

# Planned Development Application

May 21, 2018



Proposed Single-Tenant Corporate Office Building  
6500 Roosevelt Road, Oak Park, IL

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Proposed Vacation of Scoville Avenue - Roosevelt Road to the Alley  
Including a Proposed Cul-de-sac

Berwyn  
Properties, LLC



6501 West Roosevelt Road, Berwyn, IL 60402  
berwynproperties@gmail.com | (708) 317-3161

# Berwyn Properties, LLC



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# Berwyn Properties, LLC

Proposed Single-Tenant Corporate Office Building - 6500 Roosevelt Road  
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# Berwyn Properties, LLC

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Single-Tenant Corporate Office Building

# Berwyn Properties, LLC

May 2, 2018

Tab #1

Narrative\*

## Contents:

- i. Narrative
- ii. Summary of relief from zoning ordinance

# Berwyn Properties, LLC

Proposed Single-Tenant Corporate Office Building - 6500 Roosevelt Road  
Narrative - Planned Development Application - May 2, 2018

The Single-Tenant Corporate Office Building proposed by Berwyn Properties, LLC, is for the use of its affiliate, Turano Baking Company, as the Corporate Headquarters for its business. Turano Baking Company was founded in 1962 and is the nation's leading variety baker serving both wholesale and retail customers. Turano Baking Company operates five bakery facilities in Berwyn and Bolingbrook, Illinois; Villa Rica, Georgia; Orlando, Florida; and Henderson, Nevada. Out of these facilities, Turano Baking services nearly 10,000 customers daily with breads, rolls, buns, and other assorted baked goods through broadline distribution channels and also via Direct-Store Delivery operations in Illinois, Wisconsin, Indiana, Florida, Nevada, Arizona, and California.

Turano Baking Company has expanded drastically over the last fifty-five years and has reached the need for a proper administrative facility to support our growing operations. The property located at 6500-32 West Roosevelt Road in Oak Park is ideally situated to meet this need. Currently, the primary property is used to support the Route Sales operation of Turano Baking Company and previously housed our Fleet Maintenance facility. The Fleet Maintenance Facility was relocated to Harlem Avenue in Berwyn, leaving only fleet parking on the main property; with this project the parking would relocate to secured parking lots on the Berwyn side of Roosevelt Road. The secondary property at 6530-2 Roosevelt is currently a vacant building with parking.

The project would include demolition of existing improvements on both properties, a request from the Village of Oak Park to vacate Scoville Avenue for the use of Berwyn Properties, LLC, and construction of a two-story office structure with parking to support the facility. In consideration for the use of Scoville Avenue, Berwyn Properties would construct a cul-de-sac on the north side of the alley for the benefit of the neighborhood.

The compensating benefits for this project include but are not limited to:

- A more desirable usage of the property than currently in place;
- Environmental remediation (if necessary) and redevelopment of a property that has historically been used as a car dealership, motorcycle dealership, service garage, fleet maintenance facility, and truck parking lot;
- Reduced traffic on neighborhood streets by creating a cul-de-sac on Scoville Avenue at the alley, consistent with nearby side streets (Gunderson and Elmwood);
- Dramatically increased property tax and assessment value from current use;
- Major development along a significant commercial corridor, the first on Roosevelt Road in a decade; and
- Improved landscaping and greenspace compared with current property uses.

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# Berwyn Properties, LLC

## Public Art

To meet the Public Art benefit, Berwyn Properties LLC/Turano Baking Company is currently working with Camille Wilson-White of the Oak Park Area Arts Council to determine an appropriate contribution that best reflects the aligned goals of all involved parties. The proposed structure will complement and enhance the look and feel of the Roosevelt Road corridor while providing additional landscaping beyond existing conditions. The Applicant will present more detailed information once a formal agreement has been reached.

## Neighborhood Meeting

Berwyn Properties, LLC, presented the Single-Tenant Office Building project at an informal neighborhood meeting on April 30, 2018, at the Maze Branch Library Meeting Room at 845 Gunderson Avenue. All neighbors from both Oak Park and Berwyn within a 300 foot radius of the project site were invited to attend the meeting. Please refer to attached meeting information for further details.

# Berwyn Properties, LLC

Proposed Single-Tenant Corporate Office Building - 6500 Roosevelt Road  
Summary of Relief from Zoning Ordinance - Planned Development Application - May 21, 2018

1. Article 5.4 Section G.1:

Relief is needed from the seven foot setback requirement for the aisle of parking on vacated Gunderson Avenue. The sidewalk and curb is existing and will remain. The new resurfaced parking will begin from the existing curb and continue to the north along vacated Gunderson Avenue. Moving the parking to the north will result in the loss of one parking stall.

2. Article 5.4 Section G.2:

Relief is needed from the five foot setback requirement for the 26 parking stalls. The required number of parking stalls for the proposed building is 50 stalls. There are 102 occupants in the proposed building, requiring additional parking stalls. There are 97 parking stalls proposed. Conforming with the setback requirement will result in a parking count of 71 stalls, which causes an extreme deficiency in the ratio of parking stalls to building occupants.

3. Article 5.4 Section H.1:

Relief is needed from the 60% of street frontage occupied by building requirement. In order to meet the requirement with the proposed square footage, the building would be a single story, 96' x 261' building or a 48' x 261' building. Both building configurations are very inefficient for internal circulation and result in a much less efficient site plan for maximizing the need for parking stalls. The proposed building footprint of 82' x 152' has a street frontage of 34.9%. The building size provides for an efficient interior space plan configuration and it allows for a maximized parking lot layout.

4. Article 5.4 Section I.1. Table 5-11:

Relief is needed from the requirement for the building entrance to face Roosevelt Road. Due to MWRD requirements which cause the finished floor of the building to be 8 ½" above the public sidewalk on Roosevelt Road, and the 3' distance between the north edge of the sidewalk and the storefront, there is not enough space within the building setback for an accessible ramp up to the entry door. The entry door is located at the corner, which abuts Roosevelt Road.

5. Article 5.4 Section J.7.a:

Relief is needed from the five foot height limit for the security fence surrounding the employee parking lot. The proposed eight foot fence will be placed at the west property line and the north property line. The fence at the south border of the parking lot is seven feet from the property line along Roosevelt Road. The proposed height is eight feet. The fence will be an industrial grade aluminum fence with 4 x 4 posts, 1 5/8" x 1 5/8" rails and 1" x 1" pickets. The color will be black, designed to look like a wrought iron fence.

6. Article 7.4 Section A.1.b:

Relief is needed from the requirement for the façade to change in texture or masonry pattern in a wall that exceeds 30 feet. The proposed façade on Roosevelt Road is broken down into two parts, the 40 foot



# Berwyn Properties, LLC

long glass entry area and the 110 foot long typical office wall panel. The materials and details incorporated into the 100 foot long wall establishes a rhythm for the façade that does not compete with the unique glass entry feature.

## 7. Article 7.4 Section A.4.a:

Relief is needed from the requirement for the building front to be similar in proportion to traditional commercial storefronts, typically between 25 and 40 feet wide. The proposed building is not a traditional commercial storefront made up of smaller retail tenants at the street level and residential or office use on the upper floor. The proposed building is a single building user and the desire is to maintain a cohesive look for the building on all four sides with a unique feature, demarking the entry lobby and a special function on the second floor for the building occupant's clients.

## 8. Article 7.4 Section A.4.b:

Relief is needed from the requirement for display windows at ground level. The proposed building does not contain retail uses for the public.

## 9. Article 10.3 Section B.2:

Relief is needed from the requirement to provide internal pedestrian circulation in the parking lot. Adding a sidewalk in the center bay of parking will result in the loss of 16 parking stalls. Conforming with the internal pedestrian circulation requirement will result in a parking count of 81 stalls.

## 10. Article 10.3 Section G:

Relief is needed from the requirement that all parking lots and structures must be landscaped in accordance with Article 11. See below for the summary for Article 11.7 Section A, B and C.

## 11. Article 10.4 Section D.1 (Same as Section B.3, C.2 & C.4):

Relief is needed from the requirement to provide covered long-term bicycle parking spaces for 30% of the required bicycle spaces. The proposed number of bicycle parking spaces is 17 total, which complies with table 10-2. The bicycle parking spaces are not located within the secured parking lot area. As an alternative, the long-term spaces are located within the secured parking lot without being covered. The request for relief is specific to the requirement to cover the required long-term bicycle parking spaces.

## 12. Article 10.6 Section C.3:

Relief is needed from the requirement to locate all of the required short-term bicycle parking spaces within 50 feet of the building entrance. Three of the eleven short-term spaces are within 50 feet of an employee entrance. Locating all of the bicycle parking spaces within the secured parking lot, adjacent to the employee entrance will result in the loss of one parking space. Relief is requested to maintain the highest number of parking stalls.

## 13. Article 11.7 Section A:

Relief is needed from the requirement to provide a landscape island between every ten parking spaces. The loss to the parking stall count is three stalls.

# Berwyn Properties, LLC

## 14. Article 11.7 Section C:

Relief is needed from the requirement to terminate rows of parking stalls with a landscape island in the secure parking lot and the parking space on the south end of vacated Gunderson Avenue. The loss to the parking stall count is four stalls. To address the concern for the aesthetics and the benefits of adding landscape islands, we are proposing two 6 foot square diamond shaped tree planters at the intersection of four full size parking stalls. The four parking stalls (per planter) will be paved with permeable pavers to allow access for water and air for root growth. The alternate tree islands will not result in a loss of parking stalls.

Single-Tenant Corporate Office Building

# Berwyn Properties, LLC

May 2, 2018

Tab #2

Fee

## Contents:

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**BERWYN PROPERTIES LLC**


10668

Vendor ID	Name	Payment Number	Check Date	Document Number	
BVILL100	VILLAGE OF OAK PARK	0000001567	4/25/2018	10668	
Our Voucher Number	Date	Amount	Amount Paid	Discount	Net Amount Paid
20180425	4/25/2018	\$2,000.00	\$2,000.00	\$0.00	\$2,000.00

\$2,000.00      \$2,000.00      \$0.00      \$2,000.00

DOCUMENT CONTAINS FRONT AND REVERSE IMAGES FOR SECURITY. VOID REPRODUCTION. SECURE. PAPER CONTAINS TONER AND IRON PROTECTION AND A METALLIC Hologram.

**BERWYN PROPERTIES LLC**  
 6501 W. ROOSEVELT ROAD  
 BERWYN, ILLINOIS 60402



**FIRST MIDWEST BANK**

10668  
70-0160/719

DATE: 4/25/2018      AMOUNT: \$2,000.00

PAY: Two Thousand Dollars And 00 Cents

TO THE ORDER OF: VILLAGE OF OAK PARK

*Sandra Battarby*  
 AUTHORIZED SIGNATURE

TRUE WATERMARKED PAPER • HOLD TO LIGHT TO VIEW



Contents:

- a. Planned Development Standards\*
  - i. Planned Development Standards
  - ii. Planned Development – Purpose and Intent
- b. Sustainability Standards\*

# Berwyn Properties, LLC

Proposed Single-Tenant Corporate Office Building - 6500 Roosevelt Road  
Planned Development Standards - Planned Development Application - May 2, 2018

## Compensating Benefits

In consideration for the use of Scoville Avenue, Berwyn Properties would construct a cul-de-sac on the north side of the alley for the benefit of the neighborhood.

The compensating benefits for this project include but are not limited to:

- A more desirable usage of the property than currently in place;
- Environmental remediation (if necessary) and redevelopment of a property that has historically been used as a car dealership, motorcycle dealership, service garage, fleet maintenance facility, and truck parking lot;
- Reduced traffic on neighborhood streets by creating a cul-de-sac on Scoville Avenue at the alley, consistent with nearby side streets (Gunderson and Elmwood);
- Dramatically increased property tax and assessment value from current use;
- Major development along a significant commercial corridor, the first on Roosevelt Road in a decade; and
- Improved landscaping and greenspace compared with current property uses.

## Value of Cul-de-sac:

Excavation:	\$75,000.00
Landscaping / Hardscape:	\$25,000.00
Asphalt / Paving:	\$20,000.00
Relocating Utilities / Hydrant / Sewer Repairs:	\$25,000.00
Contingencies:	\$30,000.00
<hr/>	
Total:	\$175,000.00

## Village Improvements

As part of the proposed project, Berwyn Properties LLC will be installing at its expense a cul-de-sac at Scoville Avenue and the Alley, as well as relocating public utilities to accommodate this cul-de-sac.

## Public Art

To meet the Public Art benefit, Berwyn Properties LLC/Turano Baking Company is currently working with Camille Wilson-White of the Oak Park Area Arts Council to determine an appropriate contribution that best reflects the aligned goals of all involved parties. The proposed structure will complement and enhance the look and feel of the Roosevelt Road corridor while providing additional landscaping beyond existing conditions. The Applicant will present more detailed information once a formal agreement has been reached.



# TURANO BAKING COMPANY



Improve the pedestrian experience on Roosevelt Road with a 3 ft. landscape buffer at the proposed building and a 7 ft. landscape buffer at the proposed parking lot through the addition of new trees and ground plantings along the public sidewalk.

Improve property values for the residential properties to the north by removing the chain link fences throughout the site and replacing them with an architectural decorative fence at the perimeter of the employee parking lot.





CREDIT NAME	POINTS				NOTES:
	Yes	No	?	NA	
<b>PROJECT MANAGEMENT</b>	<b>31.5</b>	<b>14</b>	<b>1.5</b>	<b>3</b>	<b>Maximum points = 50</b>
<b>1.1 Integrated Design Process (IDP)</b>	<b>6.5</b>	<b>1</b>	<b>1.5</b>	<b>0</b>	<b>9 points</b>
1.1.1 Pre-Design Meetings	3	0	0	0	An integrated design process (IDP) is employed, including the following disciplines: architect, civil engineer, MEP engineer and sustainability consultant. Pre-design meeting held on 4/26/18.
1.1.2 IDP Performance Goals	1	0	0	0	Qualitative green design goals established for site design, envelope, materials efficiency and indoor environment. Performance objectives were established at the pre-design meeting for energy efficiency and construction waste diversion.
1.1.3 IDP Progress Meeting for Design	0.5	0	0	0	IPD team held meeting (on 4/26/18) prior to completion of the concept phase.
	0.5	0	0	0	IPD team meeting will occur prior to completion of design development phase.
	0.5	0	0	0	IPD team meeting will occur prior to completion of construction documents phase.
1.1.4 Capital Asset Plan & Business Case Summary (Federal only)	0	0	0	0	If points are needed, include the requirement for IPD meetings prior to completion of construction milestones. Not applicable
<b>1.2 Environmental Management During Construction</b>	<b>2</b>	<b>7</b>	<b>0</b>	<b>3</b>	<b>12 points</b>
1.2.1 Environmental Management Systems (EMS)	0	3			Not in project scope.
1.2.2 Clean Diesel Practices	0	2			Not in project scope.
1.2.3 Building Materials and Building Envelope	1	0	0	0	Absorptive and organic materials will be protected, requirements will be included in division 1 of project manual.
	1	0	0	0	The building envelope will be weather-tight and permitted to dry before installation of interior walls, wood floors, ceiling and HVAC systems.
1.2.4 IAQ During Construction		2			If points are needed, added cost for flush or air quality testing.
<b>1.3 Commissioning</b>	<b>23</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>29 points</b>
1.3.1 Pre-Commissioning		3			There will be no commissioning agent.
1.3.2 Whole Building Commissioning	4				Per ECI, HVAC&R systems and controls will be commissioned.
	3				Per ECI, building envelope will be commissioned.
		2			Structural systems will not be commissioned.
	2				Fire protection systems will be commissioned per specifications.
	1				Plumbing systems will be commissioned.
	1				Electrical systems will be commissioned.
	1				Per ECI, the lighting system and controls will be commissioned.
	1				The building will have a BAS and it will be commissioned per ECI.
	1				Elevator will be commissioned per specifications.
	1				Communication systems will be commissioned.
1.3.3 Training	1				Partitions will not be field-tested for noise isolation.
1.3.4 Operations and Maintenance Manual	6				Compliance with ASHRAE/NIBS Guideline 0-2005 will not be required. End-user training will be required and specification will include compliance with ASHRAE/NIBS Guideline 0-2005. There will be a complete CMMS.
<b>SITE</b>	<b>54</b>	<b>45</b>	<b>13</b>	<b>3</b>	<b>Maximum points = 115</b>
<b>2.1 Development</b>	<b>20</b>	<b>0</b>	<b>10</b>	<b>0</b>	<b>30 points</b>
2.1.1 Urban Infill and Urban Sprawl	5				The project is located within 1/2 mile of a commercial zone.
2.1.2 Greenfields, Brownfields and Floodplains	5		10		The project site was previously developed (parking lot). A Phase I Assessment was completed and some remediation (tanks) will but the project is not formally defines as a brownfield.
	6				The site was not previously (3 years before) sensitive site (prime farmland, wetlands, etc.).
	4				The project site is not located in a floodplain.
<b>2.2 Ecological Impacts</b>	<b>11</b>	<b>15</b>	<b>3</b>	<b>3</b>	<b>32 points</b>
2.2.1 Site Disturbance and Erosion	5				Path A: There will be an Erosion and Sedimentation Control Plan created by the civil engineer. Construction activities will not extend beyond site plan (sidewalk), confirm with ECI 40' and 5' requirements.
2.2.2 Tree Integration		2			Three existing large trees will be removed.
2.2.3 Tree Preservation		4			There is not existing clusters of trees and undergrowth. Existing trees will not be preserved.
2.2.4 Heat Island Effect	6				Roof will be finished in white TPO
		2			Parking will be asphalt
		3			Trees will not shade greater than 25% of new hardscape.
2.2.5 Bird Collisions		2			Precast panels will be dark color (less than 29 SRI)
<b>2.3 Stormwater Management</b>	<b>8</b>	<b>10</b>	<b>0</b>	<b>0</b>	<b>18 points</b>
2.4 Landscaping	5				The stormwater system will be designed to meet local code runoff rates.
	3				The site is not within 100' of a natural body of water.
	14	14	0	0	<b>28 points</b>
2.5 Exterior Light Pollution	6				McCallum will develop and stamp landscape and irrigation drawings.
	3				The landscape and irrigation plans will include soil type, drainage and light conditions in addition to structural limitations.
		10			The landscape design will not include draught-tolerant and native plants and it will not minimize turf grass.
ENERGY	2				The landscaped areas will include at least 6" of aerated soil and utilize organic mulch.
	3	4			Plants with similar water requirements will be grouped together and will be spaced to allow for maturation at a 5-year growth rate. However, pervious materials will not be used for walkways, etc.
	1	6	0	0	<b>7 points</b>
3.1 Energy Performance	1	6			Path B: All exterior fixtures will be downlighting but other site lighting requirements will not be meet.
<b>3.2 Energy Demand</b>	<b>101</b>	<b>242</b>	<b>20</b>	<b>27.5</b>	<b>Maximum points = 390</b>
3.2.1 Passive Demand Reduction	0	100	0	0	<b>100 points</b>
3.2.2 Power Demand Reduction	0	0	0	0	An energy model will not be done for the project. MEP code is ASHRAE 2013 Ownership does not use Energy Star's Portfolio Manager to compare actual performance data from the first year of operation but may in the future.
<b>3.3 Metering, Measurement, and Verification</b>	<b>3</b>	<b>6</b>	<b>0.5</b>	<b>2.5</b>	<b>12 points</b>
3.3.1 Metering	3			1	There will be whole building metering of electric, gas and water. The project does not include stream (NA).
3.3.2 Measurement and Verification		2	0.5	1.5	Verify lighting submetering required by code. Otherwise, no additional submetering.
3.4 Building Opaque Envelope		4			No measurement and verification.
3.4.1 Thermal Resistance and Transmittance	30	1	0	0	<b>31 points</b>
3.4.2 Orientation	10	0	0	0	The building will meet the thermal requirements per IECC 2015.
3.4.3 Fenestration Systems	4	1	0	0	The north.south east/west fenestration ratio is 1.891.
	16	0	0	0	Fenestration systems will meet U-factor and SHGC requirements.



<b>3.5 Lighting</b>		<b>15</b>	<b>14</b>	<b>7</b>	<b>0</b>	<b>36 points</b>
3.5.1	Lighting Power Density	10				Space-by-Space method will be used to calculate lighting power density.
3.5.2	Interior Automatic Light Shut-off Controls			3		There will be time-scheduling and individual occupant-sensing devices. Need percentage.
3.5.3	Light Reduction Controls			4		Interior lighting controls will be determined by code.
3.5.4	Daylighting		8			No skylights and grey tinted glass.
3.5.5	Controls for Daylighted Zones		6			No daylighting controls.
3.5.6	Exterior Luminaires and Controls	5				Per ECI, exterior LED light fixtures will have an initial system efficacy of at least 60 lumens and will have photo sensor or astronomical time switch.
<b>3.6 HVAC Systems and Controls</b>		<b>17</b>	<b>17</b>	<b>0</b>	<b>25</b>	<b>59 points</b>
3.6.1	Building Automation System	10				Yes, this will be a simple BAS.
3.6.2	Cooling Equipment	4	9			Yes, the building's cooling equipment will comply with ASHRAE 90.1-2010 with respect to COP, EER and SEER
3.6.3	Cooling Towers				8	No cooling tower
3.6.4	Heat Pumps				6	No heat pumps.
3.6.5	Heating Equipment		8			Heating equipment meets ASHRAE 90.1-2010 but does not exceed.
3.6.6	Condensate Recovery				3	
3.6.7	Steam Traps				2	
3.6.8	Domestic Hot Water Heaters	2				The DHW system will meet the efficiency requirements of ASHRAE 90.1-2010.
		1				Intermittent electrical igniters and low NOx burners for all DHW heaters.
3.6.9	Variable Speed Control of Pumps				6	Constant
<b>3.7 Other HVAC Systems and Controls</b>		<b>14.5</b>	<b>16</b>	<b>1.5</b>	<b>0</b>	<b>32 points</b>
3.7.1	Minimizing Re-heat and Re-cool	3	3			The HVAC design will minimize re-heat and re-cool.
3.7.2	Air Economizers	1				There will be air economizers with a mode that uses OA for cooling instead of mechanical cooling.
		1				Controls will shut OA and exhaust air dampers during periods when the system is not operating.
3.7.3	Fans and Ductwork			1.5		The dampers will not be "low leakage".
						If points are needed, specify diffusers and registers sized with a full flow pressure drop no greater than 0.01 in. of water column, noise criteria of 35 or less and supply and return ductwork sized with a pressure drop no greater than 0.1 of water column per 100 lineal feet.
		1.5	1			The flexible ductwork will meet requirements for connections, durable elbow support and will not exceed 5 feet when fully stretched.
		1				Motor fans will meet NEMA's Premium Energy Efficiency Motor Program.
						Variable speed fans will be controlled by either a duct pressure set-point or energy management control system.
			5			There will be demand controlled ventilation.
3.7.4	Demand Controlled Ventilation	5				The ventilation heat recovery system will include pressure-drop impact on fan power, bypass for economizer operation and MERV 13 filtration.
3.7.5	Variable Refrigerant Flow Systems		6			The HVAC design does not utilize VRF system technology.
<b>3.8 Other Energy Efficient Equipment and Measures</b>		<b>4</b>	<b>7</b>	<b>0</b>	<b>0</b>	<b>11 points</b>
3.8.1	Elevators and Escalators		5			The elevator does not include regenerative braking and slow down or stop when detectors indicate no traffic.
3.8.2	Other Energy Efficient Equipment	4	2			Energy Star labeled lighting fixtures and motors will be specified.
<b>3.9 Renewable Energy</b>		<b>0</b>	<b>41</b>	<b>9</b>	<b>0</b>	<b>50 points</b>
3.9.1	On-site Renewable Energy			9		If points are needed, a solar study can be completed.
3.9.2	Off-site Renewable Energy		23			No renewable energy systems will be installed.
			18			
		<b>14</b>	<b>8</b>	<b>2</b>	<b>0</b>	<b>24 points</b>
<b>3.10 Energy Efficient Transportation</b>		<b>10</b>				<b>24 points</b>
				2		The 305 bus stops at Roosevelt and S. Elmwood Ave (0.1 mile from site)
						If points are needed, add designated parking for car/van pooling and shelter for people waiting.
			5			There will be no EV charging stations.
		3				The project site is located 0.20 miles from marked shared bike lane on Ridgeland Ave. Additionally, there is a Neighborhood Greenway Network on Scoville/S. East Ave.
			3			The site includes bike parking with capacity for 16 bikes however it is not sheltered.
		1				The average Walk Score around the building site is 78.
<b>WATER</b>		<b>29</b>	<b>12</b>	<b>28</b>	<b>41</b>	<b>Maximum points = 110</b>
<b>4.1 Water Consumption</b>		<b>14</b>	<b>0</b>	<b>20</b>	<b>8</b>	<b>42 points</b>
		6		18		A 25% water reduction for interior water fixtures is estimated but the possibility of larger reduction results.
		2				The toilet will be WaterSense labelled with maximum flush of 1.28 GPF
		2				The urinal will be WaterSense labelled with maximum flush of 0.5 GPF
					2	There are no showerheads in the project.
					2	There are no residential lavatory faucets in the project.
		2				The faucet in the breakroom and test kitchen will be WaterSense labelled with maximum flow of 2.2 GPM
		2				The lavatory faucets will be WaterSense labelled with maximum flow of 0.5 GPM.
					2	The project will not employ any additional water savings measures.
					2	There are no residential clothes washers in the project scope.
				2		The breakroom will be equipped with dish washers, confirm with owner if they will be Energy Star.
<b>4.2 Cooling Towers</b>		<b>0</b>	<b>0</b>	<b>0</b>	<b>9</b>	<b>9 points</b>
<b>4.3 Boilers and Water Heaters</b>		<b>1</b>	<b>2</b>	<b>1</b>	<b>0</b>	<b>4 points</b>
				1		Verify that boilers and water heating systems of 50 bhp and above have a boiler feed makeup meter.
		1				The boiler systems with over 50 bhp do not have condensate return systems.
		1				Boilers have conductivity controllers.
				1		Steam boilers do not have conductivity meters.
<b>4.4 Water Intensive Applications</b>		<b>0</b>	<b>0</b>	<b>6</b>	<b>12</b>	<b>18 points</b>
4.4.1	Commercial Food Service Equipment			6		To be confirmed with ownership.
4.4.2	Laboratory and Medical Equipment				5	Not in project scope.
4.4.3	Laundry Equipment				4	Not in project scope.
4.4.4	Special Water Features				3	Not in project scope.
<b>4.5 Water Treatment</b>		<b>0</b>	<b>2</b>	<b>1</b>	<b>0</b>	<b>3 points</b>
				1		Verify filtration system in test kitchen.
			2			Reverse osmosis and water softeners will not be utilized.
<b>4.6 Alternate Sources of Water</b>		<b>0</b>	<b>5</b>	<b>0</b>	<b>0</b>	<b>5 points</b>
<b>4.7 Metering</b>		<b>0</b>	<b>3</b>	<b>0</b>	<b>8</b>	<b>11 points</b>
					5	There are no water-intense indoor applications and cooling towers.
					3	There is no irrigation.
			3			There is no submetering of water systems.
<b>4.7 Irrigation</b>		<b>14</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>18 points</b>
		14			4	The current landscape design will not have permanent irrigation.
<b>MATERIALS &amp; RESOURCES</b>		<b>27</b>	<b>56.5</b>	<b>10.5</b>	<b>31</b>	<b>Maximum points = 125</b>

<b>5.1 Building Assembly (Core &amp; Shell Envelope)</b>		<b>0</b>	<b>23</b>	<b>10</b>	<b>0</b>	<b>33 points</b>
			23	10		Path B: Project may be able to achieve 10%, by cost, of project EPDs. Goal will be written into division 1 of the project manual.
<b>5.2 Interior Fit-Out (including Finishes and Furnishings)</b>		<b>5</b>	<b>11</b>	<b>0</b>	<b>0</b>	<b>16 points</b>
		5	11			Path B: Project will achieve 10%, by cost, of project EPDs. Goal will be written into division 1 of the project manual.
<b>5.3 Reuse of Existing Structures</b>		<b>0</b>	<b>0</b>	<b>0</b>	<b>26</b>	<b>26 points</b>
5.3.1	Facades				6	Not applicable
5.3.2	Structural Systems				6	Not applicable
5.3.3	Non-Structural Elements				14	Not applicable
<b>5.4 Waste</b>		<b>7</b>	<b>1</b>	<b>0</b>	<b>1</b>	<b>9 points</b>
5.4.1	Construction Waste	6			1	A greater than 75% diversion rate is anticipated.
5.4.2	Operational Waste	1	1			There will be a single waste stream with sorting done offsite.
<b>5.5 Building Service Life Plan</b>			<b>7</b>			<b>7 points</b>
<b>5.6 Resource Conservation</b>		<b>4</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>6 points</b>
5.6.1	Minimized Use of Raw Materials	3				The building's design utilizes precast panels and open web steel joists.
5.6.2	Multi-Functional Assemblies	1				Spray foam will be used for insulation and as the vapor barrier.
5.6.3	Deconstruction and Disassembly		2			There is no deconstruction plan.
<b>5.7 Building Envelope - Roofing/ Openings</b>		<b>6.5</b>	<b>3.5</b>	<b>0</b>	<b>0</b>	<b>10 points</b>
5.7.1	Roofing Membrane Assemblies and Systems	3				The roofing membrane will be installed per manufacturers' instructions and inspected.
5.7.2	Flashings	1.5	1.5			The flashing will be installed per manufacturers' instruction but not inspected per NIBS Guideline 3-2006.
5.7.3	Roof and Wall Openings	2	2			Roof and wall openings will comprise moisture management design that exceeds industry prescribed performance requirements and be installed per industry best practices however it will not be inspected per NIBS Guideline 3-2006. WHA is verify specification.
<b>5.8 Envelope - Foundation, Waterproofing</b>		<b>2.5</b>	<b>3</b>	<b>0.5</b>	<b>0</b>	<b>6 points</b>
5.8.1	Foundation Systems	1	1			New foundation will conform to industry best practices and the slab on grade will be positioned directly over vapor retarders.
				0.5		WHA to confirm 5% slope grade away indicated from the building for at least 10'.
		1.5				Roof drainage will be at least 3' beyond building (no overhang) and there will be a foundation drainage system.
5.8.2	Below Grade Wall Slabs and Above Grade Horizontal Assemblies		2			No below grade slab.
<b>5.9 Envelope - Cladding</b>		<b>1</b>	<b>2</b>	<b>0</b>	<b>2</b>	<b>5 points</b>
5.9.1	Exterior Wall Cladding Systems	1	2			Aluminum framed glazing.
5.9.2	Rainscreen Wall Cladding				2	Not applicable
<b>5.10 Envelope - Barriers</b>		<b>1</b>	<b>4</b>	<b>0</b>	<b>2</b>	<b>7 points</b>
5.10.1	Air Barriers		4			Not in project scope.
5.10.2	Vapor Retarders	1			2	Vapor retarders will comply with IECC 2012
<b>EMISSIONS</b>		<b>10</b>	<b>40</b>	<b>0</b>	<b>0</b>	<b>Maximum points = 50</b>
<b>6.1 Heating</b>			<b>18</b>			<b>18 points</b>
<b>6.2 Cooling</b>		<b>10</b>	<b>19</b>	<b>0</b>	<b>0</b>	<b>29 points</b>
6.2.1	Use of New or Existing Cooling Equipment (informational only)				0	Not applicable
6.2.2	Ozone-Depleting Potential	10				ODP less than or equal to 0.005
6.2.3	Global Warming Potential		10			GWP 100 greater than 1500
6.2.4	Leak Detection		9			No leak detection
<b>6.3 Janitorial Equipment</b>			<b>3</b>			<b>3 points</b>
<b>INDOOR ENVIRONMENT</b>		<b>91.5</b>	<b>53.5</b>	<b>6</b>	<b>9</b>	<b>Maximum points = 160</b>
<b>7.1 Ventilation</b>		<b>29</b>	<b>6</b>	<b>2</b>	<b>0</b>	<b>37 points</b>
7.1.1	Ventilation Air Quantity	11				ICC 2009
7.1.2	Air Exchange	8				Path A: mechanical ventilation. Need to verify that zone air distribution effectiveness Ez value greater than or equal to 0.9 in all regularly occupied spaces.
7.1.3	Ventilation Intakes and Exhausts			1		Exhaust outlets and plumbing vent stacks are located at least 20' away from outdoor air intakes.
			1			Outdoor air inlets are located within 30' of pollution sources.
		5				Outdoor air inlets will be protected and have filters and ductwork will be lined and roof drainage slopes away from OA intakes.
			1			Outdoor air inlets and outlets, including louvers and rain hoods, are sized appropriately as per ANSI/ASHRAE 62.1-2010
7.1.4	CO2 Sensing and Ventilation Control Equipment		5			Not in project scope.
7.1.5	Air Handling Equipment	5				MERV 13 filtrations
<b>7.2 Source Control and Measurement of Indoor Pollutants</b>		<b>37</b>	<b>2</b>	<b>1</b>	<b>6</b>	<b>46 points</b>
7.2.1	Volatile Organic Compounds	10				Division 1 specification will define VOC requirements for adhesives, sealants, carpet, paints, and flooring.
7.2.2	Leakage, Condensation and Humidity	8				To avoid fungus, mold and bacteria, the HVAC will monitor and control dew point, use mold resistant material in high humidity areas and there will be floor drains in case of equipment failures.
7.2.3	Access for HVAC Maintenance	3		1		HVAC system will be installed per ASHRAE 62.1, architectural features will be installed per ICC and HVAC equipment access doors will be removable.
7.2.4	Carbon Monoxide Monitoring	4				There are carbon monoxide monitoring devices.
7.2.5	Wet Cooling Towers	2				There are no wet cooling towers.
7.2.6	Domestic Hot Water Systems	2				Hot water storage at or above 131 F
7.2.7	Humidification and Dehumidification Systems	3				There will be drain pans for dehumidifying cooling coils.
7.2.8	Pest and Contamination Control	1	2			Structural and mechanical openings will be fitted with permanent protection and mullions and ledges will be less than 1" deep.
7.2.9	Other Indoor Pollutants (Tobacco, Radon)	2			6	Smoking is only allowed in designated areas away from building. The project is not located in a high radon area.
7.2.10	Ventilation and Physical Isolation for Specialized Activities	2				Separate ventilation will be used for kitchen.
<b>7.3 Lighting Design and Systems</b>		<b>14</b>	<b>13</b>	<b>3</b>	<b>0</b>	<b>30 points</b>
7.3.1	Daylighting		7			No daylighting.
		5				It is estimated that greater than 60% of regularly occupied area will have exterior views.
		2				There are shades on all windows.
			3			Code will determine if photo-sensors are required in daylight areas.
7.3.2	Lighting Design	7				Primary occupied spaces will be designed to prescribed lighting levels per tasks.
			6			There will not be a lighting engineer for this project.
<b>7.4 Thermal Comfort</b>		<b>10</b>	<b>5</b>	<b>0</b>	<b>3</b>	<b>18 points</b>
7.4.1	Thermal Comfort Strategies				3	The project is not a big box store.
		3				1,500 SF or less
			3			More than 1,000 SF
		3				Offices will be 1,200 SF or less
7.4.2	Thermal Comfort Design	4	2			Comply with ASHRAE 55-2004
<b>7.5 Acoustic Comfort</b>		<b>1.5</b>	<b>27.5</b>	<b>0</b>	<b>0</b>	<b>29 points</b>
7.5.1	Acoustic Comfort Design	0.5	17.5			Toilets are located remotely from acoustically separated areas.
7.5.2	Mechanical, Plumbing, and Electrical	1	10			HVAC grilles and diffusers will comply with ANSI/ASA S12.60-2010

TOTAL	344	463	79	115	Maximum points = 1000
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**Total applicable points:** 886  
**Minimum points required for 1 Globe:** 310

Single-Tenant Corporate Office Building

**Berwyn Properties, LLC**

May 2, 2018

Tab #4

Owner Information

Contents:

- a. Contact Information\*
- b. Title Policy and Affidavit of Ownership
- c. Owner Statement (Not included / applicable for this project)
- d. Professional Qualifications
- e. Financing





# Petition for Public Hearing

## PLANNED DEVELOPMENTS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Development : Single-Tenant Office Building

Address/Location of Property in Question: 6500-32 Roosevelt Road, Oak Park, Illinois  
16-18-426-040-0000, 16-18-426-041-0000, 16-18-427-036-0000, 16-18-427-037-0000,

Property Identification Number(s)(PIN):16-18-427-038-0000, 16-18-427-039-0000, 16-18-427-040-0000, 16-18-427-041-0000,  
16-18-427-042-0000, 16-18-427-043-0000, 16-18-427-044-0000

Name of Property Owner(s): Berwyn Properties, LLC

Address of Property Owner(s): 6501 W Roosevelt Rd., Berwyn, IL 60402

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) \_\_\_\_\_

Name of Applicant(s): Berwyn Properties, LLC

Applicant's Address: 6501 W. Roosevelt Rd., Berwyn, IL 60402

Applicant's Phone Number: Office 708-317-3161 E-Mail berwynproperties@gmail.com

Other: 708-317-3943

Project Contact: (if Different than Applicant) \_\_\_\_\_

Contact's Address: \_\_\_\_\_

Contact's Phone Number: Office \_\_\_\_\_ E-Mail \_\_\_\_\_

Other: \_\_\_\_\_

Property Interest of Applicant:  Owner  Legal Representative  Contract Purchaser  Other

(Describe): \_\_\_\_\_

Existing Zoning: RR-T Describe Proposal: The existing parking lot site will be improved to current EPA standards and revitalized with a new two story built-to-suit single tenant office building. The new building will be 24,928 Gross Square Feet. It will be the new home for the administrative offices of Turano Bakery, which currently is located across the street in Berwyn. To meet the parking requirements for the employees, we are proposing for Scoville Avenue to be vacated. A new cul-de-sac at Scoville Avenue, designed to Village standards, is being offered to the Village as a compensating benefit for the zoning relief that is proposed.

**Proposed Planned Development Type:**

Residential PD

Non-Residential PD

Mixed Use PD

Parcel 1: 8,498 sq.ft. or 0.195 acres  
Parcel 2: 37,631 sq.ft. or 0.864 acres  
Vacated Scoville Ave: 8,277 sq.ft. or 0.190 acres

Size of Parcel (from Plat of Survey): 54,406 Square Feet

**Adjacent: Zoning Districts**

**Land Uses**

To the North: R-4

Single family homes

To the South: C-2 (BERWYN)

Mixed use - Food processing / Distribution / Light Office

To the East: RR-T

Multi-family Residential Building & Walgreens Store

To the West: RR-T

Single Story Retail (Salvation Army Thrift Store & AC Delco)

**How the property in question is currently improved?**

Residential  Non-Residential  Mixed Use  OTHER: \_\_\_\_\_

Describe Improvement: Parcel 2 is being used for delivery truck and employee parking. Parcel 1 has a two story existing building that will be demolished with an adjacent off-street parking lot.

Is the property in question currently in violation of the Zoning Ordinance?  Yes  No

If Yes, how? At Parcel 2, there is no parking setback at the alley or along Scoville Ave. and Roosevelt Road. The existing fence is 8 feet high and it is a chain-link fence.

Is the property in question presently subject to a Special Use or Planned Development?  Yes  No

If Yes, how? \_\_\_\_\_

If Yes, please provide relevant Ordinance No.'s \_\_\_\_\_

Is the subject property located within any Historic District?  Yes  No

If Yes,:  Frank Lloyd Wright  Ridgeland/Oak Park  Gunderson

**From what Section(s) of the Zoning Ordinance are you requesting approval / relief?**

Article 5.4 - Section G.2; H.1; J.7.a Article 10.4 - Section D.1

Article 7.4 - Section A.1.b; A.4.a & b Article 10.6 - Section B.3; C.2,3 & 4

Article 10.3 - Section B.2; G Article 11.7 - Section A, B, C

**Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;**

The new development will provide a more peaceful environment for the residential neighborhood. The existing parcel 2 lot will be improved with landscaping and an architectural wrought iron styled aluminum fence which will be an improvement to the chain-link fence that is currently surrounding the parcel.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Berwyn Properties, LLC

(Printed Name) Applicant

*[Handwritten Signature]*

(Signature) Applicant

4/24/18  
Date

Berwyn Properties, LLC

(Printed Name) Owner

*[Handwritten Signature]*

(Signature) Owner

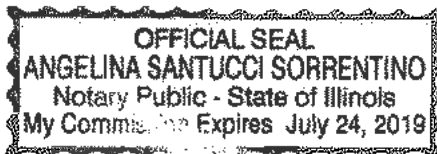
4/24/18  
Date

**Owner's Signature must be notarized**

SUBSCRIBED AND SWORN TO BEFORE ME THIS

24th DAY OF April, 2018

*[Handwritten Signature: Angelina Santucci Sorrentino]*  
(Notary Public)



Updated September 2017



## ALTA COMMITMENT FOR TITLE INSURANCE

ISSUED BY  
STEWART TITLE GUARANTY COMPANY

STEWART TITLE GUARANTY COMPANY, a Texas Corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

IN WITNESS WHEREOF, Stewart Title Guaranty Company has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.

Countersigned by:

Stewart Title Company  
700 E. Diehl Road, Ste 180  
Naperville, IL 60563  
(630) 577-8620



**Matt Morris**  
President and CEO

**Denise Carraux**  
Secretary

For purposes of this form the "Stewart Title" logo featured above is the represented logo for the underwriter, Stewart Title Guaranty Company.

## CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at < <http://www.alta.org/>>.*

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252.

COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A

File No.: 01146-57420

1. **Effective Date:** April 18, 2018 at 8:00 A.M.

2. **Policy or Policies to be issued:**

**Amount of Insurance**

(a) ALTA Owner's 2006 (Standard)

\$10,000.00

Proposed Insured:

(b) ALTA Mortgagee's 2006 (Standard)

Proposed Insured:

3. **The estate or interest in the land described or referred to in this Commitment and covered herein is:**

Fee Simple

4. **Title to the estate or interest in said land is at the effective date hereof vested in:**

Berwyn Properties LLC, an Illinois limited liability company

5. **The land referred to in this Commitment is described as follows:**

Parcel 1:

Lots 137 and 138 in South Ridgeland in South Ridgeland being a subdivision of a part of the Southeast quarter of Section 18, Township 39 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2:

Lots 43, 44, 45, 46, 47, 48, 49, 50, 51, 52 and that part of the West half of vacated Gunderson Avenue lying East of and adjoining said Lot 43 in South Ridgeland being a subdivision of a part of the Southeast quarter of Section 18, Township 39 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.

For information purposes only, the property address is purported to be:

6530 - 32 Roosevelt Road, Berwyn, IL 60402

6500 Roosevelt Road, Oak park, IL 60402



## COMMITMENT FOR TITLE INSURANCE SCHEDULE B

File No. 01146-57420

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company all clauses, if any, which indicate any preference, limitation or discrimination based on race, color, religion or national origin are omitted from all building and use restrictions, covenants and conditions, if any, shown herein):

- A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.

### B. STANDARD EXCEPTIONS

1. Rights or claims of parties in possession not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes or special assessments which are not shown as existing liens by the public records.

### C. SPECIAL EXCEPTIONS

General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-426-040-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$3,214.91 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 138 of Parcel 1

2. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-426-041-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$1,101.78 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 137 of Parcel 1

3. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-036-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.



**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B**

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 52 of Parcel 2

4. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-037-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 51 of Parcel 2

5. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-038-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 50 of Parcel 2

6. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-039-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 49 of Parcel 2

7. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-040-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 48 of Parcel 2

8. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-041-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$1,196.06 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lots 46 and 47 of Parcel 2





COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B

9. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-042-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 45 of Parcel 2

10. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-043-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$598.35 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 44 of Parcel 2

11. General real estate taxes for the year(s) 2017, 2018 and subsequent years.

Permanent Index Number: 16-18-427-044-0000 (Volume number 145)

Note: The first estimated installment of the 2017 taxes in the amount of \$1,817.39 is paid.

Note: The final installment of the 2017 taxes and the taxes for the year 2018 are not yet due and payable.

Note: Affects Lot 43 and vacated Gunderson Street of Parcel 2

12. Mortgage dated June 5, 2005 and recorded June 16, 2005 as document number [0516702113](#) , made by Ronald R. Cobb, to LABE Bank, to secure an indebtedness of \$75,000.00 and such other sums as provided therein.

Note: Affects Lot 137 in Parcel 1

13. Assignment of Rents dated June 5, 2005 and recorded June 16, 2005 as document number [0516702114](#) , made by Ronald R. Cobb, to LABE Bank.

Note: Affects Lot 137 in Parcel 1

14. Mortgage, Security Agreement, Assignment of Rents and Leases and Fixture Filing dated October 27, 2017 and recorded October 31, 2017 as document number [1730429059](#) , made by Berwyn Properties, L.L.C., an Illinois limited liability company, to JPMorgan Chase Bank, to secure an indebtedness of \$15,000,000.00 and such other sums as provided therein.

Note: Affects Parcel 2 and other land.

15. Assignment of Rents and Leases dated October 27, 2017 and recorded October 31, 2017 as document number [1730429060](#) , made by Berwyn Properties, L.L.C., an Illinois limited liability company, to JPMorgan Chase Bank.



## COMMITMENT FOR TITLE INSURANCE SCHEDULE B

Note: Affects Parcel 2 and other land.

16. Security interest of JPMorgan Chase Bank, N.A., under a financing statement executed by Berwyn Properties L.L.C., and filed November 13, 2017 as document number [1731729056](#) .

Note: Affects Parcel 2 and other land.

17. Rights of public or quasi-public utilities, if any, in the vacated street or alley described in Schedule A as set forth in the instruments recorded as document number [98891689](#) and [0501939112](#) .

18. Existing unrecorded leases, if any.

19. Rights of parties in possession of the subject property by reason of unrecorded leases, if any.

20. Any lien, or right to a lien in favor of the property manager employed to manage the land.

Note: We should be furnished either (a) an Affidavit from the owner indicating that there is no property manager employed to manage the land, or, (b) a Final Lien waiver from the property manager acting on behalf of the owner.

21. We should be advised whether any recent improvements have been placed on the subject property within the last six months.

Note: If new improvements are involved we will also require customary contractors' statements, lien waivers and a survey for structural additions.

22. With respect to the Limited Liability Companies shown in Schedule A in title to the land, the Company must be provided with the following:

- a) A certification from the Illinois Secretary of State that the L.L.C. has properly filed its articles of organization;
- b) A copy of the Articles of Organization, together with any amendments thereto;
- c) A Certificate of Good Standing from the Illinois Secretary of State;
- d) A copy of the Operating agreement and all amendments thereto; and,
- e) A Roster of members or incumbent managers.
- f) A certification that no event of dissolution has occurred.

NOTE: Unless the deed is executed by all members, we must also be furnished evidence satisfactory to the Company that all necessary consents, authorizations, resolutions, notices and actions relating to the sale and the execution and delivery of the deed as required under applicable law and the governing documents have been conducted, given or properly waived.

NOTE: By City of Berwyn municipal ordinance a transfer tax has been imposed up the sale or conveyance of real property within the municipality. Therefore all deeds presented to the Company for recording must have the appropriate Transfer Tax Stamps affixed thereof, or be marked "Exempt" by the municipality.

