6 -024	21 -040
7 -025	22 -041
8 -026	23 -042
9 -027	24 -043
10 -028	25 -044
11 -029	26 -045
12 -030	27 -046
13 -031	28 -047
14 -032	29 -048
15 -033	30 -049

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23 -002	2 -019
22 -003	3 -020
21 -004	4 -021
20 -005	5 -022
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18 -007	7 -024
17 -008	8 -025
16 -009	9 -026
15 -010	10 -027
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13 -012	12 -029
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11 -014	14 -031
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6 -019	19 -036
5 -020	20 -037
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3 -022	22 -039
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1 -024	24 -041

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22 -003	3 -020
21 -004	4 -021
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3 -022	22 -039
2 -023	23 -040
1 -024	24 -041

120

121

122

123

"C"

206

Pt 001

VANBUREN ST

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16-17-122-026-0000
CRUZ RODRIGUEZ
725 S HUMPHREY AV
OAK PARK, IL 60304

16-17-122-027-0000
DANIEL RUTAN
729 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-122-028-0000
JOSEPH SCHMIDT
731 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-122-029-0000
FRANK MAGGIO
735 S HUMPHREY
OAK PARK, IL 60304

16-17-122-030-0000
CHARLES R BLOMSTER
737 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-122-031-0000
H THOMAS DEBORAH LENZ
741 S HUMPHREY
OAK PARK, IL 60304

16-17-122-033-0000
DAVID ANDREW CAREY
745 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-122-034-0000
GARY G HOLMAN
747 S HUMPHREY
OAK PARK, IL 60304

16-17-123-009-0000
SCOTT CHRISTIAN KIHOI
724 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-010-0000
MARJOYRE K WRIGHT LIVI
726 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-011-0000
STANLEY DIAMOND
728 S HUMPHREY AV
OAK PARK, IL 60304

16-17-123-012-0000
IVETTE ADOLFO CLAVEL
732 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-013-0000
CODY A FEASTER
734 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-014-0000
REBECCA A BUCHMEIER
736 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-015-0000
OLIVER DADDARIO
740 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-016-0000
MARIA E KLEIN
742 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-017-0000
MICHAEL AMANDA AUSTI
746 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-123-024-0000
GREENPLAN 326 AUSTIN
41 CHICAGO AVE
OAK PARK, IL 60302

16-17-123-025-0000
GREENPLAN VAN BUREN LL
41 CHICAGO AVE
OAK PARK, IL 60302

16-17-130-017-0000
GATES VANNES
801 S HUMPHREY
OAK PARK, IL 60304

16-17-130-018-0000
E T JEANNE O MCCOY
805 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-130-019-0000
SARAH E HAMMER
811 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-130-020-0000
THE KELL LIVING TRUST
815 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-130-021-0000
DON MERLE TILLERY
817 S HUMPHREY
OAK PARK, IL 60304

16-17-130-022-0000
VALERIE ANN JUST
819 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-130-023-0000
JOHN T CONCANNON
821 S HUMPHREY ST
OAK PARK, IL 60304

16-17-130-024-0000
BRADLEY ANTONACCI
825 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-130-025-0000
TIMOTHY CAROL DAVIS
829 S HUMPHREY
OAK PARK, IL 60304