NOTE: The following 24 month chain of title is shown for informational purposes only and not the purpose of insuring: Title to the estate or interest shown in Schedule A was acquired as follows:

(A) by Warranty Deed dated March 3, 2008 and recorded March 17, 2008 as document number [0807705160](#) from Ronald Cobb, to Berwyn Properties, LLC; as to Parcel 1

(B) by Trustee's Deed dated January 11, 2005 and recorded January 21, 2005 as document number [0502147098](#) from North Star Trust Company, as Successor Trustee under Trust Agreement dated March 26, 1991 and known as Trust Number 2197, to Berwyn Properties, L.L.C.; as to Lots 43 to 47 and vacated Gunderson Street as to Parcel 2



COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B

(C) by Trustee's Deed dated January 12, 2005 and recorded January 21, 2005 as document number [0502147094](#) from Cosmopolitan Bank & Trust Company as Successor Trustee under Trust Agreement dated April 19, 1999 and known as Trust Number 7380, to Berwyn Properties, L.L.C.; as to Lots 48 to 52 as to Parcel 2

(D) There have been no other conveyances in the past 24 months.

NOTE: All endorsement requests should be made prior to closing to allow ample time for the Company to examine required documentation.

\*\*\*\*\*Customer Information\*\*\*\*\*

As of July 19, 1995, pursuant to Bill, Public Act 87-1197, all documents recorded within the State of Illinois must meet the following requirements:

\*\*The document shall consist of one or more individual sheets measuring 8.5 inches by 11 inches, not permanently bound and not a continuous form. Graphic displays accompanying a document to be recorded that measures up to 11 inches by 17 inches shall be recorded without charging an additional fee;

\*\*The document shall be legibly printed in black ink, by hand, typewritten or computer generated, in at least 10 point type. Signatures and dates may be in contrasting colors as long as they will reproduce clearly;

\*\*The document shall be on white paper of not less than 20 pound weight and have a clean margin of at least 1/2 inch on the top, bottom and each side. Margins may be used only for non-essential notations which will not affect the validity of the document, including but not limited to form numbers, page numbers, and customer notations;

\*\*The first page shall contain a blank space in the upper right hand corner measuring at least 3 inches by 5 inches;

\*\*The document shall not have any attachment stapled, taped or otherwise affixed to any page.

Note: The recorders offices throughout the State of Illinois will accept all documents for recordation. Those that do not meet the requirements of the Bill will cost double the recording fee to record."

**Please note that as of March 1, 2017, Stewart Title of Illinois will no longer accept wire instructions via email to disburse closing proceeds. Please utilize our Proceeds/Funds Disbursement Instructions to obtain original signatures from all of the title holders. This form must be submitted at closing in order for funds to be wired. [Proceeds - Funds Disbursement Instructions Form](#)**

**NOTE: The Good Funds provision of the Illinois Title Insurance Act (215 ILCS 155/26) became effective January 1, 2010. This law imposes stricter rules on the type of funds that can be accepted for real estate closings and requires wired funds over \$50,000.00. Any funds less than \$50,000 must be good funds in the form of a cashiers check, certified checks, money orders or official bank checks. Contact your settlement agent to confirm the type of funds that are required for your transaction.**

\*\*\*\*\*End of Schedule B\*\*\*\*\*

**To Schedule a closing:  
please contact our Customer Service Department at 866-506-2945 press 1 or  
email us at [stcilcustomerservice@stewart.com](mailto:stcilcustomerservice@stewart.com)**

**Loan Documents can be emailed to [loandocs@stcil.net](mailto:loandocs@stcil.net)**



COMMITMENT FOR TITLE INSURANCE  
SCHEDULE B

Thank you for choosing Stewart Title



## STG Privacy Notice Stewart Title Companies

### WHAT DO THE STEWART TITLE COMPANIES DO WITH YOUR PERSONAL INFORMATION?

Federal and applicable state law and regulations give consumers the right to limit some but not all sharing. Federal and applicable state law regulations also require us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand how we use your personal information. This privacy notice is distributed on behalf of the Stewart Title Guaranty Company and its title affiliates (the Stewart Title Companies), pursuant to Title V of the Gramm-Leach-Bliley Act (GLBA).

The types of personal information we collect and share depend on the product or service that you have sought through us. This information can include social security numbers and driver's license number.

All financial companies, such as the Stewart Title Companies, need to share customers' personal information to run their everyday business—to process transactions and maintain customer accounts. In the section below, we list the reasons that we can share customers' personal information; the reasons that we choose to share; and whether you can limit this sharing.

Reasons we can share your personal information.	Do we share	Can you limit this sharing?
<b>For our everyday business purposes</b> — to process your transactions and maintain your account. This may include running the business and managing customer accounts, such as processing transactions, mailing, and auditing services, and responding to court orders and legal investigations.	Yes	No
<b>For our marketing purposes</b> — to offer our products and services to you.	Yes	No
<b>For joint marketing with other financial companies</b>	No	We don't share
<b>For our affiliates' everyday business purposes</b> — information about your transactions and experiences. Affiliates are companies related by common ownership or control. They can be financial and non-financial companies. <i>Our affiliates may include companies with a Stewart name; financial companies, such as Stewart Title Company</i>	Yes	No
<b>For our affiliates' everyday business purposes</b> — information about your creditworthiness.	No	We don't share
<b>For our affiliates to market to you</b> — For your convenience, Stewart has developed a means for you to opt out from its affiliates marketing even though such mechanism is not legally required.	Yes	Yes, send your first and last name, the email address used in your transaction, your Stewart file number and the Stewart office location that is handling your transaction by email to <a href="mailto:optout@stewart.com">optout@stewart.com</a> or fax to 1-800-335-9591.
<b>For non-affiliates to market to you.</b> Non-affiliates are companies not related by common ownership or control. They can be financial and non-financial companies.	No	We don't share

We may disclose your personal information to our affiliates or to non-affiliates as permitted by law. If you request a transaction with a non-affiliate, such as a third party insurance company, we will disclose your personal information to that non-affiliate. [We do not control their subsequent use of information, and suggest you refer to their privacy notices.]

### SHARING PRACTICES

<b>How often do the Stewart Title Companies notify me about their practices?</b>	We must notify you about our sharing practices when you request a transaction.
<b>How do the Stewart Title Companies protect my personal information?</b>	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer, file, and building safeguards.
<b>How do the Stewart Title Companies collect my personal information?</b>	We collect your personal information, for example, when you <ul style="list-style-type: none"> <li>▪ request insurance-related services</li> <li>▪ provide such information to us</li> </ul> We also collect your personal information from others, such as the real estate agent or lender involved in your transaction, credit reporting agencies, affiliates or other companies.
<b>What sharing can I limit?</b>	Although federal and state law give you the right to limit sharing (e.g., opt out) in certain instances, we do not share your personal information in those instances.

**Contact us:** *If you have any questions about this privacy notice, please contact us at: Stewart Title Guaranty Company, 1980 Post Oak Blvd., Privacy Officer, Houston, Texas 77056*

# Affidavit of Ownership

COUNTY OF Cook )  
 ) SS

STATE OF ILLINOIS )

I, Anthony M. Turano, under oath, state that I am  
(Print Name)

- the sole owner of the property  
 an owner of the property  
 an authorized officer for the owner of the property

Commonly described as:

6500-32 Roosevelt Road  
Oak Park, Illinois 60304

and that such property is owned by Berwyn Properties, LLC as of this date.

(Print Name / Company)

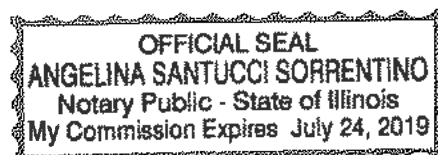


(Signature)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

24<sup>th</sup> DAY OF April, 2018

Angelina Santucci Sorrentino  
(Notary Public)



# Berwyn Properties, LLC

## Professional Qualifications

Berwyn Properties, LLC, is an affiliate of Turano Baking Company, and the subject property will be owner-occupied. Turano Baking Company has experience in construction, development, and management, of commercial facilities including 160,000 square feet in Berwyn, Illinois; 325,000 square feet on 20 acres in Bolingbrook, Illinois; 107,000 square feet on 20 acres in Villa Rica, Georgia; 90,000 square feet in Orlando, Florida, and 130,000 square feet on 32 acres in Henderson, Nevada. Our company's fifty-five year history has made us a staple in the community and a significant contributor to the economy along Roosevelt Road.





**TURANO BAKING COMPANY PROFILE**





Mariano Turano came to America from Calabria, Italy in pursuit of his dream to provide a better life for his family. In 1962, he founded Campagna-Turano Bakery, Inc., in Chicago, Illinois. The company's first bakery was only 1,000 square feet in size producing fresh baked Italian Hearth breads with delivery to neighboring homes. In 1967, Turano Baking Company relocated to Roosevelt Road in Berwyn, Illinois, where it has been headquartered since. After expansion of the Berwyn bakery to roughly 40,000 square feet in 1974, the company introduced automation to their processes and expanded into the retail grocery and foodservice business segments in the local Chicago marketplace. The Berwyn facility underwent an additional expansion in the 1980's to accommodate growing demand for their hearth-baked Italian and French varieties.



In the early 1990's, the company began selling frozen breads and rolls to the national foodservice marketplace. The opening of Turano's Knead Dough Baking Company in Bolingbrook, Illinois, in 1994 further reinforced entry to this new market. As Turano's customer base grew both in size and geography, Turano Baking Company saw the need for future expansion. This led to the 2008 opening of Turano Georgia Bread in Villa Rica, Georgia, and the 2009 opening of Turano Florida Bun in Orlando, Florida. Both facilities are state-of-the-art bakeries representing the high standards of quality, service, value, and variety that Mariano Turano demanded.



Today, Turano Baking Company is the leading baker in the local Chicago fresh market and a well-recognized supplier in the national marketplace.

The company trades in four general markets: Local Fresh Foodservice, Frozen National Chain Foodservice, Retail Grocery including on-shelf and in-store bakery, and Food Manufacturing. Local Fresh Foodservice includes our nearly 100 fresh, Direct-Store-Delivery routes in the Chicago Metropolitan Area, delivering fresh product as far north as Appleton, Wisconsin, and east to Valparaiso, Indiana. Frozen National Chain Foodservice operations include direct sales to large national chain operations, frozen contract manufacturing for broadline foodservice distribution, and frozen private label manufacturing of custom items for broadline distributors. The Turano Retail Grocery segment includes Turano branded French and Italian breads, rolls, hamburger buns, sandwich breads, croutons, and garlic breads distributed by our DSD Route Salesman. In addition, Turano provides fresh and frozen products to food manufacturers who convert and further process breads and rolls into value added frozen and shelf-stable food products.







The Berwyn manufacturing plant produces traditional hearth baked “Old World” artisan breads using traditional and high-tech equipment. Since opening in 1967, the Berwyn facility has been through numerous expansions and has grown to approximately 185,000 square feet with semi-automated and manual production, of full baked and par-baked breads.



### KNEAD DOUGH

Since opening in 1994 Turano Knead Dough Baking Company in Bolingbrook, Illinois, has produced a multitude of products using European production lines and stone tunnel oven lines. This fully automated production facility is approximately 215,000 square feet, including in-line and ambient freezing capabilities. This plant also produces both full and par-baked breads and includes over 80,000 square feet of cold storage.



### GEORGIA BREAD

Turano Georgia Bread in Villa Rica, Georgia, built in 2008, is a 107,000 square foot facility that produces high-speed pan breads as well as stress-free artisan hearth breads. The bakery produces sliced Pullman breads, traditional and oversized pan breads, ciabatta and focaccia, artisan boules, table breads, and rolls with state-of-the-art process controls and a cold storage freezer with 2,000 pallet positions.



### FLORIDA BUN

In 2009, Turano Florida Bun in Orlando, Florida, began producing high speed buns in their new 90,000 square foot facility. Turano’s production capabilities here include Quick-Service Restaurant style buns, bakery buns and rolls, imprinted hamburger buns, and hot dog buns with advanced process controls and a cold storage freezer with 1,000 pallet positions.



All Turano plants employ Good Manufacturing Practice programs and have fully operational HACCP programs. Turano Georgia Bread and Turano Florida Bun are Safe Quality Food Level 2 Certified, and all four facilities are audited by the American Institute of Baking (AIB). Each facility regularly receives Superior ratings in audits from AIB and others. The company has a full-time Quality Assurance team at each facility to monitor quality standards and product specification adherence.

Turano Baking Company employs over 700 individuals and operates their facilities around the clock. Turano distributes to over 7,000 customers across the country and have been recognized as one of the leaders in the baking industry.



Turano Baking Company is a member in good standing of the National Restaurant Association, the Illinois Restaurant Association, the American Bakers Association, the Independent Bakers Association, and various local Chambers of Commerce.



Some of Turano Baking Company's management team in Mamma Susi Bake Shop at Turano's Berwyn Facility: back row (L to R) Les Messsina, Bill Carlson, Anthony Turano, Ken Cotuno, Mario Turano, Joe Turano, Giancarlo Turano II. Front Row (L to R) John Wojcik, Ben Reina, Sandra Battersby, Slavica Jaros, Tony Iovinelli, and Gene Tenuta.







3rd Generation of Turano Management: Mariano Turano's Grandchildren (L to R) Giancarlo Turano II, Joe Turano, Anthony Turano, Mario Turano, and Lisa Turano.

In 2012 Turano is celebrating their 50th Anniversary. Turano has proudly served high quality products to consumers across the country since 1962, and they plan to continue that tradition as a family owned and operated business for many generations to come



Mariano Turano's sons (L to R) Umberto "Tony" Turano, President, Renato "Ron" Turano, Chairman, and Giancarlo Turano, Executive Vice President

Turano Baking Company was awarded the 1998 Wholesale Bakery of the Year award presented by Snack Food and Wholesale Bakery and the 2011 Baker of the Year award from Baking and Snack. The company has also won multiple Supplier of the Year awards from our growing list of national and local restaurant customers.



# Baking & Snack

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**Turano Baking Co.**  
2011 Baker of the Year

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IN THIS ISSUE: ASSETS OF CHOCOLATE | ARTISAN AUTOMATION | WATER REDUCTION



# A Tale of Four Cities

BY DAN MALOVANY AND L. JOSHUA SOSLAND



For Turano Baking Co. — *Baking & Snack's* 2011 Baker of the Year — each new bakery it has opened throughout the years represents a new chapter in the company's storied history in the baking industry.



Every business goes through the best of times and the worst of times. Eventually, however, a company experiences that moment of truth when it faces stark reality and has to dig deep to discover its true character and determine whether it is capable of moving the organization to the next level.

In the early 1990s, Turano Baking Co., Berwyn, IL, found itself at that crossroads. After nearly 30 years, the company had blossomed into a solid regional bakery supplying Chicagoland retailers and food service establishments with fresh Italian, specialty and hearth breads and rolls. However, as the food service industry went through a sea change and many regional chains aspired to become super-regional and even national players, Turano Baking had to decide if the company had what it takes to grow with these companies by supplying them with frozen par-baked products or remain in its comfort zone as a family bakery content with serving the Second City and its surrounding areas.

Based on demand from a single, rapidly growing food service operator, the company decided to build a second plant in suburban Bolingbrook, IL, to supply frozen par-baked rolls to this particular customer. From a business perspective, the location was ideal. Settled on 10 acres of

land, the bakery was the first business to occupy a prime location about a 30-minute drive outside of the busy city, just minutes from a major highway. The goal was to build a 100,000-sq-ft bakery that would house a high-speed roll line and enough freezer capacity to move the company into a whole new business model.

When the plant opened on schedule nine months later, however, its sole customer had suffered a business reversal and no longer needed product from the Turanos. In that moment of truth, the company found itself with a large new plant, a heavy amount of debt and no business.

Rather than retrenching, the three Turano brothers — Renato (Ron), Giancarlo and Umberto (Tony) — who have been working together at the company since the late 1960s, scrambled to find other customers for the

▼ Taking Turano Baking to the next level is an experienced management team that includes (seated, from left) Lisa Turano, vice-president, legal; Umberto (Tony) Turano, president; Renato (Ron) Turano, chairman; Giancarlo Turano, executive vice-president; and Sandra Battersby, vice-president, finance; (standing, from left) Sam Biasi, corporate director of human resources; John Wojcik, director, retail sales; Les Messina, vice-president, operations; Mario Turano, marketing manager; Bill Carlson, vice-president, route sales; Giancarlo Turano II, national sales manager; Joe Turano, north region operations director; Anthony Turano, MIS director; Ken Cotuno, vice-president, sales and marketing; and Rosina Turano, office administrator.



## Serving a Diversified Market

Turano Baking introduced many products over the years, and the Berwyn, IL-based company achieved considerable success with its innovations — most recently debuting ciabatta and other stress-free artisan products. Still, the family bakery today is anchored by the same flagship products that its founder, Mariano Turano, was baking in the company's earliest days in the 1960s, namely French rolls, French bread and the 2-lb homemade round, also known as Pane Turano.

"Our market demographics have changed considerably. German, Polish, Italian, Indian, Arab-origins," said Giancarlo Turano, a principal with his brothers Ron and Tony, of the company. "We make Old World bread. As product has evolved into artisan, we have been at the forefront. Chicago is such a big market for sandwiches, and we dominate the market with French bread and club rolls."

While Turano is known as an Italian baker, Ron Turano said the company also is associated with the artisan baking movement, a linkage helped by the custom baking it has done for restaurant chains.

"It has given us an edge," he noted. "And we've gone into a lot of varieties."

new plant. Within a year, they had succeeded to the point where a third production line had to be installed at the plant. The bakery today now houses six lines — four high-speed French bread lines and two roll lines — and the company is looking to further expand the operation to meet new business demand.

The Bolingbrook experience is just one of several chapters in Turano Baking's history. However, it is perhaps one of the most important because building the Bolingbrook bakery offered invaluable lessons for how it would undertake future expansions.

More recently, Turano Baking successfully added a new plant in Villa Rica, GA, in 2007, and just last year, it opened a state-of-the-art bakery in Orlando, FL, to supply several hundred quick-service restaurants in the area. Today, the story about Turano Baking is the tale of four cities, but more is to come.

From its experience in the early 1990s, Turano Baking transformed from a hometown specialty bakery in Chicago to one with an increasingly national presence. Back when Bolingbrook was built, the company sold about \$25 million annually. Today, the company sells more than \$200 million with its Berwyn, Bolingbrook



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and Villa Rica plants each accounting for about 30% of sales, while its start-up Orlando business pulling in 10% of its revenue.

In many ways, each of these bakeries represents a chapter in the history of Turano, and the company indicates it's currently in planning stages to write more chapters in the years to come.

Because of the company's commitment to customer service, its passion for baking, its continued growth over the years and its successful adoption of a "what doesn't kill you makes you stronger" motto, *Milling & Baking News* and *Baking & Snack* magazines named Turano Baking their 2011 Baker of the Year.

## CHAPTER I.

In a recent interview at the company's Berwyn headquarters, the three brothers reflected on their years together as business partners, the successes and challenges they've faced, and the leadership transition currently under way at the company.

The three brothers, as boys, moved to Chicago from Italy with their mother in 1958, a few years after their father, Mariano, had immigrated. Mariano worked at his brother's bakery, baking and delivering bread to homes in the neighborhood.

According to Ron Turano, while the company has grown dramatically in recent years, its fundamental philosophy has never changed.

"Our three priorities are family unity; taking care of the customer, who becomes our partner; and the continuation of what our father started — the idea of baking and a passion for baking," he said. "You do it because you love to do it. Our goals remain the same: Take the best produced loaf of bread to the customer."

Improvisation epitomized the company's approach in the early years. Its first baking plant, Campagna Bakery on Addison Avenue on Chicago's West Side, was only

▼ (From left) Giancarlo Turano II, national sales manager; Joe Turano, north region operations director; Anthony Turano, MIS director; Mario Turano, marketing manager; and Lisa Turano, vice-president, legal, are part of the next generation of Turanos entering the family business.



600 sq ft. When additional space was needed, the company acquired an adjoining garage that became a makeshift cooling room. Eventually, in 1965, their father purchased a building in suburban Berwyn because of its central location for distributing throughout Chicagoland.

"It was a 3,000-sq-ft complex," Ron recalled. "We had a lot of room. The building had possibility. There was an empty lot to the west, a couple of stores already leased to other people. That helped cover the mortgage."

The company began selling wholesale to retailers in the early 1960s. The company would use a surround-and-conquer approach to get into a specific store. Specifically, Turano would go into a neighborhood and sell its Italian bread to every family around a certain store.

"[That store soon] realized they weren't selling any Italian bread," Ron noted. "So they came to us and said, 'You might as well sell to us also.'"

As large as the Berwyn facility seemed when the company bought it, Turano began expanding quickly, adding offices in 1967 and beginning to take over the leased storefronts in 1969 to make room for additional baking lines. In 1974, the company purchased the building to the west.

## CHAPTER II.

By the 1990s, Turano Baking was expanding too dramatically at Berwyn to accommodate new business with

restaurant chains that were "going great guns," Giancarlo said. These customers accounted for a third of Turano's total business.

At the time, the company couldn't envision squeezing enough capacity into the Berwyn site, although a few years later the company negotiated with the town to allow it to close a road and add another 60,000 sq ft to the bakery to house its state-of-the-art, stress-free artisan bread line that automated the production of the family's signature, 2-lb Pane Turano round loaf.

Back then — specifically, in 1992 — a major customer was purchasing par-baked frozen product, and the company desperately needed additional capacity and needed it quickly. So the brothers decided to make the big move to a second facility in Bolingbrook. "The plan was to install an automated line for the volume. Could we put up a building and a line within nine months? If we couldn't, we would lose the business," Giancarlo recalled. "When we looked at the risks, we concluded that if something went wrong, we would be able to bring all the Berwyn production into the new facility."

Beyond meeting the needs of the customer, the construction of the Bolingbrook plant — appropriately named the Knead Dough bakery —

▼ At Turano Baking's newest facility in Orlando, FL, known within the company as Turano Florida Bun, quick oscillation seats dough pieces properly in the center of pan cups.





also allowed the company to significantly broaden its distribution beyond the Chicago market.

"We had wanted to expand to other places, and the only way to do that was with par-baked products," Ron said. "Customers would have

the option to take product from the freezer, pop it into an oven and serve something fresh. We really believed in it. Artisan bread demand was growing. It is tough to bake [this style] outside of Chicago, New York or maybe San Francisco. By freezing,

you could produce it in a customer-friendly way. Our fresh business was growing, too, but modestly."

The brothers' pride at completing the plant quickly turned into dismay when the customer went out of business.

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For more information, see Page 145

**LESSONS LEARNED.** "It was very stressful," Giancarlo said. "You reflect on what you did right and what you did wrong. You try to avoid what you did wrong. We tightened our belts and became a lot more aggressive on frozen business, which produced opportunities to build volume quickly. We hustled."

The effort paid off, and the plant increased volume steadily. Ironically, the gourmet bun the company planned to sell back then is now a major seller today.

Ron said that while the company had considered the option to shift production to Bolingbrook from Berwyn when the business prospect disappeared, the brothers rethought the strategy.

"Things were going well in Berwyn," he said. "So we decided, let's go get more frozen, par-baked business."

It isn't enough to learn lessons from a misstep, but learning the correct lessons is key, Giancarlo said.

"We asked ourselves, 'Should we do business with large customers?'" he recalled. "The reality is you can't avoid it. The answer isn't to avoid large customers but to work with several. You need to be sure no large customer represents more than 10% of our business. When you decide that, it puts extra pressure on you to grow. Because when you add one large customer, you need to add several others."

## CHAPTER III

Having successfully built a business shipping par-baked product around the country from a Chicago plant, in 2007, Turano took a major step by building its

first plant outside of its home region. The Villa Rica facility also moved away from the company's comfort zone by venturing for the first time into the white bread market.

"We looked at the country and asked, 'What would the next logical place be for frozen business?'" Ron said. "We looked at population. From a freight and trucking perspective, we concluded Georgia would be great. It's centrally located for the Southeast; we could certainly serve the Northeast and the nearby Southwest from Georgia as well. From a freight perspective, it had similar qualities to Chicago."

Giancarlo said lessons from the Knead Dough plant included securing solid commitments from prospective customers on a contractual basis, which allows the company to take its plans to the bank and secure financing while minimizing risk. As a result, the strategy worked as planned and the bakery is operating like "gangbusters," he noted.

In many ways, Tony added, Villa Rica added "a new dimension." "The Georgia plant bakes white bread, all on a contract basis," he said. "It has the capacity to produce 10,000 loaves of pan bread per hour on a high-speed line. It runs round the clock, five days a week, 80 million lb of bread a year."

## CHAPTER IV.

... **AND MORE.** Like Villa Rica, the recently opened Orlando bakery was built after securing advance business, specifically 800 McDonald's restaurants in the area. The operation houses one line turning out 1,000 buns per minute, but the facility has room to add a second line as business grows.

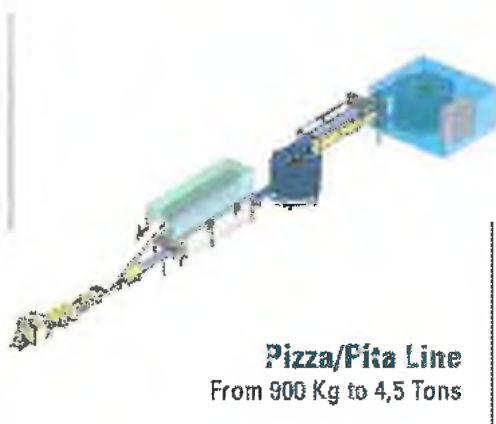
## True to Its Roots

Turano Baking's signature product is a 2-lb round specialty bread aptly named Pane Turano, also known as "the homemade round." It's still made with the same formula as when the family home-delivered its bread during its early days in the 1960s. Throughout its history, the key to the product's popularity came not only from its unique quality but also from educating consumers, according to Giancarlo Turano, a principal with his brothers Ron and Tony for the Berwyn, IL, company.

"Products that we produce — the round, for instance — came in sliced and whole," he said. "We educated people in store by demos about what you can use this for. When we were kids, we were embarrassed about bringing those big sandwiches to school. Kids would laugh at you. 'What is it with that big bread?' Today, the kids want to trade sandwiches when they see our bread. We have a more educated clientele."

Still, because "the round" only has a certain number of slices suitable for sandwiches before the slices start to taper off, Turano introduced an elongated Panini bread with the same formulation and process as its Pane Turano, but with more uniform slices.

"We learned from being aggressive with clientele," Giancarlo said. "The word 'no' is not in our vocabularies. If a single restaurant asked for a product we weren't making, then we do everything possible to make it for them. At the same time, we taught our food service customers to use the products we already made. With restaurant chains, production runs became larger, and we began gaining a reputation as the guys to work with."



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"It is automated from beginning to end, from ingredient gathering and handling to packaging," Tony said.

"We do what our clientele wants," he said. "It was a great opportunity with business already in place. Capacity of the facility will be 80 million lb."

While declining to disclose what major capital project is next, Ron said plans currently are being formulated as the company, once again, secures additional business prior to committing to yet another major investment.

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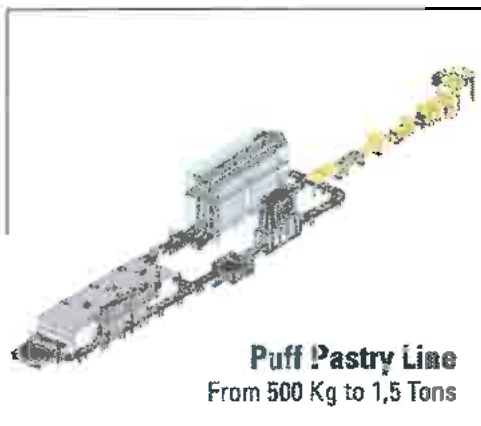


▲ The retail outlet at Turano Baking's plant in Berwyn, IL, sells a wide array of classic sweet goods and artisan breads as well as the company's top-selling products.

"In this kind of business, you need to plan a few years forward in terms of major capital expansion," he said. "We want to be geographically balanced. Where we have opportunity is in the Northeast and the West Coast."

Change at Turano Baking has not been limited to the company's baking plants and product line. The three brothers, all in their late 50s or 60s, are in the midst of a transition to the next generation of family ownership and management. Ron said that their children grew up in the *(continued on Page 46)*





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## For the Love of Baking

From the beginning, Turano Baking's products filled a marketplace void. In the late 1950s, Italian bread in Chicago was just about anything but common.

"In 1958, true Italian bread was difficult to find," said Giancarlo Turano, who is a principal of the Berwyn, IL, company with his brothers Ron and Tony. "When people bought Italian bread, it meant Italian French bread, 4-in. club rolls and 1-lb Vienna bread.

"Those were the only products you would find in the neighborhood grocery store," he continued. "We offered traditional products — crusty, chewy bread — to the clientele, who were Europeans, people who enjoyed Italian food."

"We gave them a touch of home, a little nostalgia," Tony said. "And we were able deliver to homes. People bought a lot. There were households that purchased more bread than grocery stores did. That was how much was consumed per person."

Also helping pave the way for Turano into supermarkets was its growing variety of products. In addition to the Pane Turano round, the company offered a twisted loaf, an Italian split and an Italian round.

"The grocery stores were reluctant to bring in another Italian bread," Ron said. "There wasn't that much demand at the time. Why do they need another? We brought variety."

Many of the supermarkets that began buying Turano's products were small independents, operating one to three stores. During the 1970s and 1980s, some of these grocers expanded rapidly to major supermarket chains, and Turano grew with them, Tony said.

By the mid 1970s, Turano bread was being sold to food service customers as well.

"Before then, Italian restaurants bought French bread and cut it into pieces," Giancarlo said. "Smaller and newer restaurants gravitated toward our products once we began hitting the grocery stores."

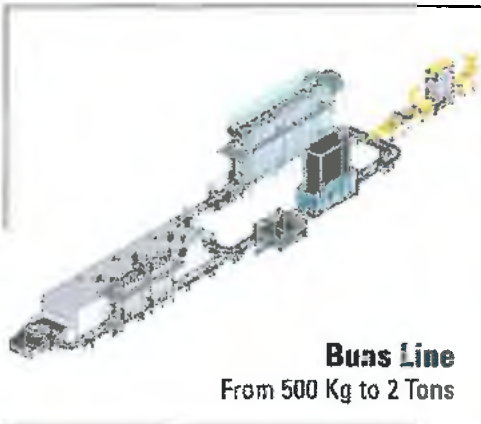
While the expansion of supermarket customers and restaurant sales helped the company grow, Tony identified another key to growth. "Innovation in equipment — in the ability to mass-produce baked foods automatically while still following the same process we did by hand — was key," he said. "The hand is the best tool we know. Before that time, equipment was geared almost exclusively toward the sliced bread market. With the help of equipment makers, we were able to mass-produce Pane Turano, our round bread."

"Before the advent of variety bread in the 1970s, there weren't many tools available, and bakeries like ours required a lot of hand operations," Ron said.

"I used to stand next to my father, [Mariano Turano], hand-rounding the bread," Giancarlo recalled. "Dad would say, 'Be gentle.' He'd say, 'Use your whole hand, the heel of your hand!' 'That's too tight. Slow down!' The equipment must simulate the process of the human hand. It must be as gentle."

Ron shared a different memory related to quality, namely his father's reluctance to make changes that would risk the company's product. "When someone came in and said, 'I have a new mixer,' Dad would reply, 'No, no. I'm not changing it. I'm happy with the product,'" he said. "One day a guy came in to sell an entire line. Dad was worried. The salesman finally said, 'Mariano, do you want to make good bread or do you want to make money?'"

"My father said, 'Get out of here,'" he continued. "From that day, whenever the salesman came back, he was afraid to face any of us. We all were resistant to change that might affect quality."



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(continued from Page 42) business in a way not too different from that of their own generation. He expressed confidence that the next generation will uphold the basic principles that have guided the company during the course of the second generation.

"For all practical purposes, we don't know anything different," he said. "The three of us have been working together for the last 49 years. Our children grew up in this environment. For many years, we lived near one another,

▲ Turano Baking's specialty products include everything from its signature Pane Turano rounds and French rolls to whole grain products and Old World breads and rolls.

and our children grew up as brothers and sisters. They have those values. They still see one another that way.

"They have proved they can work together and work through issues," he continued. "They have not only interest in the business but concern for one another. We feel very good about the future."





In contrast to the older generation, the family placed a greater emphasis on schooling and outside work experience for the third generation of Turanos. No one was running a truck route like Giancarlo did when he was a 12-year-old.

"We wanted to be sure each one had an education and a chance to find their vocation," he said. "They needed to do work away from the business for three years. We set these parameters to be sure they were prepared and they followed what they wanted. We wanted them working with other people, working for other people."

The brothers modeled a good working relationship that has worked well over time, Ron said. Next year, the company will celebrate its 50th anniversary, and with great fanfare.

▲ (From left) Giancarlo, Ron and Tony Turano — the three brothers who have nurtured the company's growth over the past few decades — share their favorite stories about the business' history at its Berwyn, IL, headquarters.

"When it comes to making decisions over the years, for the most part, we pretty much think alike," he said. "We all have our own opinions. God knows, we've expressed them. But we came to the realization that if we made a decision and would get behind an idea, we would get there together."

Perhaps the biggest lesson learned is that family bakeries need to focus on family as much as the business to survive in the highly competitive baking industry. Despite any initial disagreements in opinion, when a business decision is made, the family pulls together as one.

"At the end," Tony said, "it's a consensus." ■



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# 1 Baking 2 by 3 the 4 Numbers

As Turano Baking builds new production facilities in the Southeast, the company relies on the information superhighway, QA controls and a little creativity to keep everything running at a higher level.

## BY DAN MALOVANY

It doesn't matter if they're Italian rounds, Vienna loaves, French rolls or even soft buns. When it comes to ensuring product quality, controlling consistency and meeting customer expectations, Turano Baking Co. plays it by the numbers.

That's the biggest development that Joe Turano has noticed since he joined the family bakery 12 years ago. Back then, Turano Baking was primarily a Chicagoland-based company, but during the past three years, it's opened new plants in Villa Rica, GA, and Orlando, FL, to go along with its 40-year-old facility in Berwyn, IL, and 20-year-old bakery in Bolingbrook, IL. In becoming a multi-state production operation, he said, the emphasis during the past year has been to focus on processes, standard operating procedures and running its products more consistently across the company.

"For quality assurance data entry, we have a customized program where we are able to take quantitative data as we're producing it on each line and plug it into the touch screens at each plant, and we're tracking production from the beginning to the end of the process," said Joe, the company's north region operations director, which includes the Chicago-area plants. "We're capturing the data in the same light at each of our plants."

► In addition to producing its classic Italian, French and Old World breads and rolls, Turano Baking now makes conventional hamburger buns and rolls for its wide variety of customers.





That way, we can report any quality or quantitative data from a quality or numerical standpoint and evaluate everything in a similar manner."

Production runs the gamut and ranges from stress-free manufacture of its signature Pane Turano

Italian bread in Berwyn and par-baked frozen French roll production in Bolingbrook to a high-speed sandwich bread operation in Villa Rica and conventional hamburger buns in Orlando. "Just because they're different products

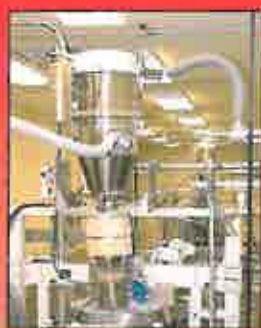
doesn't mean you don't judge them the same way when it comes to quality," noted Les Messina, vice-president, operations. "We have similar specifications for the types of products we're producing based on quality in the Turano perspective. We have all different types of products, but not a different method for evaluating them. Obviously, going from just Chicago-based operations to [running them in] other states, we had to look at how we keep control and monitor them all similarly."

**EYES ON CONTROLS.** Overall, the organization relies on a combination of centralized and decentralized controls. Each plant operates as its own profit center overseen by a general manager and plant manager, but the company also uses a combination of local and corporate managers to monitor its operations and ensure that its standards are met.

Additionally, Turano Baking conducts quarterly audits of each of its facilities with a team that includes representatives from its maintenance, sanitation, QA, safety, security, HR and environmental departments. Purchasing is centrally run along with input from each facility's general and plant managers, added Slavica Jaros, corporate procurement manager. Capital expenditures as well as other ideas for improving plant operations generally travel from the line supervisors to each plant's central committee to a corporate committee in Berwyn for evaluation and approval.

On a day-to-day basis, the company relies increasingly on the Internet and its intranet to seamlessly exchange data and information from the corporate headquarters in Berwyn to its other operations. During the past few years, the company not only invested to build an IT network from the ground

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up at its state-of-the-art facilities in the Southeast, but it also upgraded its network in its Chicago-land plants, said Anthony Turano, MIS director. While all equipment in its Georgia and Florida operations are interconnected, that's still an ongoing process in the company's more mature facilities, but it made significant progress during the past two years.

"It's more of a challenge to make sure the older facilities are up to speed as they should be, while also making sure these facilities and the new facilities have a similar level of infrastructure," Anthony said. The company now uses its IT network to monitor everything from production scheduling to packaging and distribution using touch-screen controls at its plants.

In Chicago, where it offers fresh distribution throughout the region, Turano Baking recently upgraded its handheld system with customized software that allows route operators to take orders from customers, adjust orders and print out invoices on the spot and even collect receivables and print receipts on the road, according to Sandra Battersby, vice-president, finance. She added that a major challenge with a multi-state production system involves monitoring all of the different government regulations.

In the end, expanding across the nation requires continued improvements to the company's network and constantly evolving controls. "There is no cookie cutter solution to what we do here," Joe explained. ■

## Connected by Turano TV

When Sam Blasi started at Turano Baking a decade ago, the company had just two people in the human resources department. Now, the HR director has six staffers with two in corporate and an administrative assistant in each plant. While the company's corporate HR department holds meetings at its facilities to explain changes in retirement, health care or other benefits, Turano Baking installed flat screen TVs in each of its facilities' break rooms to broadcast messages that include everything from safety tips and helpful health hints to announcements about new employees, birthdays, anniversaries and other programs, Mr. Blasi said.

The message centers actually use PowerPoint presentations that play a 10- to 15-minute rolling loop of information as well as photos of employees working, plant operations and other events. "We make significant efforts to communicate to our [production] employees what others may get through [office] e-mails," Mr. Blasi said. The message centers, he added, "just make everyone feel more of a part of the company."



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# ... And Now: Soft Buns



Turano Baking automates its bun facility at Orlando, FL, setting up a showcase of efficiency connected by in-plant Wi-Fi.

## BY LAURIE GORTON

First, competitors scoffed, but now they envy. Today, Turano Baking Co., a noted Chicagoland artisan baker, is producing soft hamburger buns in Florida and doing so successfully. “When we announced our plans to put up a bun bakery in Orlando, there were people in the industry saying, ‘Can these guys really make buns?’” said Giancarlo Turano, executive vice-president of the Berwyn, IL-based family company. “Well, we can make buns and continue to do so at an extremely efficient rate.”

In 2004, Turano Baking Co., Berwyn, IL, announced plans to establish a bun bakery to supply food service operations in Florida. In fact, the company reported it would build two new facilities simultaneously, one at Villa Rica, GA, and the other at Orlando, FL. Such ambition on the part of a family-owned-and-operated company raised a lot of eyebrows, especially because it was stretching beyond its expertise in hearth-baked specialties.

“This addition puts us into mainstream baking providing us the entire gamut of high-speed production along with the artisan and specialties for which we have long been known,” Giancarlo observed. “We are one of the very few companies to produce such a wide variety of products.”

► Along with Berwyn, IL-based corporate executives (from left) Giancarlo Turano II, national sales manager, Mario Turano, director of marketing; and (far right) Giancarlo Turano, executive vice-president, the Orlando bakery's operations are directed by (from third left) Jeff Benny, sanitation manager; Jeff Kozloski, plant engineer; Jack Mitchell, production manager; Johnny Cowart, quality assurance manager; and Leo Desrosiers, southeast regional manager and plant general manager.





▲ Buns cool after baking by traveling through a multitier ambient-temperature spiral conveyor at Turano Florida Bun, Orlando, FL.

Turano Florida Bun, as the Orlando, FL, bakery is known within the company, is a showcase of automated production — a continuing focus for the Turano engineering team. Labor costs are low, with just eight people per shift in production and a total employment of 68. The automated equipment is not only integrated by PLC but also linked by an internal Wi-Fi network. And because powerful storms regularly blow

through the region, contingency planning shaped many aspects of the new \$30 million bakery.

Co-located on an 8-acre site with the Martin-Brower Distribution Center that serves 800 Florida McDonald's locations as well as more in the Southeast, Turano Florida Bun is the company's first venture into the McDonald's supply chain. Along with Martin-Brower, the bakery celebrated its grand opening May 21, 2009.

As it turned out, Turano's two new bakeries did not open simultaneously. Turano managers originally set a 2-year schedule for planning, purchasing and startup, but holds in Florida with permits and "other uncontrollables," according to Giancarlo, allowed the company to concentrate instead on the Georgia site. Construction in Orlando finally began in 2008.

"We were delayed but ultimately successful," he said. "And Orlando started up great." Jeff Kozloski, plant engineer, observed that the second dough ever made here qualified as saleable.

Turano Florida Bun's smooth start-up of a highly automated production facility opened what Giancarlo calls "Chapter Four" for the company, with the previous chapters being the first automated facility in Berwyn 40 years ago, Bolingbrook 20 years ago and Villa Rica. And yes, Giancarlo noted, many more chapters remain to be written.

**SET APART.** With the bakeries in Georgia and Florida, the company created a new locus for its growing operational base. Orlando's plant general manager Leo Desrosiers is responsible for both facilities as southeast regional manager. The decision to build at Orlando was customer-specific to serve a defined market, according to Giancarlo, but the plant's potential reach extends even farther.

His son Giancarlo Turano II, the company's national sales manager, explained, "The first year to year-and-a-half is being dedicated to

McDonald's, but we have begun looking for third-party business."

The 100,000-sq-ft building currently houses one highly automated production line, but ample floor space will easily accommodate another. The plant bakes six varieties of buns on a 24-hour, 5-day-per-week schedule. All finished and packaged products feed into the on-site Martin-Brower freezer for distribution to restaurants along with other supplies.

Several aspects set this bun plant apart from similar operations — not just in production technology but also in its approach to staffing and preparedness.

The company hired its Florida plant manager and plant engineer a year ahead of opening. "We got to see and make decisions beforehand," Mr. Desrosiers said. The rest of the department heads were brought in three or four months ahead of equipment installation. "This has been key from a sanitation, production and quality standpoint," he observed, "and especially to the smooth startup."

Local hiring benefited from the existence of other bakeries in the market, and several managers transferred from existing Turano plants. "Among the local team, we have 150 years of bakery experience," Mr. Desrosiers noted. Orlando is managed by Mr. Desrosiers; Mr. Kozloski; Jeff Benny, sanitation manager; Jack Mitchell, production manager; Johnny Cowart, quality assurance manager; and Monica Scurry, human resources manager.

The level of staffing, too, differentiates Turano Florida Bun from similar bakeries. "This facility runs with only eight people per shift because we invested in streamlined operations," explained Mr. Mitchell. "Other bakeries would require 11 to 14 people for a similar line. Here, automation allows three or four people less per shift."

**FORWARD TECHNOLOGY.** Building a new bakery provided the opportunity to work with several technologies





new to Turano and some new to the baking industry itself. Chief among these are the inspection system and an automatic palletizing station.

"We have the first US installation of the EyePro Q-Bake automated inspection system — a wonderful

system," Giancarlo said. It has been used in Europe.

The inspection system examines 100% of output at the rate of 1,100 buns per minute. The previously used method inspected by sampling, looking at about 10% of output. The

new unit examines the tops and bottoms of buns, recording measurement of heel color, height and other aspects and rejecting out-of-spec products immediately. The collected data allows plantwide adjustment of processing conditions.

"The system takes a picture of anything it rejects and continually records the trend data for reporting," Mr. Cowart said.

The AMF automatic palletizer is also new technology. It accepts groups of four stacks of filled delivery baskets, slots them onto plastic pallets, wraps the stacks for stability and conveys the pallets into the Martin-Brower blast freezer. Turano managers designed a customized pallet that supports the bottom tray by fitting into the pallet like a tongue-and-groove joint and locking into place.

"Yes, plastic pallets are expensive," Giancarlo added. "But this is a closed system. The pallets never leave the building, so you don't lose them. It starts with the vision. Not many bakeries need such equipment, but we do because our products are frozen and move in a closed system through distribution."

The vision for Turano Florida Bun also encompassed wireless data communications. Allen-Bradley PLCs, equipped with PanelView terminals, operate the line's major systems and provide troubleshooting capability. A fiber-optics system connects corporate and plant IT functions, and three routers manage communications on the production floor with FactoryTalk, Allen-Bradley software that manages the Wi-Fi data network. "I can monitor and adjust the operation as needed, even from home," Mr. Kozloski explained.

The brew-based doughmaking technology at Orlando is new to Turano and also the market. Mr. Mitchell explained, "The previous Florida bun supplier used sponge-and-dough methods, which require a lot more labor and involve more quality issues, especially if breakdowns

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occur. With brew, you eliminate such problems because by holding it at 36°F, the yeast stays dormant.”

From a staffing point of view, a sponge-and-dough mixer operator has to come in early, according to Mr. Mitchell. “With brews, there are no additional labor needs, even if startup is 30 hours later. It is very user friendly,” he observed.

▼ Daily bun quality evaluation sessions assure (from left) Jack Mitchell, production manager; Dennis Pase, QA technician; and Johnny Cowart, quality assurance manager, that the highest standards are being met.



Also, Turano took advantage of the latest versions of proven technologies for ingredient handling, dough preparation, dividing, proofing, baking and packaging at the new plant. “This facility is a compilation of what we have seen around the world. It has European technology. It has American technology,” Giancarlo said.

**MAXIMUM AUTOMATIC.** Production occupies 67,000 sq ft, while ancillary services take up 18,000 sq ft and offices 15,000 sq ft. Painted walkways on the floor guide traffic flow for groups touring the bakery. The open design of the production shop simplifies sightlines for managers and supervisors. Mr. Mitchell observed that the bakery provides a “very friendly environment” for its staff.

With receiving operations on one side of the building, the doors on the opposite end handle receiving and storage of sanitation supplies as well as returned trays.

Because of Florida’s usually mild climate, the company installed three Shick USA 225,000-lb-capacity flour silos, two 92,000-lb soy oil and HFCS tanks and two 60,000-lb cream yeast tanks outside the bakery. Inside, a generously sized room contains the Shick minor ingredient system, supplied by three bag dump stations equipped with bar-style magnets as a safeguard against tramp metal. The raw materials warehouse employs 4-tier racking to hold ingredients. Salt comes into the plant in bulk via super sacks, and a load cell sits under the tote dispenser.

Flour is delivered by tanker truck, but rail is available because the distribution center brings in its frozen french fries by this mode. Mr. Desrosiers explained that the decision between truck or rail for flour depends on the economics. An in-line sifting system located in the minor



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ingredient storage room handles flour, which is sifted at receipt and as it moves to the mixer's holding tank. The company installed three stations of 2,000- and 3,200-lb above-mixer use hoppers; one set is in use now, with two in place for the future.

The brew system sits in one corner of the main production flour. The fermentation operation produces 3,600 lb of 40%-flour brew per hour. The mixture goes through a 10-minute blending stage, followed by 25 minutes in one of three fermentation

tanks. The brew then passes through a heat exchanger that reduces its 95°F temperature to 36°F before it enters the cold hold tank. The brew system can easily hold brew for 36 hours over a weekend for the next startup day.



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**DOUGH TO OVEN.** "The fully automated dough mixer requires automatic feed," Mr. Mitchell said. A Shick IntelliBatch ingredient management and batch execution software manages the inventory of ingredients and their flow to the mixers. Bulk and minor ingredient transfer into the AMF 3,200-lb fully automated horizontal mixer when signaled by the computer-integrated batching system, but micro ingredients are manually portioned at a station in front of the mixer. After being placed into a weigh-up bucket, they are dumped by hand into the mixer bowl.

Dough discharged from the mixer is pumped to a vertical conveyor leading to an overhead horizontal conveyor. The belt dribbles the dough into the AMF SBD 8-across rotary bun divider. (The whole-wheat Angus bun, an oversized item, was being made during *Baking & Snack's* visit run 6-across.)

"We recently changed the divider's rounding bars to Teflon-coated aluminum from the original UHMW [ultra-high-molecular-weight polyethylene]," Mr. Kozloski said. The new bars release dough balls without sticking.

Rounded dough pieces fall down the zigzag board of the AMF Accupan bun makeup system. After a short intermediate proofing period, the dough pieces drop to the system's sheeter to be flattened and deposited in waiting bun pans that index forward to accept each row of dough pieces. A Larramore flour reclaim system with filter manages the dusting flour. When making Angus buns, the dough pieces pass under a herringbone-patterned roller that imprints them to give the desired braided appearance. Filled bun pans encounter a Burford orbital shaker that oscillates the pan in the horizontal plane to properly seat dough pieces.



▲ Jeff Kozloski (below), plant engineer, and Jeff Benry, sanitation manager, examine conditions among bins composing the minor ingredients storage system.

Pans, carried on grids equipped with magnetic grippers, travel in the short direction, with their long edges facing forward. This conveying style maximizes output while minimizing speeds. Filled pans move into the Stewart Systems conveyerized proofer, entering and exiting low thanks to the crossover flow design of the conveyors. The Stewart Systems oven also uses this design, and pans enter and exit at waist height.

A Burford Smart Seeder employs coded mandrels to accurately deposit seeds on buns when required. A seed recovery system improves the unit's efficiency. The seeder also handles flaked grains for topping whole-wheat buns.

**PAN TRAVEL.** From the oven, pans ride to the Stewart Systems vacuum depanner. Pans are sent back into the makeup system's pan loop, while buns move forward to the plastic mesh belt of the AMF ambient-temperature spiral cooler. A Stewart Systems bun pan cleaner vacuums and brushes debris off the pans. Turano engineers built screens around the overhead pan cooler to prevent hot pans from accidentally dropping.

A Workhorse Automation pan management system corrals the bakery's four pan sets, storing them on a 3-tier rack when not in use. The robotic system feeds stacked pans to the Stewart Systems unstacker, while a matching stacker pulls pans off the line for return to storage. The bakery expects 4,500 releases per glazing cycle for its pans, according to Mr. Kozloski.

**FREEZER BOUND.** Every bun baked in the plant passes through the EyePro Q-Bake inspection system before it reaches the three Stewart Systems P1000 pillow-pack bulk packaging lines, each with its own slicing and bulk packing machines.

Buns move along conveyors, with horizontal switches routing them into specific lines. They travel forward into a laning system by sliding down chutes to the packaging table. Hold-down bars stop the buns briefly to group them as they enter the slicer. The slicer also features a moving re-grouper to keep buns precisely aligned as they go through wrapping. Air is withdrawn from the pillow pack as the package is sealed. The finished package passes through a Thermo Scientific metal detector before it slides down into the waiting basket-style tray. Two tray loading stations on each packaging line improve speeds.

Three AMF tray stackers automatically accept loaded baskets, stack them and push the stacks out onto a short conveyor leading to the AMF pallet loader. The system slides two stacks at a time onto the waiting pallet, whose grooves stabilize the stacks. When four stacks are present, the loader moves the pallet forward to be wrapped for additional stability. Here, the whole pallet is color-coded by a tag or film wrap designating product type.

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## Storm Track

Accepting the offer to build in Central Florida also meant adapting the new bakery to handle weather of the most severe kind: high winds, heavy rainstorms and hurricanes. Contingency planning was an essential part of the new plant process because, as Southeast Region Operations Director Leo Desrosiers observed, the company has no other soft bun manufacturing facility in the region. "We can't count on supply from other locations should we have problems here," he said. "We have to be able to get back into operation within 24 hours."

"Neither wind, rain, sleet nor snow will keep the bread man from delivering to our customers," quipped Giancarlo Turano, executive vice-president of Turano Baking Co., Berwyn, IL.

While Turano Florida Bun has yet to experience a hurricane, such eventualities prompted several unusual building design features and equipment choices. The facility was constructed to endure major winds, and all rooftop components are wind- and weather-protected at hurricane ratings. The building was not designated as an official hurricane shelter, but it can withstand such conditions. "Should it be necessary, we can house our people here as long as we have running water and power," Mr. Desrosiers said.

Backing up the bakery are six natural-gas-powered electrical generators. "Diesel fuel is cheaper," Mr. Kozloski said, "but

it tends not to be available during hurricane emergencies." Natural gas comes in by pipeline. Its delivery does not require that trucks and drivers be available or that roads be passable, and it is the fuel used by the oven. In other words, without natural gas, the bakery could not operate, no matter how much electricity it generates on its own.

A quick-connect system was installed for portable water delivery should supply become an issue during and after storms. A redundant boiler system assures adequate hot water for operations, and a glycol bypass set-up was also installed for mixer and freezer coolants.

The bakery's oversized ingredient warehouse can hold a 30-day supply of raw materials. "It is kept fully stocked, and we are good to go should weather cause road issues," explained Production Manager Jack Mitchell.

The 24-hour up-and-running rule applies to ingredient suppliers as well. "We hold our suppliers to their contingency plans," Mr. Mitchell said. "Our freezer can handle 72 to 75 hours of contingency service."

Turano managers learned from 2005's Hurricane Katrina that quick-service restaurants (QSRs) want to be serviced during such emergencies. Speaking from his previous experience managing bakeries in the Southeast, Mr. Desrosiers explained that QSRs are typically the first food service businesses to get up after big storms.

An electric eye counter physically tags each pallet. When two pallets are present, the system moves them along to the freezer, where the pallets are also counted as they pass through the sliding door.

"Once buns enter the freezer, they become Martin-Brower's inventory," Mr. Mitchell said, "to be pulled and slotted for delivery to the customer's restaurants."

When 90 pallets accumulate in the freezer, a signal is sent to the distribution center to start slotting these for delivery. Martin-Brower operators break down the orders and take the stacked buns off the pallets. The plastic pallets stay within the building, although a few go to a Martin-Brower satellite location at Pompano Beach, FL.

Returned delivery baskets are cleaned before they re-enter the production area. An AMF B-40 basket washer is housed in a separate room, and the trays go directly from the truck to the washer.

**SUSTAINABLE QUALITY.** As practiced at Turano Florida Bun, sustainability involves not only energy usage but water as well. "Our biggest concern is water," Mr. Kozloski said. All water usage points are separately monitored. "We know our water usage," he continued. "If it gets too much, it gets fixed the next day. We have actu-

ally reduced water usage 50% since the day we opened." He said that while planning the building, he and Mr. Desrosiers were constantly removing drains from the drawings. Through good water management, the bakery avoided having to install a water treatment system.

The county's high surcharges on water are one reason for such care, but "doing the right thing" is also a priority for the family company. "You have to be sensitive to the environment," Giancarlo said.

Another energy-savings plan was to put all interior lighting on motion detectors. "We can remotely monitor and set all aspects of the HVAC system," Mr. Desrosiers noted. And motor selection for equipment was based on low energy-consumption ratings.

The Orlando bakery hosted a McDonald's sustainability conference in mid-January.

"You learn from one facility to the next," Giancarlo said. "Because our company is privately held, we have the freedom to act on new initiatives. The next facility will be even better."

For the time being, Orlando offers plenty of expansion capacity. Output on the current line could rise to 140% of what it is now, according to Giancarlo.

"There are only opportunities here," Giancarlo II added. ■

.....  
Anthony Turano



Q&A: ABA ENVIRONMENT

.....  
J.K. Evicks



For many years, the American Bakers Association's Energy and Environment Committee talked about establishing benchmarks for sustainability, but the challenge has always been how to collect and share that data. In 2012, the committee met with Walt Tunnessen, national manager for Environmental Protection Agency's Energy Star for Industry program, and heard how biscuit and cracker producers worked with the agency to develop Energy Performance Indicators (EPIs) for their industry.

The committee reviewed those EPIs and decided that it would be good to have similar indicators for the commercial bread industry. Participation in the Energy Star Challenge for

Industry program is voluntary and designed to create specific tools for the baking industry, which help improve operational efficiencies and provide a benchmark to measure efficiency against industry peers.

Although the industry's program is still in its infancy, several bakeries have already seen significant savings and improvements in their operations. In this report, Anthony Turano, director of administration, Turano Baking Co., Berwyn, IL, and J.K. Evicks, environmental manager, The Bama Cos., Inc., Tulsa, OK, share their experiences and how the program put their bakeries on the path for continuous improvement.

# On Becoming a Star

Two ABA members participating in EPA's Energy Star Challenge for Industry program reflect on how it has made their bakeries' future a bit brighter.

**Dan Malovany: Why did you decide to sign up for the EPA's Energy Star Challenge for Industry program for the baking industry?**

**Anthony Turano:** The Energy Star Challenge is a great opportunity to accomplish a number of goals. First and foremost, it provides a recognizable name — EPA Energy Star — that we can leverage in communicating our achievements to customers, employees and other interests. Second, it gives our people a clear goal to shoot for with that recognition available once the goal is achieved. Third, it helps us push energy savings initiatives by pointing back to the challenge as a driver for that investment. Last, it helps our ownership understand "sustainability" a little easier by focusing on goals and recognition.

**J.K. Evicks:** Bama signed up for the

Challenge for Industry to sustain momentum for our company's energy-efficiency efforts, and we wanted to set a good example within the baking industry.

**What energy-saving programs did your bakery have in place prior to signing up for the challenge?**

**Mr. Turano:** Previously, we started to implement lighting retrofits in our facilities, and we've identified the need in each of our facilities.

We also have a good history of tracking utility usage, so this helped us put that history into graphic displays that speak volumes about where we've been and where we need to go.

**Mr. Evicks:** We have been improving energy performance at Bama for several years, with formal metrics in place since 2009. Some of the programs included

setting equipment standards, holding kaizen improvement events and tracking our utility information.

**How did the Energy Star Challenge change the way your bakery now operates?**

**Mr. Turano:** It hasn't changed the way we operate as much as it helps everyone focus on energy reduction and savings. We still bake the high-quality bread we're known for, but now we have a little more to the story we can tell our customers.

**Mr. Evicks:** Our facilities have seen the positive impact of identifying metrics and setting goals — we have realized more than 20% reduction in energy intensity over the past four years. While we have just started the Energy Star Challenge, I know it will encourage our teams to continually improve.



**What were the easiest parts — and the most difficult parts — of the program for your bakery?**

**Mr. Evicks:** The easiest part was signing up for the program — EPA and ABA have teamed up to make that process very straightforward. There's no obstacle to getting started. The most difficult — but rewarding — part of the process is actually doing the work.

**Mr. Turano:** The hardest part is joining. Participating in an "EPA program" can sound like a dangerous proposition to some people, but once you realize and communicate that we're just tracking energy and it's going to recognize our achievement once we reduce our usage, it's an easy sell. The easiest part is collecting the data; everyone has old utility bills or can retrieve them easily from the utilities themselves. It's what you do with that data to achieve the challenge that is most important.

**How did ABA assist your bakery in achieving its goals for the program?**

**Mr. Evicks:** ABA not only coordinated with EPA to set up the partnership, but it also gave us the tools we needed for improvement. The energy guide is a perfect example of the many tools now available to bakers. Both ABA and EPA should be commended on their efforts. (ABA Energy and Environmental Committee has made available the "Energy Efficiency Improvement

**"The easiest part was signing up for the program — EPA and ABA have teamed up to make that process very straightforward."**

**J.K. Evicks, Bama Cos.**

and Cost Savings Opportunities for the Baking Industry — An Energy Star Guide for Plant and Energy Managers.") This guide is designed to help the commercial baking industry reduce energy and water consumption in a cost-effective manner while maintaining the quality of its manufactured products. ABA continues to develop new resources to assist and educate.

**Mr. Turano:** ABA helps us learn about new ideas and different technologies that are out there. ABA's Environment and Energy Committee does a great job of sharing best practices, so we are happy to take advantage of all ABA offers.

**Where have you seen the most significant savings in the short and long run?**

**Mr. Turano:** The best savings have come in our electricity and gas bills, and that surely goes for the short- and long-runs. Reducing energy usage is great from an environmental standpoint, and it makes all the more sense when you put a dollar to it.

**Mr. Evicks:** Bama has seen slight improvements in the short run, but we've only formally been in the challenge for a few months. We will continue to track and validate our results.

**How has the challenge made your company more competitive?**

**Mr. Evicks:** The challenge serves to formalize the energy performance efforts we've had in place for a while at Bama. It's provided good motivation for our team internally — the plant teams do strive to meet their goals, which may include doing better than their counterparts. We know that as we continue the program we'll see greater savings and improved efficiencies that will make us even more competitive in the industry.

**Mr. Turano:** We feel that it has by addressing our costs. As previously mentioned, reducing energy keeps costs down in the long-run, so every effort to get usage to a bare minimum keeps us competitive.

**Why should more bakers be involved in the industrywide program?**

**Mr. Turano:** Sustainability and energy reduction is not a thing of the future; it's a thing of the present. Customers around the world ask daily what we're doing with sustainability, so why not be recognized for it by EPA? We are going to work toward reducing energy, and this helps everyone realize that the efforts are seen by others.

**Mr. Evicks:** Every company has different drivers, but this is a great program to help motivate your company, save energy and money and show stakeholders that your company means business. •

**"Sustainability and energy reduction is not a thing of the future; it's a thing of the present."**

**Anthony Turano, Turano Baking Co.**

For more on the subject, subscribe to *Baking & Snack's Operations Update* e-newsletter at [www.bakingandsnack.com](http://www.bakingandsnack.com).



IN THIS ISSUE: OVENS • SCHOOL NUTRITION • SHEETING/LAMINATING

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JULY 2015

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## TURANO BAKING CO.

New Florida bun line  
drives speed to market

**Also inside:**

Surviving  
the egg  
shortage



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Cover: Turano Baking challenged its Orlando management team to test limits on technology, engineering and innovation to design a mind-bending, multipurpose solution to a host of opportunities and challenges.

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"We chose the path of flexibility and variety on a line that's still considered a high-speed system."

36

Joe Turano, Turano Baking Co.







Turano Baking recently installed another flour silo to produce more artisan-style products. The Orlando bakery receives up to 18 truckloads of flour a week.

# READY FOR A

Turano Florida Bun's new production line in Orlando allows the business to react quickly to emerging new product trends while catering to its customers' ever-divergent needs.

by Dan Malovany

During the 14 months it took to install the newest bun and roll line at the Turano Baking plant in Orlando, FL, Leo Desrosiers kept on hearing — and sometimes repeating — the same thing over and over again. “The three words that we heard throughout the whole process were, ‘Are you serious?’” recalled the vice-president of operations, southern region, for the Berwyn, IL-based family-owned and -operated company.

Typically, such a question becomes more of a symptomatic response when a business ambitiously pushes the envelope on a project. For Turano Baking, it evolved into a rhetorical device after the company constantly challenged the Orlando management team to test the limits on technology, engineering and innovation to design a mind-bending, multipurpose solution to a host of opportunities and challenges.

Today, the second line, which started up in mid-2014 in the 82,000-sq-ft facility, cranks out 4,000 doz soft buns and premium rolls per hour. That's slightly fewer than the 5,400 doz an hour on the original line installed in 2009. As so often is the case, however, the numbers simply don't tell the whole story. Back in 2012, way before “Are you serious?” became so popular, Turano Baking needed to answer a few big-picture questions to add strategic direction to the new initiative.

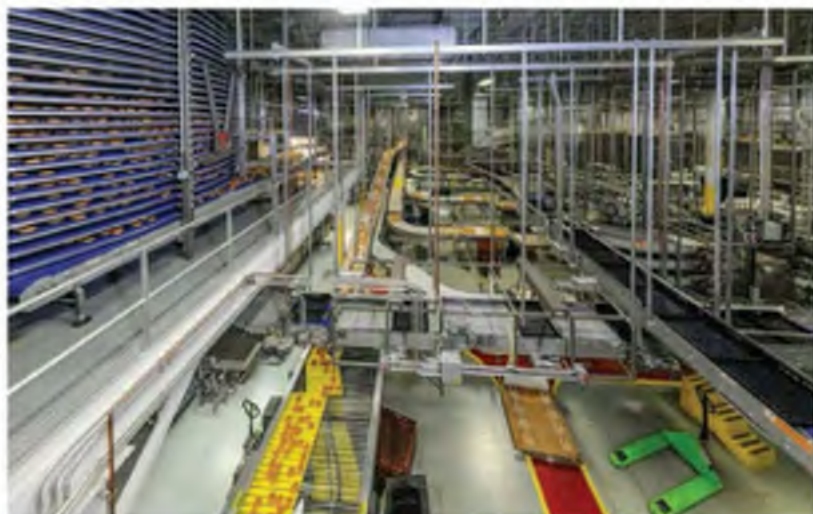
“We had choices to make on this line,” noted Joe Turano, president. “Do we duplicate the highest speed line as we had in the original line? Or do we install a line that may not have the full capacity of the original line but will allow us to provide some flexibility and variety to our product lines?” he recalled.



ANYTHING



## TURANO BAKING CO.



Turano took advantage of vertical space when installing the second line in the Orlando bakery.

"We chose the path of flexibility and variety on a line that's still considered a high-speed system," he continued. "It just doesn't produce to the full capacity per hour as the original one does."

That answer then sparked a slew of other inquiries about how to ensure the bakery could quickly respond to its customers' needs in the years to come.

"We put a lot of thought into future use," observed Jeff Kozloski, chief engineer. "When we designed the line, we did a lot of 'what ifs.' What if we want more topping equipment? What if we want different packaging? What if we want spraying options after the oven? We wanted to make sure we left enough room and kept enough open area around certain parts of the line for future projects."

To answer the "what ifs," industry veterans Mr. Desrosiers, Mr. Kozloski and Jack Mitchell, now Orlando plant manager, collaborated closely with vendors to iron out the scope and details of the new project. In some cases, they sought input from line operators and supervisors as well as the leadership teams at Turano Baking's three other bakeries, located in Berwyn and Bolingbrook, IL, and Villa Rica, GA. They also visited other baking companies to observe new equipment or processes in action.

At Turano Baking, the door swings both ways when it comes to knowledge-sharing. "We can lean on other bakers we know for ideas, innovations and best practices, and we make sure we do the same for them," Mr. Mitchell said.

While collaboration remains integral to the company's culture, so does ownership when it comes to completing a project of this magnitude. "We designed this bakery," Mr. Kozloski emphasized. "We're not putting up with problems that someone else created. Everything we did, we've done to ourselves. There are no second thoughts on this project."

### What ifs? What's next?

With the new bun line, Turano Baking strived to achieve a number of top priorities — most importantly, contingency capacity. Normally, conservative companies consider contingency options as Plan Bs, or backup strategies. That was certainly part of the case here, according to Mr. Desrosiers. The bakery wanted to make sure it had sufficient backup with Line No. 2 to support production on Line No. 1, especially for its primary customer supplied by Turano Baking in this core market.

However, the additional capacity also involved a Plan A,

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### Embracing — not chasing — change

When it comes to new product development, Leo Desrosiers has one word to describe Turano Baking. "I would say we're 'fearless' when stepping into new areas," noted the vice-president of operations, southern region. "If there is a new concept, we have the ability to beat people to the market."

Part of the reason goes back to the business' roots in 1962 when Mariano Turano founded the company. "We started as a small, Chicagoland bakery in the past," said Joe Turano, president. "It taught us our principles for working with customers — to work with them closely on a one-on-one basis. Collaborative effort is a unique value at our bakery."

Often, new product development occurs at the Berwyn, IL, operation, which has the capabilities to test formulas and develop the characteristics of products using smaller, 400-lb doughs. Once the customer signs off on the product, the other bakeries take over and scale it up to their high-speed operation, according to Jack Mitchell, plant manager at the Orlando, FL, bakery.

Throughout its history, Turano Baking has shown it is open to investing in not only new products but also new categories. The Italian, specialty and hearth bread business now also produces conventional bread and buns for national players in the foodservice industry. "This company is continually evolving," Mr. Mitchell said. "It's not set in one standard product zone. It's wide open to the newest customer needs."

The versatile new production line contains a variety of seeders and glazing systems to produce a variety of premium buns and rolls.



as in the ability for the entire company to supply new customers while supporting its existing base with new products. Since *Baking & Snack* first visited the Orlando bakery in 2011, third-party business in the region has grown significantly.

"We were skittish about taking on new business without contingency capacity," Mr. Desrosiers said. "With our internal customers, we were finding lines in our other Turano facilities reaching capacity. We were looking to build contingency capacity within our entire system to handle those opportunities."

In addition to reducing the volume of interplant shipments, boosting capacity also brought production closer to the Orlando plant's core customers in the Southeast and even expanded its geographic reach to Texas and parts of the South.

Yet another top priority involved engineering in the flexibility to scale up artisan-style products or place buns and premium rolls in new packaging formats. Specifically, the bakery expanded bulk packaging and added bagging capabilities for foodservice and retail customers. It also introduced Turano branded products to new markets.

Moreover, during the past three to five years, limited-time offers (LTOs) have become the fastest way to build sales in the quick-serve restaurants (QSRs), casual dining chains and other foodservice channels, where Turano Baking does a majority of its business. "With LTOs, restaurants aren't looking for me-too products," Mr. Desrosiers said. "They want products that are really unique and have their distinctive signature on them."

Specifically, the versatile new line allows the bakery to diversify its portfolio of buns and rolls with such items as brioche and other premium baked goods.

When it comes to new products, speed to market — along with quality and variety — is also critical in today's fluid marketplace. "We understand that many of our products have a life cycle, so we continue to work on 'what is that next new trend?'" Mr. Turano said. "What is that next, new popular line of products so we can be ahead of the curve in the marketplace?"

Moreover, as these restaurants expand their menus, chains may require packaging in various formats, including smaller packs — instead of bulk packs — to maintain freshness as new items gain traction among consumers. "In the past, manufacturing drove what packaging systems you used," Mr. Kozloski observed. "Now, it's the customers driving how products are packaged."

### Creative use of space

With such a sweeping agenda, Turano Florida Bun, as the Orlando operation is called within the company, faced a significant hurdle: space inside the building. The original high-speed line took up 65% of the square footage in the



## TURANO BAKING CO.



Freshly baked hamburger buns leave the oven and head to the spiral cooler.

facility. Back in 2009, Turano Baking anticipated it might install a hearth line. However, as customer priorities and market demands shifted, the biggest challenge eventually became how to add as much bun and premium roll capacity — combined with flexibility — in a limited area.

"When we designed the facility, we accommodated enough space for a second line," noted Anthony Turano, director of administration. "We didn't know exactly what type of second line we'd install. We mocked up some thoughts at that time and said, 'We'll make it fit. No problem whatsoever,' and sure enough, we made it fit."

Or as Joe Turano joked, "We shoehorned it in."

Again, the management team turned to its contractors and equipment suppliers for help in resolving this Rubik's Cube. Monthly meetings soon accelerated into twice-a-month gatherings. "We'd walk through the plant and through the line — piece by piece — and everyone got to put their two cents in," Mr. Kozloski said. "We debated the pluses and minuses of everyone's ideas until we came up with a design we liked."

In all, it took 24 drafts before Turano Baking settled on

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Dough pieces tumble from the divider and rounder bars and into the intermediate proofer.

the final option. Initially, the goals were modest, but as new ideas came forth, scope creep took over. At one point to maximize vertical space, the project team toyed with building a huge mezzanine to house all of the production equipment — much in the way old-time bakeries operated in multi-story buildings. “Somewhere between drafts 10 and 14, we saw some practicality of the operation set in,” Mr. Kozloski recalled.

To make the most of space available, the bakery tore down its original production office. “We now have a modular office,” Mr. Mitchell said. “We had to be quite creative.”

That creativity extends to the practical use of vertical

space, according to Anthony Turano. The new line’s spiral cooler sits on a mezzanine platform. The facility now has six HVAC units, which are vitally important for maintaining product quality and workplace comfort in hot, humid Florida. The new units rest on a platform over the Workhorse Automation pan storage-and-retrieval system, which serves both lines.

“It was definitely a jigsaw puzzle,” Mr. Mitchell observed.

In most cases, he noted, Turano Baking kept with the same vendors it used for the original line. That allowed it to add redundancy as a part of its contingency plan and streamline its spare parts inventory by having more interchangeable replacement parts for both lines. Some components, such as its Shick USA liquid brew, Laramore flour recovery and Stewart Systems bulk packaging systems, can serve either production line.

Another benefit involved skilled labor. Historically, Mr. Mitchell said, Turano Baking had always done a good job cross training. When starting up the second line, the company assigned three “general helpers” who were thoroughly knowledgeable about operating everything from mixers and dividers to packaging — and put them in charge of training the first, second and, soon, third shifts.

Moreover, the company upgraded its human machine interface (HMI) systems on both lines to provide better quality control and reduce downtime. “The HMI is all top-of-the-line,” Mr. Kozloski said. “They’re all networked with one another. If one fails, we can control that system from any other HMI terminal in the plant.”

### Changing with the times

Unlike many dedicated bun operations, the new line produces up to six different varieties of artisan buns and rolls a day, resulting in multiple changeovers that can often be a timely, costly and labor-intensive process. “We worked with our suppliers and told them we wanted a 10-minute changeover,” Mr. Mitchell said.

Specifically, they focused on quick disconnects involving replacing carriages, tool-less adjustments and other creative solutions. Today, changeovers can be as short as three to five minutes. In all, the company routinely experiences only about 20 minutes of downtime — on both lines — during a full day of production.

Overall, the SQF Level 3-certified facility has about 34,700 sq ft of processing, 17,000 sq ft for packaging, 6,300 sq ft for warehousing and the remainder for office and other space. Three shifts run 24 hours a day, seven days a week with a full day of preventive maintenance and sanitation on Saturdays for Line No. 1 and a full day on Sundays for Line No. 2. In all, 100 people now work at the Turano Florida Bun operation.

The bakery has three Shick USA 225,000-lb flour silos, two 92,000-lb soy oil and sugar tanks and two



60,000-lb cream yeast tanks set outside the building. The company recently installed a fourth 165,000-lb silo for high-gluten artisan flour. To show how much production has grown, flour deliveries have doubled to 18 weekly during the past year, with the operation typically using up to 1 million lb a week, according to Mr. Mitchell.

Shick bag-dump stations offer the option to supply mixers with minor ingredients. Supersack dispensers provide salt and, more recently, granulated sugar. The company added the sugar system to provide extra flexibility in formulation of buns and rolls for its customers.

With the new line, Turano Baking installed a Shick 1,000-gal brew system that's slightly larger than the original 700-gal batch operation. Mr. Mitchell pointed out that the company learned it needed a slightly larger system to keep up with demand and offer flexibility to more easily adjust fermentation based on the quality of flour. "We built contingency into the bakery. Both systems can go back and forth between the two lines," he noted.

A Shick IntelliBatch ingredient management system controls the inventory of ingredients and their flow to the mixers, which includes an AMF Bakery Systems 2,400-lb horizontal mixer and a CMC America 1,600-lb mixer. Turano Baking installed the smaller mixer to provide the versatility to create doughs as little as 800 lb in size for specialty and artisan-style buns and rolls as well as to cater to a wider variety of customers.

During this year's *Baking & Snack* visit, the bakery cranked out brioche rolls on Line No. 2 using the AMF mixer. The dough chunks then enter the AMF HBD/SMP divider/sheeter. The eight-pocket extrusion divider can run up to 90 cuts a minute for high-speed bun production or 65 cuts a minute for artisan-style products like brioche. Each pump has its own servo motor to adjust dividing more

**"It doesn't take months within the Turano organization to make decisions. It takes minutes."**

Jeff Kozloski, chief engineer

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**“We wanted to make sure we left enough room and kept enough open area around certain parts of the line for future projects.”**

*Jeff Kozloski, chief engineer*



quickly and with greater accuracy. After traveling through an AMF Accupan bun makeup system with rounder bars, the dough balls receive a brief intermediate proof. A Laramore centralized reclamation system removes excess dusting flour from both lines.

Producing artisan-style buns and rolls requires a different approach from making high-speed hamburger buns, according to Mr. Mitchell. “What the team needed to learn about artisan rolls is completely opposite from what they learned from producing conventional buns,” he explained. “You want the baking process to achieve a pronounced break-and-shred along with an open grain and a darker crust color.”

A Burford orbital shaker aligns the panned dough pieces. To mimic capabilities on Line No. 1, the new line has a Burford Smart Seeder and a water splitter.

The 24- to 48-piece pans then enter a Stewart Systems conveyORIZED proof-and-bake system. Thanks to the cross-over design of the interior conveyors, the pans enter and exit the systems at waist height.

“The proofer is designed to produce two completely different rolls,” Mr. Mitchell observed. “Artisan-style products require much drier proofing while high-speed buns need much more moisture. We want the brioche to show stress cracks and cell structure, which are typical of an artisan-style product.”

After depanning, the buns travel up to the mezzanine level and cool for 28 to 30 minutes on an AMF variable-speed spiral cooler with Intralox belting. A Sightline vision system inspects all buns and rolls. Because the inspection system is located on an elevated platform after the cooler, Turano Baking installed a second viewing panel next to the oven, allowing the operator to monitor products and make real time adjustments to the baking process.

For a smooth transition from one variety to another, the bakery installed a Stewart pan stacker/unstacker system that works with the Workhorse pan system that feeds both lines.

#### **Plenty of packaging options**

For retail bagged items, buns and premium rolls travel through a UBE slicer, a UBE bagger and a Kwik Lock bag closure system, then to one of two AMF ABL packaging systems. The vacuum heads of the automatic basket loaders gently pick up the packages, according to Mr. Mitchell. “The ABLs pick up the bags without touching the buns,” he noted. “Typically, you can have a lot of damaged product in the packaging area because it’s shortly after baking and the product is so delicate.”

For contingency reasons, Turano Baking installed a fourth, identical Stewart P-1000 pillow packer, which can serve either production line. After slicing, large packages of soft rolls then pass through indexers and aligners to make





(From left) Leo Desrosiers, vice-president of operations-southern region; Jeff Kozloski, chief engineer; Jack Mitchell, plant manager; and Joe Turano, president, collaborated with vendors and others at Turano Baking when installing the second production line in its Orlando facility.

### ABCs of engineering

In a high-speed, technologically advanced bakery, a company needs its mechanics to always be on their A-game. When Turano Baking started up its Orlando, FL, bakery in 2009, however, finding multi-skilled people took some work. "We started out with a lot of B- and C-class mechanics," said Jeff Kozloski, plant engineer. "Now, they're almost all A-class mechanics."

What's the difference among the classes? C-class mechanics have fundamental mechanical skills and are handy around wrenches, screwdrivers and other tools. B-class mechanics also have bakery experience and electrical backgrounds. "They're able to do control circuit troubleshooting and basic PLC troubleshooting," Mr. Kozloski said.

A-class mechanics must have every skill the B class mechanic has but also at least two years of bakery experience and PLC skills. "A-class mechanics should never have to call for help, and if they do, it's a serious problem where we need to call in a lot of help," he noted.

It's very rare that an A-class candidate shows up at the bakery applying for a job. As a result, Turano Baking set up a training area in its maintenance shop that houses all of the tools to allow mechanics to step up their games to the A level.

sure the pillow packers are evenly fed. A heat sealer system separates larger packages into smaller compartments. "We can take a 30-pack and heat-seal it into three packages of 10 buns, or we can take a 12-pack of brioche and seal it into two 6-packs," Mr. Mitchell explained. "Because foodservice operators open up only six or 10 buns at a time, the smaller packs help them maintain freshness at the store level."

The packages travel through metal detection and through one of four AMF basket loaders and stackers — or they are placed on trays or manually case-packed. As its geographic reach expanded over the past few years, Turano Baking discovered it needed to do more cardboard case-packing because the distribution — especially to new customers — is only one way.

The bakery plans to install an inline case erector and automatic case-packer in the near future. Additionally, returned baskets go through a tray washer before reentering the bakery.

### A quick-response culture

Since the bakery opened six years ago, the food industry has evolved into a much faster-paced environment. Only the most nimble of bakers can take full advantage of shifts in the market as the window of opportunity shrinks, according to Mr. Mitchell. As a result, he added, successful companies need to transform themselves into quick-response teams from an operation's perspective.

"It doesn't take months within the Turano organization to make decisions. It takes minutes," Mr. Kozloski observed. "We're able to move on a project very quickly. The approval process is very rapid. If you look at fads and trends, they aren't here for long. If you don't get onto it quickly, you can lose out by being at the tail end of a movement."

Giancarlo Turano, principal, suggested customers — and consumers — are stepping up the pace of change. "The more specific your customers' needs become, the more innovative you have to be," he said.

For Turano Baking Co., the Orlando bakery is just another chapter in the book on the family-owned business, a book that spans more than a half century. As time goes on, the learning process from the Orlando bakery expansion will continue to pay dividends for the company.

"I wouldn't say that gleaning ideas from other facilities ever stops. We just have one more facility where we can pull knowledge from," Mr. Desrosiers said. "When we came here, many of us were not used to this collaborative effort with vendors and other customer partners. That opens up a whole new world where you can learn from other people in the industry."

Collaboration, for a quick-response company, certainly ramps up speed-to-market when it comes to rolling out new products. ●



Friday, September 18, 2015

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Posted September 17, 2015 - 7:37pm

# Companies' expansions seen generating hundreds of jobs



Gov. Brian Sandoval, center, attends a Nevada Governor's Office of Economic Development meeting at Grant Sawyer Building Thursday, Sept. 17, 2015, in Las Vegas. Gov. Sandoval received Nevada's first-ever Gold Shovel Award for economic development efforts at Thursday's meeting. Ronda Churchill/Las Vegas Review-Journal

**By Richard N. Velotta**  
Las Vegas Review-Journal

The expansion of two tech companies and an industrial bakery will produce more than 100 jobs in Southern Nevada in the next year and hundreds more in the next decade.

Tax-incentive packages were approved Thursday afternoon by the Governor's Office of Economic Development for Verascan Inc. of Las Vegas, Henderson-based VadaTech Inc., and suburban Chicago-based Turano Baking Co.

Between them, the three companies will invest more than \$58.1 million in construction and equipment in Southern Nevada. The three companies were assisted in their efforts to expand and receive incentives by the Las Vegas Global Economic Alliance.

Anthony Turano, director of administration for Berwyn, Ill.-based Turano Baking, said he's narrowed the decision for a site for his new plant to a site in Henderson and a site in North Las Vegas. He expects to have a final decision within weeks.

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Turano, grandson of the company founder who opened his first facility in 1962, said the company is looking to Southern Nevada as the site of a regional production facility for a West Coast expansion of the company's line of full and par-baked breads.

The company has 825 employees at facilities in Illinois, suburban Atlanta and Orlando. Turano will invest \$38 million in equipment in Southern Nevada and another \$15 million in construction and will initially hire 67 people with plans to expand to 150 within five years.

Under terms of the tax abatement incentive agreement unanimously approved by the economic development board, the company will benefit by \$3.6 million. The company's presence is expected to generate \$10.3 million in new tax revenue over 10 years with the state receiving \$2.85 for every dollar abated.

Verascan applied for incentives under the state's new aviation sales tax abatements.

The company will create 22 new jobs with an average wage of \$40 an hour.

Verascan flies unmanned aerial vehicles and will invest \$18.1 million, including \$8.1 million in aircraft.

The company will receive \$648,587 in tax abatements and the company's expansion will result in additional \$34.7 million in tax revenue over 10 years, according to the state. That's an estimated \$53.63 in new tax revenue for every dollar abated.

Henderson-based VadaTech is expanding, but job growth wasn't what qualified the company for incentives — it was the high average wage offered by the company that works in the aerospace, military and telecommunications markets.

The company will create six jobs with an average hourly wage of \$30.13

VadaTech will receive \$405,300 in abatement incentives under the agreement approved by the board and over 10 years, the incentives will generate an additional \$468,800. That results in new revenue of \$1.16 for every dollar abated.

Contact reporter Richard N. Velotta at [rvelotta@reviewjournal.com](mailto:rvelotta@reviewjournal.com) or 702-477-3893. Find [@RickVelotta](https://twitter.com/RickVelotta) on Twitter.

[Nevada, five other states...](#)



Nasdaq	4827.23	-66.72 (-1.36%)
S&P 500	1958.08	-32.12 (-1.61%)
NYSE	10031.60	-183.94 (-1.80%)
Gold	1138.00	+21.00 (+1.88%)
Oil	44.89	-2.01 (-4.29%)
10Y Yield	2.130	-0.06 (-2.85%)

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**CALENDAR**

FRI	SAT	SUN	MON	TUE	WED	THU	A
18	19	20	21	22	23	24	All Week

**GONDOLA RIDES**  
Grand Canal Shoppes  
Friday, Sep 18, 10:00 am-mid night

**LE REVE - THE DREAM**  
Wynn Las Vegas  
Friday, Sep 18, 7:00 pm

**Austin Law**  
Treasure Island  
Friday, Sep 18, 10:00 pm

**AUSSIE HUNKS**  
D Las Vegas  
Friday, Sep 18, 10:10 pm

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# Berwyn Properties, LLC

## **Financing**

Berwyn Properties, LLC, is an affiliate of Turano Baking Company. The subject property will be owner-occupied and paid through the company's cash. As a privately held entity, the financial statements of Turano Baking Company and its affiliates are confidential.

Single-Tenant Corporate Office Building

**Berwyn Properties, LLC**

May 2, 2018

Tab #5

Property Information

Contents:

- a. Property Restrictions\*
- b. Plat of Survey
- c. Historic Preservation Review\* (Not included / applicable for this project)



# Berwyn Properties, LLC

Proposed Single-Tenant Corporate Office Building - 6500 Roosevelt Road  
Planned Development Application - May 2, 2018

## Property Restrictions;

There are no known existing restrictions on the proposed building site location. See attached historic surveys.

**LEGEND OF SYMBOLS & ABBREVIATIONS**

- Power Pole
- Light Pole
- Transformer
- Utility Pedestal
- Traffic Signal
- Signal Box
- Gas Valve
- Water Valve
- Electric Meter
- Gas Meter
- Fire Hydrant
- Manhole
- Catch Basin
- Curb Catch Basin
- Monitoring Well
- Flared End Section
- Sign
- Flag Pole
- Ground Light
- Bollard
- Auto Sprinkler
- Stokade Fence
- W- Water
- T- Telephone
- G- Gas
- E- Electric
- OW- Overhead Wires
- ST- Storm Sewer
- SS- Sanitary Sewer
- P.O.C. Point of Commencement
- P.O.B. Point of Beginning
- S.F. Square Feet
- X- Chain Link Fence
- N North
- S South
- E East
- W West
- ° Degrees
- ' Feet/Minutes
- " Inches/Seconds
- Vol. Volume
- P.C. Page
- Concrete
- Guard Rail

**UTILITY NOTE**

UN1 The location of Utilities shown hereon are from observed evidence of above ground appearances only. The surveyor was not provided with underground plans to determine the location of any subterranean uses. Ticket Number: X1430351 ( May 23, 2017)

**ZONING INFORMATION**

The surveyor was provided with the following zoning information. Bock & Clark report #7201700724-002 dated June 12, 2017. The subject property is zoned C-2, General Commercial, Oak Park, C, Commercial, Oak Park, C, None, Oak Park: C: None

Front Setback: Berwyn: C-2/C-4: None, Oak Park: C: None RRFBZOD: 7' minimum/no maximum  
 Side Setback: Berwyn: C-2/C-4: None, Oak Park: C: Adjacent to residential separated by alley: 10' minimum, RRFBZOD: 0/10 minimum.  
 Rear Setback: Berwyn: C-2/C-4: 20% of the depth of lot; adjoining residential side lot line: equal in dimension to the minimum side yard which would be required for a residential use on the adjacent property in the residence district, Oak Park: C: Adjacent to residential separated by alley: 10' minimum RRFBZOD: 0/10 minimum.

Minimum Lot Width: Berwyn: C-2/C-4: 50' at front lot line  
 Oak Park: C:  
 Minimum Lot Depth: Berwyn: no requirement noted  
 Oak Park: C:  
 Minimum Lot Area: Berwyn: C-2/C-4: 6,250 sq. ft.  
 Oak Park: C: No minimum  
 Maximum Building Height: Berwyn: C-2/C-4: 50/5 stories  
 Oak Park: C: 50'  
 Maximum Lot Coverage: Berwyn: C-2/C-4: 80%  
 Oak Park: C: None  
 Floor Area Ratio: Berwyn: no requirement noted  
 Oak Park: C:

Minimum Parking: Berwyn: Establishments engaged in production, processing, cleaning, servicing, testing or repair of materials, goods or products: 1 space/2 employees plus 1 space/vehicle used in the conduct of the enterprise Offices: 1 space/500 sq. ft. of floor area in excess of 4,000 sq. ft./in C-3 & C-4 districts, 1 space/500 sq. ft. in excess of 7,500 sq. ft.  
 Oak Park: N/A Parking Lot

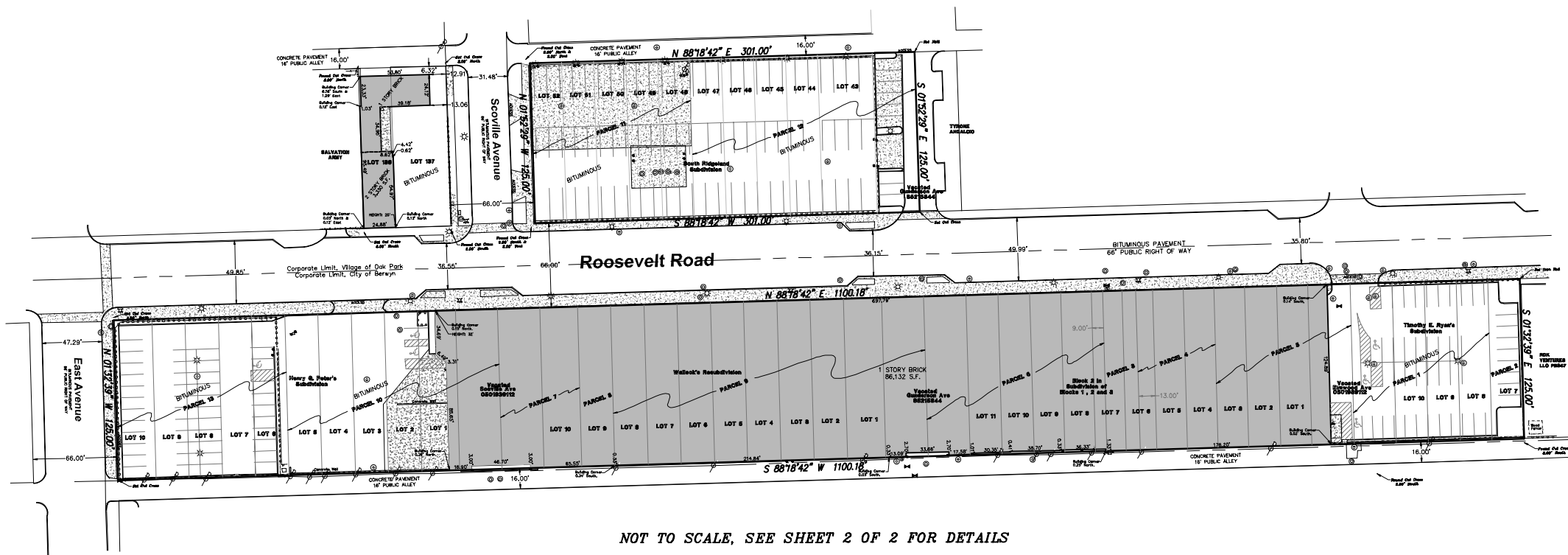
EXISTING PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	165
HANDICAP	6
TOTAL	171

**SIGNIFICANT OBSERVATIONS**

- A BUILDING CORNER LIES 0.15' NORTH OF THE NORTH PROPERTY LINE.
- B BUILDING CORNER LIES 0.34' SOUTH OF THE SOUTH PROPERTY LINE.
- C BUILDING CORNER LIES 0.03' SOUTH OF THE SOUTH PROPERTY LINE.
- D BUILDING CORNER LIES 0.03' SOUTH OF THE SOUTH PROPERTY LINE.

AREA: 173,148.23 SF± OR 4.02 ACRES±

**VICINITY MAP - NOT TO SCALE**



NOT TO SCALE, SEE SHEET 2 OF 2 FOR DETAILS

**MISCELLANEOUS NOTES**

- MN1 ALL FIELD MEASUREMENTS MATCH RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS.
- MN2 ALL STREETS SHOWN ARE PUBLIC RIGHT OF WAY, UNLESS OTHERWISE NOTED.
- MN3 ASSUMED BEARING: THE SOUTH RIGHT OF WAY LINE OF ROOSEVELT ROAD TO BE NORTH 88 DEGREES 18 MINUTES 42 SECONDS EAST.
- MN4 AT THE TIME OF THIS SURVEY THERE IS NO RECORD OR OBSERVED EVIDENCE OF A CEMETERY OR BURIAL GROUND.
- MN5 AT THE TIME OF THIS SURVEY, THE ADDRESS WAS POSTED AS 6413 ROOSEVELT ROAD.
- MN6 THE SUBJECT PROPERTY HAS ACCESS TO AND FROM ROOSEVELT ROAD, SCOVILLE AVENUE AND PUBLIC ALLEYS WHICH ARE GOVERNED BY THE CITY OF BERWYN.
- MN7 IN REGARDS TO TABLE "A" ITEM 16, AT THE TIME OF THIS SURVEY, THERE WAS NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- MN8 IN REGARDS TO TABLE "A" ITEM 17, AT THE TIME OF THIS SURVEY, THERE WAS NO RECENT STREET OR SIDEWALK CONSTRUCTION OR PROPOSED RIGHT OF WAY CHANGES PROVIDED.
- MN9 IN REGARDS TO TABLE "A" ITEM 18, AT THE TIME OF THE SURVEY, THERE WAS NO STAKED WETLAND DELINEATION TO REFERENCE ON THIS SURVEY.
- MN10 IN REGARDS TO TABLE "A" ITEM 19, THERE ARE NO OFFSITE EASEMENTS OR SERVITUDES AFFECTING THE SUBJECT PROPERTY REFLECTED IN THE TITLE COMMITMENT OR THAT THE SURVEYOR HAS BEEN MADE AWARE OF.

**ITEMS CORRESPONDING TO SCHEDULE B-II**

- 50 Easement in favor of Sanitary District of Chicago, and its respective successors and assigns, to install, operate and maintain all equipment necessary for the purposes of serving the land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the grant recorded as document number 4575840. Note: Affects Parcel 5. Exhibit "A" not provided, item is not platted.
- 51 Rights of public or quasi-public utilities, if any, in the vacated Gunderson Street described in Schedule A. Note: Affects Parcels 6, 9 and 13. Item is platted.
- 52 Rights of public or quasi-public utilities, if any, in the vacated street or alley described in Schedule A as set forth in the instruments recorded as document number 98891689 and 0501939112. Item is platted.