16-17-131-001-0000
THERESA CARILLI
800 S HUMPHREY
OAK PARK, IL 60304

16-17-131-002-0000
FRANK VOZAK
804 S HUMPHREY
OAK PARK, IL 60304

16-17-131-003-0000
JAMES H GILCHRIST
808 S HUMPHREY AV
OAK PARK, IL 60304

16-17-131-004-0000
ROCHELLE KUZARA
812 S HUMPHREY AV
OAK PARK, IL 60304

16-17-131-005-0000
JOSEPH DARNABY JULIA
816 S HUMPHREY AVE
OAK PARK, IL 60304

16-17-131-006-0000
JEB METRIC
820 S HUMPHREY AV
OAK PARK, IL 60304

16-17-131-007-0000
LINDA GILBERT DALLAM
1185 FRANKLIN RD
AMBOY, IL 61310

16-17-131-008-0000
JERRY G HELLMAN
828 S HUMPHREY
OAK PARK, IL 60304

16-17-131-013-0000
OAK PARK RESIDENCE CRP
21 SOUTH BLVD
OAK PARK, IL 60302

16-17-131-015-0000
K TERRY TAYLOR
414 S AUSTIN
OAK PARK, IL 60304

16-17-131-017-0000
LUIGI RIBAUDO
PO BOX 2673
NORTHLAKE, IL 60164

16-17-131-020-0000
Oak Park Vilalge
1 Village Hall Plaza
Oak Park, IL 60302-4205

16-17-131-024-1001
DEIRDRE ZERILLI
408 S AUSTIN BLVD#G
OAK PARK, IL 60304

16-17-131-024-1002
DOROTHY THOMPSON
410 S AUSTIN BLVD #1S
OAK PARK, IL 60304

16-17-131-024-1003
MARY L THOMPSON
408 S AUSTIN #1N
OAK PARK, IL 60304

16-17-131-024-1004
WILLIAM KING
410 S AUSTIN #2S
OAK PARK, IL 60304

16-17-131-024-1005
ANN AZZOUZ
408 S AUSTIN BLVD #2N
OAK PARK, IL 60304

16-17-131-024-1006
JEANNE FINDLAY
7904 W NORTH AVENUE 6E
ELMWOOD PARK, IL 60707

16-17-131-024-1007
RENA C NOBLE
408 S AUSTIN BLVD 3N
OAK PARK, IL 60304

16-17-131-025-1001
NEWELL BRIAN
424 S AUSTIN
OAK PARK, IL 60304

16-17-131-025-1002
KATE CHRIS COOLEY
424 S AUSTIN BLVD#1N
OAK PARK, IL 60304

16-17-131-025-1003
C HOPKINS
424 S AUSTIN 2 N
OAK PARK, IL 60304

16-17-131-025-1004
ROBERT E JACKSON
424 S AUSTIN BLVD 3N
OAK PARK, IL 60304

16-17-131-025-1005
CROPSTAR LLC
110 LINCOLN AVE APT 1A
RIVERSIDE, IL 60546

16-17-131-025-1006
JEAN A MONTGOMERY
426 S AUSTIN BLVD#1S
OAK PARK, IL 60304

16-17-131-025-1007
VIVIAN ANNE TEDFORD
426 S AUSTIN 2S
OAK PARK, IL 60304

16-17-131-025-1008
MICHELE BERISFORD
426 S AUSTIN 3S
OAK PARK, IL 60304

16-17-131-025-1009
VIVAN A TEDFORD
426 S AUSTIN 2S
OAK PARK, IL 60304

16-17-131-025-1010
MICHELE BERISFORD
426 S AUSTIN BLVD 350
OAK PARK, IL 60304

16-17-131-025-1011
ROBERT E JACKSON
424 S AUSTIN BLVD 3N
OAK PARK, IL 60304

16-17-131-026-1001
BLUE CHIP MANAGEMENT
629 S. RIDGELAND
OAK PARK, IL 60304

16-17-131-026-1002
BLUE CHIP MANAGEMENT
629 S. RIDGELAND
OAK PARK, IL 60304

16-17-131-026-1003
KEVIN A FROST
504 S AUSTIN BLVD#2
OAK PARK, IL 60304

16-17-131-026-1004
HILDA ALVAREZ
504 S AUSTIN #3
OAK PARK, IL 60304

16-17-131-026-1005
HILDA ALVAREZ ANGELSOT
506 S AUSTIN BLVD #3
OAK PARK, IL 60304

16-17-131-026-1006
BLUE CHIP MANAGEMENT
629 S. RIDGELAND
OAK PARK, IL 60304

16-17-131-026-1007
BLUE CHIP MANAGEMENT
629 S. RIDGELAND
OAK PARK, IL 60304

16-17-131-026-1008
STEVEN NORIKO DAY
506 S AUSTIN 3
OAK PARK, IL 60304

16-17-206-001-0000
Chicago Park District
541 Fairbanks Court
Chicago, IL 60611-3319

NOTICE OF VIRTUAL NEIGHBORHOOD MEETING

Date: Tuesday - April 13, 2021

Time: 7:00 p.m. to 8:00 p.m.

Virtual Location: This virtual meeting will be conducted via Zoom. Zoom is an application that allows you to view and participate in meetings from anywhere using your phone, tablet, or computer. Zoom meetings are free for you to view, either live or as a recording at a later date. You may also dial in to listen to the meeting (like a conference call). To participate in the meeting via Zoom, please use the following link (also available on our website at oakparkrc.com):

<https://us02web.zoom.us/j/82960038400?pwd=cWt5Nmt2czNPQVN5MWV3SWFoazlaQT09>

Meeting ID: 829 6003 8400

Passcode: welcome

Alternatively, you may dial in like a conference call:

Simply call 1-312-626-6799 at the time of the meeting and then enter:

Meeting ID: 829 6003 8400

Passcode: 0604631

Subject Property Address(es): 7 Van Buren Street, Oak Park IL 60304

Proposed Development: Oak Park Residence Corporation is proposing to replace its existing multifamily apartment building with another multifamily apartment building on the 7 Van Buren site. Join us at 7:00 p.m. on Tuesday, April 13th, to see a virtual public presentation regarding how plans for the site are progressing.

Purpose of Meeting: Pre-Planned Development Submittal Discussion

To submit comments, please call or email Contact:

Beth Swaggerty, Oak Park Residence Corporation

bswaggerty@oakparkrc.com

708-386-6061 x123



**Oak Park
Residence
Corporation**