**FLOOD NOTE:**  
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) \_\_\_\_\_ OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 17031004881 WHICH BEARS AN EFFECTIVE DATE OF \_\_\_\_\_ AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, BY CONTACT DATED 6/9/2017 TO THE NATIONAL FLOOD INSURANCE PROGRAM <http://www.fema.gov/>. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

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**RECORD DESCRIPTION**

- Parcel 1: Lots 8, 9 and 10 and that part of the East half of vacated South Elmwood Avenue lying West of and adjoining said Lot 10 in Block 1 in Timothy E. Ryan's Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 2: Lot 7 in Block 1 in Timothy E. Ryan's Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 3: Lot 6 (except the East 13 feet thereof) and Lot 7 (except the West 9 feet thereof) in Block 2 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 4: Lots 4, 5 and the East 13 feet of Lot 6 in Block 2 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 5: Lots 1, 2 and 3 and that part of the West half of vacated South Elmwood Avenue lying East of and adjoining said Lot 1 in Block 2 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 6: The West 9 feet of Lot 7 and all of Lots 8, 9, 10 and 11 and that part of the East half of vacated Gunderson Avenue lying West of and adjoining said Lot 11 in Block 2 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 7: Lot 10 and that part of the East half of vacated South Scoville Avenue lying West of and adjoining said Lot 10 in Walleck's Resubdivision of Lots 1 to 11 inclusive in Block 3 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 8: Lot 9 in Walleck's Resubdivision of Lots 1 to 11 inclusive in Block 3 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 9: Lots 1 through 8, inclusive and that part of the West half of vacated Gunderson Avenue lying East of and adjoining said Lot 1 in Walleck's Resubdivision of Lots 1 to 11 inclusive in Block 3 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 10: Lots 1 to 5 and that part of the West half of vacated South Scoville Avenue lying East of and adjoining said Lot 5 in Henry G. Peters' Subdivision of Block 4 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.
- Parcel 11: Lots 48 to 52 both inclusive in South Ridgeland being a subdivision of a part of the Southeast quarter of Section 18, Township 39 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.
- Parcel 12: Lots 43 through 47, both inclusive, and that part of the West half of vacated Gunderson Avenue lying East of and adjoining said Lot 43 in South Ridgeland being a subdivision of a part of the Southeast quarter of Section 18, Township 39 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois.
- Parcel 13: Lots 6, 7, 8, 9 and 10 in Henry G. Peters' Subdivision of Block 4 in the Subdivision of Blocks 1, 2, and 3 in the Subdivision of Section 19, Township 39 North, Range 13 East of the Third Principal Meridian, (except the South 300 acres thereof), in Cook County, Illinois.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. W174924490, DATED JUNE 1, 2017.

**ALTA/NSPS LAND TITLE SURVEY**

**JPMorgan Turano Bakery**  
 B&C Project No. 201701739, 002  
 6413-6539 & 6500-6522 Roosevelt Road,  
 Berwyn & Oak Park, IL

Based on Stewart Title Guaranty Company Commitment No. W174924490 bearing an effective date of June 1, 2017.

**Surveyor's Certification**

To: Berwyn Properties, L.L.C.; JPMorgan Chase Bank, N.A., its successors and assigns; Stewart Title Guaranty Company and Bock & Clark Corporation.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6a, 6b, 7a, 7b, 7c, 8, 9, 11, 13, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on June 7, 2017.

James L. Harpole  
 Illinois Professional Land Surveyor No. 3190  
 In the State of Illinois, Expires 11-30-2018



SURVEY PERFORMED BY:  
 JLH LAND SURVEYING INC.  
 7222 COURTWRIGHT DRIVE  
 PLAINFIELD, IL 60586  
 PHONE: 815-729-4000  
 WWW.JLHSURVEY.COM

**PROJECT REVISION RECORD**

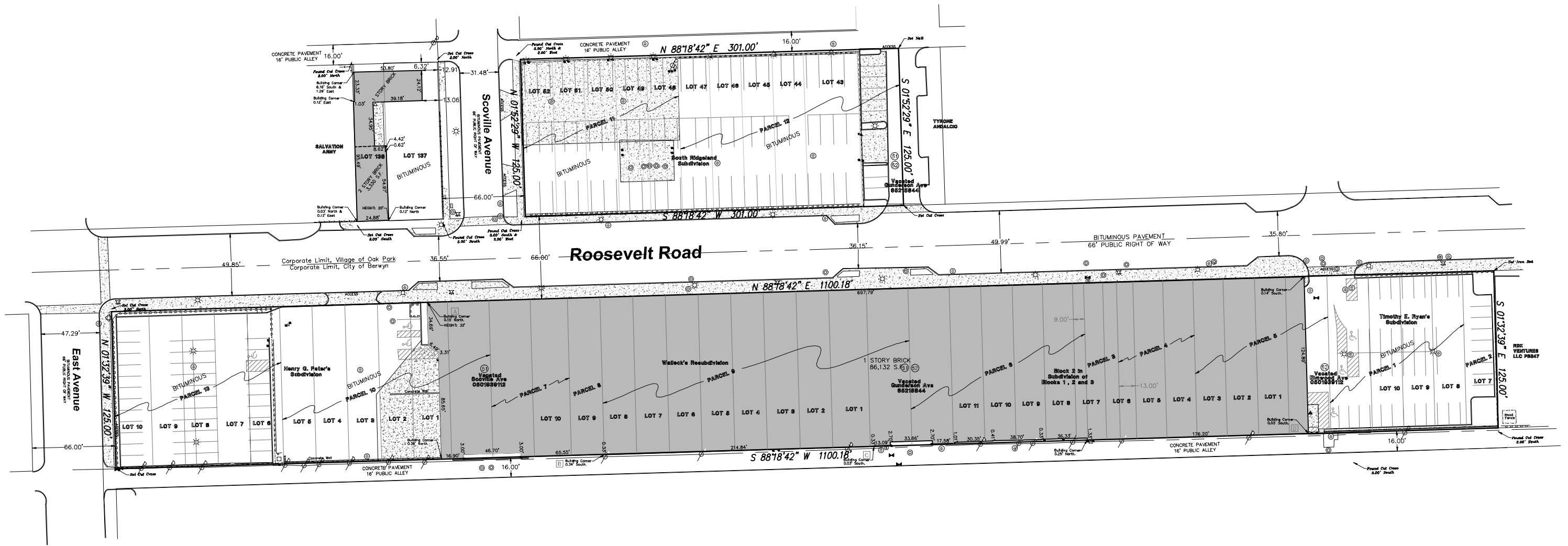
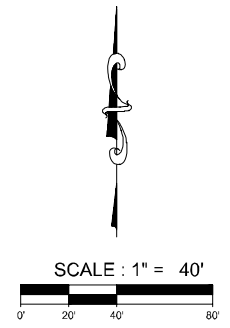
DATE	DESCRIPTION	DATE	DESCRIPTION
06/12/2017	FIRST DRAFT	09/21/2017	REVISED TITLE
06/14/2017	ADD ZONING		
08/10/2017	REVISE CERTIFICATION		
FIELD WORK: RH & SM	DRAFTED: JG	CHECKED BY: JLH	FB & PG: NA

SHEET 1 OF 2

**Bock & Clark** National Coordinators  
 1-(800)-SURVEYS (787-8397)  
 Bock & Clark Corporation  
 3550 W. Market Street, Suite 200, Akron, Ohio 44333  
 maywehelpyou@bockandclark.com  
 www.bockandclark.com

**LEGEND OF SYMBOLS & ABBREVIATIONS**

⊙ Power Pole	⊙ Manhole	-W- Water	N North
⊙ Light Pole	⊙ Catch Basin	-T- Telephone	S South
⊙ Transformer	⊙ Curb Catch Basin	-G- Gas	E East
⊙ Utility Pedestal	⊙ Monitoring Well	-E- Electric	W West
⊙ Traffic Signal	△ Flared End Section	-OHW- Overhead Wires	° Degrees
⊙ Signal Box	⊙ Sign	-ST- Storm Sewer	' Feet/Minutes
⊙ Gas Valve	⊙ Flag Pole	-SS- Sanitary Sewer	" Inches/Seconds
⊙ Water Valve	⊙ Ground Light	P.O.C. Point of Commencement	VA. Volume
⊙ Electric Meter	⊙ Bollard	P.O.B. Point of Beginning	PA. Page
⊙ Gas Meter	⊙ Auto Sprinkler	S.F. Square Feet	⊙ Concrete
⊙ Fire Hydrant	⊙ Stockade Fence	-X- Chain Link Fence	⊙ Guard Rail



**Bock & Clark** ALTA/NSPS LAND TITLE SURVEY  
 PREPARED FOR  
 JPMorgan Turano Bakery  
 DATE OF FIELD SURVEY: June 7, 2017  
 NETWORK PROJECT NUMBER: 201701739-002  
**1-(800)-SURVEYS (787-8397)**  
 maywehelpyou@bockandclark.com www.bockandclark.com





• BOUNDARY • TOPOGRAPHICAL • SUBDIVISIONS • ALTA/ACSM • CONDOMINIUMS • SITE PLANS • CONSTRUCTION • FEMA CERTIFICATES •

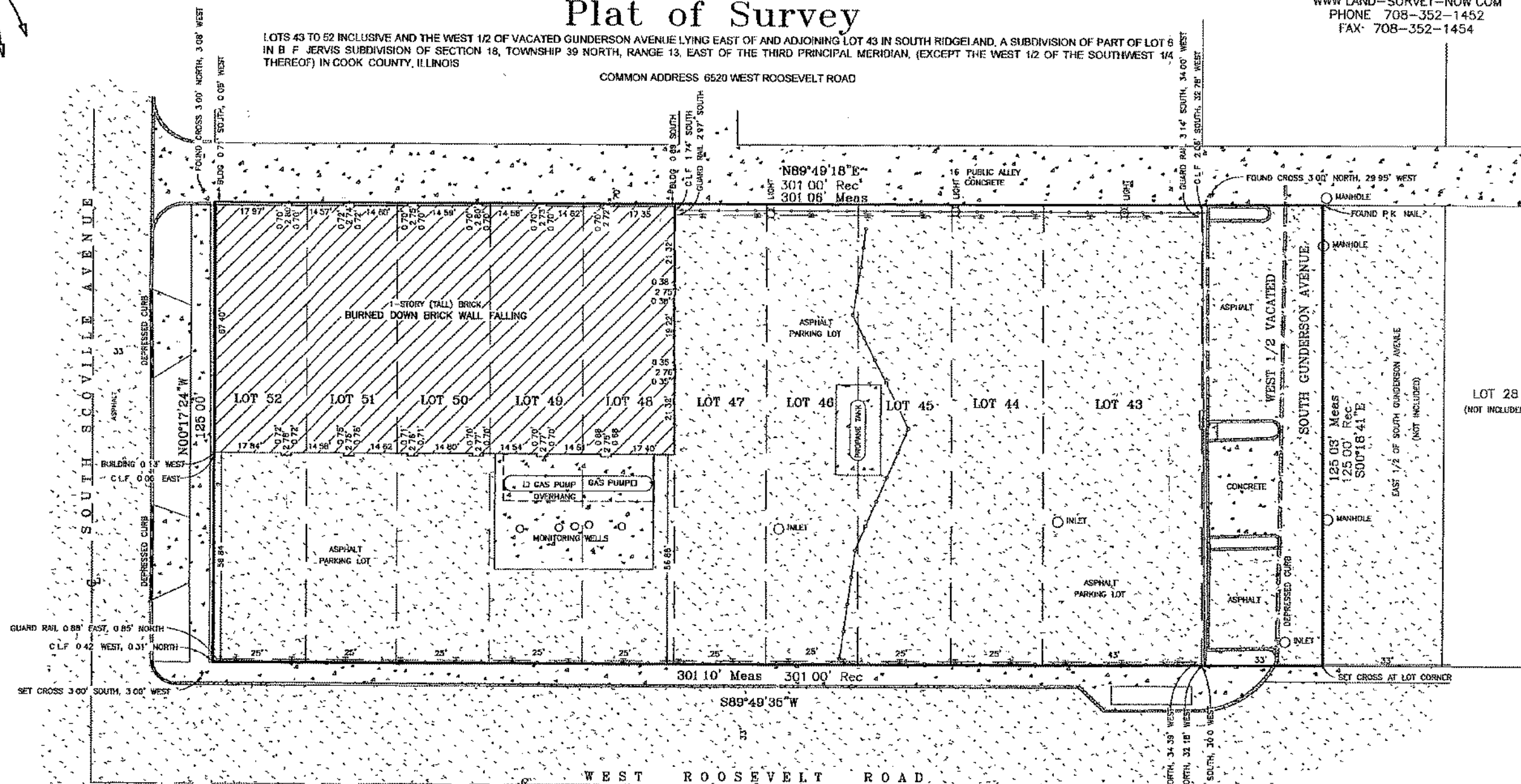
# SCHOMIG LAND SURVEYORS, LTD.

## Plat of Survey

909 EAST 31ST STREET  
LA GRANGE PARK, ILLINOIS 60526  
SCHOMIG-SURVEY@SBCGLOBAL.NET  
WWW.LAND-SURVEY-NOW.COM  
PHONE 708-352-1452  
FAX 708-352-1454

LOTS 43 TO 52 INCLUSIVE AND THE WEST 1/2 OF VACATED GUNDERSON AVENUE LYING EAST OF AND ADJOINING LOT 43 IN SOUTH RIDGELAND, A SUBDIVISION OF PART OF LOT 8 IN B F JERVIS SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE WEST 1/2 OF THE SOUTHWEST 1/4 THEREOF) IN COOK COUNTY, ILLINOIS

COMMON ADDRESS 6520 WEST ROOSEVELT ROAD



THE CUSTOMER LISTED BELOW PROVIDED THE LEGAL DESCRIPTION SHOWN HEREON WE DO NOT GUARANTEE THAT THIS IS THE CORRECT LEGAL DESCRIPTION FROM THE TRANSACTION INTENDED

IMPORTANT COMPARE THE LEGAL DESCRIPTION TO DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY FOR CLARIFICATION OR CORRECTION IMMEDIATELY UNLESS OTHERWISE NOTED, THIS PLAT DOES NOT SHOW BUILDING LINES OR OTHER RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES

DO NOT SCALE DIMENSIONS FROM THIS PLAT, THE LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN WITH OUT THE WRITTEN PERMISSION OF SCHOMIG LAND SURVEYORS, LTD ONLY PLATS WITH AN EMBOSSED SEAL ARE OFFICIAL DOCUMENTS FIELD WORK WAS COMPLETED PER SURVEY DATE LISTED BELOW © COPYRIGHT, ALL RIGHTS RESERVED

SURVEY DATE: FEBRUARY 11TH, 2015

BUILDING LOCATED: FEBRUARY 11TH, 2015

ORDERED BY: TURANO BAKING COMPANY

PLAT NUMBER 983729 & 150232 & H19-153 SCALE 1" = 20'



- LEGEND
- M = MEASURED DIMENSION
  - R = RECORDED DIMENSION
  - B.L. = BUILDING LINES
  - P.U.E. = PUBLIC UTILITY EASEMENT
  - D.E. = DRAINAGE EASEMENT
  - C = CENTER LINE
  - IF = IRON FENCE -X-X-X-
  - C.L.F. = CHAIN LINK FENCE
  - W.F. = WOOD FENCE
  - V.F. = VINYL FENCE



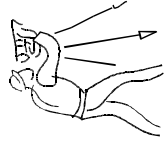
STATE OF ILLINOIS )  
COUNTY OF COOK ) ss LOT AREA 37,639 Sq Ft.

WE, SCHOMIG LAND SURVEYORS LTD AS AN ILLINOIS PROFESSIONAL DESIGN FIRM, LAND SURVEYOR CORPORATION, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION AFFIXED TO THIS PLAT

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT DIMENSIONS SHOWN ON BUILDINGS ARE TO THE OUTSIDE OF BUILDINGS THE BASIS OF BEARINGS, IF SHOWN AND UNLESS OTHERWISE NOTED, ARE ASSUMED, AND SHOWN TO INDICATE ANGULAR RELATIONSHIP OF LOT LINES

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY

BY Russell W. Schomig  
PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSE # 035-002440



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909 EAST 31st STREET  
LA GRANGE PARK, ILLINOIS 60526  
SCHOMIG-SURVEY@SBCGLOBAL.NET  
PHONE (708) 352-1452  
FAX (708) 352-1454

# SCHOMIG LAND SURVEYORS, LTD.

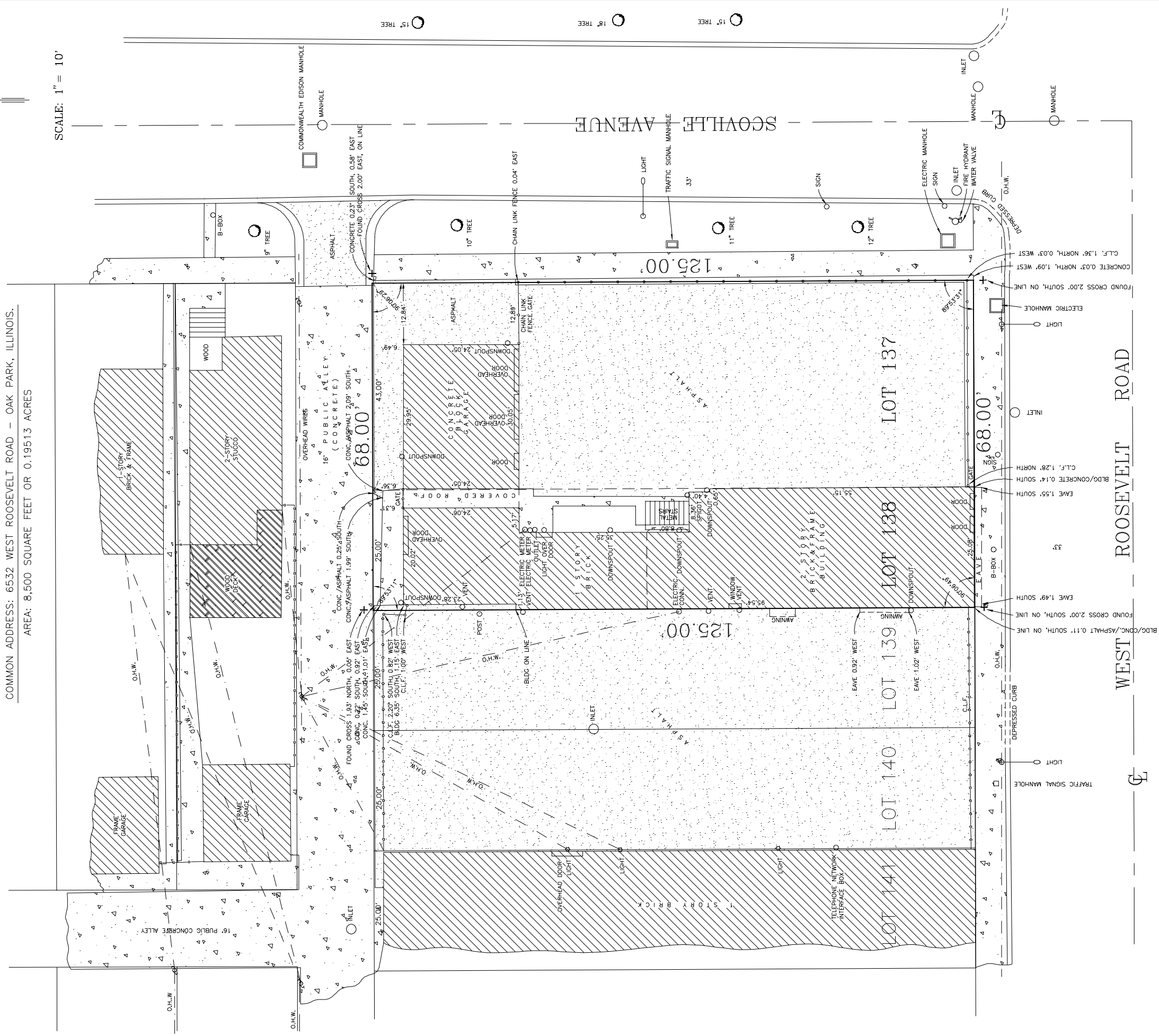
## PLAT OF SURVEY

### VARIATION REQUEST FOR

LOTS 137 AND 138 IN SOUTH RIDGELAND IN THE SOUTHEAST 1/4 OF SECTION 18,  
TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN  
COOK COUNTY, ILLINOIS.

COMMON ADDRESS: 6532 WEST ROOSEVELT ROAD - OAK PARK, ILLINOIS.  
AREA: 8,500 SQUARE FEET OR 0.19513 ACRES

SCALE: 1" = 10'

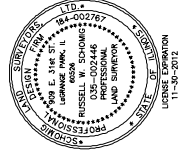


THE CUSTOMER LISTED BELOW PROVIDED THE LEGAL DESCRIPTION SHOWN HEREIN. WE DO NOT GUARANTEE THAT THIS IS THE CORRECT AND REPORT ANY DISCREPANCY FOR CLARIFICATION OR CORRECTION IMMEDIATELY, UNLESS OTHERWISE NOTED. THIS PLAT DOES NOT SHOW EASES OR OTHER RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES.  
DO NOT SCALE DIMENSIONS FROM THIS PLAT. THE LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN WITHOUT THE WRITTEN PERMISSION OF SCHOMIG LAND SURVEYORS, LTD. FIELD WORK WAS COMPLETED PER SURVEY DATE LISTED BELOW.  
© COPYRIGHT, ALL RIGHTS RESERVED.  
SURVEY DATE: NOVEMBER 29, 2010  
BUILDING LOCATED: NOVEMBER 29, 2010  
ORDERED BY: TURANO BAKING COMPANY  
PLAT NUMBER: 989932-P, FC-840, 103-17

LEGEND  
 CD = POWER POLE  
 OHW = OVER HEAD WIRES  
 CLF = CHAIN LINK FENCE



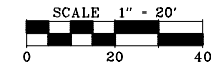
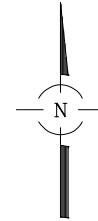
STATE OF ILLINOIS }  
 COUNTY OF COOK }  
 WE, SCHOMIG LAND SURVEYORS, LTD., AS AN ILLINOIS PROFESSIONAL DESIGN FIRM, LAND SURVEYOR CORPORATION, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION AFFIXED TO THIS PLAT.  
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT. DIMENSIONS ARE SHOWN TO THE NEAREST HUNDREDTH OF A FOOT. UNLESS OTHERWISE NOTED, BEARINGS, IF SHOWN AND UNLESS OTHERWISE NOTED, ARE ASSUMED, AND SHOWN TO INDICATE ANGULAR RELATIONSHIP OF LOT LINES.  
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



BY: PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSE # 035-002448

# PLAT OF SURVEY

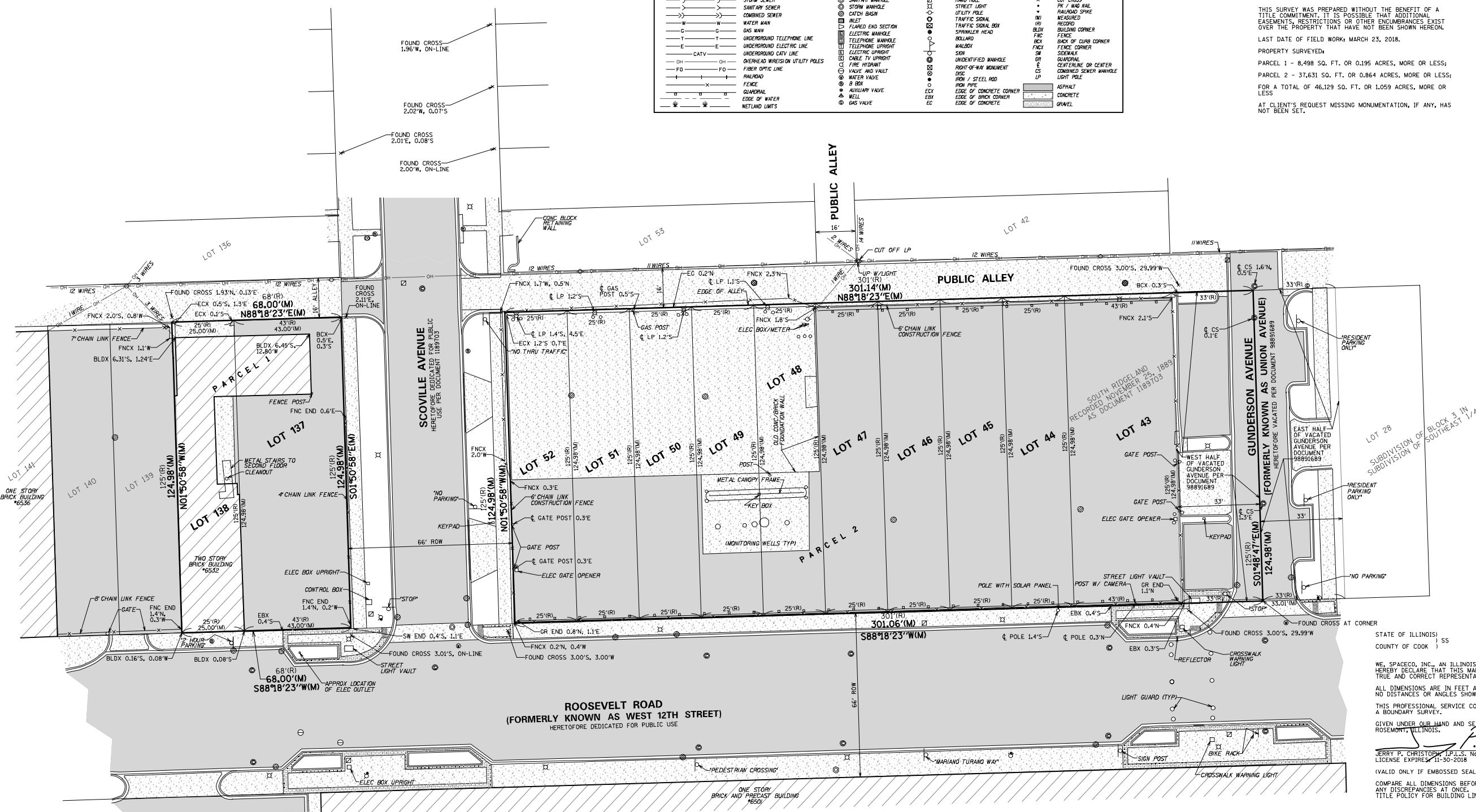
PROPERTY DESCRIPTION:  
 PARCEL 1:  
 LOTS 137 AND 138 IN SOUTH RIDGELAND, BEING A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
 AND  
 PARCEL 2:  
 LOTS 43 THROUGH 52, INCLUSIVE AND THAT PART OF THE WEST HALF OF VACATED GUNDERSON AVENUE LYING EAST OF AND ADJOINING SAID LOT 43 IN SOUTH RIDGELAND, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



BASIS OF BEARINGS:  
 TRUE NORTH BASED ON GEODETIC OBSERVATION 11 EAST ZONE

LEGEND			
	STORM SEWER		SANITARY MANHOLE
	COMBINED SEWER		STORM MANHOLE
	WATER MAIN		CATCH BASIN
	GAS MAIN		FLARED END SECTION
	UNDERGROUND TELEPHONE LINE		TELEPHONE MANHOLE
	UNDERGROUND ELECTRIC LINE		TELEPHONE UPRIGHT
	UNDERGROUND CITY LINE		ELECTRIC UPRIGHT
	CATV		CABLE TV UPRIGHT
	OVERHEAD WIRES ON UTILITY POLES		FIRE HYDRANT
	FIBER OPTIC LINE		VALVE AND VAULT
	RAILROAD		WATER VALVE
	FENCE		B BOX
	GUARDRAIL		AERIAL VALVE
	EDGE OF WATER		WELL
	WETLAND LIMITS		GAS VALVE
	HAND HOLE		STREET LIGHT
	UTILITY POLE		UTILITY POLE
	TRAFFIC SIGNAL		TRAFFIC SIGNAL BOX
	SPRINKLER HEAD		BUILDING CORNER
	BUILDING CORNER		FENCE CORNER
	SIDEWALK		GUARDRAIL
	CENTERLINE OR CENTER		COMBINED SEWER MANHOLE
	LIGHT POLE		ASPHALT
	CONCRETE		GRAVEL

NOTES:  
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. IT IS POSSIBLE THAT ADDITIONAL EASEMENTS, RESTRICTIONS OR OTHER ENCUMBRANCES EXIST OVER THE PROPERTY THAT HAVE NOT BEEN SHOWN HEREON.  
 LAST DATE OF FIELD WORK: MARCH 23, 2018.  
 PROPERTY SURVEYED:  
 PARCEL 1 - 8,498 SQ. FT. OR 0.195 ACRES, MORE OR LESS;  
 PARCEL 2 - 37,631 SQ. FT. OR 0.864 ACRES, MORE OR LESS;  
 FOR A TOTAL OF 46,129 SQ. FT. OR 1.059 ACRES, MORE OR LESS.  
 AT CLIENT'S REQUEST MISSING MONUMENTATION, IF ANY, HAS NOT BEEN SET.



STATE OF ILLINOIS )  
 COUNTY OF COOK ) SS

WE, SPACCO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 6TH DAY OF APRIL, 2018 IN ROSEMONT, ILLINOIS.

*Jerry P. Christop*  
 JERRY P. CHRISTOP, L.P.L.S., No. 035-3540  
 LICENSE EXPIRES 11-30-2018

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.



PREPARED FOR:  
 TURANO BAKING COMPANY  
 6501 W. ROOSEVELT RD.  
 BERNWYN, IL 60402

FOR REVIEW  
 PURPOSES ONLY

REVISIONS:	SPACCO INC.	CONSULTING ENGINEERS	DATE: 04/06/2018
		SITE DEVELOPING ENGINEERS	JOB NO: 8755.02
		LAND SURVEYORS	FILENAME: 8755.02SUR-01
			SHEET 1 OF 1

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018  
 Phone: (847) 696-4060 Fax: (847) 696-4065



Contents:

- a. Environmental Assessment (Executive Summary\*)
  - i. Executive Summary
  - ii. Phase 1 Report
- b. Village Services Report\*
  - i. Statement of Impact and Projected Tax Revenue
  - ii. Letter from Police
  - iii. Letter from Fire Chief
- c. Market Feasibility Report\* (Not included / letter of request for waiver attached)



environmental services, inc.

August 19, 2016

Mr. Anthony M. Turano  
Manager  
Turano Baking Company  
6501 West Roosevelt Road  
Berwyn, Illinois 60402

Re: Phase I Environmental Property Assessment

Location: 6501 West Roosevelt Road  
Berwyn, Illinois

Project #: 17312-0716

Dear Mr. Turano:

Following is the Phase I Environmental Property Assessment report (Report) conducted on the above referenced project location. This Report details the Findings and Conclusions of our evaluation.

As always, EPS Environmental Services, Inc. appreciates the opportunity to have provided our services and looks forward to serving your future needs. Should you have questions concerning this Report, or have further need of our services, please do not hesitate to call.

Sincerely,

A handwritten signature in black ink, appearing to read 'Samuel T. Bodine', written in a cursive style.

Samuel T. Bodine  
Senior Project Manager

STB/rmk  
Attachments



---

environmental services, inc.

**PHASE I ENVIRONMENTAL PROPERTY ASSESSMENT**

6501 West Roosevelt Road  
Berwyn, Illinois

*Prepared For:*

Turano Baking Company  
6501 West Roosevelt Road  
Berwyn, Illinois 60402

*Prepared By:*

EPS Environmental Services, Inc.  
7237 West Devon Avenue  
Chicago, Illinois 60631

A handwritten signature in black ink, appearing to read 'S. Bodine', written over a horizontal line.

Samuel T. Bodine  
Senior Project Manager

*Reviewed By:*

A handwritten signature in black ink, appearing to read 'L. Crawford', written over a horizontal line.

Lara M. Crawford

Project Manager

*Project Number:*

17312-0716

August 19, 2016





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## FIGURES

Figure 1 - Property Location Map

Figure 2 - Property Sketch

Figure 3 - Topographic Map

## APPENDICES

Appendix A - Proposal Between Client and EPS Environmental Services, Inc.

Appendix B - Photographic Documentation

Appendix C - Environmental Database Information

Appendix D - Historical Information

Appendix E - EPS Environmental Qualifications



## 1.0 SUMMARY

EPS Environmental Services, Inc. (EPS Environmental) has performed a Phase I Environmental Property Assessment (Phase I Assessment) of 6501 West Roosevelt Road, City of Berwyn, Cook County, Illinois (Property) in conformance with the scope and limitations of the American Society for Testing and Materials (ASTM) Practice E 1527-13 and according to the standards and practices set forth in 40 Code of Federal Regulations (CFR) Part 312. Any exceptions to, or deletions from these practices are described in Section 2.3 of this report (Report).

**This Phase I Assessment has identified evidence of the following recognized environmental conditions<sup>1</sup> (RECs) in connection with the Property:**

- There is a potential for unknown/unreported releases (e.g. spills, overfills, and/or leaks) of petroleum to have occurred from an out-of-service petroleum underground storage tank (UST) on the Property and negatively impacted underlying Property soil/groundwater and/or present a vapor encroachment condition (VEC).
- The Property was identified on the Illinois Environmental Protection Agency (IEPA) Leaking Underground Storage Tank (LUST) database with a reported release of other petroleum (i.e. heating oil) in 2006 (incident #: 20061505). According to the LUST database, the incident remains “open” (e.g. unresolved, testing and/or remediation incomplete and/or discontinued).
- Indicator contaminants associated with petroleum are present in Property soil *above* 35 Illinois Administrative Code Part 742, titled *Tiered Approach to Corrective Action Objectives* (TACO), Tier 1 soil remediation objectives (SROs).

**In addition, this Phase I Assessment has identified evidence of the following historical recognized environmental condition (HREC) in connection with the Property:**

- The Property was identified on the IEPA LUST database with reported releases of gasoline and used oil in 2001 (incident #: 20010415), used oil in 2002 (incident #: 20020271) and other petroleum in 2003 (incident #: 20030434). According to the LUST database, the incidents were issued No Further Remediation (NFR) letters dated February 19, 2003, August 13, 2003 and October 17, 2003, respectively.

---

<sup>1</sup> According to ASTM Practice E 1527-13, a recognized environmental condition (REC) means “the presence or likely presence of any hazardous substances or petroleum products in, on, or at a Property; due to any release to the environment, under conditions indicative of a release to the environment, or under conditions that pose a material threat of a release or a future release to the environment; a controlled recognized environmental condition (CREC) is defined as a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority allowing for hazardous substances or petroleum products to remain in place subject to the implementation of required controls; and a historical recognized environmental condition (HREC) means past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority meeting unrestricted land use criteria.



Refer to Sections 4.2, 4.3, 6.1, 6.7, 6.12 and 7.0 for additional discussions regarding the aforementioned RECs and HREC. In addition, business environmental risks (e.g. equipment containing regulated substances, suspect asbestos containing materials (ACM), etc.) associated with the current or planned uses of the Property are individually discussed in various sections of this Report.

## **2.0 INTRODUCTION**

EPS Environmental was retained to conduct the Phase I Assessment of the Property by Turano Baking Company (the Client).

### **2.1 Purpose**

The purpose of the Phase I Assessment was to identify readily apparent, potential sources of environmental liabilities associated with the Property and to qualify for the landowner liability protection under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA) in conjunction with the user requirements as defined in 40 CFR Part 312.

### **2.2 Scope of Services**

The scope of services agreed upon by the Client and performed by EPS Environmental is consistent with the recommendations set forth in the ASTM Standard Practice for Environmental Site Assessments (Standard E 1527-13) and according to the standards and practices set forth in 40 CFR Part 312. Moreover, potential environmental business risks are discussed in this Report, which include asbestos-containing material (ACM), suspect wetland vegetation, biological hazards/mold, lead-based paint, equipment containing hazardous or regulated substances and radon gas levels. It should be noted, any data gaps and/or *de minimis* concerns identified on the Property are discussed within the text of this Report. In order to qualify for one of the Landowner Liability Protections (LLP) offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001, the user of this Report must conduct the inquiries which are included on the environmental questionnaire (refer to Section 4.3.6). It should be noted, the questionnaire can be completed independent of this Report.

The scope of services performed by EPS Environmental was set forth in the Proposal between the Client and EPS Environmental dated July 18, 2016 (Appendix A).

### **2.3 Limiting Conditions**

The presence of trash dumpsters and parked motor vehicles limited observations in isolated areas of underlying exterior surfaces on the Property. In addition, the presence of stockpiled materials and supplies, motor vehicles, production equipment, plastic totes, furnishings and various floor coverings limited observations in isolated areas of underlying interior surfaces. Moreover, the presence of vegetation, fencing and parked automobiles limited observations in isolated areas of underlying surfaces on the adjacent sites as viewed from the Property and public right-of-ways.





Therefore, EPS Environmental makes no guarantees as to existing conditions of underlying surfaces that could not be readily inspected.

Sampling and an all-inclusive survey for the presence of suspect asbestos-containing material (ACM), lead based paint and/or biological hazards/mold were beyond the scope of services for this Phase I Assessment. A visual inspection for readily observable suspect ACM, deteriorated paint and discolored/stained areas of potential mold growth was conducted; however, the removal of physical or visual barriers or inaccessible areas such as pipe chases, interiors of machinery/equipment and “dead spaces,” such as fully enclosed masonry vaults, was not conducted as part of this Phase I Assessment.

Due to time constraints, responses to the Freedom of Information Act (FOIA) request submitted to the Village of Oak Park for information regarding the Property have not been received at the time of this writing. However, EPS Environmental opines this data gap is not material to the extent that would alter the Findings and Conclusions of this Report. In the event information is received that alters the Findings and Conclusions of this Report, it will be promptly forwarded to the Client.

As no Plat of Survey was provided for the Property, exact Property boundaries could not be determined and the sizes of the Property and building have been estimated. Any other limiting conditions pertaining to this Phase I Assessment are described in associated Sections of this Report.

### **3.0 PROPERTY DESCRIPTION**

#### **3.1 Location and Legal Description**

The Property is located on the north and south sides of West Roosevelt Road, approximately ½-mile south of the Eisenhower Expressway (Interstate 290) and approximately ¾-mile east of Harlem Avenue (Illinois Route 43), in the City of Berwyn and Village of Oak Park, Cook County, Illinois. The Property is situated along a commercial corridor in a mixed commercial and residential setting. The legal description for the Property was not provided. See Figure 1 - Property Location Map following the text of this Report. It should be noted, the Property has a common address of 6500-6520 West Roosevelt Road (north Property parcel) and 6413-6549 West Roosevelt Road (south Property parcel).

#### **3.2 Description of Improvements On-site**

##### **3.2.1 Property Size**

The Property consists of two (2) rectangular-shaped, non-contiguous parcels of land totaling 3.72± acres. See Figure 2 - Property Sketch.



### 3.2.2 Structure

The south Property parcel is developed with a one- and two-story commercial building comprised of several interconnected structures totaling approximately 180,000 square feet (Property building). The north Property parcel is an asphalt-paved parking/storage lot.

#### *3.2.2.1 General Construction*

The 76± year-old original Property building (circa 1940), and subsequent additions, are constructed of masonry, concrete, wood and steel with two (2) partial basements. The Property building is divided into office areas, production/warehouse areas, a maintenance area (for production equipment), a retail bake shop and garage. In addition, mezzanine offices are located above the production/warehouse areas.

#### *3.2.2.2 Interior Finishes*

Typically, the interior of the Property building consists of concrete, ceramic, vinyl-tiled, carpeted, wood and/or epoxy coated/concrete floors; ceramic, steel, plastic-panels, concrete, gypsum board, plaster and/or masonry walls; and plastic-panels, plaster, drop ceiling panels, gypsum board, concrete and/or steel deck ceilings.

#### *3.2.2.3 Heating and Cooling Sources*

The Property building is heated and cooled by natural gas-fired/electric-operated heating, ventilation and air-conditioning (HVAC) units. It should be noted, glycol-based chiller units and natural gas-fired boiler units (associated with production equipment) are located on the Property.

### 3.2.3 Remaining Grounds

The remaining grounds consist of asphalt-paved parking areas on the north Property parcel and east and west of the Property building; and loading docks west of the Property building. See Figure 2 - Property Sketch and Appendix B - Photographic Documentation, following the text of this Report.

### 3.2.4 Potable Water Source

The City of Berwyn and Village of Oak Park supply potable water, via the City of Chicago, from Lake Michigan to the Property and surrounding area. The water is collected and treated by the City of Chicago Municipal Water Treatment Plant. According to the Water Department, the water is tested periodically for contaminants and is in compliance with all current Environmental Protection Agency (EPA) Safe Drinking Water Act regulations, unless a local drinking water advisory has been issued. There were no groundwater-monitoring or potable wells reported or observed on the Property; however, an observation well was observed in the area of the out-of-service underground storage tank (UST) farm. Refer to Sections 6.1, 6.7 and 7.0 for additional discussions regarding the out-of-service gasoline UST on the Property.



### 3.2.5 Wastewater/Stormwater Discharge

Wastewater and stormwater run-off are discharged into combined sewer systems. The wastewater effluent is collected and treated by the Metropolitan Water Reclamation District of Greater Chicago (MWRDGC).

Floor drains observed in the garage discharge into triple-trap catch basins which separate oils, greases and particulates prior to discharging to the public owned sanitary sewer system. Generally, the accumulated sludge in the catch basins may be considered "special waste." According to the Property representative, the catch basins are pumped out by an outside contractor on an as needed basis.

There were no septic systems reported or observed on the Property. Stormwater run-off appears to flow into stormwater sewers located in the parking areas and/or along the adjacent right-of-ways. Refer to Section 6.4 for additional discussion.

## **3.3 Current and Past Uses of the Property**

### 3.3.1 Current Uses

The Property is currently occupied by Turano Baking Company (Turano), a bakery, and Mamma Susi Bakeshop for retail sales of bakery goods (i.e. pastries, cakes, breads). Turano has occupied portions of the Property since 1967. Based on site observations, the general work and housekeeping practices appeared to be satisfactory.

### 3.3.2 Past Uses

According to historical aerial photographs, city telephone directories/abstracts, Sanborn Fire Insurance Maps (Sanborns) and former environmental reports reviewed, the Property has been utilized for residential and/or commercial purposes since development including various automobile service/repair facilities and a gasoline filling station. Refer to Sections 4.2, 4.3, 6.7 and 7.0 for additional information regarding historical uses of the Property.

## **3.4 Current and Past Uses of Adjoining Sites**

### 3.4.1 Current Uses

The north Property parcel is surrounded as follows:

North: Public alley  
Single-family dwellings

South: West Roosevelt Road  
Turano Baking Company (south Property parcel)





East: Gunderson Avenue  
Multi-family dwelling, 6436 West Roosevelt Road

West: Scoville Avenue  
Mixed-use commercial/residential building, 6532 West Roosevelt Road

The south Property parcel is surrounded as follows:

North: West Roosevelt Road  
ACDelco, 6540 West Roosevelt Road  
Salvation Army Thrift Store, 6536 West Roosevelt Road  
Mixed-use commercial/residential building, 6532 West Roosevelt Road  
Scoville Avenue  
Asphalt-paved parking/storage lot (north Property parcel)  
Gunderson Avenue  
Multi-family dwelling, 6436 West Roosevelt Road  
Elmwood Avenue  
Walgreens Pharmacy, 6412 West Roosevelt Road

South: Public alley  
Vacant city lots  
Scoville Avenue  
Vacant city lots  
Gunderson Avenue  
Vacant city lots  
Elmwood Avenue  
Multi-family dwelling

East: Shell Gasoline Station, 6405 West Roosevelt Road  
Ridgeland Avenue

West: East Avenue  
7-Eleven, 6601 West Roosevelt Road

#### 3.4.2 Past Uses

The surrounding sites have been utilized for commercial and/or residential purposes since development, including gasoline filling stations on the north and east adjacent sites. Refer to Sections 4.2, 4.3 and 6.12 for information on the historical use review regarding the adjacent sites.



## 4.0 RECORDS REVIEW

### 4.1 Physical Setting Sources

The following sources were reviewed to provide information on the topographic and geologic characteristics of the Property and surrounding area. Additionally, a county radon study was reviewed to provide statistics on the Property's potential radon risk.

#### 4.1.1 U.S. Geological Survey 7.5 Minute Series Topographic Map

According to the Berwyn Quadrangle map, the general topography of the area is relatively flat within  $\frac{1}{8}$ -mile radius of the Property. See Figure 3 for a copy of the Topographic Map reviewed.

#### 4.1.2 Illinois State Geological Survey Circular #460, "Surficial Geology of the Chicago Region"

The Property is located on the Lake Plain. This Pleistocene Age system consists of floors of glacial lakes flattened by wave erosion and by minor deposition in low areas; largely underlain by glacial till; predominantly clay and silt, with sand of the Equality Formation present locally.

#### 4.1.3 Illinois State Geological Survey Circular #532, "Potential for Contamination of Shallow Aquifers from Land Burial of Municipal Waste"

The Property is located within the rating area of E. The rating denotes the capacities of earth material to accept, transmit, restrict or remove contaminants from waste effluent. In general, an E rating area contains uniform, relatively impermeable silty or clayey till at least 50 feet thick with no evidence of interbedded sand and gravel.

It should be noted, no documentation was provided or readily available regarding whether imported fill material was used on the Property during construction. As the nature and origin of the imported fill material, if any, is unknown, there is a potential for hazardous substances to be present in imported fill material underlying the Property. Therefore, due to the lack of comprehensive documentation regarding the nature and origin of imported fill material, if any, and lack of environmental regulations prior to existing mandates, EPS Environmental cannot render an opinion regarding the condition of the imported fill material or potential effects on the Property's subsurface conditions.

Consequently, should future construction activities or subgrade utility work involve excavation and off-site disposal of imported fill material, the imported fill material may require waste characterization analysis to be properly disposed at a facility licensed to accept such waste, according to applicable federal, state, and local laws and regulations. As such, the imported fill material, if any, would be considered a business environmental risk (i.e. additional construction costs) in connection with the Property.



#### 4.1.4 Illinois Emergency Management Agency, "Status Report for Radon in Illinois"

The Property is located in Cook County in which 15% of samples tested had radon levels greater than 4.0 picocuries per liter (pCi/L). The United States Environmental Protection Agency (USEPA) has set a remedial action level of 4.0pCi/L for residences. An average level of 2.2pCi/L was detected among the samples screened. This screening data is included as a guide to general background conditions and should not be construed as site-specific data.

#### **4.2 Federal and State Environmental Record Sources**

Federal and State databases were reviewed by Environmental Data Resources, Inc. (EDR) for recorded environmental concerns on the Property and known sites within the Approximate Minimum Search Distance, as designated in the ASTM Standard E 1527-13. See Appendix C - Environmental Database Information, for a copy of the database report.

##### Property

##### *South Property Parcel*

The south Property parcel was identified on the Office of the Illinois State Fire Marshal (OSFM) registered Underground Storage Tank (UST) database under the facility names House of Vinyl, 6527 West Roosevelt Road; Homewerks Development Company, 6539-6541 West Roosevelt Road and Turano Baking Company, 6425, 6520, 6527-6532 and 6519 West Roosevelt Road with the following USTs:

Address	Quantity	Size/Gallons	Contents	Status
6527	1	2,000	Fuel oil	Abandoned (2/25/99)
6539-41	1	550	Heating oil	Removed (11/30/2026) [sic]
6539-41	2	550	Heating oil	Exempt from registration
6519	1	550	Gasoline	Removed (3/12/01)
6519	1	1,000	Gasoline	Removed (3/12/01)
6519	1	550	Used oil	Removed (3/12/01)
6425	1	300	Used oil	Removed (2/26/02)
6527-35	1	2,000	Heating oil	Removed (3/28/03)
6527-35	1	500	Heating oil	Removed (3/28/03)

In addition, the south Property parcel was identified on the Illinois Environmental Protection Agency (IEPA) Leaking Underground Storage Tank (LUST) and Illinois Emergency Management Agency (IEMA) Spills databases with reported releases (e.g. spills, overfills and/or leaks) of used oil in 2002 (incident #: 20020271); of other petroleum (i.e. heating oil) in 2003 (incident #: 20030434); of gasoline and used oil in 2001 (incident #: 20010415); and of other petroleum in 2006 (incident #: 20061505) under the facility names Turano Baking Company, 6425-6519, 6425-6535 West Roosevelt Road and Homewerks Development Company/Elmvan, 6539-6541 West Roosevelt Road.





*20010415 – Turano Baking Company, 6519 West Roosevelt Road:*

According to the LUST database, the incident was issued a No Further Remediation (NFR) letter dated February 19, 2003. The NFR letter signifies applicable regulatory requirements have been achieved, all corrective actions have been completed, and no further remediation is necessary for the protection of human health and safety or the environment. According to a *Corrective Action Competition Report (CACR)* prepared by EPS Environmental dated October 17, 2002, evidence of a petroleum release was noted in the backfill material following the removal of one (1) 550-gallon gasoline UST, one (1) 1,000-gallon gasoline UST and one (1) 550-gallon used oil UST. Closure samples obtained from the sidewalls and floor of the excavation pit were analyzed for benzene, ethylbenzene, toluene and xylenes (BETX), polynuclear aromatic hydrocarbons (PNAs) and synthetic precipitate leaching procedure (SPLP) lead, which identified concentrations of benzene exceeding 35 Illinois Administrative Code (IAC) Part 742, titled *Tiered Approach to Corrective Action Objectives (TACO)* Tier 1 for residential land use in one (1) floor sample. A total of 270 cubic yards of impacted soil was excavated and disposed at a licensed facility. Subsequently, confirmatory samples were collected/analyzed and the concentration of benzene was below Tier 1 SROs for residential land use. In accordance with IEPA regulations, the NFR letter was properly recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on July 14, 2003.

*20020271 – Turano Baking Company, 6425-6519 West Roosevelt Road:*

According to a CACR prepared by EPS Environmental dated February 11, 2003, a total of 75-cubic yards of impacted soil was excavated and transported off-site for disposal following the removal of one (1) 300-gallon used oil UST. Closure samples analyzed for BETX, PNAs and SPLP lead identified SPLP concentrations exceeding the soil component of the groundwater ingestion SRO in one (1) sample obtained from the floor of the excavation. To address this remaining contamination, modeling was conducted indicating the maximum impact to groundwater (if present) would be below the cleanup objective for residential land use. According to the LUST database, the NFR letter was issued on August 13, 2003 and properly recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on October 15, 2003.

*20030434 – Turano Baking Company, 6425-6535 West Roosevelt Road:*

According to a CACR prepared by EPS Environmental dated April 16, 2003, a release was evident in the UST backfill material during the removal of one (1) 2,000-gallon out of service UST which had previously been filled with concrete (likely the registered abandoned UST). A total of 60 cubic yards of impacted soil was excavated and transported off-site for disposal and laboratory results of the closure samples collected (analyzed for BETX and PNAs) were below TACO Tier 1 SROs for residential land use. It should be noted, no free product or groundwater was encountered during excavation. Moreover, a 550-gallon out-of-service heating oil UST was uncovered during the aforementioned excavation activities (which was subsequently removed); however, this UST reportedly did not have a release. According to the LUST database, the incident was issued a NFR letter dated October 17, 2003 which was properly recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on March 2, 2004. *Although no further investigations are*



*required regarding the LUST database listings, the LUST incidents, in and of themselves, present historical recognized environmental conditions (HRECs) in connection with the Property. Refer to Sections 4.3, 6.7 and 7.0 for additional discussions regarding the three (3) LUST incidents.*

*20061505 – Homewerks Development Company/Elmvan, 6539-6541 West Roosevelt Road:*

According to the LUST database, the 2006 incident remains “open” (e.g. unresolved, testing and/or remediation incomplete and/or ongoing). It should be noted, the LUST incident was reported by the contractor (Aces Demolition) during the demolition of the structure and a 1,000-gallon fuel oil UST was reportedly removed and hauled off-site. Furthermore, the two (2) exempt from registration fuel oil USTs were potentially removed during excavating when demolishing the former structure. The most recent correspondence with the IEPA occurred back on January 26, 2007 with a *Notice of Failure to File 20 Day Certification and/or 45 Day Report. As a release of petroleum has impacted Property soil and possibly groundwater, and/or presents a vapor encroachment condition (VEC), the “open” LUST incident presents a recognized environmental condition (REC) in connection with the Property.* Refer to Sections 4.3, 6.7 and 7.0 for additional discussions.

#### *North Property Parcel*

The north Property parcel was identified on the OSFM registered UST database with one (1) out of service 12,000-gallon gasoline UST under the facility name Turano Banking Company, 6520 West Roosevelt Road. According to the UST database, the UST was installed December 11, 2001 and taken out of service November 11, 2014. Moreover, the north Property parcel UST was not identified on the IEPA LUST database with a reported release. Furthermore, any UST placed in a temporary closure status, may be allowed to continue in temporary closure status for up to five (5) years providing they meet the requirements of Title 41 IAC Part 175 Section 175.810. *As there is a potential for an unknown/unreported releases (e.g. spills, overfills and/or leaks) of petroleum to have occurred from the out-of-service gasoline UST and negatively impacted underlying soil/groundwater and/or present a VEC, the out-of-service gasoline UST presents a REC in connection with the Property.* Refer to Sections 6.7 and 7.0 for additional discussions.

Furthermore, the north Property parcel was identified on the IEMA Spills database with a reported release of engine oil, used oil, antifreeze and transmission fluid (from aboveground storage tanks (ASTs) or 55-gallon storage drums) from a fire in 2014 (incident #: H-2014-1305) and on the Facility Index System/Facility Registry (FINDS) database, likely due to the aforementioned database listings. According to a response letter to the IEPA prepared by EPS Environmental dated February 18, 2015, the chemicals and petroleum products were either consumed by the fire or were mixed with the water used to extinguish the fire and washed into the sewer inlets located in the parking areas. As the Property is covered with the former building foundation and asphalt and/or concrete pavement, there is little probability of soil or groundwater impact from the aforementioned release. No testing or further investigation was recommended. As such, the Spills incident presents a *de minimis* environmental concern to the Property.



## Adjacent Sites

### *West Adjacent Site (to south Property parcel)*

A west adjacent site was identified on the OSFM registered UST database with one (1) exempt from registration (removed), 1,000-gallon heating oil UST and on the FINDS database likely due to the UST database listing under the facility name Golden Rexall Drugs, 6601 West Roosevelt Road. This site was not identified on the IEPA LUST database with a reported release. Based on the physical distance from the Property (across South East Avenue), lack of a reported release, favorable geology (i.e. dense, impermeable clay) and dense urban infrastructure in the area, this site should not present a readily apparent environmental concern to the Property at this time.

### *North Adjacent Site (to south Property parcel)*

A north adjacent site was identified on the FINDS database under the facility name American Automotive, 6540 West Roosevelt Road. Based on the absence of this site on the remaining environmental databases of facilities that manage bulk quantities of hazardous materials and/or petroleum or with releases of hazardous materials/petroleum, the FINDS database listing, in and of itself, should not present a readily apparent environmental concern to the Property.

### *North and/or East Adjacent Site*

A north/east adjacent site was identified on the OSFM registered UST database with one (1) removed, 500-gallon used oil UST and one (1) exempt from registration (removed), 2,000-gallon heating oil UST and on the IEPA LUST and IEMA Spills databases with reported releases of used oil in 1989 (incident #: 892155) and other petroleum in 2005 (incident #: 20050334) under the facility names Speedy Car Wash, Bennett Motor Sales and GLKW Properties, 6440 West Roosevelt Road. According to the LUST database, the incidents were issued NFR letters dated October 31, 1996 and July 21, 2005, respectively, allowing for contamination to remain in-situ (incident #: 20050334). Based on the physical distance from the Property (across West Roosevelt Road and/or Gunderson Avenue), issuance of the NFR letters, favorable geology and dense urban infrastructure in the area, the remaining contamination on this site should not present a readily apparent environmental concern to the Property at this time.

Furthermore, this site was identified on the Resource Conservation and Recovery Act (RCRA) database as a conditionally exempt small quantity generator of hazardous waste (ignitable waste) and the FINDS database, likely due to the RCRA database listing, under the facility name Oak Park Isuzu Suzuki. There were no RCRA violations identified on the database for this site. Moreover, there were no outside hazardous waste storage areas or signs of dumping of hazardous waste observed on this site as viewed from the Property and public right-of-ways during the site reconnaissance. Provided the hazardous waste was and continues to be properly managed, this site should not present readily apparent environmental concern to the Property.





*East Adjacent Site (to south Property parcel).*

An east adjacent site was identified on the OSFM registered UST database under the facility name Circle K #6759, 6405 West Roosevelt Road with the following USTs:

Quantity	Size - Gallons	Contents	Status
2	10,000-gallons	Gasoline	Removed (6/17/94)
1	8,000-gallons	Gasoline	Removed (6/17/94)
1	1,000-gallons	Used oil	Removed (6/17/94)
3	10,000-gallons	Gasoline	Currently in use
1	1,000-gallons	Used oil	Removed (1/1/85)
1	550-gallons	Unknown	Removed (1/1/85)

Additionally, this site was identified on the IEPA LUST and IEMA Spills databases with a reported release of unleaded gasoline in 2005 (incident #: 20051291) under the facility name Shell Oil Products US, 6405 West Roosevelt Road. According to the LUST database, the incident was issued a NFR letter dated December 9, 2008 allowing for contamination to be managed in-situ.

According to LUST documentation reviewed for this site, groundwater modeling calculated the potential impact of dissolved hydrocarbons may migrate off-site onto the northeast portion of the south Property parcel. However, based on the continued commercial use of the Property and City of Berwyn Groundwater Ordinance prohibiting the use of groundwater as a potable source, EPS Environmental opines the groundwater contamination remaining on this site presents a *de minimis* environmental concern to the Property at this time. Refer to Section 4.3.5 for additional discussion.

Moreover, this site was identified on the RCRA database as a small quantity generator of hazardous waste (ignitable waste and lead) and the FINDS database, likely due to the RCRA database listing, under the facility name Family Shell, 6401-6405 West Roosevelt Road. There were no RCRA violations identified on the database for this site. Moreover, there were no outside hazardous waste storage areas or signs of dumping of hazardous waste observed on this site as viewed from the Property and public right-of-ways during the site reconnaissance. Provided the hazardous waste was and continues to be properly managed, this site should not present a readily apparent environmental concern to the Property.



*North Adjacent Site (to south Property parcel)*

A north adjacent site was identified on the OSFM registered UST database under the facility name Balian Auto Sales, Inc., 6400 West Roosevelt Road with the following USTs:

Quantity	Size – Gallons	Contents	Status
1	4,000-gallons	Gasoline	Removed (07/01/87)
2	8,000-gallons	Gasoline	Removed (07/01/87)
1	1,000-gallons	Heating oil	Removed (09/22/99)
1	550-gallons	Used oil	Removed (09/22/09)
1	550-gallons	Motor oil	Removed (03/28/00)
1	1,000-gallons	Gasoline	Removed (05/23/01)

Additionally, this site was identified on the IEPA LUST and IEMA Spills databases with reported releases of used oil and other petroleum in 1999 (incident #: 992185); fuel oil in 2000 (incident #: 20000547); and other petroleum in 2001 (incident #: 20010891) under the facility name 6412 Roosevelt Road Partnership, 6400 West Roosevelt Road. According to the LUST database, the incidents were issued a NFR letter on March 21, 2008 allowing for contamination to be managed in-situ. According to LUST documentation reviewed, no potential for migration of on-site contamination was calculated to extend beyond the site boundaries. As such, based on the physical distance from the Property (across West Roosevelt Road), issuance of the NFR letter, favorable geology and dense urban infrastructure in the area, the remaining contamination on this site should not present a readily apparent environmental concern to the Property at this time.

Moreover, this site was identified on the RCRA database as a conditionally exempt small quantity generator of hazardous waste (silver) and the FINDS database, likely due to the RCRA database listing, under the facility name Walgreens #5235, 6412 West Roosevelt Road. There were no RCRA violations identified on the database for this site. Moreover, there were no outside hazardous waste storage areas or signs of dumping of hazardous waste observed on this site as viewed from the Property and public right-of-ways during the site reconnaissance. Provided the hazardous waste was and continues to be properly managed, this site should not present a readily apparent environmental concern to the Property.

Remaining Listed Sites

Based on the physical distances from the Property, favorable geology and dense infrastructure in the area, the remaining listed sites identified within the designated search radii should not present a readily apparent environmental concern to the Property.

Un-mappable Site

Using the limited address/name recognition coupled with off-site reconnaissance, it does not appear the un-mappable site is located within ¼-mile radius of the Property. As such, based on the assumed distance of the un-mappable site from the Property, this site should not present a readily apparent environmental concern to the Property.



### **4.3 Historical Use Information**

The following reasonably obtainable sources of information were reviewed or contacted to determine the historical uses of the Property. When feasible, information pertaining to the adjacent sites was reviewed.

#### **4.3.1 Historical Aerial Photographs (Aerials) - for the years 1938, 1999, 2002, 2007 and 2015 obtained from the United States Geological Survey (USGS)**

The Aerials were reviewed for environmentally significant features, such as disturbed upper soil layers, dumping, large tanks, etc. for the Property and adjacent sites. The Property is depicted as vacant city lots, parking areas and/or developed with commercial and/or residential type structures on the Aerials reviewed. It should be noted, Scoville Avenue, Gunderson Avenue and Elmwood Avenue are depicted transecting the south Property parcel on the 1938 through 2002 Aerials. Moreover, fire ruins are depicted on the north Property parcel on the 2015 Aerial. Refer to Section 4.2 for additional discussion.

In general, the adjacent sites are depicted as vacant city lots and/or developed with residential and/or commercial type structures on the Aerials reviewed. It should be noted, the east adjacent site (to the south Property parcel) is depicted as a gasoline filling station with pump islands, a canopy and/or curb cuts on the 2002 and subsequent Aerials. Refer to Sections 4.2, 6.7, 6.12 and 7.0 for additional discussions.

There were no signs of significant disturbance to the upper soil layers or signs of open dumping depicted on the Property or on the immediate adjacent sites on the Aerials. See Appendix D, Historical Information for a copy of the Aerials reviewed.

#### **4.3.2 Historical Building Permits via Freedom of Information Act (FOIA) request to the Village of Oak Park and City of Berwyn Building Departments**

According to the City of Berwyn Building Department, no records of environmental significance were on file for the south Property parcel.

A FOIA request was submitted to the Village of Oak Park Building Department for the north Property parcel; however, a response had not been received at the time of this writing. In the event environmentally significant information is received that would alter the Findings and Conclusions of this Report, it will be promptly forwarded to the Client. However, EPS Environmental opines this data gap is not material to the extent that would alter the Findings and Conclusions of this Report. See Appendix D, Historical Information, for a copy of the FOIA requests and response.





#### 4.3.3 Environmental Records, via FOIA request to the Village of Oak Park and City of Berwyn Fire Departments

According to the City of Berwyn Fire Department, a *Tier II Emergency and Hazardous Chemical Inventory* form was on file for the south Property parcel noting lead and sulfuric acid (lead-acid batteries) being managed on the Property along with several OSFM documents relating to the registered petroleum USTs associated with the Property. Refer to Sections 4.2, 4.3.5, 6.7 and 7.0 for additional discussions regarding the USTs and see Appendix D, Historical Information for a copy of the FOIA request and response.

A FOIA request was submitted to the Village of Oak Park Fire Department for the north Property parcel; however, a response have not been received at the time of this writing. In the event environmentally significant information is received that would alter the Findings and Conclusions of this Report, it will be promptly forwarded to the Client. However, EPS Environmental opines this data gap is not material to the extent that would alter the Findings and Conclusions of this Report. See Appendix D, Historical Information, for a copy of the FOIA request.

#### 4.3.4 Zoning, via review of the City of Berwyn and Village of Oak Park Zoning Maps (Zoning Maps)

According to the Zoning Maps reviewed, the north Property parcel is zoned within a Commercial (C) District and the south Property parcel is zoned within a Restricted Commercial (C-4) District. See Appendix D, Historical Information for a copy of the Zoning Maps reviewed.

#### 4.3.5 Information Supplied by Client

The Client authorized and provided for review several reports including various pre-demolition surveys which included ACM sampling for former structures on the Property; a *Phase I Environmental Property Assessment* (former Phase I) prepared by EPS Environmental dated August 3, 2000 and a *Phase II Limited Subsurface Investigation* (Phase II) prepared by EPS Environmental dated August 18, 2000.

##### *2000 Phase I:*

The former Phase I was conducted on both the north and south Property parcels. At the time of the 2000 Phase I, the Property was occupied by Turano Bakery, Danny's Bar, an automobile repair facility (utilized by Turano for fleet vehicle maintenance), a dwelling, apartments and an unoccupied commercial building. According to the Phase I, six (6) gasoline USTs and one (1) 300-gallon used oil UST associated with a former gasoline filling station (6425 West Roosevelt Road), in-ground hydraulic automobile lifts (HALs) (6425 West Roosevelt Road), evidence of suspect USTs (6519 West Roosevelt Road) and the east adjacent gasoline station (6405 West Roosevelt Road) were identified as RECs in connection with the Property. Based on the continued commercial use of the Property, EPS Environmental opines the former HALs present a *de minimis* environmental concern to the Property at this time. Refer to Section 4.2 for additional



discussion regarding 6519 West Roosevelt Road (LUST incident #: 20010415) and the east adjacent gasoline filling station (6405 West Roosevelt Road).

#### *Phase II:*

The Phase II was conducted to address the RECs identified in the former Phase I. One (1) soil boring was advanced on the southeast portion of 6411 West Roosevelt Road, nearest to the east Property border. Laboratory analysis of the soil sample identified concentrations of BETX and PNA below TACO Tier 1 SROs for residential land use. Concentrations of benzene exceeded the soil component of the groundwater ingestion pathway for Class II Groundwater SROs in select soil samples around the suspect USTs located at 6519 West Roosevelt Road. Refer to Sections 4.2, 6.7 and 7.0 for additional discussions.

Soil borings conducted in the area of six (6) USTs depicted on the Sanborns identified imported fill material, indicative of the historical USTs were previously removed. Varying concentrations of BETX and PNAs compounds were identified in a soil sample obtained from the area of the former gasoline USTs with benzene exceeding Tier 1 SROs for the soil component of the groundwater ingestion pathway for Class II Groundwater. According to the Phase II, contaminants appear to have migrated off the Property under the east adjacent public right-of-way (former Elmwood Avenue). It should be noted, these gasoline USTs and associated contamination were not addressed as part of the LUST investigations. ***As such, the presence of indicator contaminants in Property soil with concentrations above Tier 1 SROs presents a REC in connection with the Property.*** Refer to Sections 4.3.1, 6.7 and 7.0 for additional discussions.

#### 4.3.6 Environmental Liens and Activity & Use Limitations (AULs)

Neither the Client nor Property representative provided EPS Environmental any information regarding environmental liens or litigation regarding environmental concerns on the Property. Moreover, an environmental questionnaire was provided to the Client regarding liens, AULs and for environmental documents that may have aided in the preparation of this Report. The completed environmental questionnaire noted chemicals present on the Property. Refer to Section 6.2 for additional discussion and see Appendix A for a copy of the completed questionnaire.

In addition, an environmental lien search for the Property was conducted via review of the Cook County Recorder of Deeds website; no environmental liens or AULs were recorded to the Property Chain of Title. It should be noted, the NFR letters were properly recorded to the Property Chain of Title. See Appendix D, Historical Information for a copy of the lien search results and NFR letters.



4.3.7 Sanborn Fire Insurance Maps (Sanborns) for the years 1908, 1919, 1929, 1947, 1950, 1951 and 1975 provided by EDR and/or obtained from the University of Illinois at Chicago (UIC) Library

The Sanborns were reviewed for keywords and/or symbols of environmental significance (e.g. filling station, drycleaners, tanks, etc.) for the Property and nearby sites.

*North Property parcel:*

The Property is depicted as vacant city lots on the 1908 Sanborn; vacant city lots and/or with storefronts, including a paint and wallpaper store and a used auto sales lot on the 1947 Sanborn; as previously described with an additional small printing shop depicted on the 1950 Sanborn; and as developed with storefronts, offices, a woodworking shop, motorcycle sales and service facility, an auto storage and service facility and a used auto sales lot on the 1975 Sanborn.

In general, the north adjacent site is depicted as vacant city lots and/or and as developed with dwellings; the east adjacent site is depicted as a vacant city lot and/or as a used auto sales lot; and the west adjacent site is depicted as a vacant city lot, auto storage lot and/or as with a small office structure on the Sanborns reviewed.

*South Property parcel:*

The Property is depicted as vacant city lots and/or as developed with storefronts, dwellings, offices, a hall and a coal yard on the 1919 Sanborn; with vacant city lots, storefronts, dwellings, flats (apartments), auto sales and service facility and a bowling alley (coal yard no longer depicted) on the 1929 Sanborn; with storefronts, dwellings, automobile painting facility, auto sales and service facility, club house, undertaker, beer warehouse, storage structures and a filling and greasing station with six (6) gasoline USTs (6425-6427 West Roosevelt Road) on the 1951 Sanborn; and as previously described with a bakery and apartment building (filling and greasing station and gasoline USTs no longer depicted) on the 1975 Sanborn. Refer to Sections 4.2, 4.3.5, 6.7 and 7.0 for additional discussions.

Common contaminants of concern associated with coal storage includes, but is not limited to, creosote, carbon, soot, phenols, metals (e.g. mercury) and polynuclear aromatic hydrocarbons (PNAs). However, based on the minimal size of the former coal yard and continued commercial use of the Property, EPS Environmental opines the historical coal yard presents a *de minimis* environmental concern to the Property at this time.

In general, the south adjacent sites are depicted as vacant city lots and/or dwellings; the east adjacent site with an office and/or storefront and the west adjacent site as a vacant city lot and/or a storefront on the Sanborns reviewed. It should be noted, a gasoline filling and greasing station with three (3) gasoline USTs was depicted on a northeast adjacent site (6400-6404 West Roosevelt Road) for the years 1947 and 1950. Refer to Section 4.2 for additional discussion regarding this site and see Appendix D, Historical Information for a copy of the Sanborns reviewed.





#### 4.3.8 Historical City Telephone Directories/Abstracts provided by EDR

Historical city telephone directories/abstracts were reviewed for the Property (1970-2013). The city directory search utilizes business and telephone directories to list individuals and/or companies associated with a specific address. Listings for the Property identified residential and/or commercial listings for all years reviewed including various automotive service/repair shops, food/liquor stores, restaurants, Turano Bakery (1970-2013) and ABCO Door Manufacturing Company (1970). Based on the minimal size of the building/area (as viewed on the Sanborns), the former door manufacturing operations were likely conducted on a small scale basis using small quantities of hazardous materials and/or petroleum, if any. Therefore, based on the continued commercial use and minimal size of the building/area and marginal time this facility occupied the Property, the former door manufacturing operations on the north Property parcel should not present a readily apparent environmental concern to the Property at this time.

It should be noted, review of the city telephone directory search identified various gasoline filling stations as occupying the east adjacent site (6401-6405 West Roosevelt Road) and/or north adjacent site (6400 West Roosevelt Road) for the years 1977-2003. Refer to Section 4.2 for additional discussion regarding the north and/or east adjacent sites.

Moreover, a listing for J&R Cleaners was identified for the year 1970 on a north adjacent site (6410 West Roosevelt Road). However, based on the physical distance from the Property (across West Roosevelt Road), favorable geology and dense urban infrastructure in the area, this site and associated contamination, if any, should not present a readily apparent environmental concern to the Property at this time. See Appendix D, Historical Information for a copy of the city directory search reviewed.

Based on the former reports and historical Aerials, city directory search and Sanborns reviewed, it appears the Property has consistently been utilized for residential and/or commercial purposes since development. Historical documentation was not practically reviewable prior to development of the Property. However, EPS Environmental opines no additional historical sources are required to be reviewed.

## **5.0 INTERVIEWS**

The following individual was interviewed for specialized knowledge concerning the Property. The relevant information provided by this individual has been incorporated in the appropriate Sections of this Report.

Mr. Anthony Turano - Property representative – Interviewed and accompanied EPS Environmental during the site reconnaissance



It should be noted, the former Property owner(s)' contact information was not provided or readily ascertainable to EPS Environmental; therefore, the former Property owner(s) was not interviewed. However, EPS Environmental opines this data gap is not material to the extent that would alter the Findings and Conclusions of this Report.

## **6.0 SITE RECONNAISSANCE**

The site reconnaissance was conducted on August 3, 2016 at approximately 11:00 a.m. by Mr. Samuel T. Bodine, Senior Project Manager and Mr. Ross M. Kroll, Environmental Specialist for EPS Environmental (Appendix E). The site reconnaissance was initiated by observing the Property and adjacent sites from public thoroughfares, continued by inspecting the interiors of the Property building and concluded by walking the Property boundaries (with the exception of the north Property parcel and west parking lot on the south Property parcel). Photographic documentation of significant environmental features has been included as Appendix B.

The weather conditions were partly cloudy with a temperature of approximately 86 degrees Fahrenheit with winds up to eight (8) miles per hour from the south-southeast. The ground surfaces were dry.

### **6.1 Underground Storage Tanks (USTs)**

A vent pipe and manway, equipment associated with USTs, were observed on the North Property parcel associated with an out-of-service gasoline UST. According to the OSFM website, this UST was installed in 2001 and is of double-wall composite construction. Refer to Sections 4.2, 4.3.5, 6.7 and 7.0 for additional discussions regarding the removed, out-of-service and/or abandoned USTs associated with the Property. There was no additional equipment typically associated with USTs observed on the Property.

Moreover, as the Property was historically occupied by numerous former structures, the former heating fuel sources(s) (i.e. wood, coal, or fuel oil) is unknown, and the manner in which the fuel was stored is also unknown [e.g. aboveground- or underground storage tanks (USTs)]. Although no equipment associated with UST(s) was readily observable during the site reconnaissance, EPS Environmental cannot categorically state, at this time, whether unidentified UST(s) or buried aboveground storage tank(s) are present on the Property.

EPS Environmental recommends caution is exercised during excavation activities to avoid accidental contact with possible buried tanks. Special attention should be given to areas where buried tanks would likely be situated (i.e. nearest former building foundation, and areas accessible for former fuel delivery). Moreover, should a buried tank be discovered, the tank and associated impacted soil, if present, should be removed according to all applicable laws and regulations. In addition, soil testing should be conducted to demonstrate clean-up efforts, if necessary, or to determine whether the Property has, in fact, been negatively impacted.



## **6.2 Aboveground Storage Tanks (ASTs)/Storage Drums/Containers**

Four (4) 230-gallon plastic totes of mineral/vegetable oil were observed in the second floor warehouse area. Moreover, several small containers of sanitizers and cleaning agents (situated on secondary containment) and one- and five-gallon containers of paint were observed in designated areas of the Property building. Additionally, two (2) approximate 35-gallon hydraulic fluid reservoirs were observed in the elevator equipment rooms; three (3) 35-gallon plastic drums of boiler treatment chemicals were observed in the boiler room and several large flour silos were observed in the production area. The containers, totes, silos and drums appeared in overall good condition with no signs of leakage or staining observed on the underlying surfaces.

There were no unidentified containers, 55-gallon drums or ASTs observed on the Property.

## **6.3 Stained or Disturbed Surfaces/Stressed Vegetation**

There were no stained surfaces observed on the Property. As the Property building and paved surfaces occupy the Property from border to border, no vegetation was present. It should be noted, several suspect abandoned soil borings were observed along the east Property border of the south Property parcel, likely in connection with subsurface investigations conducted on the east adjacent site (6405 West Roosevelt Road). Refer to Sections 4.2 and 4.3 for additional discussions regarding this site.

## **6.4 Stormwater Run-off/Standing Water/Wetlands/Sumps/Pits/Ponds/Lagoons**

Stormwater runoff flows into stormwater sewers located in the parking areas and/or along the adjacent right-of-ways. In addition, sump pump pits were observed in the partial basements. There were no petroleum sheens observed or unusual odors noted emanating from the stormwater sewers or sump pits. Moreover, as the Property building and paved surfaces occupy the Property from border to border, there were no areas of standing water (e.g. pools of liquid, ponds or lagoons) or suspect wetland vegetation observed on the Property.

## **6.5 Waste Disposal Practices**

The solid waste and food grade scrap generated from the Property is collected for off-site disposal/recycling by Groot Industries and/or ReConserve Inc., as evidenced by labeled dumpsters on the Property. There were no hazardous or special waste streams reported or identified being generated from the Property.

## **6.6 Polychlorinated Biphenyls (PCBs)**

Pole-mounted electrical transformers were observed along the south Property border (south Property parcel). The equipment was not observed to contain black and yellow PCBs warning stickers. A warning sticker is required by federal regulations for equipment containing between 50 and 500 parts per million (ppm) PCBs or greater. ComEd, as the owner of the transformers, is





responsible for keeping the equipment in compliance with federal, state and local regulations and the cleanup of contamination resulting from leaking equipment, as necessary.

Several air compressors were observed in the air compressor room of the Property building. There were no signs of leakage on the compressors or staining observed on the underlying concrete surface. Based on the newer age of the air compressors, this equipment unlikely contains PCBs.

Potential PCBs containing dielectric fluids may exist in the ballasts of the older fluorescent light fixtures observed throughout the Property building. There were no signs of leakage observed on the fixtures. Should future plans involve the repair, removal or disposal of the fixtures, proper procedures and precautions should be followed regarding the ballasts.

#### **6.7 Air Quality/Emissions**

There were no unusual odors noticed in the Property building or emanating from the Property. Other than the Property building's heating sources, production equipment and cooking ovens, the Property was not identified to have other sources typically associated with point source air emissions. According to the Property representative, the facility maintains an air permit with the IEPA and continues to operate within their allowable emissions.

This Phase I Assessment has identified the Property with reported releases of petroleum into the ground and/or as historically managing bulk quantities of petroleum. Therefore, there is a potential for a vapor encroachment condition (VEC)<sup>1</sup> to impact the Property and/or for a vapor intrusion condition to exist within the Property building. To categorically determine whether VEC presents a REC in connection with the Property, Tier 2 vapor intrusion screening would be necessary. Refer to Section 7.0 for additional discussion.

#### **6.8 Readily Observable Suspect Asbestos-Containing Material (ACM)**

ACM had been used extensively in the construction of buildings prior to 1980. According to the USEPA, ACM is commonly found in three forms: (1) sprayed or troweled-on ceilings and walls (surfacing materials), including structural fireproofing; (2) in insulation on pipes, ducts, boilers, tanks or mechanical equipment [thermal system insulation (TSI)]; and (3) in "miscellaneous materials," such as, floor tiles, roofing felts and shingles, or wall boards. ACM is of greatest potential concern when it is friable, particularly if it is damaged or deteriorated. Friable, by definition, refers to a material that, when dry, can be crumbled, pulverized, or reduced to powder by hand pressure. Friable ACM is more likely than non-friable ACM to release fibers when disturbed or damaged. Airborne asbestos fibers can pose a potential respiratory health risk to building occupants who are exposed.

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<sup>1</sup> "The presence or likely presence of chemicals of concern vapors in the vadose zone of the Property caused by the release of vapors from contaminated soil and/or groundwater either on or near the Property identified by Tier 1 or Tier 2 procedures."



Though an asbestos survey and sampling were not a part of this Phase I Assessment, the Property building was inspected for the presence and condition of readily observable suspect ACM.

The following chart summarizes suspect ACM to include, but is not limited to:

HOMOGENEOUS MATERIAL	LOCATION	CONDITION	FRIABLE	NON-FRIABLE
Plaster / Wallboard system	Throughout building	Good		X
12" x 12" vinyl floor tile	Isolated areas	Good		X
2' x 2' and 2'x 4' drop ceiling panels	Isolated areas	Good	X	
Thermal system insulation (mudded joints)	Isolated piping	Good	X	
Roofing materials	Roof	Good		X

Based on the condition, location, and potential for damage, EPS Environmental opines the suspect ACM can be managed in-place by implementing a site-specific Operations & Maintenance program. If future renovation activities are planned, an asbestos survey should be conducted by an accredited inspector to include those areas of the building that were previously inaccessible due to physical barriers (requiring a considerable amount of disassemble). Subsequently, any damaged ACM and/or ACM in the affected areas should be repaired, encapsulated and/or removed as necessary by a professional asbestos abatement firm following all applicable regulations prior to any activities that have the potential to disturb ACM.

In 1995, Occupational Safety and Health Administration (OSHA) enacted regulations establishing affirmative record keeping and information transfer duties for commercial and industrial building owners and lessees. OSHA regulations require building owners determine the presence, location, and quantity of ACM.

### 6.9 Potential Lead-Based Paint

Painted surfaces observed throughout Property building appeared to be in overall good condition. Based on the age of the original Property building, the paint may contain lead above regulatory limits. Lead is a known hazard that results in deterioration of the central nervous system when ingested or absorbed by humans. Therefore, the painted surfaces should be properly maintained. As significant lead exposure can arise from removal, repair, renovation or demolition of the painted surfaces, testing is recommended to determine lead content prior to such planned renovation activity. If the painted surfaces are confirmed to contain lead above regulatory limits, professional abatement activities should be exercised in a manner that will not endanger the health or safety of workers and/or Property building occupants. Proper disposal of flakes, chips, dust or other lead-bearing debris, if any, resulting from the work should also be exercised.



#### **6.10 Miscellaneous Equipment**

The fluorescent bulbs and high intensity discharge (HID) lamps observed throughout the Property building and/or exterior parking areas contain mercury and are classified as universal waste under Title 40 Code of Federal Regulations Part 273 titled Standards for Universal Waste Management. Should future plans involve the repair, removal, or disposal of the fixtures, proper procedures and precautions should be followed regarding the bulbs and lamps.

Air-conditioning, refrigeration, freezer and chiller units are located on the Property. This equipment contains chlorofluorocarbon (CFC) refrigerant. CFC is a federally regulated substance that is known to contribute to ozone depletion within the atmosphere. In the event this equipment is repaired or removed from the premises, the CFC, if present, should be recovered.

#### **6.11 Biological Hazards/Mold**

There was no visual or olfactory evidence of potential biological hazards (e.g. excessive mold growth) observed during the inspection.

#### **6.12 Observations of Surrounding Sites**

A Shell Gasoline station was observed on the east adjacent site (6405 West Roosevelt Road) with several areas of suspect abandoned soil borings/monitoring wells. Refer to Sections 4.2 and 4.3 for additional discussions. There were no additional recognizable environmental concerns visually identified on the remaining immediate surrounding sites as observed from the Property and public right-of-ways.





## 7.0 FINDINGS AND CONCLUSIONS

EPS Environmental Services, Inc. has performed a Phase I Environmental Property Assessment in conformance with the scope and limitations of ASTM Standard Practice E 1527-13 and according to the standards and practices set forth in 40 Code of Federal Regulations (CFR) Part 312 for the Property. Any exceptions to, or deletions from these practices are described in Section 2.3 of this Report.

**This Phase I Assessment has identified evidence of the following recognized environmental conditions<sup>1</sup> (RECs) in connection with the Property:**

### Out-of-Service Underground Storage Tanks (UST) associated with the Property

The north Property parcel was identified on the Office of the Illinois State Fire Marshal (OSFM) registered Underground Storage Tank (UST) database with one (1) out of service 12,000-gallon gasoline UST under the facility name Turano Banking Company, 6520 West Roosevelt Road. According to the UST database, the UST was installed December 11, 2001 and taken out of service November 11, 2014. Moreover, the north Property parcel UST was not identified on the Illinois Environmental Protection Agency (IEPA) Leaking Underground Storage Tank (LUST) database with a reported release (e.g. spills, overfills and/or leaks). Furthermore, any UST placed in a temporary closure status, may be allowed to continue in temporary closure status for up to five (5) years providing they meet the requirements of Title 41 Illinois Administrative Code (IAC) Part 175 Section 175.810. *As there is a potential for unknown/unreported releases (e.g. spills, overfills and/or leaks) of petroleum to have occurred from the out-of-service gasoline UST and negatively impacted underlying soil/groundwater and/or present a vapor encroachment condition (VEC), the out-of-service petroleum UST presents a recognized environmental condition (REC) in connection with the Property.*

The State of Illinois maintains a "Petroleum Underground Storage Tank Fund" (the Fund) which reimburses owners/operators of USTs for costs associated with leaking tanks up to \$2,000,000, less the allocated deductible amount of \$5,000.00, which may be accessed in the event of a release. As the USTs were properly registered and are in compliance with OSFM UST regulations, the owner/operator of the USTs is eligible for reimbursement from the Fund.

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<sup>1</sup> According to ASTM Practice E 1527-13, a recognized environmental condition (REC) means "the presence or likely presence of any hazardous substances or petroleum products in, on, or at a Property: due to any release to the environment, under conditions indicative of a release to the environment, or under conditions that pose a material threat of a release or a future release to the environment; a controlled recognized environmental condition (CREC) is defined as a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority allowing for hazardous substances or petroleum products to remain in place subject to the implementation of required controls; and a historical recognized environmental condition (HREC) means past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority meeting unrestrictive land use criteria.



**Based on monetary resources available from the Fund, EPS Environmental opines the REC associated with the out-of-service UST is being adequately managed. Therefore, no further actions or investigations are warranted at this time regarding the out-of-service UST.**

#### "Open" Leaking Underground Storage Tank (LUST) Incident Associated with the Property

The Property was identified on the OSFM registered UST database with one (1) exempt from registration (removed), 550-gallon heating oil UST and two (2) exempt from registration, 550-gallon heating oil USTs and on the IEPA LUST and Illinois Emergency Management Agency (IEMA) Spills databases with a reported release of other petroleum (i.e. heating oil) in 2006 (incident #: 20061505) under the facility name Homewerks Development Company/Elmvan, 6539-6541 West Roosevelt Road. According to the LUST database, the 2006 incident remains "open" (e.g. unresolved, testing and/or remediation incomplete and/or ongoing). It should be noted, the LUST incident was reported by the contractor (Aces Demolition) during the demolition of the structure and a 1,000-gallon fuel oil UST was reportedly removed and hauled off-site. Furthermore, the two (2) exempt from registration fuel oil USTs were potentially removed during excavating when demolishing the former structure. The most recent correspondence with the IEPA occurred back on January 26, 2007 with a *Notice of Failure to File 20 Day Certification and/or 45 Day Report. As a release of petroleum has impacted Property soil and possibly groundwater, and/or presents a VEC, the "open" LUST incident presents a REC in connection with the Property.*

**EPS Environmental recommends the Property owner conduct soil and groundwater testing and conduct remedial actions in accordance with 35 Illinois Administrative Code (IAC) Part 734, titled *Petroleum Underground Storage Tanks*, and according to 35 IAC Part 742, titled *Tiered Approach to Corrective Action Objectives (TACO)*, to the extent necessary to obtain a No Further Remediation (NFR) letter for the open LUST incident.**

#### Indicator Contaminants identified in Property soil

During the historical review, Sanborn Fire Insurance Maps identified a filling and greasing station with six (6) gasoline USTs on the Property (6425 West Roosevelt Road) for the year 1951. Moreover, the Client provided and authorized for review a *Phase II Limited Subsurface Investigation (2000 Phase II)* prepared by EPS Environmental dated August 18, 2000. Soil borings conducted in the area of six (6) USTs depicted on the Sanborns identified imported fill material, a likely indication the historical USTs had been previously removed. Varying concentrations of benzene, ethylbenzene, toluene and xylenes (BETX) and polynuclear aromatic hydrocarbon (PNAs) compounds were identified in the select soil sample obtained from the area of the former gasoline USTs with benzene exceeding Tier 1 soil remediation objectives (SROs) for the soil component of the groundwater ingestion pathway for Class II Groundwater. According to the 2000 Phase II, contaminants appear to have migrated off the Property under the east adjacent



public right-of-way (former South Elmwood Avenue; currently a portion of the Property). It should be noted, these gasoline USTs and associated contamination were not addressed as part of the LUST investigations in connection with the removed used oil UST (incident #: 20020271). *As such, the presence of indicator contaminants in Property soil with concentrations above Tier 1 SROs presents a REC in connection with the Property.*

**To manage the environmental liability associated with the contaminated soil, EPS Environmental recommends the Property owner conduct the necessary investigations/remedial actions to obtain a NFR letter in accordance with 35 Illinois Administrative Code Part 740 from the Illinois Environmental Protection Agency (IEPA) Site Remediation Program (SRP) program allowing for the contaminated soil and/or groundwater to be managed in place (in-situ).**

**In addition, this Phase I has identified evidence of the following historical recognized environmental condition (HREC) in connection with the Property:**

#### LUST Incidents Recorded to the Property

The Property was identified on the Illinois Environmental Protection Agency (IEPA) Leaking Underground Storage Tank (LUST) and Illinois Emergency Management Agency (IEMA) Spills databases with reported releases (e.g. spills, overfills and/or leaks) of gasoline and used oil in 2001 (incident #: 20010415); used oil in 2002 (incident #: 20020271), other petroleum (i.e. heating oil) in 2003 (incident #: 20030434), and other petroleum in 2006 (incident #: 20061505) under the facility names Turano Baking Company, 6425-6519, 6425-6535 West Roosevelt Road, and Homewerks Development Company/Elmvan, 6539-6541 West Roosevelt Road.

#### *20010415 – Turano Baking Company, 6519 West Roosevelt Road:*

According to the LUST database, the incident was issued a No Further Remediation (NFR) letter dated February 19, 2003. The NFR letter signifies applicable regulatory requirements have been achieved, all corrective actions have been completed, and no further remediation is necessary for the protection of human health and safety or the environment. According to a *Corrective Action Competition Report (CACR)* prepared by EPS Environmental dated October 17, 2002, evidence of a petroleum release was noted in the backfill material following the removal of one (1) 550-gallon gasoline UST, one (1) 1,000-gallon gasoline UST and one (1) 550-gallon used oil UST. Closure samples obtained from the sidewalls and floor of the excavation pit were analyzed for benzene, ethylbenzene, toluene and xylenes (BETX), polynuclear aromatic hydrocarbons (PNAs) and synthetic precipitate leaching procedure (SPLP) lead which identified concentrations of benzene exceeding 35 Illinois Administrative Code (IAC) Part 742, titled *Tiered Approach to Corrective Action Objectives (TACO)* Tier 1 for residential land use in one (1) floor sample. A total of 270 cubic yards of impacted soil was excavated and disposed at a licensed facility. Subsequently, confirmatory samples were collected/analyzed and the concentration of benzene was below Tier 1 SROs for residential land use. In accordance with IEPA regulations, the NFR letter was properly





recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on July 14, 2003.

*20020271 – Turano Baking Company, 6425-6519 West Roosevelt Road:*

According to a CACR prepared by EPS Environmental dated February 11, 2003, a total of 75-cubic yards of impacted soil was excavated and transported off-site for disposal following the removal of one (1) 300-gallon used oil UST. Closure samples analyzed for BETX, PNAs and SPLP lead identified SPLP concentrations exceeding the soil component of the groundwater ingestion SRO in one (1) sample obtained from the floor of the excavation. To address this remaining contamination, modeling was conducted indicating the maximum impact to groundwater (if present) would be below the cleanup objective for residential land use. According to the LUST database, the NFR letter was issued on August 13, 2003 and properly recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on October 15, 2003.

*20030434 – Turano Baking Company, 6425-6535 West Roosevelt Road:*

According to a CACR prepared by EPS Environmental dated April 16, 2003, a release was evident in the UST backfill material during the removal of one (1) 2,000-gallon out of service UST which had previously been filled with concrete (likely the registered abandoned UST). A total of 60 cubic yards of impacted soil was excavated and transported off-site for disposal and laboratory results of the closure samples collected (analyzed for BETX and PNAs) were below TACO Tier 1 SROs for residential land use. It should be noted, no free product or groundwater was encountered during excavation. Moreover, a 550-gallon out-of-service heating oil UST was uncovered during the aforementioned excavation activities (which was subsequently removed); however, this UST reportedly did not have a release. According to the LUST database, the incident was issued a NFR letter dated October 17, 2003 which was properly recorded to the Property Chain of Title with the Cook County Recorder of Deeds Office on March 2, 2004. ***Although no further investigations are required regarding the LUST database listings, the LUST incidents, in and of themselves, present historical recognized environmental conditions (HRECs) in connection with the Property.***

Furthermore, since the date the NFR letters were issued, the IEPA has subsequently added regulations for the indoor inhalation exposure route. This exposure route was not addressed as part of the LUST investigations. However, based on the absence of groundwater encountered during subsurface investigations and contaminants of concern (COCs) below Tier 1 SROs for residential land use, a VEC is unlikely.



Should future construction activities or subgrade utility work involve excavation and off-site disposal of soil from the Property, or should Property usage change to residential, any impacted soils exhibiting petroleum hydrocarbon or solvent odors (if encountered), or soils with concentrations of contaminants exceeding TACO Tier 1 SROs for residential land use must be properly disposed at a facility licensed to accept such waste, according to applicable federal, state, and local laws and regulations.

## **8.0 WARRANTY AND LIMITATIONS OF LIABILITY**

The Phase I Assessment and this Report are of limited scope, and do not provide sufficient information to eliminate the total risk of the presence of contamination or other liabilities. Significantly higher levels of exploratory efforts than those performed in this Phase I Assessment are required to accumulate sufficient information to determine all environmental liabilities associated with the Property. Subsurface investigations and testing were beyond the scope of this Phase I Assessment.

EPS Environmental warrants that the Phase I Assessment has been conducted in accordance with generally accepted investigatory methods utilized by professional environmental consultants and includes the recommended practices for the "Phase I Environmental Site Assessment Process" contained in the ASTM Standard E 1527-13. EPS Environmental further warrants that the findings and conclusions in this Report are based exclusively on the Phase I Assessment. The investigatory methods that EPS Environmental utilized in the Phase I Assessment have been developed to provide the Client with information regarding apparent indications of existing or potential environmental conditions relating to the Property and are limited to the conditions that were observed at the time of the investigation of the Property. The Findings and Conclusions contained in this Report are also limited to the information available on the Property at the time that the Phase I Assessment was conducted. There is a distinct possibility that conditions may exist at the Property, which were not apparent during the preparation of the Phase I Assessment. In conducting the Phase I Assessment and preparing the Report, EPS Environmental relied on the information obtained from Property owner/operators or other persons, and government agencies having knowledge of operations and practices of the Property. EPS Environmental has assumed that this information is accurate and complete, except when independent investigation has indicated otherwise.

The Phase I Assessment did not attempt to determine whether the facilities operating on the Property are in compliance with existing environmental regulations. This Report discusses and summarizes areas of potential environmental concern for the Property itself. This Report provides no other warranties, expressed or implied.



### **8.1 Confidentiality**

EPS Environmental will hold the Report and all field observations and related documents in strict confidence and will not disclose these items except to the Client or except as ordered by any state or federal agency or court of law. In the event that EPS Environmental is ordered by a state or federal agency or court of law to disclose the contents of the Report or field observations, the Client shall hold EPS Environmental harmless from liability for any damages that the Client may suffer due to EPS Environmental's disclosure. In addition, the Client shall indemnify EPS Environmental from any and all damages EPS Environmental may suffer due to any action, which results in an order that EPS Environmental make a disclosure.

### **8.2 Reliance on Phase I Assessment and Report**

The Phase I Assessment has been conducted, and this Report has been prepared, exclusively for the Client and JP Morgan Chase Bank, N.A. and it is intended that only the Client and JP Morgan Chase Bank, N.A. will rely on the Phase I Assessment and Report. The Phase I Assessment and Report will be solely for the benefit of the Client and JP Morgan Chase Bank, N.A. and may not be relied upon by other parties.

### **8.3 Sources of Information Relied Upon for Phase I Assessment and Report**

All information that EPS Environmental has relied on in conducting the Phase I Assessment and preparing the Report, not specifically identified as generated by EPS Environmental or any federal, state, or local agency, has been supplied by or derived from data provided by the Client and Property representative.

### **8.4 Certification**

We, Samuel T. Bodine and Lara M Crawford, declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in 40 CFR Part 312. We have the specific qualifications based on education, training, and/or experience to assess a property of this nature, history, and setting similar to the Property. We have developed and performed all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

To the best of any information and belief, the facts stated in the Report are true and are made under a penalty of perjury as defined in Section 32-2 of the Criminal Code of 1961 [720 ILCS 5/32-2]. It is perjury for any person to sign an audit report that contains a false material statement that the person does not believe to be true.





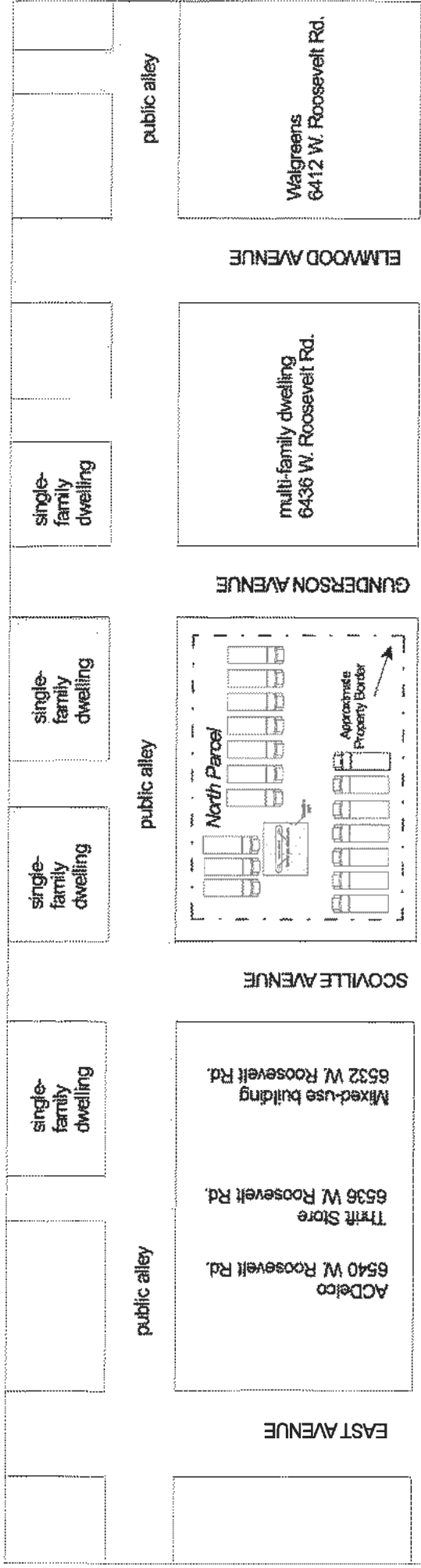
## FIGURES

Figure 1 - Property Location Map

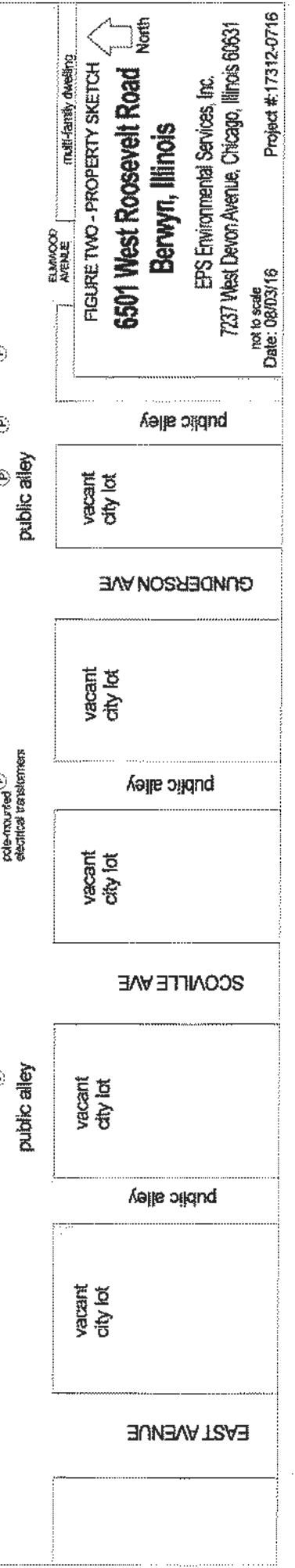
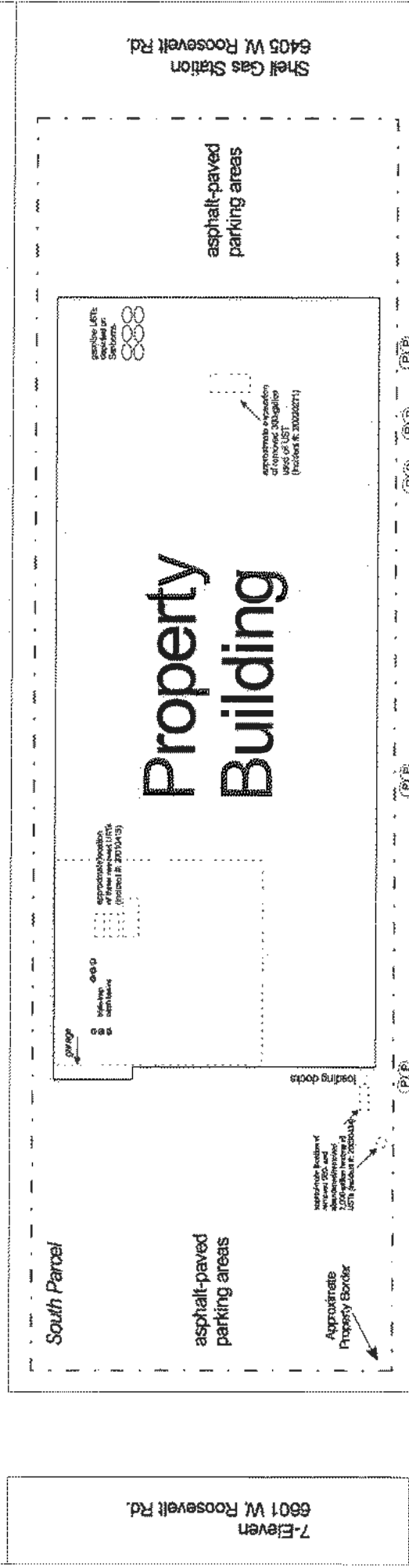


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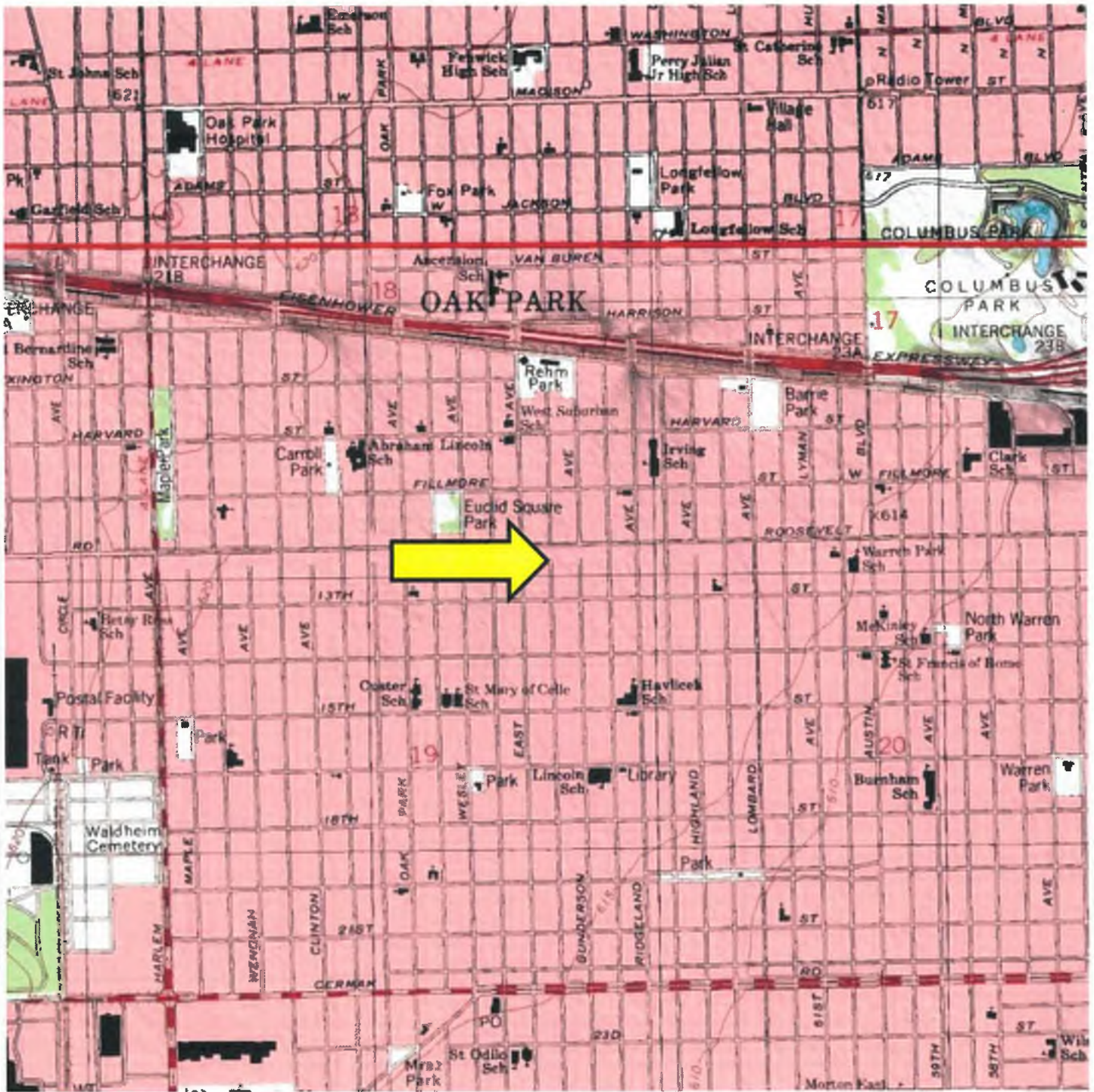




# WEST ROOSEVELT ROAD







**TOPOGRAPHIC MAP**



<b>PROPERTY ADDRESS</b>	EPS ENVIRONMENTAL SERVICES, INC.	<b>FIGURE 3</b>
6501 West Roosevelt Road Berwyn, Illinois	7237 West Devon Avenue Chicago, Illinois 60631	Berwyn Quadrangle



**APPENDIX A**

**PROPOSAL BETWEEN CLIENT AND  
EPS ENVIRONMENTAL SERVICES, INC.**



environmental services, inc.

July 18, 2016

Mr. Anthony M. Turano  
Turano Baking Company  
6501 West Roosevelt Road  
Berwyn, Illinois 60402

Re: Phase I Environmental Property Assessment  
Project #: 17312-0716  
6501 West Roosevelt Road  
Berwyn, Illinois

Dear Mr. Turano:

The purpose of the Phase I Assessment is to identify readily apparent, potential sources of environmental liabilities associated with the Property and/or to qualify for the landowner liability protections to Comprehensive Environmental Response Compensation and Liability Act (CERCLA) liability in conjunction with the user requirements as defined in 40 Code of Federal Regulations (CFR) Part 312, AAI (All Appropriate Inquiry) based exclusively upon the scope of services set forth and agreed upon.

The scope of services to be performed by EPS Environmental Services, Inc. (EPS Environmental), in order to identify areas of environmental concern, will be consistent with the recommended practices set forth in the "Phase I Environmental Site Assessment Process" contained in the American Society for Testing and Materials (ASTM), Standard E 1527-13, and in accordance with the standards and practices set forth in 40 CFR Part 312 including business environmental risks.

In order to proceed, please sign the "Acceptance" and "Permission to Enter" page of the enclosed proposal. The "Permission to Enter" will require the signature of the Property owner or an authorized representative. **EPS Environmental will commence work upon receipt of the executed proposal via facsimile or email.**

We request you provide a copy of the Plat of Survey or a site plan to assist in defining the Property along with the property index number(s) (PIN).

Schedule: The scope of services will be completed *within ten to fifteen (10-15) business days* from the commencement date, provided access is granted in a timely manner. A link to the Phase I Report will be emailed to the Client within this time frame; a hard copy will be mailed upon request only.

Sincerely,

A handwritten signature in black ink, appearing to read 'Nicholas J. Cuzzone'.

Nicholas J. Cuzzone, P.E.  
Senior Project Engineer





PHASE I ENVIRONMENTAL PROPERTY ASSESSMENT PROPOSAL

ACCEPTANCE

Please indicate acceptance of this Proposal by returning a signed copy of this Proposal or a purchase order incorporating the terms of this Proposal, as well as a signed "Permission to Enter". Once accepted by the Client, the terms of this Proposal will represent the entire and integrated agreement between the Client and EPS Environmental, and will supersede all prior negotiations, representations or agreements, either written or verbal. This Proposal may be amended only in writing signed by both Client and an authorized representative of EPS Environmental.

Respectfully submitted,

EPS ENVIRONMENTAL SERVICES, INC.

*Nicholas J. Cuzzone*

Nicholas J. Cuzzone, P.E.  
Senior Project Engineer

*Anthony M. Turano*

Accepted By

*Anthony M. Turano*

Printed Name

*Director*

Title

*7/28/16*

Date

PERMISSION TO ENTER

*PO# 10102914*

I, the undersigned, do hereby represent that I am the owner of the Property or the agent of the owner with power to grant right of entry thereon. I hereby grant permission to any employees or agents of EPS Environmental to enter upon the Property to provide the services previously stated.

Signature:

*Anthony M. Turano*

Date:

*7/28/16*

Print Full Name:

*Anthony M. Turano*

Title:

*AGENT, BERWYN PROPERTIES, LLC*

Site Contact Information (to arrange for access to conduct the inspection):

Name:

*Anthony Turano*

Phone:

*708-317-3943*

PHASE I ESA USER'S QUESTIONNAIRE  
PROJECT #: 17312-0716

In order to qualify for protection from land owner liability under CERCLA as an innocent landowner, bona fide prospective purchaser or contiguous property owner, ASTM standard practice E1527-33 and the federal AAI rule (40CFR312) require the User of the Phase I report provide certain information (if available) to the Environmental Professional completing the assessment. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete. Information that is not or cannot be provided to the Environmental Professional may be identified as a "data gap" in the Phase I ESA report.

Please answer the following questions as completely as possible. Attach additional pages as needed.

	YES	NO	NOT KNOWN
1. Are you aware of any environmental cleanup liens against the Property that are filed or recorded under federal, tribal, state or local law? If yes, describe or attach details of the lien:		<input checked="" type="checkbox"/>	

2. Are you aware of any Activity and Use Limitations (AULs) such as engineering controls, land use restrictions or institutional controls that are in place at the Property and/or have been filed or recorded in a registry under federal, tribal, state or local law? If yes, describe or attach details of the AULs:		<input checked="" type="checkbox"/>	
--	--	-------------------------------------	--

3. As the user of this Phase I, do you have any specialized knowledge or experience related to the Property or nearby sites? For example are you involved in the same line of business as the current or former occupants of the Property or an adjoining site so you would have specialized knowledge of the chemicals and processes used by this type of business? If yes, describe or attach details of your specialized knowledge or experience:	<input checked="" type="checkbox"/>		
---	-------------------------------------	--	--

DWELLER-OCCUPANT SINCE 1967.

4. Does the purchase price being paid for this Property reasonably reflect the fair market value of the Property? If you conclude there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the Property?		N/A.	
---	--	------	--

5. Are you aware of commonly known or reasonable ascertainable information about the Property that would help EPS Environmental to identify conditions indicative of releases or threatened releases?	<input checked="" type="checkbox"/>		
---	-------------------------------------	--	--

5.1 Do you know any of the past uses of the Property? If yes, please explain.	<input checked="" type="checkbox"/>		
--	-------------------------------------	--	--

MULTIPLE BLDGS + USES.

5.2 Do you know of specific chemicals that are present or once were present at the Property? If yes, please explain.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
---	-------------------------------------	--	-------------------------------------

PRESENT CHEMICAL INVENTORY AVAILABLE. NOT SURE OF PAST.

5.3 Do you know of spills or other chemical releases that have taken place at the Property? If yes, please explain.		<input checked="" type="checkbox"/>	
--	--	-------------------------------------	--

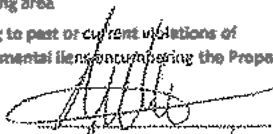
5.4 Do you know of any environmental cleanups that have taken place at the Property? If yes, please explain.	<input checked="" type="checkbox"/>		
---	-------------------------------------	--	--

PRIOR DEMOLITION - BLDG. EXPANSION WOULD HAVE BEEN ASSISTED BY E.P.S.

6. As the user of this Phase I, based on your knowledge and experience related to the Property, are there any obvious indicators which point to the presence or likely presence of contamination at the Property? If yes, please explain.		<input checked="" type="checkbox"/>	
--	--	-------------------------------------	--

Please indicate if any of the following documents exist; if so, please provide them to EPS Environmental for review

- Environmental Site Assessment reports
- Environmental compliance audit reports
- Environmental permits (e.g. solid waste, or hazardous waste disposal permits, wastewater permits, NPDES permits, underground injection permits)
- Registrations for underground and aboveground storage tanks
- Registrations for underground injection systems
- Material Safety Data Sheets (MSDS)
- Community right-to-know plan
- Safety plans, preparedness and prevention plans, Spill Prevention, Countermeasure and Control Plans (SPCC)
- Reports regarding hydrogeologic conditions on the Property or surrounding area
- Notices or other correspondence from any government agency relating to past or current violations of environmental laws with respect to the Property or relating to environmental liens encumbering the Property
- Geotechnical Studies
- Risk Assessments

  
Name: ANTHONY M. TURANO  
Signature

7/28/16  
Date



## **WARRANTY AND LIMITATION OF LIABILITY**

The Phase I Assessment will be of limited scope, and will not provide sufficient information to eliminate the total risk of the presence of contamination or other liabilities. Significantly higher levels of exploratory efforts than those performed in the proposed Phase I Assessment are required to accumulate sufficient information to determine all environmental liabilities associated with the Property.

EPS Environmental warrants that the Phase I Assessment will be conducted in accordance with generally accepted investigatory methods utilized by professional environmental consultants and will include the recommended practices for the "Phase I Environmental Site Assessment Process" contained in the ASTM Standard Practice E 1527-13 and in accordance with the standards and practices set forth in 40 Code of Federal Regulations Part 312. EPS Environmental further warrants that the Findings and Conclusions in the Report will be based exclusively on the Phase I Assessment. The investigatory methods that EPS Environmental will utilize in the Phase I Assessment have been developed to provide the Client with information regarding apparent indications of existing or potential environmental conditions relating to the Property and are limited to the conditions that will be observed at the time of the investigation of the Property. The Findings and Conclusions contained in the Report will also be limited to the information available on the Property at the time that the Phase I Assessment is conducted. There is a distinct possibility that conditions may exist at the Property which will not be apparent during the preparation of the Phase I Assessment. In conducting the Phase I Assessment and preparing the Report, EPS Environmental will rely on the information obtained from Property owner/operators or other persons, and government agencies having knowledge of operations and practices of the Property. EPS Environmental will assume that this information is accurate and complete, except when independent investigation indicates otherwise.

The Phase I Assessment will not attempt to determine whether the facility operating on the Property is in compliance with existing regulations. The Report will discuss and summarize areas of environmental concern for the Property itself. The Report will provide no other warranties, expressed or implied.

It should be noted, the Client is responsible to provide contact information for the former Property owner and to conduct an environmental lien search (which can be obtained by EPS Environmental, for an additional fee per PIN, if requested by the Client) to qualify for landowner liability protections under 40 Code of Federal Regulations Part 312. It should be noted, the Client is responsible to provide the completed questionnaire to qualify for landowner liability protections under 40 Code of Federal Regulations Part 312.

## **CONFIDENTIALITY**

EPS Environmental will hold the Report and all field observations and related documents in strict confidence and will not disclose these items except to the Client or except as ordered by any state or federal agency or court of law. In the event that EPS Environmental is ordered by a state or federal agency or court of law to disclose the contents of the Report or field observations, the Client shall hold EPS Environmental harmless from liability for any damages that the Client may suffer due to EPS Environmental's disclosure. In addition, the Client shall indemnify EPS Environmental from any and all damages EPS Environmental may suffer due to any action which results in an order that EPS Environmental make a disclosure.

## **RELIANCE ON PHASE I ASSESSMENT AND REPORT**

The Phase I Assessment and Report will be conducted exclusively for the Client and it is intended that only the Client will rely on the Report. The Phase I Assessment and Report will be solely for the benefit of the Client and may not be relied upon by third parties.

## **SOURCES OF INFORMATION RELIED UPON FOR PHASE I ASSESSMENT AND REPORT**

All information that EPS Environmental will rely on in conducting the Phase I Assessment and preparing the Report, not specifically identified as generated by EPS Environmental or any federal, state, or local agency will be provided by or derived from data provided by the Client and/or the Property owner.

## **COMPENSATION**

In the event that significant discrepancies to the provided description of the Property are discovered, EPS Environmental shall notify Client of such discrepancies in writing and shall reserve the option to re-negotiate an appropriate fee. The prices quoted herein will be honored for 30 days from the date of this Proposal.

The scope of work as detailed in this Proposal shall include providing the Client with one (1) electronic copy of the final Phase I Assessment Report, and one (1) hour of Client consultation to discuss the findings and conclusions of the Report. One (1) original copy of the Phase I will be sent to the Client upon request only.

EPS Environmental reserves the option to seek further compensation for supplementary services such as: re-addressing the Report for a third party's reliance; additional copies of the Report; consultation in excess of one (1) hour; and services considered outside the proposed scope of Phase I Assessment work. Review of any information (e.g. federal, state or previous environmental reports), in excess of one hour, will be billed to the Client at \$95.00 per hour. In addition, EPS Environmental will be compensated, by the Client, for costs incurred obtaining information from local, state or federal agencies. EPS Environmental will notify the Client prior to obtaining any such information. In the event of unpaid balances after thirty (30) days, the Client shall be assessed an interest charge at the rate of one and one half (1 1/2) percent per month (18% annual rate).

In the event that the Client fails to pay EPS Environmental for services rendered pursuant to this Proposal, the Client agrees to pay any and all reasonable legal fees and other related expenses incurred by EPS Environmental in collecting its compensation for those services from the Client. In the event that the Client cancels, postpones, alters or otherwise changes the scope of services provided by EPS Environmental pursuant to this Proposal, the Client shall compensate EPS Environmental for any and all additional time and expenses that EPS Environmental may incur due to the Client's changes. In the event of any such change the Client shall forfeit all amounts deposited with EPS Environmental.





## **APPENDIX B**

### **PHOTOGRAPHIC DOCUMENTATION**

Right: North Property Border -  
Looking East



Below: South Property Border -  
Looking West



EPS Environmental Services, Inc.

Project #: 17312-0716

6501 West Roosevelt Road  
Berwyn, Illinois

Page 1 of 12

Right: East Property Border -  
Looking South



Right: West Property Border -  
Looking South



Below: General Property View -  
North Property Parcel



EPS Environmental Services, Inc.

Project #: 17312-0716

6501 West Roosevelt Road  
Berwyn, Illinois

Page 2 of 12

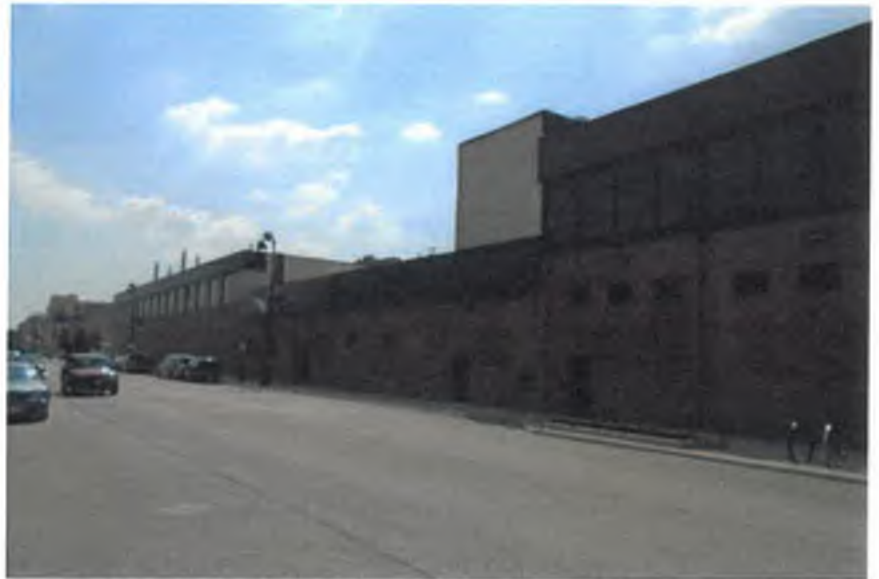
Right: Pump Island - Out of Service  
Gasoline UST





Right and Below:

Property Building



EPS Environmental Services, Inc.

Project #: 17312-0716

6501 West Roosevelt Road  
Berwyn, Illinois

Page 3 of 12

Right: North Property View







**APPENDIX C**  
**ENVIRONMENTAL DATABASE REPORT**



**Prepared for:**

EPS ENVIRONMENTAL SERVICES, INC.  
7237 West Devon Avenue  
Chicago, IL 60631



# Regulatory Database Report

ASTM E1527-13/AAI Compliant  
Commercial Property

6501 West Roosevelt Road  
Berwyn, IL

PO #: 17312-0716

ES-121012

Tuesday, August 02, 2016

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## Geographic Summary

### Location

IL

Target location is 0.007 square miles and has a 0.49 mile perimeter

### Coordinates

Longitude & Latitude in Degrees Minutes Seconds NA

Longitude & Latitude in Decimal Degrees NA

X and Y in UTM NA

### Elevation

NA

### Zip Codes Searched

Search Distance	Zip Codes (historical zip codes included)
Target Property	60304, 60402
0.25 miles	60304, 60402
0.5 miles	60304, 60402, 60804
1 mile	60130, 60302, 60304, 60402, 60548, 60644, 60804

### Topos Searched

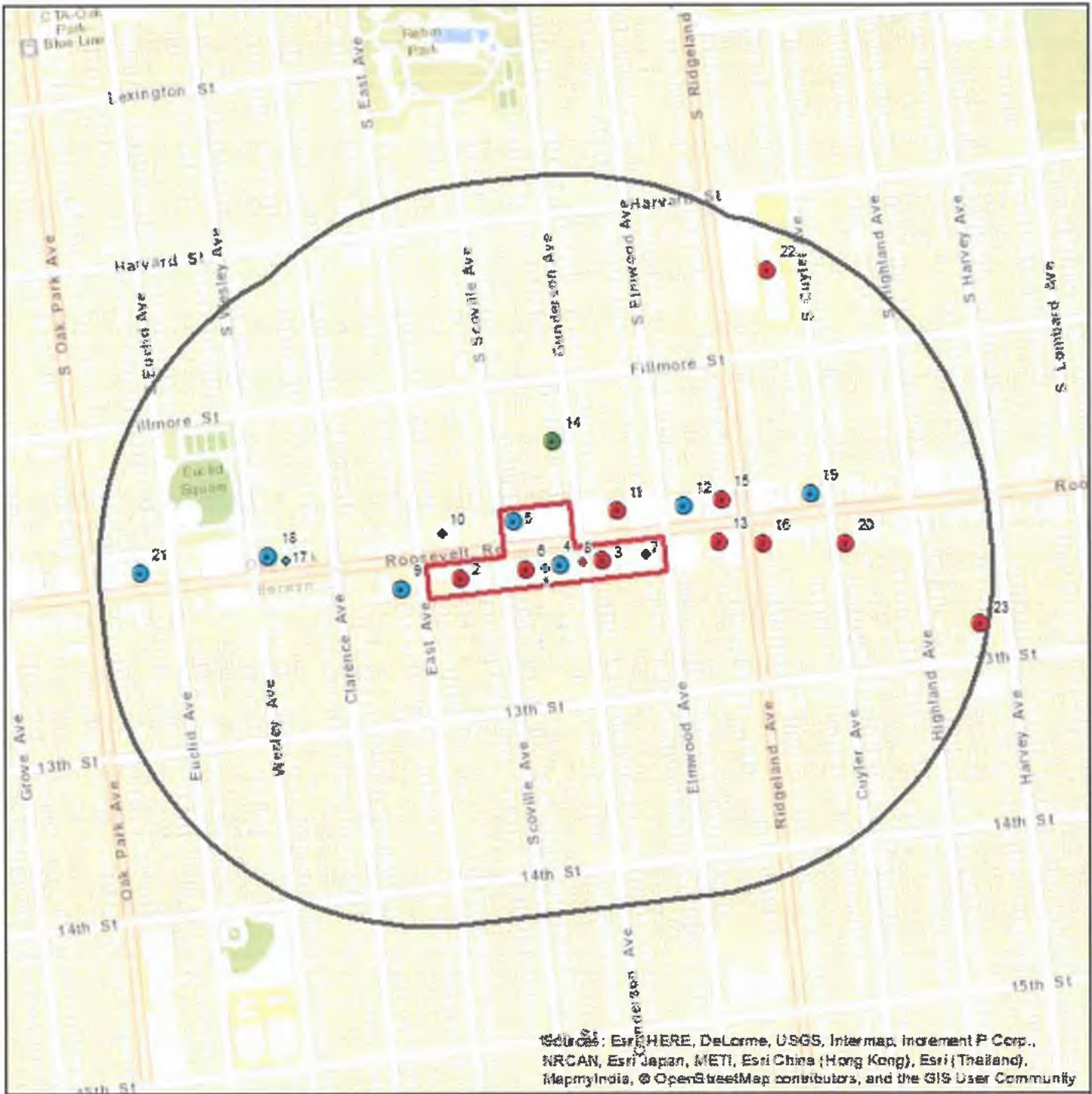
Search Distance	Topo Name
Target Property	Berwyn (1981)
0.25 miles	Berwyn (1981)
0.5 miles	Berwyn (1981)
1 mile	River Forest (1978), Berwyn (1981)



## Database Summary

Databases Searched	Distance Searched	# Mapped	# Not Mapped	Total
<b>Federal - ASTM 1527-13/AAI Required</b>				
National Priority List (NPL)	1	0	0	0
Deleted National Priority List (DNPL)	0.5	0	0	0
CERCLIS (CER)	0.5	0	0	0
CERCLIS NFRAP (CER NFRAP)	0.5	0	0	0
RCRA CORRACTS (RCRA COR)	1	2	0	2
RCRA non-CORRACTS TSD (RCRA TSD)	0.5	0	0	0
RCRA Generators (RCRA GEN)	0.25	6	0	6
Federal Brownfields (FED BWN)	0.5	0	0	0
Federal Institutional Control (FED IC)	0.5	0	0	0
Federal Engineering Control (FED EC)	0.5	0	0	0
ERNS List (ERNS)	0.25	0	0	0
<b>State - ASTM 1527-13/AAI Required</b>				
State/Tribal Equivalent NPL (ST NPL)	1	0	0	0
State/Tribal Equivalent CERCLIS (ST CER)	0.5	0	0	0
State/Tribal Disposal or Landfill (SWLF)	0.5	0	0	0
State/Tribal Leaking Storage Tank (LPST)	0.5	27	0	27
State/Tribal Storage Tank (PST)	0.25	15	0	15
State/Tribal Institutional Control (ST IC)	0.25	0	0	0
State/Tribal Engineering Control (ST EC)	0.5	2	0	2
State/Tribal Voluntary Cleanup (VCP)	0.5	30	0	30
State/Tribal Brownfield (ST BWN)	0.5	0	0	0
State/Tribal Hazardous Waste (HW)	0.25	0	0	0
<b>Non-ASTM/AAI Required Databases</b>				
State Spills (ST SL)	0.25	14	1	15
RCRA (RCRA)	0.25	0	0	0
Facility Registry Service (FRS)	0.25	16	0	16
Dry Cleaners (DRYC)	0.25	0	0	0
<b>Total Sites Found</b>		<b>112</b>	<b>1</b>	<b>113</b>

# Summary Map - 0.25 Mile Buffer



Source: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

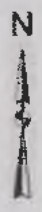
## Commercial Property

- Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
  - Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
  - Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
- RCRA COR, RCRA TSD, CER, LPST, NPL, ST NPL, SWLF*
- RCRA GEN, ST & FED BWL, ST & FED RC, ST & FED IC, DNPL, CER NFRAP, PST, VCP, ST CER*
- ERNS, HW, RCRA, DRYC*

- Target Property
- Search Buffer

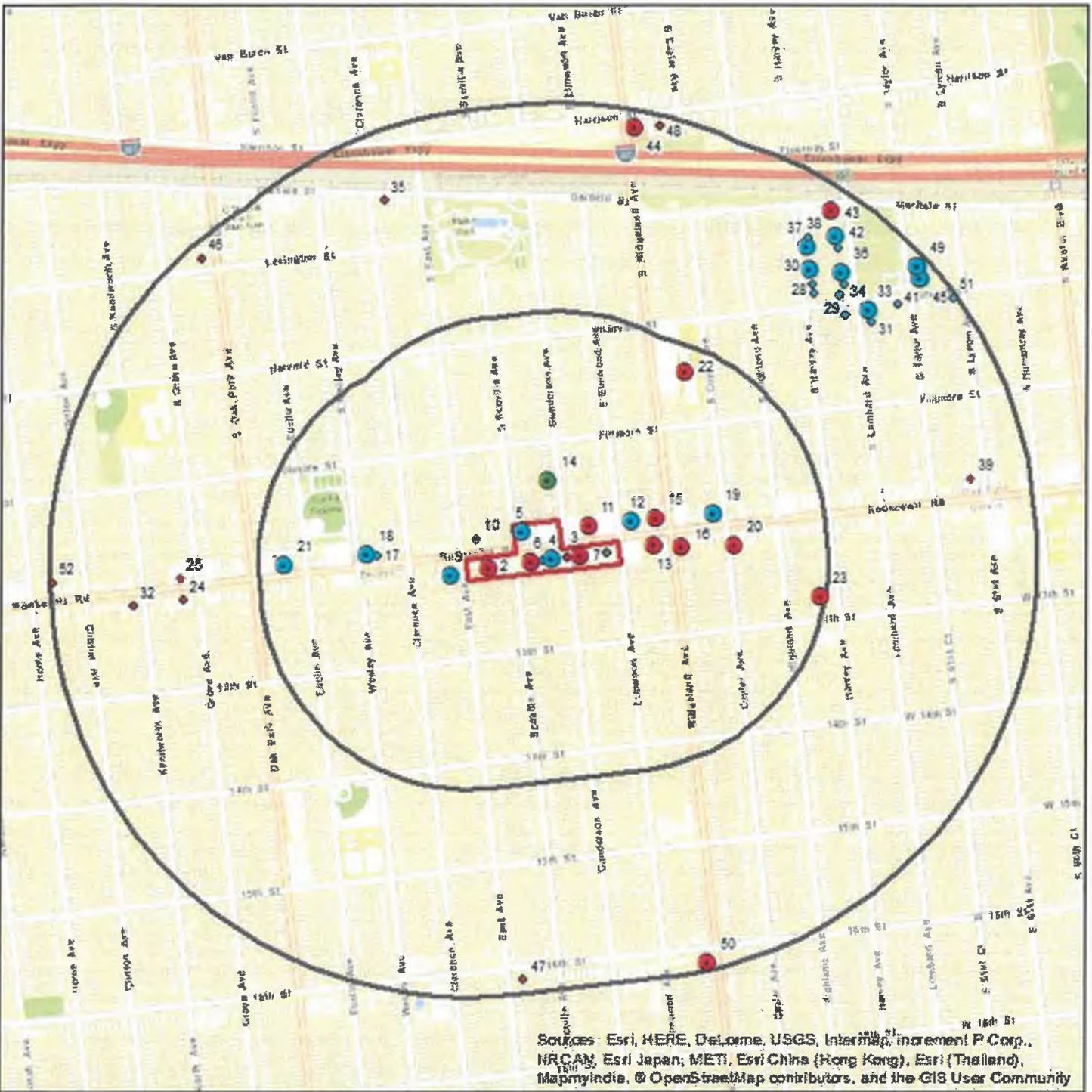
1 : 7,000  
 1 inch = 0.110 miles  
 1 inch = 583 feet  
 1 centimeter = 0.070 kilometers  
 1 centimeter = 70 meters

Lambert Conformal Conic Projection  
 1863 North American Datum  
 False Spheroid: Spheroid: 6378137.000  
 Second Standard Parallel: 45 00' 00" North  
 Central Meridian: 96 00' 00" West  
 Latitude of Origin: 32 00' 00" North





# Summary Map - 0.5 Mile Buffer



Sources: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAM, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

## Commercial Property

- Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
  - Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
  - Single Site
  - Cluster Site
  - Large Tract
  - Cluster Site with Large Tract
- RCRA COR, RCRA TSD, CER, LPST, NPL, ST NPL, SWLF
- RCRA GEN, ST & FED BWN, ST & FED EC, ST & FED IC, DANPL, CER NPPAP, PST, VCP, ST CER
- ERNS, HW, RCRA, DRYC

- Target Property
- Search Buffer

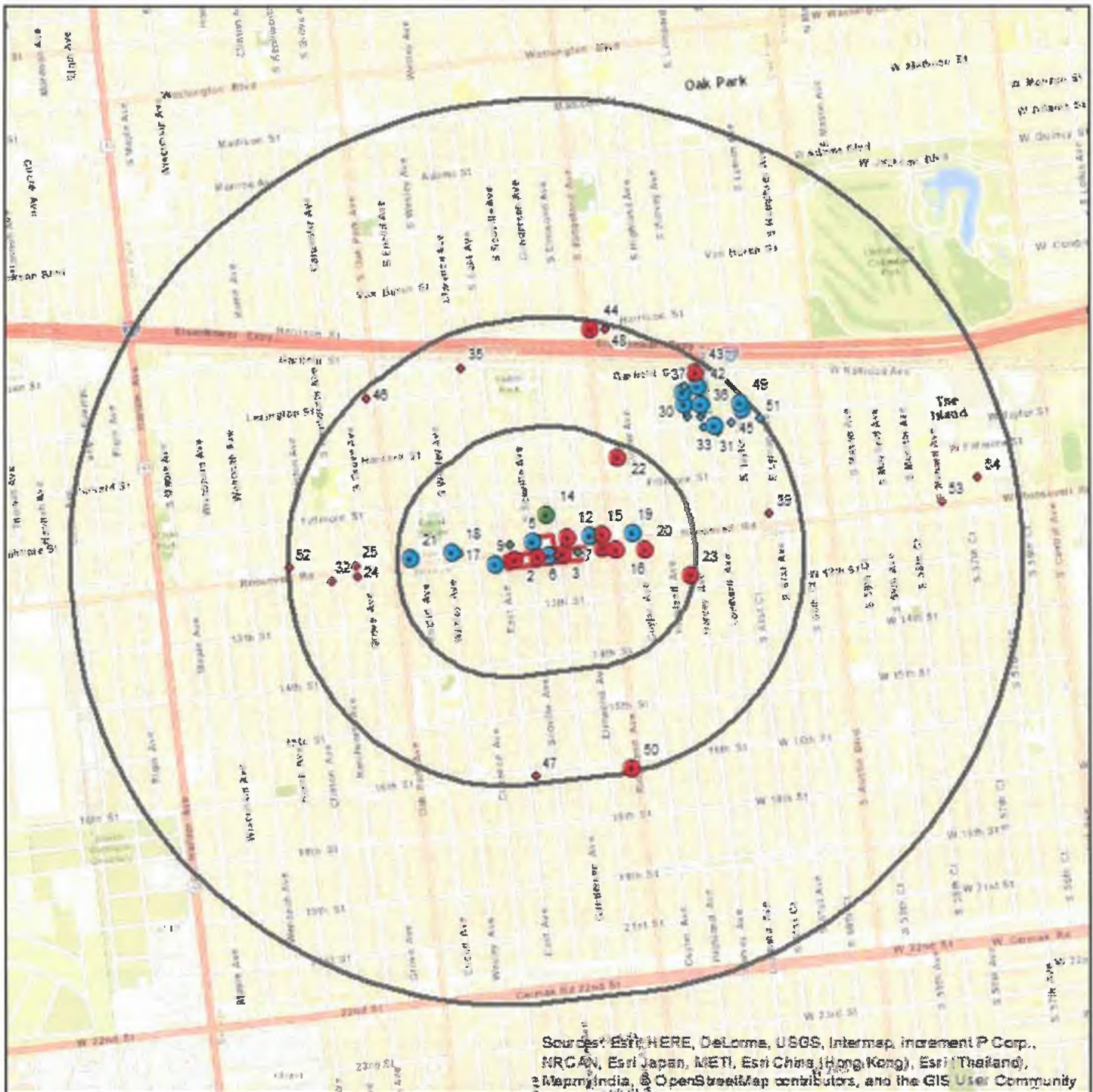
1 : 11,000  
 1 inch = 0.174 miles  
 1 inch = 817 feet  
 1 centimeter = 0.110 kilometers  
 1 centimeter = 110 meters

Lambert Conformal Conic Projection  
 1983 North American Datum  
 First Standard Parallel: 33° 00' 00" North  
 Second Standard Parallel: 43° 00' 00" North  
 Central Meridian: 98° 00' 00" West  
 Latitude of Origin: 38° 00' 00" North





# Summary Map - 1 Mile Buffer



Sources: Esri HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri Thailand, Swisstopo, Mapbox India, OpenStreetMap contributors, and the GIS User Community

## Commercial Property

- Single Site
- Cluster Site
- Large Tract
- Cluster Site with Large Tract
- Single Site
- Cluster Site
- Large Tract
- Cluster Site with Large Tract
- Single Site
- Cluster Site
- Large Tract
- Cluster Site with Large Tract

RCRA COR, RCRA TSD, CER, LPST, HPL, ST HPL, SWLF

RCRA GEN, ST & FED BWN, ST & FED EC, ST & FED IC, DNPL, CER NFRAP, PST, VCP, ST CER

ERNS, HW, RCRA, DRYC

- Target Property
- Search Buffer

1 : 21,000  
 1 inch = 0.331 miles  
 1 inch = 1760 feet  
 1 centimeter = 0.210 kilometers  
 1 centimeter = 210 meters

Lambert Conformal Conic Projection  
 1983 North American Datum  
 First Standard Parallel: 33° 00' 00" North  
 Second Standard Parallel: 45° 00' 00" North  
 Central Meridian: 99° 00' 00" West  
 Latitude of Origin: 38° 00' 00" North





# Topographic Overlay Map - 1 Mile Buffer



## Commercial Property

- Target Property
- Search Buffer

Target Property Quad Name(s)  
Bonwyn (1981)

1 : 21,000  
1 Inch = 0.331 miles  
1 Inch = 1750 feet

Lambert Conformal Conic Projection  
1983 North American Datum  
Prime Meridian Parallel: 99° 00' 00" North  
Standard Meridian Parallel: 95° 00' 00" North  
Central Meridian: 95° 00' 00" West  
Latitude of Origin: 32° 00' 00" North





### Current Imagery Overlay Map - 0.5 Mile Buffer



Source: Earthstar Geo, GeoEye, Earthstar (Satellite), CH2M Hill, Inc, USGS, USDA, Esri, Geopoint, Aerial, IGN, IGN, GeoEye, and GeoEye (Aerial Imagery)

#### Commercial Property

- |             |              |             |                               |
|-------------|--------------|-------------|-------------------------------|
| Single Site | Cluster Site | Large Tract | Cluster Site with Large Tract |
| Single Site | Cluster Site | Large Tract | Cluster Site with Large Tract |
| Single Site | Cluster Site | Large Tract | Cluster Site with Large Tract |
- RCRA CDR, RCRA TSD, CER, LPST, NPL, ST NPL, SWLF  
RCRA GEN, ST & FED BWN, ST & FED EC, ST & FED IC, DNPL, CER NFRAP, PST, VCP, ST CER  
ERNS, HW, RCRA, DRYC

- Target Property
- Search Buffer

1 : 11,000  
1 inch = 0.174 miles  
1 inch = 917 feet  
1 centimeter = 0.110 kilometers  
1 centimeter = 110 meters

Lambert Conformal Conic Projection  
1853 North American Datum  
First Standard Parallel: 33° 00' North  
Second Standard Parallel: 45° 00' North  
Central Meridian: 96° 00' West  
Latitude of Origin: 39° 00' North





# Soil Survey Map - 0.25 Mile Buffer



Source: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

## Commercial Property

- |  |   |  |  |   |
|--|---|--|--|---|
| <span style="color: red;">●</span> Single Site   | <span style="color: red;">●</span> Cluster Site   | <span style="color: red;">■</span> Large Tract   | <span style="color: red;">■</span> Cluster Sites with Large Tract  | <span style="border: 1px solid red; padding: 2px;"> </span> Target Property   |
| <span style="color: blue;">●</span> Single Site  | <span style="color: blue;">●</span> Cluster Site  | <span style="color: blue;">■</span> Large Tract  | <span style="color: blue;">■</span> Cluster Sites with Large Tract | <span style="border: 1px solid black; padding: 2px;"> </span> Search Buffer   |
| <span style="color: green;">●</span> Single Site | <span style="color: green;">●</span> Cluster Site | <span style="color: green;">■</span> Large Tract | <span style="color: green;">■</span> Cluster Site with Large Tract | <span style="border: 1px solid orange; padding: 2px;"> </span> Soils Boundary |
- RCRA COR, RCRA TSD, CER, LPST, NPL, ST NPL, SWLF  
● RCRA GEN, ST & FED BWN, ST & FED EC, ST & FED IC, DAPL, CER NFRAP, PST, YCP, ST CER  
● ERNS, HW, RCRA, DRYC

1 : 7,000  
 1 inch = 0.110 miles  
 1 inch = 583 feet  
 1 centimeter = 0.070 kilometers  
 1 centimeter = 70 meters

Lambert Conformal Conic Projection  
 1983 North American Datum  
 First Standard Parallel: 35° 00' North  
 Second Standard Parallel: 45° 00' North  
 Central Meridian: 86° 00' West  
 Latitude of Origin: 38° 00' North







# Soils

## Soils Types Found

Target Property	392A, 533
Within 0.25 miles of Target Property	172A, 392A, 392A, 533

## Soil Type Descriptions

### 172A - Hoopston fine sandy loam, 0 to 2 percent slopes

Percent Hydric	3
Minimum Depth to Bedrock	

#### Hoopston (91 percent)

Hydrologic Group	Low runoff potential when drained and high runoff potential undrained
Soil Drainage Class	Somewhat poorly drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Fine sandy loam	0 cm	43 cm	A-2-4, A-2-6, A-4, A-6	CL, SC, SC-SM, SM
H2	Fine sandy loam	43 cm	101 cm	A-2-4, A-2-6, A-4, A-6	CL, CL-ML, SC, SC-SM
H3	Fine sand	101 cm	152 cm	A-2-4, A-3	SC-SM, SM, SP-SM

#### Gifford (3 percent)

Hydrologic Group	Low runoff potential when drained and high runoff potential undrained
Soil Drainage Class	Poorly drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Fine sandy loam	0 cm	56 cm	A-2-4, A-4, A-6	ML, SC, SC-SM, SM
H2	Fine sandy loam	56 cm	104 cm	A-2-4, A-4, A-6	CL, CL-ML, SC, SC-SM
H3	Sand	104 cm	152 cm	A-2-4, A-3	SM, SP-SM

#### Orthents, loamy (3 percent)

Hydrologic Group	Moderately high runoff potential
Soil Drainage Class	Well drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Loam	0 cm	20 cm	A-6, A-7-6	CL
H2	Clay loam	20 cm	152 cm	A-6, A-7-6	CL, SC

#### Urban land (3 percent)

### 392A - Urban land-Orthents, loamy, complex, nearly level

Percent Hydric	0
Minimum Depth to Bedrock	

#### Urban land (70 percent)

#### Orthents, loamy, nearly level (20 percent)

Hydrologic Group	Moderately high runoff potential
Soil Drainage Class	Well drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Loam	0 cm	20 cm	A-6, A-7-6	CL
H2	Clay loam	20 cm	152 cm	A-6, A-7-6	CL, SC

## Soils

Orthents, loamy-skeletal, nearly level (5 percent)

Hydrologic Group	Moderately high runoff potential
Soil Drainage Class	Well drained
Corrosion Potential - Uncoated Steel	Moderate
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Very artificial loam	0 cm	23 cm	A-2-6, A-2-7, A-6, A-7-6	SC
H2	Extremely artificial clay loam	23 cm	152 cm	A-2-6, A-2-7, A-6, A-7-6	CL, SC

Orthents, clayey, nearly level (5 percent)

Hydrologic Group	High runoff potential
Soil Drainage Class	Moderately well drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	10 to 30 cm to Dense material

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Silty clay	0 cm	20 cm	A-7-6	CH, MH
H2	Silty clay	20 cm	152 cm	A-7-6	CH, CL

533 - Urban land

Percent Hydric	0
Minimum Depth to Bedrock	

Urban land (90 percent)

Orthents, loamy, nearly level (4 percent)

Hydrologic Group	Moderately high runoff potential
Soil Drainage Class	Well drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Loam	0 cm	20 cm	A-6, A-7-6	CL
H2	Clay loam	20 cm	152 cm	A-6, A-7-6	CL, SC

Orthents, clayey, nearly level (4 percent)

Hydrologic Group	High runoff potential
Soil Drainage Class	Moderately well drained
Corrosion Potential - Uncoated Steel	High
Depth to Restrictive Feature	10 to 30 cm to Dense material

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Silty clay	0 cm	20 cm	A-7-6	CH, MH
H2	Silty clay	20 cm	152 cm	A-7-6	CH, CL

Orthents, loamy-skeletal, nearly level (2 percent)

Hydrologic Group	Moderately high runoff potential
Soil Drainage Class	Well drained
Corrosion Potential - Uncoated Steel	Moderate
Depth to Restrictive Feature	

Horizon	Soil Texture	Upper Boundary	Lower Boundary	AASHTO	Unified
H1	Very artificial loam	0 cm	23 cm	A-2-6, A-2-7, A-6, A-7-6	SC
H2	Extremely artificial clay loam	23 cm	152 cm	A-2-6, A-2-7, A-6, A-7-6	CL, SC



## Soils Descriptions



## AASHTO Classification Definitions

A-1, A-1-a, A-1-b	Granular materials (35% or less passing No. 200 sieve), some fragments, gravel and sand
A-2, A-2-4, A-2-5, A-2-6, A-2-7	Granular materials (35% or less passing No. 200 sieve), silty or clayey gravel and sand
A-3	Granular materials (35% or less passing No. 200 sieve), fine sand
A-4	Silt-Clay materials (more than 35% passing No. 200 sieve), silty soils
A-5	Silt-Clay materials (more than 35% passing No. 200 sieve), silty soils
A-6	Silt-Clay materials (more than 35% passing No. 200 sieve), clayey soils
A-7, A-7-5, A-7-6	Silt-Clay materials (more than 35% passing No. 200 sieve), clayey soils
A-8	Silt-Clay materials (more than 35% passing No. 200 sieve), clayey soils

## Unified Classification Definitions

CH	Fine-grained soils, silts and clays (liquid limit is 50% or more), Fat Clay
CL, CL-A (proposed), CL-K (proposed), CL-ML, CL-O (proposed), CL-T (proposed)	Fine-grained soils, silts and clays (liquid limit is less than 50%), Lean Clay
GC, GC-GM	Coarse-grained soils, Gravels, gravel with fines, Clayey Gravel
GM	Coarse-grained soils, Gravels, gravel with fines, Silty Gravel
GP, GP-GC, GP-GM	Coarse-grained soils, Gravels, clean gravels, Poorly Graded Gravel
GW, GW-GC, GW-GM	Coarse-grained soils, Gravels, clean gravels, Well-Graded Gravel
MH, MH-A, MH-K, MH-O, MH-T	Fine-grained soils, silts and clays (liquid limit is 50% or more), Elastic Silt
ML, ML-A (proposed), ML-K (proposed), ML-O (proposed), ML-T (proposed)	Fine-grained soils, silts and clays (liquid limit is less than 50%), Silt
OH, OH-T (proposed)	Fine-grained soils, silts and clays (liquid limit is 50% or more), Organic Clay or Organic Silt
OL	Fine-grained soils, silts and clays (liquid limit is less than 50%), Organic Clay or Organic Silt
PT	Highly organic soils, Peat
SC, SC-SM	Coarse-grained soils, Sands, sands with fines, Clayey Sand
SM	Coarse-grained soils, Sands, sands with fines, Silty Sand
SP, SP-SC, SP-SM	Coarse-grained soils, Sands, clean sands, Poorly Graded Sand
SW, SW-SC, SW-SM	Coarse-grained soils, Sands, clean sands, Well-Graded Sand

## Source

Natural Resources Conservation Service, Soil Survey Geographic (SSURGO) Database.

## Disclaimer

This Soils Survey from Banks Environmental Data, Inc. has searched Natural Resources Conservation Service (NRCS) and the Soil Survey Geographic Database (SSURGO). All soil data presented on the map and in the details section are based on information obtained from NRCS. Although Banks performs quality assurance and quality control on all data, inaccuracies of the data and mapped locations could possibly be traced to the source. Banks Environmental Data, Inc. cannot fully guarantee the accuracy of the SSURGO database maintained by NRCS.

# Water & Oil/Gas Wells Map - 0.25 Mile Buffer



Map Data: Esri, HERE, DeLorme, USGS, Intermap, Increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), MepnyIndia, © OpenStreetMap contributors, and the GIS User Community

## Commercial Property

- Single Water Well
- Water Well Cluster
- Single Oil/Gas/Other Well
- Oil/Gas/Other Well Cluster
- Water/Oil/Gas/Other Well Cluster

- Target Property
- Search Buffer

1 : 7,000  
 1 inch = 0.110 miles  
 1 inch = 683 feet  
 1 centimeter = 0.070 kilometers  
 1 centimeter = 70 meters

Lambert Conformal Conic Projection  
 1983 North American Datum  
 First Standard Parallel: 33° 0' 0" North  
 Second Standard Parallel: 45° 0' 0" North  
 Central Meridian: 96° 0' 0" West  
 Latitude of Origin: 39° 0' 0" North





## Water & Oil/Gas Wells

**This well scan searched for state and federal wells currently digitized in our geospatial database. No wells were found, but more wells could exist within the search area.**

### Source

U.S. Geological Survey, Illinois State Geological Survey

### Disclaimer

This well scan from Banks Environmental Data, Inc. has included a digital search of state and federal wells currently digitized in our geospatial database. Since this scan includes only well data that is currently mapped in our geospatial database, more wells could exist within the search area. For a complete well search or to locate more details, please contact Banks to obtain a full Water Well Report or Oil & Gas Well/Pipeline Search Report. More detailed individual well records can also be obtained from Banks for an additional cost, please reference a Well ID # from this well scan.

All well locations are based on information obtained from state and federal sources. Although Banks performs quality assurance and quality control on all data, inaccuracies of the records and mapped locations could possibly be traced to the specific regulatory authority or individual well driller. Banks Environmental Data, Inc. cannot fully guarantee the accuracy of the data or well location(s) of the maps and records maintained by the state and federal agencies.



## Mapped Sites Summary

Database	Distance from Target Property	Map ID	Facility Site Name	Facility Site Address	Site Details Page #
*Sites are sorted by distance from the target site, database tier, and database.					
LPST	Target Property	8	Turano Baking Co.	6425-6519 West Roosevelt Road, Berwyn, IL 60402	21
LPST	Target Property	6	Turano Baking Co.	6425-6535 West Roosevelt Rd., Berwyn, IL 60402	22
LPST	Target Property	3	Turano Baking Co.	6518 West Roosevelt Rd., Berwyn, IL 60402	23
LPST	Target Property	2	Homeworks Development Co./ELMVAN	6539-6541 West Roosevelt, Berwyn, IL 60402	24
PST	Target Property	1	House of Vinyl	6527 Roosevelt Road, Berwyn, IL 60402	25
PST	Target Property	2	Homeworks Development Co	6539-6541 W Roosevelt Rd, Berwyn, IL 60402	26
PST	Target Property	3	Turano Baking Company	6519 West Roosevelt Road, Berwyn, IL 60402	27
PST	Target Property	4	Turano Baking Company	6425 W Roosevelt Rd, Berwyn, IL 60402	28
PST	Target Property	5	Turano Baking Company	6520 West Roosevelt Road, Oak Park, IL 60304	29
PST	Target Property	6	Turano Baking Company	6527-6535 W Roosevelt Road, Berwyn, IL 60402	30
FRS	Target Property	7	CAMPAGNA-TURANO BAKERY INC	6501 W ROOSEVELT RD, BERWYN, IL 60402-1100	35
FRS	Target Property	5	TURANO BAKERY	6520 W ROOSEVELT, OAK PARK, IL 60301	36
FRS	Target Property	2	HOMEWORKS DEVELOPMENT/ELMVAN	6539-41 W ROOSEVELT RD, BERWYN, IL 60402	37
ST SL	Target Property	4	H 2002 0271	6425 W. ROOSEVELT ROAD, BERWYN, IL	31
ST SL	Target Property	3	H 2001 0415	6519 WEST ROOSEVELT RD, BERWYN, IL	32
ST SL	Target Property	5	H-2014-1305	6520 Roosevelt Rd, Oak Park, IL	33
ST SL	Target Property	2	H-2006-1505	6539 to 6541 W Roosevelt, Berwyn, IL.	34
FRS	0.01 miles NW	9	GOLDEN DRUG STORE	6601 W ROOSEVELT RD, BERWYN, IL 60402	38
PST	0.02 miles W	9	Golden Rexall Drugs	6601 W Roosevelt Rd, Berwyn, IL 60402	39
FRS	0.02 miles NE	10	AMERICAN AUTOMOTIVE	6540 W ROOSEVELT RD, OAK PARK, IL 60304	40
LPST	0.02 miles E	11	Bennett Motor Sales	6440 West Roosevelt Rd., Oak Park, IL 60304	41
LPST	0.02 miles E	11	GLKW Properties	6440 West Roosevelt Road, Oak Park, IL 60304	42
RCRA GEN	0.02 miles E	11	OAK PARK ISUZU SUZUKI	6440 W ROOSEVELT RD, OAK PARK, IL 60302	44
PST	0.02 miles E	11	Speedy Car Wash	6440 W. Roosevelt Road, Oak Park, IL 60304	43
FRS	0.02 miles E	11	GLKW PROPERTIES	6440 W ROOSEVELT RD, OAK PARK, IL 60304	47
ST SL	0.02 miles E	11	H 2005 0334	6440 WEST ROOSEVELT, OAK PARK, IL	45
ST SL	0.02 miles E	11	892155	6440 West Roosevelt, OAK PARK, IL	46
RCRA GEN	0.03 miles NE	12	WALGREENS #5235	6412 ROOSEVELT RD, OAK PARK, IL 60304	48
FRS	0.03 miles NE	12	WALGREENS #5235	6412 ROOSEVELT RD, OAK PARK, IL 60304	49
LPST	0.04 miles E	13	Shell Oil Products US	6405 West Roosevelt Road, Berwyn, IL 60402	50
RCRA GEN	0.04 miles E	13	FAMILY SHELL	6401 W ROOSEVELT, BERWYN, IL 60402	52
PST	0.04 miles E	13	Circle K #6759	6405 West Roosevelt Rd., Berwyn, IL 60402	51
FRS	0.04 miles E	13	FAMILY SHELL	6401 W ROOSEVELT, BERWYN, IL 60402	54
FRS	0.04 miles E	13	SHELL OIL CO, FAMILY	6401 W ROOSEVELT RD, BERWYN, IL 60402	55
FRS	0.04 miles E	13	SHELL OIL CO	6405 W ROOSEVELT RD B, BERWYN, IL 60402	56
ST SL	0.04 miles E	13	H 2005 1291	6405 ROOSEVELT RD, BERWYN, IL	53
FRS	0.05 miles N	14	COM ED-SCHNIEDER RESIDENCE	1167 S GONDERSON AVE, OAK PARK, IL 60304	58
ST SL	0.05 miles N	14	H 2000 2227	1167 SOUTH GUNDERSON AVENUE, OAK PARK, IL	57
LPST	0.05 miles NE	15	6412 Roosevelt Rd. Partnership	6400 West Roosevelt Rd., Oak Park, IL 60304	59
LPST	0.05 miles NE	15	6412 Roosevelt Road Partnership	6400 West Roosevelt Rd., Oak Park, IL 60304	60
LPST	0.05 miles NE	15	6412 Roosevelt Road Partnership, LLC	6400 West Roosevelt Rd., Oak Park, IL 60304	61
PST	0.05 miles NE	15	Balian Auto Sales, Inc.	6400 W. Roosevelt Rd, Oak Park, IL 60304	62
ST SL	0.05 miles NE	15	20000547	6400 W. ROOSEVELT RD., OAK PARK, IL	63
ST SL	0.05 miles NE	15	H 2001 0891	6400 W. ROOSEVELT ROAD, OAK PARK, IL	64
ST SL	0.05 miles NE	15	992185	6400 WEST ROOSEVELT RD., OAK PARK, IL	65
LPST	0.08 miles E	16	Go-Tane Service Station	6347 West Roosevelt Road, Berwyn, IL 60402	66
PST	0.08 miles E	16	Kapil Singh, LLC d/b/a Berwyn Fuel Stop	6347 W. Roosevelt Rd., Berwyn, IL 60402	67
ST SL	0.08 miles E	16	H 2005 0173	6347 WEST ROOSEVELT RD., BERWYN, IL	68
PST	0.11 miles W	17	Euwana Movers Inc	6638 Roosevelt, Oak Park, IL 60304	69
PST	0.12 miles W	18	Oil Express	6644 West Roosevelt, Oak Park, IL 60304	70
FRS	0.12 miles W	18	OIL EXPRESS	6644 W ROOSEVELT RD, OAK PARK, IL 60303	71
RCRA GEN	0.12 miles E	19	JACOBSON AND SONS AUTO	6326 W ROOSEVELT RD, OAK PARK, IL 60304	72
FRS	0.12 miles E	19	ROY JACOBSON & SONS AUTO	6326 W ROOSEVELT RD, OAK PARK, IL 60304-2313	73
LPST	0.14 miles E	20	Camargo's Auto & Tire Repair	6321 West Roosevelt Road, Berwyn, IL 60402	74
RCRA GEN	0.14 miles E	20	ROOSEVELT WRECK ROOM	6321 W ROOSEVELT RD, BERWYN, IL 60402	76
PST	0.14 miles E	20	Camargos Auto Repair	6321 W. Roosevelt Rd., Berwyn, IL 60402	75



## Mapped Sites Summary

Database	Distance from Target Property	Map ID	Facility Site Name	Facility Site Address	Site Details Page #
*Sites are sorted by distance from the target site, database tier, and database.					
FRS	0.14 miles E	20	ROOSEVELT WRECK ROOM	6321 W ROOSEVELT RD, BERWYN, IL 60402-1184	78
ST SL	0.14 miles E	20	H-2011-0657	6321 West Roosevelt Rd, Berwyn, IL	77
RCRA GEN	0.22 miles W	21	CVS PHARMACY 2844	6748 W ROOSEVELT RD, OAK PARK, IL 60304	79
FRS	0.22 miles W	21	CVS PHARMACY 2844	6748 W ROOSEVELT RD, OAK PARK, IL 60304	81
LPST	0.22 miles N	22	Oak Park School District #97	1125 Cuyler, Oak Park, IL 60302	82
PST	0.22 miles N	22	Irving School	1125 S. Cuyler Avenue, Oak Park, IL 60302	83
FRS	0.22 miles N	22	OAK PARK SCHOOL DIST 97	1125 S CUYLER AVENUE, OAK PARK, IL 60304-2203	84
LPST	0.26 miles E	23	Ebenezer Christian Reform Church	1240 HARVEY AVENUE, BERWYN, IL 60402	85
ST SL	0.25 miles E	23	H 2005 0978	1240 HARVEY AVE, BERWYN, IL	86
LPST	0.34 miles W	24	Granato, Donald G. & Robert	6833 West Roosevelt Rd., Berwyn, IL 60402	87
LPST	0.34 miles W	25	Ferguson, Tommie	6830 West Roosevelt Road, Oak Park, IL 60304	88
VCP	0.38 miles NE	26	ComEd Barrie Park Residential 20	1044 South Harvey Avenue, Oak Park, IL 60304	89
VCP	0.39 miles NE	27	ComEd Barrie Park Residential 3	1103 South Lombard Avenue, Oak Park, IL 60303	90
VCP	0.39 miles NE	28	ComEd Barrie Park Residential 26	1038 South Harvey Avenue, Oak Park, IL 60304	91
VCP	0.39 miles NE	30	ComEd Barrie Park Residential 24	1034 South Harvey Avenue, Oak Park, IL 60304	92
VCP	0.4 miles NE	29	ComEd Barrie Park Residential 21	208 Harvard Street, Oak Park, IL 60304	93
VCP	0.4 miles NE	30	ComEd Barrie Park Residential 12	1032 South Harvey Avenue, Oak Park, IL 60304	94
VCP	0.4 miles NE	31	ComEd Barrie Park Residential 27	1108 South Lombard Avenue, Oak Park, IL 60304	95
LPST	0.4 miles W	32	Parkwyn Funeral Homes	6901 West Roosevelt, Berwyn, IL 60402	96
VCP	0.41 miles NE	33	ComEd Barrie Park Residential 10	1102 South Lombard Avenue, Oak Park, IL 60304	97
VCP	0.41 miles NE	34	ComEd Barrie Park Residential 31	1041 South Lombard Avenue, Oak Park, IL 60304	98
VCP	0.41 miles NE	33	ComEd Barrie Park Residential 37	1100 South Lombard Avenue, Oak Park, IL 60304	99
VCP	0.42 miles NE	37	ComEd Barrie Park Residential 19	1022 South Harvey Avenue, Oak Park, IL 60304	100
VCP	0.42 miles NE	36	ComEd Barrie Park Residential 33	1037 South Lombard Avenue, Oak Park, IL 60304	101
LPST	0.42 miles N	35	Park District of Oak Park	615 Garfield Street, Oak Park, IL 60304	102
VCP	0.42 miles NE	36	ComEd Barrie Park Residential 6	1035 South Lombard Avenue, Oak Park, IL 60304	103
VCP	0.42 miles NE	37	ComEd Barrie Park Residential 7	1018 South Harvey Avenue, Oak Park, IL 60304	104
VCP	0.42 miles NE	36	ComEd Barrie Park Residential 32	1033 South Lombard Avenue, Oak Park, IL 60304	105
VCP	0.43 miles NE	38	ComEd Barrie Park Residential 2	1014 South Harvey Avenue, Oak Park, IL 60304	106
LPST	0.43 miles E	39	John's Auto Mart	6104 West Roosevelt Rd., Oak Park, IL 60304	107
VCP	0.44 miles NE	40	ComEd Barrie Park Residential 25	1023 South Lombard Avenue, Oak Park, IL 60304	108
VCP	0.44 miles NE	41	ComEd Barrie Park Residential 17	1101 South Taylor Avenue, Oak Park, IL 60304	109
VCP	0.44 miles NE	42	ComEd Barrie Park Residential 6	1021 South Lombard Avenue, Oak Park, IL 60304	110
VCP	0.45 miles NE	42	ComEd Barrie Park Residential 13	1019 South Lombard Avenue, Oak Park, IL 60304	111
VCP	0.45 miles NE	42	ComEd Barrie Park Residential 4	1017 South Lombard Avenue, Oak Park, IL 60304	112
LPST	0.47 miles NE	43	Oak Park District	1005 Lombard, Oak Park, IL 60302	113
ST EC	0.47 miles NE	43	ComEd Exelon	1005 South Lombard Avenue, Oak Park, IL 60304	114
VCP	0.47 miles NE	43	ComEd Exelon	1005 South Lombard Avenue, Oak Park, IL 60304	115
ST EC	0.47 miles NE	43	Barrie Park	1001 South Lombard Avenue, Oak Park, IL 60302	116
VCP	0.47 miles NE	43	Barrie Park	1001 South Lombard Avenue, Oak Park, IL 60302	117
VCP	0.47 miles NE	45	ComEd Barrie Park Residential 47	1040 South Taylor Avenue, Oak Park, IL 60304	118
LPST	0.48 miles N	44	Bloom, Jerry	902 South Ridgeland Avenue, Oak Park, IL 60304	119
VCP	0.48 miles NE	45	ComEd Barrie Park Residential 22	1036 South Taylor Avenue, Oak Park, IL 60304	120
LPST	0.48 miles NW	46	Russo Auto Service	945 South Oak Park Ave., Oak Park, IL 60304	121
VCP	0.48 miles N	44	Oak Cleaners	900 South Ridgeland Road, Oak Park, IL 60304	122
VCP	0.48 miles NE	45	ComEd Barrie Park Residential 29	1032 South Taylor Avenue, Oak Park, IL 60304	123
LPST	0.48 miles S	47	Nurceski, Memed	1601 East Avenue, Berwyn, IL 60402	124
LPST	0.49 miles N	48	Kassam, Shabir	333 Harrison Street, Oak Park, IL 60304	125
VCP	0.49 miles NE	49	ComEd Barrie Park Residential 35	1030 South Taylor Avenue, Oak Park, IL 60304	126
VCP	0.49 miles NE	49	ComEd Barrie Park Residential 46	1026 South Taylor Avenue, Oak Park, IL 60304	127
LPST	0.49 miles S	50	Berwyn Auto Service, Ltd.	1600 South Ridgeland Avenue, Berwyn, IL 60402	128
LPST	0.49 miles S	50	Berwyn Auto Service, Ltd.	1600 South Ridgeland Avenue, Berwyn, IL 60402	129
VCP	0.5 miles NE	51	ComEd Barrie Park Residential 28	1101 South Lyman Avenue, Oak Park, IL 60304	130
LPST	0.5 miles W	52	Staley Supply Co.	6942 West Roosevelt Rd., Oak Park, IL 60304	131
RCRA COR	0.83 miles E	53	DANA CORP VICTOR PRODUCTS DIV CHGO PLT	5750 W ROOSEVELT RD, CHICAGO, IL 60644	132



## Mapped Sites Summary

Database	Distance from Target Property	Map ID	Facility Site Name	Facility Site Address	Site Details Page #
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\*Sites are sorted by distance from the target site, database tier, and database.

RCRA COR	0.92 miles E	54	CHICAGO STUDIO CITY	5700 W ROOSEVELY RD, CHICAGO, IL 60644	134
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**End of Mapped Sites Summary Section**





# Unmapped Sites Summary

Database	Facility Site Name	Facility Site Address	Site Details Page #
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\*Sites are sorted by database tier and database.

ST SL	20000166	RIDGELAND & GUNDERSON, BERWYN, IL	136
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**End of Unmapped Sites Summary Section**

# Zip Code Map - 1 Mile Buffer



Source: Esri, HERE, DeLorme, USGS, Intermap, increment P Corp., NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri (Thailand), Swisstopo, Mapbox India, © OpenStreetMap contributors, and the GIS User Community

## Commercial Property

- Target Property
- Search Buffer
- Zip Code Boundary

1 : 21,000  
 1 inch = 0.331 miles  
 1 inch = 1750 feet  
 1 centimeter = 0.210 kilometers  
 1 centimeter = 210 meters

Lambert Conformal Conic Projection  
 1883 North American Datum  
 First Standard Parallel: 33° 00' North  
 Second Standard Parallel: 45° 00' North  
 Central Meridian: 96° 00' West  
 False Easting: 200,000 Meters







**MapID 8: LPST - 6425-6519 West Roosevelt Road**

<b>Map ID #8</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20020271</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20020271</b>
Turano Baking Co. 6425-6519 West Roosevelt Road, Berwyn, IL 60402		Rel. Loc.: Target Property Elevation: 622.16 feet (+622.16)
<b>Site Classification:</b>		
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	6/30/2003	
<b>Leak Substance:</b>	Used Oil	
<b>Leak Discovery Date:</b>	2/26/2002	
<b>Leak Closure Date:</b>	8/13/2003	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	10/15/2003	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20020271">http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20020271</a>	
<b>State Contact Name:</b>	Piggush	
<b>Facility Contact Name:</b>	RENATO TURANO	
<b>Facility Contact Phone:</b>	7087889220	
<b>Owner Contact Name:</b>	Frank Biernacki	
<b>Owner Contact Phone:</b>	7087889220	



## MapID 6: LPST - 6425-6535 West Roosevelt Rd.

<b>Map ID #6</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20030434</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20030434</b>
Turano Baking Co. 6425-6535 West Roosevelt Rd., Berwyn, IL 60402		Rel. Loc.: Target Property Elevation: 622.41 feet (+622.41)
<b>Site Classification:</b>		
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	9/9/2003	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	3/28/2003	
<b>Leak Closure Date:</b>	10/17/2003	
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>	3/2/2004	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20030434">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20030434</a>	
<b>State Contact Name:</b>	Piggush	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Frank Bernacki	
<b>Owner Contact Phone:</b>	7087809220	

**MapID 3: LPST - 6519 West Roosevelt Rd.**

<b>Map ID #3</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20010415</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20010415</b>
Turano Baking Co. 6519 West Roosevelt Rd., Berwyn, IL 60402		Ref. Loc.: Target Property Elevation: 622.13 feet (+622.13)
<b>Site Classification:</b>		
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	10/23/2002	
<b>Leak Substance:</b>	Gasoline;Used Oil	
<b>Leak Discovery Date:</b>	3/12/2001	
<b>Leak Closure Date:</b>	2/19/2003	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	7/14/2003	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/usl/LIT-Display.asp?INCIDENT=20010415">http://epadata.epa.state.il.us/land/usl/LIT-Display.asp?INCIDENT=20010415</a>	
<b>State Contact Name:</b>	Piggush	
<b>Facility Contact Name:</b>	RENATO TURANO	
<b>Facility Contact Phone:</b>	7087889220	
<b>Owner Contact Name:</b>	Renato Turano	
<b>Owner Contact Phone:</b>	7087889220	





## MapID 2: LPST - 6539-6541 West Roosevelt

<b>Map ID #2</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20061505</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20061505</b>
Homeworks Development Co./ELMVAN 6539-6541 West Roosevelt, Berwyn, IL 60402		Rel. Loc.: Target Property Elevation: 621.75 feet (+621.75)
<b>Site Classification:</b>		
<b>Status:</b>	Notice of Release Letter sent	
<b>Status Date:</b>	12/5/2006	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	11/30/2006	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Data:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20061505">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20061505</a>	
<b>State Contact Name:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Don Gibson	
<b>Owner Contact Phone:</b>		

**MapID 1: PST - 6527 Roosevelt Road**

<b>Map ID #1</b>	<b>PST - State/Tribal Storage Tank</b>	<b>Source: IL OSFM</b>
<b>Facility ID: 2038215</b>	<b>Owner ID: U0027990</b>	<b>Banks ID: banks_013207</b>
House of Vinyl		Rel. Loc.: Target Property
6527 Roosevelt Road, Berwyn, IL 60402		Elevation: 622.41 feet (+622.41)
<b>Facility Owner Name:</b>	House of Vinyl	
<b>Facility Owner Address:</b>	6527 Roosevelt Road	
<b>Facility Owner City:</b>	Berwyn	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60402	
<b>Facility Status:</b>	Exempt	
<b>Facility Type:</b>	None	
<b>Tank #:</b>	#1	
<b>Status:</b>	Exempt from registration	
<b>Capacity:</b>	2000	
<b>Install Date:</b>		
<b>Last Used Date:</b>	12/1/1973	
<b>Removed:</b>		
<b>Tank Contents:</b>	Fuel Oil	



**MapID 2: PST - 6539-6541 W Roosevelt Rd**

<b>Map ID #2</b>	<b>PST - State/Tribal Storage Tank</b>			<b>Source: IL OSFM</b>
<b>Facility ID: 2043489</b>	<b>Owner ID: U0030270</b>			<b>Banks ID: banks_005905</b>
Homeworks Development Co 6539-6541 W Roosevelt Rd, Berwyn, IL 60402				Rel. Loc.: Target Property Elevation: 621.75 feet (+621.75)
<b>Facility Owner Name:</b>	Homeworks Development Co / ELMVAN			
<b>Facility Owner Address:</b>	700 E Diehl Road, Suite 130			
<b>Facility Owner City:</b>	Naperville			
<b>Facility Owner State:</b>	IL			
<b>Facility Owner Zip:</b>	60563			
<b>Facility Status:</b>	Exempt			
<b>Facility Type:</b>	None			
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	<b>#3</b>	
<b>Status:</b>	Exempt from registration	Exempt from registration	Exempt from registration	
<b>Capacity:</b>	550	550	550	
<b>Install Date:</b>				
<b>Last Used Date:</b>	12/31/1973	12/31/1973	12/31/1973	
<b>Removed:</b>	2026-11-30			
<b>Tank Contents:</b>	Heating Oil	Heating Oil	Heating Oil	





**MapID 3: PST - 6519 West Roosevelt Road**

<b>Map ID #3</b>	<b>PST - State/Tribal Storage Tank</b>			<b>Source: IL OSFM</b>
<b>Facility ID: 2040253</b>	<b>Owner ID: U0029922</b>		<b>Banks ID: banks_034713</b>	
Turano Baking Company 6519 West Roosevelt Road, Berwyn, IL 60402			Rel. Loc.: Target Property Elevation: 622.13 feet (+622.13)	
<b>Facility Owner Name:</b>	Turano Baking Company			
<b>Facility Owner Address:</b>	6501 West Roosevelt Road			
<b>Facility Owner City:</b>	Berwyn			
<b>Facility Owner State:</b>	IL			
<b>Facility Owner Zip:</b>	60402			
<b>Facility Status:</b>	Exempt			
<b>Facility Type:</b>	None			
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	<b>#3</b>	
<b>Status:</b>	Exempt from registration	Exempt from registration	Exempt from registration	
<b>Capacity:</b>	550	1000	550	
<b>Install Date:</b>				
<b>Last Used Date:</b>	12/30/1973	12/30/1973	12/30/2973	
<b>Removed:</b>	2001-03-12	2001-03-12	2001-03-12	
<b>Tank Contents:</b>	Gasoline	Gasoline	Used Oil	



**MapID 4: PST - 6425 W Roosevelt Rd**

<b>Map ID #4</b>	<b>PST - State/Tribal Storage Tank</b>	<b>Source: IL OSFM</b>
<b>Facility ID: 2025193</b>	<b>Owner ID: U0029922</b>	<b>Banks ID: banks_031007</b>
Turano Baking Company 6425 W Roosevelt Rd, Berwyn, IL 60402		Rel. Loc.: Target Property Elevation: 622.5 feet (+622.5)
<b>Facility Owner Name:</b>	Turano Baking Company	
<b>Facility Owner Address:</b>	6501 West Roosevelt Road	
<b>Facility Owner City:</b>	Berwyn	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60402	
<b>Facility Status:</b>	Closed	
<b>Facility Type:</b>	None	
<b>Tank #:</b>	#1	
<b>Status:</b>	Removed	
<b>Capacity:</b>	300	
<b>Install Date:</b>	1/1/1979	
<b>Last Used Date:</b>	1/1/1990	
<b>Removed:</b>	2002-02-28	
<b>Tank Contents:</b>	Used Oil	

**MapID 5: PST - 6520 West Roosevelt Road**



<b>Map ID #5</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2040718</b>	<b>Owner ID: U0029922</b>		<b>Banks ID: banks_028484</b>
Turano Baking Company		Rel. Loc.: Target Property	
6520 West Roosevelt Road, Oak Park, IL 60304		Elevation: 623.12 feet (+623.12)	
<b>Facility Owner Name:</b>	Turano Baking Company		
<b>Facility Owner Address:</b>	6501 West Roosevelt Road		
<b>Facility Owner City:</b>	Berwyn		
<b>Facility Owner State:</b>	IL		
<b>Facility Owner Zip:</b>	60402		
<b>Facility Status:</b>	Inactive		
<b>Facility Type:</b>	Industrial / Manufacturing		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	
<b>Status:</b>	Out of service	Entered in error	
<b>Capacity:</b>	12000	12000	
<b>Install Date:</b>	12/11/2001		
<b>Last Used Date:</b>	11/11/2014		
<b>Removed:</b>			
<b>Tank Contents:</b>	Gasoline	Gasoline	





**MapID 6: PST - 6527-6535 W Roosevelt Road**

<b>Map ID #6</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2041378</b>	<b>Owner ID: U0029922</b>		<b>Banks ID: banks_028659</b>
Turano Baking Company 6527-6535 W Roosevelt Road, Berwyn, IL 60402			Rel. Loc.: Target Property Elevation: 622.41 feet (+622.41)
<b>Facility Owner Name:</b>	Turano Baking Company		
<b>Facility Owner Address:</b>	6501 West Roosevelt Road		
<b>Facility Owner City:</b>	Berwyn		
<b>Facility Owner State:</b>	IL		
<b>Facility Owner Zip:</b>	60402		
<b>Facility Status:</b>	Exempt		
<b>Facility Type:</b>	None		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	
<b>Status:</b>	Exempt from registration	Exempt from registration	
<b>Capacity:</b>	2000	500	
<b>Install Date:</b>			
<b>Last Used Date:</b>	12/31/1973	12/31/1973	
<b>Removed:</b>	2003-03-28	2003-03-28	
<b>Tank Contents:</b>	Heating Oil	Heating Oil	



## MapID 4: ST SL - 6425 W. ROOSEVELT ROAD

<b>Map ID #4</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2002 0271</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2002 0271</b>
H 2002 0271		Rel. Loc.: Target Property
6425 W. ROOSEVELT ROAD, BERWYN, IL		Elevation: 622.5 feet (+622.5)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	USED OIL	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	6501 W. ROOSEVELT ROAD, BERWYN, IL, 60402	
<b>Container Size:</b>	500 GALS	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	N/A	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	N/A	
<b>Date Discovered:</b>	02/26/2002 @ 13:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	2/26/2002 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2002 0271">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2002 0271</a>	

**MapID 3: ST SL - 6519 WEST ROOSEVELT RD**

<b>Map ID #3</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2001 0415</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2001 0415</b>
H 2001 0415		Rel. Loc.: Target Property
6519 WEST ROOSEVELT RD, BERWYN, IL		Elevation: 622.13 feet (+622.13)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	USED OIL AND GASOLINE	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	6501 WEST ROOSEVELT RD, BERWYN, IL 60402	
<b>Container Size:</b>	2-550 GAL /1-1000 GAL	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	UNKNOWN	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	03/12/01 @ 11:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	3/12/2001 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://ier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2001 0415">http://ier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2001 0415</a>	



**MapID 5: ST SL - 6520 Roosevelt Rd**

<b>Map ID #5</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H-2014-1305</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H-2014-1305</b>
H-2014-1305		Ref. Loc.: Target Property
6520 Roosevelt Rd, Oak Park, IL		Elevation: 623.12 feet (+623.12)
<b>Type:</b>	Liquid	
<b>Materials Involved:</b>	engine oil	
<b>Amount Released:</b>	unknown	
<b>Area Involved:</b>	Fixed Facility	
<b>Cause of Release:</b>	fire	
<b>Container Size:</b>	1-200 gallons	
<b>Container Type:</b>	Above ground storage tank	
<b>Duration of Release:</b>	unknown	
<b>Estimated Spill Extent:</b>	75 foot radius	
<b>Spill Extent Units:</b>		
<b>Media:</b>	Ground	
<b>Rate of Release in minutes:</b>	n/a, release stopped	
<b>Date Discovered:</b>	11/11/2014 13:30	
<b>Date Entered:</b>	11/11/2014 13:30	
<b>Date Incident Occurred:</b>	11/11/2014 13:30	
<b>Incident Report Date:</b>	11/14/2014 11:51	
<b>Leaking Underground Storage Tank LUST:</b>	No	
<b>Extremely Hazardous Substance 302a:</b>	Unknown	
<b>Hazmat Incident Type:</b>	Fire	
<b>RCRA Hazardous Waste:</b>	No	
<b>RCRA Regulated Facility:</b>	No	
<b>Hypertink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H-2014-1305">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H-2014-1305</a>	

## MapID 2: ST SL - 6539 to 6541 W Roosevelt

<b>Map ID #2</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H-2006-1505</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H-2006-1505</b>
H-2006-1505		Ref. Loc.: Target Property
6539 to 6541 W Roosevelt, Berwyn, IL		Elevation: 621.75 feet (+621.75)
<b>Type:</b>	Liquid	
<b>Materials Involved:</b>	heating oil	
<b>Amount Released:</b>	unknown	
<b>Area Involved:</b>	Fixed Facility	
<b>Cause of Release:</b>	rust	
<b>Container Size:</b>	1,000 gallons	
<b>Container Type:</b>	Underground Storage Tank	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	unknown	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	11/30/2006 12:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	11/30/2006 12:04	
<b>Leaking Underground Storage Tank LUST:</b>	TRUE	
<b>Extremely Hazardous Substance 302a:</b>	No	
<b>Hazmat Incident Type:</b>	Leak or Spill	
<b>RCRA Hazardous Waste:</b>	No	
<b>RCRA Regulated Facility:</b>	No	
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H-2006-1505">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H-2006-1505</a>	

**MapID 7: FRS - 6501 W ROOSEVELT RD**



<b>Map ID #7</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110001819051</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110001819051</b>
CAMPAGNA-TURANO BAKERY INC 6501 W ROOSEVELT RD, BERWYN, IL 60402-1100		Rel. Loc.: Target Property Elevation: 621.84 feet (+621.84)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>	COMMERCIAL BAKERIES.	
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>	BREAD AND OTHER BAKERY PRODUCTS, EXCEPT COOKIES AND CRACKERS	
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://ofmpub.epa.gov/enviro/lii_query_detail_disp_program_facility?p_registry_id=110001819051">http://ofmpub.epa.gov/enviro/lii_query_detail_disp_program_facility?p_registry_id=110001819051</a>	





**MapID 5: FRS - 6520 W ROOSEVELT**

<b>Map ID #5</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110063973339</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110063973339</b>
TURANO BAKERY		Rel. Loc.: Target Property
6520 W ROOSEVELT, OAK PARK, IL 60301		Elevation: 623.12 feet (+623.12)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://otmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110063973339">http://otmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110063973339</a>	



**MapID 2: FRS - 6539-41 W ROOSEVELT RD**

<b>Map ID #2</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110032948675</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110032948675</b>
HOMEWORKS DEVELOPMENT/ELMVAN 6539-41 W ROOSEVELT RD, BERWYN, IL 60402		Rel. Loc.: Target Property Elevation: 621.75 feet (+621.75)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://cfmpub.epa.gov/anviro/fri_query_detail_disp_program_facility?p_registry_id=110032948675">http://cfmpub.epa.gov/anviro/fri_query_detail_disp_program_facility?p_registry_id=110032948675</a>	



**MapID 9: FRS - 6601 W ROOSEVELT RD**

<b>Map ID #9</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110018274990</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110018274990</b>
GOLDEN DRUG STORE		Rel. Loc.: 0.01 miles NW
6601 W ROOSEVELT RD, BERWYN, IL 60402		Elevation: 621.63 feet (+621.63)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://ofmpub.epa.gov/enviro/fii_query_detail_disp_program_facility?p_registry_id=110018274990">http://ofmpub.epa.gov/enviro/fii_query_detail_disp_program_facility?p_registry_id=110018274990</a>	





## MapID 9: PST - 6601 W Roosevelt Rd

<b>Map ID #9</b>	<b>PST - State/Tribal Storage Tank</b>	<b>Source: IL OSFM</b>
<b>Facility ID: 2031317</b>	<b>Owner ID: U0020612</b>	<b>Banks ID: banks_011213</b>
Golden Flexall Drugs		Rel. Loc.: 0.02 miles W
6601 W Roosevelt Rd, Berwyn, IL 60402		Elevation: 621.78 feet (+621.78)
<b>Facility Owner Name:</b>	Golden Ben F	
<b>Facility Owner Address:</b>	100 E Bellevue Pl	
<b>Facility Owner City:</b>	Chicago	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60611	
<b>Facility Status:</b>	Exempt	
<b>Facility Type:</b>	Commercial / Retail	
<b>Tank #:</b>	#1	
<b>Status:</b>	Exempt from registration	
<b>Capacity:</b>	1000	
<b>Install Date:</b>		
<b>Last Used Date:</b>	3/15/1960	
<b>Removed:</b>	1992-11-20	
<b>Tank Contents:</b>	Healing Oil	

**MapID 10: FRS - 6540 W ROOSEVELT RD**

<b>Map ID #10</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110018044622</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110018044622</b>
AMERICAN AUTOMOTIVE		Rel. Loc.: 0.02 miles NE
6540 W ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 622.42 feet (+622.42)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://oimpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018044622">http://oimpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018044622</a>	

**MapID 11: LPST - 6440 West Roosevelt Rd.**

<b>Map ID #11</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 892155</b>	<b>EPA ID: ILD050564772</b>	<b>Banks ID: 892155</b>
Bennett Motor Sales		Rel. Loc.: 0.02 miles E
6440 West Roosevelt Rd., Oak Park, IL 60304		Elevation: 622.94 feet (+622.94)
<b>Site Classification:</b>		
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	10/1/1996	
<b>Leak Substance:</b>	Used Oil	
<b>Leak Discovery Date:</b>	10/27/1989	
<b>Leak Closure Date:</b>	10/31/1996	
<b>Regulated By:</b>	731	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=892155">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=892155</a>	
<b>State Contact Name:</b>	Weiler	
<b>Facility Contact Name:</b>	RANDY GREENE	
<b>Facility Contact Phone:</b>	7083864100	
<b>Owner Contact Name:</b>	Kenn Bennett	
<b>Owner Contact Phone:</b>		





## MapID 11: LPST - 6440 West Roosevelt Road

<b>Map ID #11</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20050334</b>	<b>EPA ID: ILD050564772</b>	<b>Banks ID: 20050334</b>

GLKW Properties	Rel. Loc.: 0.02 miles E
6440 West Roosevelt Road, Oak Park, IL 60304	Elevation: 622.94 feet (+622.94)

<b>Site Classification:</b>	
<b>Status:</b>	Miscellaneous Report received
<b>Status Date:</b>	7/1/2005
<b>Leak Substance:</b>	Other Petroleum
<b>Leak Discovery Date:</b>	3/9/2005
<b>Leak Closure Date:</b>	7/21/2005
<b>Regulated By:</b>	P.A.
<b>NFR Letter Recorded:</b>	8/8/2005
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050334">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050334</a>
<b>State Contact Name:</b>	Jones
<b>Facility Contact Name:</b>	RANDY GREENE
<b>Facility Contact Phone:</b>	7083864100
<b>Owner Contact Name:</b>	Jack Lucania
<b>Owner Contact Phone:</b>	6307746736



**MapID 11: PST - 6440 W. Roosevelt Road**

<b>Map ID #11</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2019148</b>	<b>Owner ID: U0032347</b>		<b>Banks ID: banks_028172</b>
Speedy Car Wash			Rel. Loc.: 0.02 miles E
6440 W. Roosevelt Road, Oak Park, IL 60304			Elevation: 622.94 feet (+622.94)
<b>Facility Owner Name:</b>	GLKW Properties, LLC		
<b>Facility Owner Address:</b>			
<b>Facility Owner City:</b>			
<b>Facility Owner State:</b>			
<b>Facility Owner Zip:</b>			
<b>Facility Status:</b>	Exempt		
<b>Facility Type:</b>	None		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	
<b>Status:</b>	Removed	Exempt from registration	
<b>Capacity:</b>	500	2000	
<b>Install Date:</b>			
<b>Last Used Date:</b>		12/31/1973	
<b>Removed:</b>	1989-10-27	2005-03-09	
<b>Tank Contents:</b>	Used Oil	Heating Oil	

## MapID 11: RCRA GEN - 6440 W ROOSEVELT RD

<b>Map ID #11</b>	<b>RCRA GEN - RCRA Generators</b>	<b>Source: EPA</b>
<b>EPA Handler ID: ILD050564772</b>	<b>Handler Sequence Number: 1</b>	<b>Banks ID: ILD050564772</b>
OAK PARK ISUZU SUZUKI		Rel. Loc.: 0.02 miles E
6440 W ROOSEVELT RD, OAK PARK, IL 60302		Elevation: 622.94 feet (+622.94)
<b>Status:</b>	Active Site - Handler Activities;	
<b>Owner Name:</b>	OAK PARK ISUZU SUZUKI INC	
<b>Operator Name:</b>	NAME NOT REPORTED	
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	6440 W ROOSEVELT RD	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	OAK PARK	
<b>Mailing Address State:</b>	IL	
<b>Mailing Address Zip:</b>	60302	
<b>Contact Name:</b>	RANDY GREENE	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>	6440 W ROOSEVELT RD	
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>	OAK PARK	
<b>Contact Address State:</b>	IL	
<b>Contact Address Zip:</b>	60302	
<b>Contact Phone:</b>	7083864100	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Conditionally Exempt Small Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>		
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Conditionally Exempt Small Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
IGNITABLE WASTE		



**MapID 11: ST SL - 6440 WEST ROOSEVELT**

<b>Map ID #11</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2005 0334</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2005 0334</b>
H 2005 0334		Rel. Loc.: 0.02 miles E
6440 WEST ROOSEVELT, OAK PARK, IL		Elevation: 622.94 feet (+622.94)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	HEATING OIL	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	C/O APPLIED GEOSCIENCE, 922 WEST MADISON, CHICAGO IL, 60607	
<b>Container Size:</b>	2000 GALLONS	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	UNKNOWN	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	UNKNOWN	
<b>Date Discovered:</b>	03/09/2005 @ 10:00	
<b>Date Entered:</b>	Unknown @	
<b>Date Incident Occurred:</b>	Unknown @	
<b>Incident Report Date:</b>	3/9/2005 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://lter2.iema.state.il.us/FOIA/HazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0334">http://lter2.iema.state.il.us/FOIA/HazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0334</a>	

**MapID 11: ST SL - 6440 West Roosevelt**

<b>Map ID #11</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: 892155</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 892155</b>
892155		Rel. Loc.: 0.02 miles E
6440 West Roosevelt, OAK PARK, IL		Elevation: 622.94 feet (+622.94)
<b>Type:</b>	UNKNOWN	
<b>Materials involved:</b>	WASTE OIL	
<b>Amount Released:</b>	UNK	
<b>Area Involved:</b>		
<b>Cause of Release:</b>	CORROSION	
<b>Container Size:</b>	UNDERGROUND TANK	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>		
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	UNK	
<b>Date Discovered:</b>	10/27/1989	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	10/27/1989 13:50	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=892155">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=892155</a>	

**MapID 11: FRS - 6440 W ROOSEVELT RD**

<b>Map ID #11</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110005830459</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110005830459</b>
GLKW PROPERTIES		Ref. Loc.: 0.02 miles E
6440 W ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 622.94 feet (+622.94)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>	CESQG	
<b>NAICS:</b>		
<b>Program System:</b>	RCRAINFO	
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://ofmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110005830459">http://ofmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110005830459</a>	





# MapID 12: RCRA GEN - 6412 ROOSEVELT RD

<b>Map ID #12</b>	<b>RCRA GEN - RCRA Generators</b>	<b>Source: EPA</b>
<b>EPA Handler ID: ILR000112243</b>	<b>Handler Sequence Number: 1</b>	<b>Banks ID: ILR000112243</b>
WALGREENS #5235		Ref. Loc.: 0.03 miles NE
6412 ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 622.18 feet (+622.18)
<b>Status:</b>	Active Site - Handler Activities:	
<b>Owner Name:</b>	DKM REAL ESTATE	
<b>Operator Name:</b>		
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	6412 ROOSEVELT RD	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	OAK PARK	
<b>Mailing Address State:</b>	IL	
<b>Mailing Address Zip:</b>	60304	
<b>Contact Name:</b>	DAN RANACHOWSKI	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>	6412 ROOSEVELT RD	
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>	OAK PARK	
<b>Contact Address State:</b>	IL	
<b>Contact Address Zip:</b>	60304	
<b>Contact Phone:</b>	7083869304	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Conditionally Exempt Small Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>		
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Conditionally Exempt Small Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
DESCRIPTION		
SILVER		

**MapID 12: FRS - 6412 ROOSEVELT RD**

<b>Map ID #12</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110012280691</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110012280691</b>
WALGREENS #5235		Rel. Loc.: 0.03 miles NE
6412 ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 622.18 feet (+622.18)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>	CESQG	
<b>NAICS:</b>		
<b>Program System:</b>	RCRAINFO	
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://otmpub.epa.gov/enviro/tli_query_detail_disp_program_facility?p_registry_id=110012280691">http://otmpub.epa.gov/enviro/tli_query_detail_disp_program_facility?p_registry_id=110012280691</a>	



## MapID 13: LPST - 6405 West Roosevelt Road

<b>Map ID #13</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20051291</b>	<b>EPA ID: IL0000338012</b>	<b>Banks ID: 20051291</b>
Shell Oil Products US 6405 West Roosevelt Road, Berwyn, IL 60402		Rel. Loc.: 0.04 miles E Elevation: 620.77 feet (+620.77)
<b>Site Classification:</b>		
<b>Status:</b>	Miscellaneous Correspondence received	
<b>Status Date:</b>	4/7/2009	
<b>Leak Substance:</b>	Unleaded	
<b>Leak Discovery Date:</b>	9/13/2005	
<b>Leak Closure Date:</b>	12/9/2008	
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>	2/25/2009	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20051291">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20051291</a>	
<b>State Contact Name:</b>	Benanti	
<b>Facility Contact Name:</b>	JAMES SEWELL	
<b>Facility Contact Phone:</b>	6305725559	
<b>Owner Contact Name:</b>	John Robbins	
<b>Owner Contact Phone:</b>	6302764206	





**MapID 13: PST - 6405 West Roosevelt Rd.**

<b>Map ID #13</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2006990</b>	<b>Owner ID: U0035671</b>		<b>Banks ID: banks_004104</b>
Circle K #6759			Rel. Loc.: 0.04 miles E
6405 West Roosevelt Rd., Berwyn, IL 60402			Elevation: 620.77 feet (+620.77)
<b>Facility Owner Name:</b>	RDK Ventures, LLC		
<b>Facility Owner Address:</b>	P.O. Box 347		
<b>Facility Owner City:</b>	Columbus		
<b>Facility Owner State:</b>	IN		
<b>Facility Owner Zip:</b>	47201		
<b>Facility Status:</b>	Active		
<b>Facility Type:</b>	Self-Service Station		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	<b>#3</b>
<b>Status:</b>	Removed	Removed	Removed
<b>Capacity:</b>	10000	10000	8000
<b>Install Date:</b>	1/1/1971	1/1/1971	1/1/1971
<b>Last Used Date:</b>	6/15/1994	6/15/1994	6/15/1994
<b>Removed:</b>	1994-06-17	1994-06-17	1994-06-17
<b>Tank Contents:</b>	Gasoline	Gasoline	Gasoline
<b>Tank #:</b>	<b>#4</b>	<b>#5</b>	<b>#6</b>
<b>Status:</b>	Removed	Currently in use	Currently in use
<b>Capacity:</b>	1000	10000	10000
<b>Install Date:</b>	1/1/1985	6/16/1994	6/16/1994
<b>Last Used Date:</b>	8/5/1996		
<b>Removed:</b>	1996-08-12		
<b>Tank Contents:</b>	Used Oil	Gasoline	Gasoline
<b>Tank #:</b>	<b>#7</b>	<b>#8</b>	<b>#9</b>
<b>Status:</b>	Currently in use	Exempt from registration	Exempt from registration
<b>Capacity:</b>	10000	1000	550
<b>Install Date:</b>	6/17/1994	1/1/1971	
<b>Last Used Date:</b>			
<b>Removed:</b>		1985-01-01	1985-01-01
<b>Tank Contents:</b>	Gasoline	Used Oil	Unknown

## MapID 13: RCRA GEN - 6401 W ROOSEVELT

<b>Map ID #13</b>	<b>RCRA GEN - RCRA Generators</b>	<b>Source: EPA</b>
<b>EPA Handler ID: ILD984848861</b>	<b>Handler Sequence Number: 1</b>	<b>Banks ID: ILD984848861</b>
FAMILY SHELL		Ref. Loc.: 0.04 miles E
6401 W ROOSEVELT, BERWYN, IL 60402		Elevation: 620.77 feet (+620.77)
<b>Status:</b>	Active Site - Handler Activities;	
<b>Owner Name:</b>	FAMILY SHELL	
<b>Operator Name:</b>		
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	6401 W ROOSEVELT	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	BERWYN	
<b>Mailing Address State:</b>	IL	
<b>Mailing Address Zip:</b>	60402	
<b>Contact Name:</b>	DENNIS HOLUBETZ	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>	6401 W ROOSEVELT	
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>	BERWYN	
<b>Contact Address State:</b>	IL	
<b>Contact Address Zip:</b>	60402	
<b>Contact Phone:</b>	7084641220	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Small Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>		
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Small Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
IGNITABLE WASTE		
LEAD		



## MapID 13: ST SL - 6405 ROOSEVELT RD

<b>Map ID #13</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2005 1291</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2005 1291</b>
H 2005 1291		Rel. Loc.: 0.04 miles E
6405 ROOSEVELT RD, BERWYN, IL		Elevation: 620.77 feet (+620.77)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	UNLEADED GASOLINE	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	603 DIEHL RD. NAPERVILLE, IL 60563	
<b>Container Size:</b>	3- 8,555 GALLONS	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	UNKNOWN	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	09/12/2005 @ 14:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	9/12/2005 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>	UNKNOWN	
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>	NO	
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOI/HazmatSearch/HazmatDetails.aspx?RptNum=H 2005 1291">http://tier2.iema.state.il.us/FOI/HazmatSearch/HazmatDetails.aspx?RptNum=H 2005 1291</a>	





**MapID 13: FRS - 6401 W ROOSEVELT**

<b>Map ID #13</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110005904165</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110005904165</b>
FAMILY SHELL		Ref. Loc.: 0.04 miles E
6401 W ROOSEVELT, BERWYN, IL 60402		Elevation: 620.77 feet (+620.77)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>	SQG	
<b>NAICS:</b>		
<b>Program System:</b>	RCRAINFO	
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://efmpub.epa.gov/enviro/tli_query_detail_disp_program_facility?p_registry_id=110005904165">http://efmpub.epa.gov/enviro/tli_query_detail_disp_program_facility?p_registry_id=110005904165</a>	



**MapID 13: FRS - 6401 W ROOSEVELT RD**

<b>Map ID #13</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110018368764</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110018368764</b>
SHELL OIL CO, FAMILY		Ref. Loc.: 0.04 miles E
6401 W ROOSEVELT RD, BERWYN, IL 60402		Elevation: 820.77 feet (+620.77)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://ofmpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018368764">http://ofmpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018368764</a>	



**MapID 13: FRS - 6405 W ROOSEVELT RD B**

<b>Map ID #13</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110005801338</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110005801338</b>
SHELL OIL CO		Rel. Loc.: 0.04 miles E
6405 W ROOSEVELT RD B, BERWYN, IL 60402		Elevation: 620.77 feet (+620.77)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://cfmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110005801338">http://cfmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110005801338</a>	



**MapID 14: ST SL - 1167 SOUTH GUNDERSON AVENUE**

<b>Map ID #14</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2000 2227</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2000 2227</b>
H 2000 2227		Rel. Loc.: 0.05 miles N
1167 SOUTH GUNDERSON AVENUE, OAK PARK, IL		Elevation: 624.03 feet (+624.03)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	SUSPECT MINERAL OIL	
<b>Amount Released:</b>	EST 5 GALS.	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>		
<b>Container Size:</b>	EST. 20 GALLONS	
<b>Container Type:</b>	OTHER:TRANSFORMER/POLE MOUNTED	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	20	
<b>Spill Extent Units:</b>	SQUARE FEET	
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	07/2000 @ Unknown	
<b>Date Entered:</b>	07/2000 @ Unknown	
<b>Date Incident Occurred:</b>	07/2000 @ Unknown	
<b>Incident Report Date:</b>	10/20/2000 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>	NO	
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>	NO	
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2000 2227">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2000 2227</a>	

**MapID 14: FRS - 1167 S GONDERSON AVE**



<b>Map ID #14</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110011400386</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110011400386</b>
COM ED-SCHNIEDER RESIDENCE		Ref. Loc.: 0.05 miles N
1167 S GONDERSON AVE, OAK PARK, IL 60304		Elevation: 624.03 feet (+624.03)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://olmpub.epa.gov/enviro/ri_query_detail_disp_program_facility?p_registry_id=110011400386">http://olmpub.epa.gov/enviro/ri_query_detail_disp_program_facility?p_registry_id=110011400386</a>	

**MapID 15: LPST - 6400 West Roosevelt Rd.**

<b>Map ID #15</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 992185</b>	<b>EPA ID: NA</b>	<b>Banks ID: 992185</b>
6412 Roosevelt Rd. Partnership 6400 West Roosevelt Rd., Oak Park, IL 60304		Rel. Loc.: 0.05 miles NE Elevation: 621.77 feet (+621.77)
<b>Site Classification:</b>	HIGH	
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	6/11/2001	
<b>Leak Substance:</b>	Used Oil; Other Petroleum	
<b>Leak Discovery Date:</b>	9/22/1999	
<b>Leak Closure Date:</b>	3/21/2008	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	4/8/2008	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=992185">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=992185</a>	
<b>State Contact Name:</b>	Ransdell	
<b>Facility Contact Name:</b>	PAUL SUGAR	
<b>Facility Contact Phone:</b>	3128220125	
<b>Owner Contact Name:</b>	Paul Sugar	
<b>Owner Contact Phone:</b>	3128220125	



**MapID 15: LPST - 6400 West Roosevelt Rd.**

<b>Map ID #15</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20010891</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20010891</b>
6412 Roosevelt Road Partnership 6400 West Roosevelt Rd., Oak Park, IL 60304		Rel. Loc.: 0.05 miles NE Elevation: 621.77 feet (+621.77)
<b>Site Classification:</b>	HIGH	
<b>Status:</b>	Approved Plan Letter sent	
<b>Status Date:</b>	2/24/2003	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	5/24/2001	
<b>Leak Closure Date:</b>	3/21/2008	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	4/8/2008	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20010891">http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20010891</a>	
<b>State Contact Name:</b>	Ransdell	
<b>Facility Contact Name:</b>	PAUL SUGAR	
<b>Facility Contact Phone:</b>	3128220125	
<b>Owner Contact Name:</b>	Paul Sugar	
<b>Owner Contact Phone:</b>	3128220125	

**MapID 15: LPST - 6400 West Roosevelt Rd.**

<b>Map ID #15</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20000547</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20000547</b>
6412 Roosevelt Road Partnership, LLC		Rel. Loc.: 0.05 miles NE
6400 West Roosevelt Rd., Oak Park, IL 60304		Elevation: 621.77 feet (+621.77)
<b>Site Classification:</b>	HIGH	
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	6/11/2001	
<b>Leak Substance:</b>	Fuel Oil	
<b>Leak Discovery Date:</b>	3/28/2000	
<b>Leak Closure Date:</b>	3/21/2008	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	4/8/2008	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/hand/ust/LIT-Display.asp?INCIDENT=20000547">http://epadata.epa.state.il.us/hand/ust/LIT-Display.asp?INCIDENT=20000547</a>	
<b>State Contact Name:</b>	Ransdell	
<b>Facility Contact Name:</b>	PAUL SUGAR	
<b>Facility Contact Phone:</b>	3128220125	
<b>Owner Contact Name:</b>	Paul Sugar	
<b>Owner Contact Phone:</b>	3128220125	



## MapID 15: PST - 6400 W. Roosevelt Rd

Map ID #15 PST - State/Tribal Storage Tank Source: IL OSFM  
 Facility ID: 2023623 Owner ID: U0028830 Banks ID: banks\_010276

Balian Auto Sales, Inc. Rel. Loc.: 0.05 miles NE  
 6400 W. Roosevelt Rd, Oak Park, IL 60304 Elevation: 621.77 feet (+621.77)

Facility Owner Name:	6412 Roosevelt Road Partnership		
Facility Owner Address:	c/o Paul Sugar 1 East Wacker Drive, Suite 3520		
Facility Owner City:	Chicago		
Facility Owner State:	IL		
Facility Owner Zip:	60601		
Facility Status:	Closed		
Facility Type:	Auto Dealer		
Tank #:	#1	#2	#3
Status:	Removed	Removed	Removed
Capacity:	4000	8000	8000
Install Date:	1/1/1955	1/1/1955	1/1/1955
Last Used Date:	7/1/1987	7/1/1987	7/1/1987
Removed:	1989-05-19	1989-05-19	1989-05-19
Tank Contents:	Gasoline	Gasoline	Gasoline
Tank #:	#4	#5	#6
Status:	Removed	Removed	Removed
Capacity:	1000	550	550
Install Date:	1/1/1962	1/1/1962	1/1/1962
Last Used Date:	1/1/1997	1/1/1997	
Removed:	1999-09-22	1999-09-22	2000-03-28
Tank Contents:	Heating Oil	Used Oil	Motor Oil
Tank #:	#7		
Status:	Exempt from registration		
Capacity:	1000		
Install Date:			
Last Used Date:	12/30/1973		
Removed:	2001-05-23		
Tank Contents:	Gasoline		



**MapID 15: ST SL - 6400 W. ROOSEVELT RD.**

<b>Map ID #15</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: 20000547</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 20000547</b>
20000547		Rel. Loc.: 0.05 miles NE
6400 W. ROOSEVELT RD., OAK PARK, IL		Elevation: 621.77 feet (+621.77)
<b>Type:</b>	UNKNOWN	
<b>Materials Involved:</b>	MOTOR OIL	
<b>Amount Released:</b>	UNK	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	CORROSION	
<b>Container Size:</b>	UNDERGROUND TANK	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>		
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	03/29/2000 1:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	3/28/2000 19:53	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIA/hazmatSearch/hazmatDetails.aspx?RptNum=20000547">http://tier2.iema.state.il.us/FOIA/hazmatSearch/hazmatDetails.aspx?RptNum=20000547</a>	



## MapID 15: ST SL - 6400 W. ROOSEVELT ROAD

<b>Map ID #15</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2001 0891</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2001 0891</b>
H 2001 0891		Ref. Loc.: 0.05 miles NE
6400 W. ROOSEVELT ROAD, OAK PARK, IL		Elevation: 621.77 feet (+621.77)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	HEATING OIL	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	1 E. WACKER DR, SUITE 3520, CHICAGO, IL. 60601	
<b>Container Size:</b>	1,000 GALS	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	N/A	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	N/A	
<b>Date Discovered:</b>	05/23/2001 @ 16:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	5/23/2001 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2001 0891">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2001 0891</a>	

**MapID 15: ST SL - 6400 WEST ROOSEVELT RD.**

<b>Map ID #15</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: 992185</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 992185</b>
992185		Rel. Loc.: 0.05 miles NE
6400 WEST ROOSEVELT RD., OAK PARK, IL		Elevation: 621.77 feet (+621.77)
<b>Type:</b>	UNKNOWN	
<b>Materials Involved:</b>	HEATING OIL/WASTE OIL	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	CORROSION	
<b>Container Size:</b>	UNDERGROUND TANK	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>		
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	09/22/99 11:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	9/22/1999 18:38	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://ber2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=992185">http://ber2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=992185</a>	





## MapID 16: LPST - 6347 West Roosevelt Road

<b>Map ID #16</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20050173</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20050173</b>
Go-Tare Service Station 6347 West Roosevelt Road, Berwyn, IL 60402		Rel. Loc.: 0.08 miles E Elevation: 620.77 feet (+620.77)
<b>Site Classification:</b>		
<b>Status:</b>	Investigation Report received	
<b>Status Date:</b>	5/17/2011	
<b>Leak Substance:</b>	Gasoline	
<b>Leak Discovery Date:</b>	2/2/2005	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050173">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050173</a>	
<b>State Contact Name:</b>	Kaiser	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Donald Lorenzini	
<b>Owner Contact Phone:</b>	7087743187	

**MapID 16: PST - 6347 W. Roosevelt Rd.**

<b>Map ID #16</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2025492</b>	<b>Owner ID: U0038240</b>		<b>Banks ID: banks_010694</b>
Kapil Singh, LLC d/b/a Berwyn Fuel Stop 6347 W. Roosevelt Rd., Berwyn, IL 60402			Rel. Loc.: 0.08 miles E Elevation: 620.77 feet (+620.77)
<b>Facility Owner Name:</b>	Kapil Singh, LLC		
<b>Facility Owner Address:</b>	6347 W. Roosevelt Rd.		
<b>Facility Owner City:</b>	Berwyn		
<b>Facility Owner State:</b>	IL		
<b>Facility Owner Zip:</b>	60402		
<b>Facility Status:</b>	Inactive		
<b>Facility Type:</b>	Self-Service Station		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	<b>#3</b>
<b>Status:</b>	Out of service	Out of service	Out of service
<b>Capacity:</b>	10000	10000	4000
<b>Install Date:</b>	1/1/1982	1/1/1982	1/1/1982
<b>Last Used Date:</b>	12/4/2015	12/4/2015	12/4/2015
<b>Removed:</b>			
<b>Tank Contents:</b>	Gasoline	Gasoline	Gasoline

**MapID 16: ST SL - 6347 WEST ROOSEVELT RD.**

<b>Map ID #16</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2005 0173</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2005 0173</b>
H 2005 0173		Rel. Loc.: 0.08 miles E
6347 WEST ROOSEVELT RD., BERWYN, IL		Elevation: 620.77 feet (+620.77)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	GASOLINE	
<b>Amount Released:</b>	UNKNOWN	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	501 WEST NORTH AVE. MELROSE PARK, IL 60160	
<b>Container Size:</b>	UNKNOWN	
<b>Container Type:</b>	UNKNOWN	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	UNKNOWN	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>		
<b>Date Discovered:</b>	01/07/2005 @ 13:00	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	1/7/2005 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>	NO	
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>	NO	
<b>Hyperlink:</b>	<a href="http://ler2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0173">http://ler2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0173</a>	





**MapID 17: PST - 6638 Roosevelt**

<b>Map ID #17</b>	<b>PST - State/Tribal Storage Tank</b>		<b>Source: IL OSFM</b>
<b>Facility ID: 2020201</b>	<b>Owner ID: U0028424</b>		<b>Banks ID: banks_009288</b>
Euwana Movers Inc		Rel. Loc.: 0.11 miles W	
6638 Roosevelt, Oak Park, IL 60304		Elevation: 621.78 feet (+621.78)	
<b>Facility Owner Name:</b>	Leroy Prins		
<b>Facility Owner Address:</b>	6638 Roosevelt		
<b>Facility Owner City:</b>	Oak Park		
<b>Facility Owner State:</b>	IL		
<b>Facility Owner Zip:</b>	60304		
<b>Facility Status:</b>	Closed		
<b>Facility Type:</b>	None		
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>	
<b>Status:</b>	Removed	Exempt from registration	
<b>Capacity:</b>	550	1000	
<b>Install Date:</b>			
<b>Last Used Date:</b>	5/1/1987	1/1/1973	
<b>Removed:</b>	2011-05-24	2011-05-24	
<b>Tank Contents:</b>	Gasoline	Heating Oil	

# MapID 18: PST - 6644 West Roosevelt



**Map ID #18** **PST - State/Tribal Storage Tank** **Source: IL OSFM**

**Facility ID: 2023579** **Owner ID: U0008696** **Banks ID: banks\_030717**

Oil Express Rel. Loc.: 0.12 miles W  
 6644 West Roosevelt, Oak Park, IL 60304 Elevation: 621.77 feet (+621.77)

<b>Facility Owner Name:</b>	Kwart Co, Inc.	
<b>Facility Owner Address:</b>	6644 West Roosevelt Road	
<b>Facility Owner City:</b>	Oak Park	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60304	
<b>Facility Status:</b>	Active	
<b>Facility Type:</b>	Commercial / Retail	
<b>Tank #:</b>	<b>#1</b>	<b>#2</b>
<b>Status:</b>	Currently in use	Currently in use
<b>Capacity:</b>	4000	5000
<b>Install Date:</b>		
<b>Last Used Date:</b>		
<b>Removed:</b>		
<b>Tank Contents:</b>	New Oil	Used Oil

**MapID 18: FRS - 6644 W ROOSEVELT RD**

<b>Map ID #18</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110018042651</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110018042651</b>
OIL EXPRESS		Rel. Loc.: 0.12 miles W
6644 W ROOSEVELT RD, OAK PARK, IL 60303		Elevation: 621.77 feet (+621.77)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>		
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://cfmpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018042651">http://cfmpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110018042651</a>	



**MapID 19: RCRA GEN - 6326 W ROOSEVELT RD**

<b>Map ID #19</b>	<b>RCRA GEN - RCRA Generators</b>	<b>Source: EPA</b>
<b>EPA Handler ID: ILD981191182</b>	<b>Handler Sequence Number: 1</b>	<b>Banks ID: ILD981191182</b>
JACOBSON AND SONS AUTO		Ref. Loc.: 0.12 miles E
6326 W ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 621.77 feet (+621.77)
<b>Status:</b>	Active Site - Handler Activities;	
<b>Owner Name:</b>	JACOBSON ROY	
<b>Operator Name:</b>	NAME NOT REPORTED	
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	6326 W ROOSEVELT RD	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	OAK PARK	
<b>Mailing Address State:</b>	IL	
<b>Mailing Address Zip:</b>	60304	
<b>Contact Name:</b>	ROY JACOBSON	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>	6326 W ROOSEVELT RD	
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>	OAK PARK	
<b>Contact Address State:</b>	IL	
<b>Contact Address Zip:</b>	60304	
<b>Contact Phone:</b>	3128483500	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Conditionally Exempt Small Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>		
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Conditionally Exempt Small Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
<b>IGNITABLE WASTE</b>		
THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.		
THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.		

**MapID 19: FRS - 6326 W ROOSEVELT RD**

<b>Map ID #19</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110005855217</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110005855217</b>
ROY JACOBSON & SONS AUTO		Ref. Loc.: 0.12 miles E
6326 W ROOSEVELT RD, OAK PARK, IL 60304-2313		Elevation: 621.77 feet (+621.77)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>	CESQG	
<b>NAICS:</b>		
<b>Program System:</b>	RCRAINFO	
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://cfmpub.epa.gov/enviro/fri_query_data/disp_program_facility?p_registry_id=110005855217">http://cfmpub.epa.gov/enviro/fri_query_data/disp_program_facility?p_registry_id=110005855217</a>	



**MapID 20: LPST - 6321 West Roosevelt Road**

<b>Map ID #20</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20110657</b>	<b>EPA ID: ILD039011101</b>	<b>Banks ID: 20110657</b>
Camargo's Auto & Tire Repair 6321 West Roosevelt Road, Berwyn, IL 60402		Rel. Loc.: 0.14 miles E Elevation: 620.43 feet (+620.43)
<b>Site Classification:</b>		
<b>Status:</b>	Notice of Release Letter sent	
<b>Status Date:</b>	6/29/2011	
<b>Leak Substance:</b>	Used Oil	
<b>Leak Discovery Date:</b>	6/21/2011	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20110657">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20110657</a>	
<b>State Contact Name:</b>		
<b>Facility Contact Name:</b>	ROBERT P HULE	
<b>Facility Contact Phone:</b>	7084840110	
<b>Owner Contact Name:</b>	Hector Figueroa	
<b>Owner Contact Phone:</b>	7084840110	



**MapID 20: PST - 6321 W. Roosevelt Rd.**

<b>Map ID #20</b>	<b>PST - State/Tribal Storage Tank</b>	<b>Source: IL OSFM</b>
<b>Facility ID: 2026937</b>	<b>Owner ID: U0036143</b>	<b>Banks ID: banks_005618</b>
Camargos Auto Repair		Rel. Loc.: 0.14 miles E
6321 W. Roosevelt Rd., Berwyn, IL 60402		Elevation: 620.43 feet (+620.43)
<b>Facility Owner Name:</b>	Camargos Auto Repair	
<b>Facility Owner Address:</b>	6321 W. Roosevelt Rd.	
<b>Facility Owner City:</b>	Berwyn	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60402	
<b>Facility Status:</b>	Closed	
<b>Facility Type:</b>	None	
<b>Tank #:</b>	#1	
<b>Status:</b>	Removed	
<b>Capacity:</b>	285	
<b>Install Date:</b>		
<b>Last Used Date:</b>	10/1/1990	
<b>Removed:</b>	2011-06-21	
<b>Tank Contents:</b>	Used Oil	

## MapID 20: RCRA GEN - 6321 W ROOSEVELT RD

Map ID #20	RCRA GEN - RCRA Generators	Source: EPA
EPA Handler ID: ILD039011101	Handler Sequence Number: 1	Banks ID: ILD039011101
ROOSEVELT WRECK ROOM		Rel. Loc.: 0.14 miles E
6321 W ROOSEVELT RD, BERWYN, IL 60402		Elevation: 620.43 feet (+620.43)
<b>Status:</b>	Active Site - Handler Activities;	
<b>Owner Name:</b>	TODD JASON A AND LIMANDRI SAM	
<b>Operator Name:</b>	NAME NOT REPORTED	
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	6321 W ROOSEVELT RD	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	BERWYN	
<b>Mailing Address State:</b>	IL	
<b>Mailing Address Zip:</b>	60402	
<b>Contact Name:</b>	TODD JASON	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>	6321 W ROOSEVELT RD	
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>	BERWYN	
<b>Contact Address State:</b>	IL	
<b>Contact Address Zip:</b>	60402	
<b>Contact Phone:</b>	7084840110	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Conditionally Exempt Small Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>		
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Conditionally Exempt Small Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
DESCRIPTION		
IGNITABLE WASTE		
THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.		
THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.		



## MapID 20: ST SL - 6321 West Roosevelt Rd

<b>Map ID #20</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H-2011-0657</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H-2011-0657</b>
H-2011-0657		Rel. Loc.: 0.14 miles E
6321 West Roosevelt Rd, Berwyn, IL		Elevation: 620.43 feet (+620.43)
<b>Type:</b>	Liquid	
<b>Materials Involved:</b>	Waste Oil	
<b>Amount Released:</b>	Unknown	
<b>Area Involved:</b>	Fixed Facility	
<b>Cause of Release:</b>	Historical Release	
<b>Container Size:</b>	250 Gallons	
<b>Container Type:</b>	Under ground storage tank	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	100	
<b>Spill Extent Units:</b>	Square feet	
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	Unknown	
<b>Date Discovered:</b>	6/21/2011 12:04	
<b>Date Entered:</b>		
<b>Date Incident Occurred:</b>		
<b>Incident Report Date:</b>	6/21/2011 13:12	
<b>Leaking Underground Storage Tank LUST:</b>	Yes	
<b>Extremely Hazardous Substance 302a:</b>	Unknown	
<b>Hazmat Incident Type:</b>	Leak or spill	
<b>RCRA Hazardous Waste:</b>	Unknown	
<b>RCRA Regulated Facility:</b>	Unknown	
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIA/HazmatSearch/HazmatDetails.aspx?RptNum=H-2011-0657">http://tier2.iema.state.il.us/FOIA/HazmatSearch/HazmatDetails.aspx?RptNum=H-2011-0657</a>	





**MapID 20: FRS - 6321 W ROOSEVELT RD**

**Map ID #20** **FRS - Facility Registry Service** **Source: EPA**

**EPA Registry ID: 110005826623** **Secondary ID: NA** **Banks ID: 110005826623**

ROOSEVELT WRECK ROOM Rel. Loc.: 0.14 miles E  
 6321 W ROOSEVELT RD, BERWYN, IL 60402-1164 Elevation: 620.43 feet (+620.43)

<b>Federal Agency Name:</b>	
<b>Site Type:</b>	STATIONARY
<b>Interest Types:</b>	CESQG
<b>NAICS:</b>	
<b>Program System:</b>	RCRAINFO
<b>Standard Industrial Classification:</b>	
<b>Tribal Land Name:</b>	
<b>Hyperlink:</b>	<a href="http://ofmpub.epa.gov/enviro/flt_query_detail_disp_program_facility?p_registry_id=110005826623">http://ofmpub.epa.gov/enviro/flt_query_detail_disp_program_facility?p_registry_id=110005826623</a>

## MapID 21: RCRA GEN - 6748 W ROOSEVELT RD



<b>Map ID #21</b>	<b>RCRA GEN - RCRA Generators</b>	<b>Source: EPA</b>
<b>EPA Handler ID: ILR000173062</b>	<b>Handler Sequence Number: 2</b>	<b>Banks ID: ILR000173062</b>
CVS PHARMACY 2944		Rel. Loc.: 0.22 miles W
6748 W ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 620.12 feet (+620.12)
<b>Status:</b>	Active Site - Handler Activities;	
<b>Owner Name:</b>	CVS	
<b>Operator Name:</b>	CVS	
<b>Mailing Address Street #:</b>		
<b>Mailing Address Street:</b>	1 CVS DRIVE	
<b>Mailing Address Street:</b>		
<b>Mailing Address City:</b>	WOONSOCKET	
<b>Mailing Address State:</b>	RI	
<b>Mailing Address Zip:</b>	02895	
<b>Contact Name:</b>	WENDY BRANT	
<b>Contact Address Street #:</b>		
<b>Contact Address Street:</b>		
<b>Contact Address Street:</b>		
<b>Contact Address City:</b>		
<b>Contact Address State:</b>		
<b>Contact Address Zip:</b>		
<b>Contact Phone:</b>	4017651500	
<b>Contact Email Address:</b>		
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.	
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No	
<b>Permit Workload:</b>		
<b>Closure Workload:</b>		
<b>Post-Closure Workload:</b>		
<b>Subject to Corrective Action:</b>	No	
<b>Subject to Corrective Action 3004:</b>	No	
<b>Subject to Corrective Action Non-TSDF:</b>	No	
<b>Corrective Action Workload:</b>	No	
<b>Generator Status:</b>	Large Quantity Generator	
<b>Nuclear Mixed Waste Handler:</b>	No	
<b>Onsite Burner Exemption:</b>	No	
<b>Furnace Exemption:</b>	No	
<b>Underground Injection Activity:</b>	No	
<b>NAIC Description 1:</b>	Pharmacies and Drug Stores	
<b>NAIC Description 2:</b>		
<b>NAIC Description 3:</b>		
<b>NAIC Description 4:</b>		
<b>Federal Generator Class:</b>	Large Quantity Generator	
<b>State Generator Class:</b>		
<b>Environmental Controls in Place:</b>	No	
<b>Institutional Controls in Place:</b>	No	
<b>Groundwater Controls in Place:</b>	No	
<b>Significant Non-Compliance:</b>	No	
<b>Unaddressed Significant Non-Complier:</b>	No	
<b>Addressed Significant Non-Complier:</b>	No	
<b>Significant Non-Complier with Compliance Schedule:</b>	No	
<b>Hazardous Waste Description</b>		
1,2,3-PROPANETRIOL, TRINITRATE (R) (OR) NITROGLYCERINE (R)		
1,2-BENZENEDIOL, 4-[1-HYDROXY-2-(METHYLAMINO)ETHYL]-, (R)- (OR) EPINEPHRINE		
1,3-BENZENEDIOL (OR) RESORCINOL		
1,4-DICHLOROBENZENE		
1-BUTANOL (I) (OR) N-BUTYL ALCOHOL (I)		
2,4-D (2,4-DICHLOROPHENOXYACETIC ACID)		
2-PROPANONE (I) (OR) ACETONE (I)		
2H-1,3,2-OXAZAPHOSPHORIN-2-AMINE, N,N-BIS(2-CHLOROETHYL)TETRAHYDRO-, 2-OXIDE (OR) CYCLOPHOSPHAMIDE		



**MapID 21: RCRA GEN - 6748 W ROOSEVELT RD**

Continued from Previous Page

2-(1-BENZOPYRAN-2-ONE, 4-HYDROXY-3-(3-OXO-1-PHENYLBUTYL)-, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3% (OR) WARFARIN, & SALTS, WHEN PRESENT AT CONCENTRATIONS GREATER THAN 0.3%

5,12-NAPHTHACENEDIONE, 8-ACETYL-10-[(3-AMINO-2,3,6-TRIDEOXY)-ALPHA-L-LYXO-HEXOPYRANOSYL]OXY]-7,8,9,10-TETRAHYDRO-6,8,11-TRIHYDROXY-1-METHOXY-, (8S-CIS)- (OR) DAUNOMYCIN

ACETALDEHYDE, TRICHLORO- (OR) CHLORAL

ARSENIC

ARSENIC OXIDE AS<sub>2</sub>O<sub>3</sub> (OR) ARSENIC TRIOXIDE

AZIRINO [2',3'(3,4)PYRROLO[1,2-A]INDOLE-4,7-DIONE, 6-AMINO-8-[[[AMINOCARBONYL]OXY]METHYL]-1,1A,2,8,9A,9B-HEXAHYDRO-8A-METHOXY-6-METHYL-, [1AS-(1AALPHA, 6BETA, 6AALPHA, 8BAPHA)]- (OR) MITOMYCIN C

BARIUM

BENZENE

BENZENE, 1,2-DICHLORO- (OR) O-DICHLOROBENZENE

BENZENE, 1,4-DICHLORO- (OR) P-DICHLOROBENZENE

BENZENE BUTANOIC ACID, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) CHLORAMBUCIL

BENZOIC ACID, 2-HYDROXY-, COMPD. WITH (3AS-CIS)-1,2,3,3A,8,8A-HEXAHYDRO-1,3A,6-TRIMETHYLPYRROLO[2,3-B]INDOL-5-YL METHYL CARBAMATE ESTER (1:1) (OR) PHYSOSTIGMINE SALICYLATE

CADMIUM

CARBARYL (OR) 1-NAPHTHALENOL, METHYL CARBAMATE

CHLOROFORM (OR) METHANE, TRICHLORO-

CHROMIUM

CORROSIVE WASTE

CYCLOHEXANE, 1,2,3,4,5,6-HEXACHLORO-, (1ALPHA, 2ALPHA, 3BETA, 4ALPHA, 5ALPHA, 6BETA)- (OR) LINDANE

D-GLUCOSE, 2-DEOXY-2-[[[METHYLNITROSOAMINO)-CARBONYL]AMINO]- (OR) GLUCOPYRANOSE, 2-DEOXY-2-(3-METHYL-3-NITROSOUREIDO)-, D- (OR) STREPTOZOTOCIN

DIETHYLSTILBESTEROL (OR) PHENOL, 4,4'-(1,2-DIETHYL-1,2-ETHENEDIYL)BIS, (E)-

ETHENE, TETRACHLORO- (OR) TETRACHLOROETHYLENE

FORMALDEHYDE

HEXACHLOROPHENE (OR) PHENOL, 2,2'-METHYLENEBIS[3,4,6-TRICHLORO-

IGNITABLE WASTE

L-PHENYLALANINE, 4-[BIS(2-CHLOROETHYL)AMINO]- (OR) MELPHALAN

LEAD

M-CRESOL

MERCURY

METHANOL (l) (OR) METHYL ALCOHOL (l)

METHYL ETHYL KETONE

NAPHTHALENE

NICOTINE, & SALTS (OR) PYRIDINE, 3-(1-METHYL-2-PYRROLIDINYL)-, (S)-, & SALTS

PHENOL

PHENOL, 2-(1-METHYLETHOXY)-, METHYL CARBAMATE (OR) PROPOXUR

RESERPINE (OR) YOHIMBAN-16-CARBOXYLIC ACID, 11,17-DIMETHOXY-18-[(3,4,5-TRIMETHOXYBENZOYL)OXY]-, METHYL ESTER, (3BETA, 16BETA, 17ALPHA, 19BETA, 20ALPHA)-

SELENIOS ACID (OR) SELENIUM DIOXIDE

SELENIUM

SELENIUM SULFIDE (OR) SELENIUM SULFIDE SE<sub>82</sub> (R,T)

SILVER

TETRACHLOROETHYLENE





**MapID 21: FRS - 6748 W ROOSEVELT RD**

<b>Map ID #21</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110018044579</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110018044579</b>
CVS PHARMACY 2844		Rel. Loc.: 0.22 miles W
6748 W ROOSEVELT RD, OAK PARK, IL 60304		Elevation: 620.12 feet (+620.12)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>	LQG	
<b>NAICS:</b>	PHARMACIES AND DRUG STORES	
<b>Program System:</b>	RCRAINFO	
<b>Standard Industrial Classification:</b>		
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://cfmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110018044579">http://cfmpub.epa.gov/enviro/fil_query_detail_disp_program_facility?p_registry_id=110018044579</a>	



## MapID 22: LPST - 1125 Cuyler

<b>Map ID #22</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20060953</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20060953</b>
Oak Park School District #97 1125 Cuyler, Oak Park, IL 60302		Rel. Loc.: 0.22 miles N Elevation: 627.59 feet (+627.59)
<b>Site Classification:</b>		
<b>Status:</b>	Miscellaneous Correspondence received	
<b>Status Date:</b>	10/11/2006	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	7/27/2006	
<b>Leak Closure Date:</b>	12/6/2006	
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>	3/29/2007	
<b>Healing Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20060953">http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=20060953</a>	
<b>State Contact Name:</b>	Donnelly	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Don Vacca	
<b>Owner Contact Phone:</b>	7085243038	

**MapID 22: PST - 1125 S. Cuyler Avenue**

<b>Map ID #22</b>	<b>PST - State/Tribal Storage Tank</b>	<b>Source: IL OSFM</b>
<b>Facility ID: 2043304</b>	<b>Owner ID: U0030282</b>	<b>Banks ID: banks_005828</b>
Irving School 1125 S. Cuyler Avenue, Oak Park, IL 60302		Rel. Loc.: 0.22 miles N Elevation: 627.59 feet (+627.59)
<b>Facility Owner Name:</b>	Oak Park School District #97	
<b>Facility Owner Address:</b>	970 Madison Street	
<b>Facility Owner City:</b>	Oak Park	
<b>Facility Owner State:</b>	IL	
<b>Facility Owner Zip:</b>	60302	
<b>Facility Status:</b>	Exempt	
<b>Facility Type:</b>	None	
<b>Tank #:</b>	#1	
<b>Status:</b>	Exempt from registration	
<b>Capacity:</b>	7500	
<b>Install Date:</b>		
<b>Last Used Date:</b>	12/31/1973	
<b>Removed:</b>	2006-07-27	
<b>Tank Contents:</b>	Heating Oil	



**MapID 22: FRS - 1125 S CUYLER AVENUE**



<b>Map ID #22</b>	<b>FRS - Facility Registry Service</b>	<b>Source: EPA</b>
<b>EPA Registry ID: 110001823518</b>	<b>Secondary ID: NA</b>	<b>Banks ID: 110001823518</b>
OAK PARK SCHOOL DIST 97		Rel. Loc.: 0.22 miles N
1125 S CUYLER AVENUE, OAK PARK, IL 60304-2203		Elevation: 627.59 feet (+627.59)
<b>Federal Agency Name:</b>		
<b>Site Type:</b>	STATIONARY	
<b>Interest Types:</b>		
<b>NAICS:</b>	ELEMENTARY AND SECONDARY SCHOOLS.	
<b>Program System:</b>		
<b>Standard Industrial Classification:</b>	ELEMENTARY AND SECONDARY SCHOOLS	
<b>Tribal Land Name:</b>		
<b>Hyperlink:</b>	<a href="http://oimpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110001823518">http://oimpub.epa.gov/enviro/fri_query_detail_disp_program_facility?p_registry_id=110001823518</a>	

**MapID 23: LPST - 1240 Harvey Avenue**

<b>Map ID #23</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20050978</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20050978</b>
Ebenezer Christian Reform Church 1240 Harvey Avenue, Berwyn, IL 60402		Ref. Loc.: 0.25 miles E Elevation: 617.41 feet (+617.41)
<b>Site Classification:</b>		
<b>Status:</b>	Professional Engineer Certification received	
<b>Status Date:</b>	1/11/2006	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	7/15/2005	
<b>Leak Closure Date:</b>	1/19/2006	
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>	3/9/2006	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050978">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20050978</a>	
<b>State Contact Name:</b>	Kasa	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Dan Jurevis	
<b>Owner Contact Phone:</b>	7737190971	

**MapID 23: ST SL - 1240 HARVEY AVE**

<b>Map ID #23</b>	<b>ST SL - State Spills</b>	<b>Source: IEMA</b>
<b>Incident Number: H 2005 0978</b>	<b>Secondary ID: NA</b>	<b>Banks ID: H 2005 0978</b>
H 2005 0978		Rel. Loc.: 0.25 miles E
1240 HARVEY AVE, BERWYN, IL		Elevation: 617.41 feet (+617.41)
<b>Type:</b>	LIQUID	
<b>Materials Involved:</b>	#6 HEATING OIL	
<b>Amount Released:</b>	50 GALLONS (ESTIMATED)	
<b>Area Involved:</b>	FIXED FACILITY	
<b>Cause of Release:</b>	1300 HARVEY AVE, BERWYN IL, 60402	
<b>Container Size:</b>	2000 GALLONS	
<b>Container Type:</b>	UNDERGROUND TANK	
<b>Duration of Release:</b>		
<b>Estimated Spill Extent:</b>	UNKNOWN	
<b>Spill Extent Units:</b>		
<b>Media:</b>		
<b>Rate of Release in minutes:</b>	N/A	
<b>Date Discovered:</b>	05/15/2005 (ESTIMATED) @ Unknown	
<b>Date Entered:</b>	Unknown @	
<b>Date Incident Occurred:</b>	Unknown @	
<b>Incident Report Date:</b>	5/15/2005 0:00	
<b>Leaking Underground Storage Tank LUST:</b>		
<b>Extremely Hazardous Substance 302a:</b>		
<b>Hazmat Incident Type:</b>	LEAK OR SPILL	
<b>RCRA Hazardous Waste:</b>		
<b>RCRA Regulated Facility:</b>		
<b>Hyperlink:</b>	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0978">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=H 2005 0978</a>	



**MapID 24: LPST - 6833 West Roosevelt Rd.**

<b>Map ID #24</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 971066</b>	<b>EPA ID: NA</b>	<b>Banks ID: 971066</b>
Granato, Donald G. & Robert		Rel. Loc.: 0.34 miles W
6833 West Roosevelt Rd., Berwyn, IL 60402		Elevation: 619.79 feet (+619.79)
<b>Site Classification:</b>		
<b>Status:</b>	Review Letter sent	
<b>Status Date:</b>	6/17/1998	
<b>Leak Substance:</b>	Gasoline	
<b>Leak Discovery Date:</b>	6/16/1997	
<b>Leak Closure Date:</b>	11/3/1997	
<b>Regulated By:</b>	732	
<b>NFR Letter Recorded:</b>	6/8/1998	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=971066">http://epadata.epa.state.il.us/and/ust/LIT-Display.asp?INCIDENT=971066</a>	
<b>State Contact Name:</b>	Brockamp	
<b>Facility Contact Name:</b>	DON GRANATO	
<b>Facility Contact Phone:</b>	7083452600	
<b>Owner Contact Name:</b>		
<b>Owner Contact Phone:</b>		



## MapID 25: LPST - 6830 West Roosevelt Road

<b>Map ID #25</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20031714</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20031714</b>
Ferguson, Tommie 6830 West Roosevelt Road, Oak Park, IL 60304		Rel. Loc.: 0.34 miles W Elevation: 819.79 feet (+819.79)
<b>Site Classification:</b>		
<b>Status:</b>	45 Day Report Addendum received; Professional Engineer Certification received	
<b>Status Date:</b>	3/1/2004	
<b>Leak Substance:</b>	Fuel Oil	
<b>Leak Discovery Date:</b>	11/20/2003	
<b>Leak Closure Date:</b>	3/30/2004	
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>	4/21/2004	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/fand/us/LIT-Display.asp?INCIDENT=20031714">http://epadata.epa.state.il.us/fand/us/LIT-Display.asp?INCIDENT=20031714</a>	
<b>State Contact Name:</b>	Donnelly	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>		
<b>Owner Contact Phone:</b>	6305612639	

**MapID 26: VCP - 1044 South Harvey Avenue**

<b>Map ID #26</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255219</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000961</b>
ComEd Barrie Park Residential 20 1044 South Harvey Avenue, Oak Park, IL 60304		Rel. Loc.: 0.36 miles NE Elevation: 626.8 feet (+626.8)
<b>Status:</b>		
<b>Receive Date:</b>	1/20/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://opadata.epa.state.il.us/land/srp/">http://opadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		





## MapID 27: VCP - 1103 South Lombard Avenue

<b>Map ID #27</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255198</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000945</b>
ComEd Barrie Park Residential 3 1103 South Lombard Avenue, Oak Park, IL 60303		Rel. Loc.: 0.39 miles NE Elevation: 624.71 feet (+624.71)
<b>Status:</b>		
<b>Receive Date:</b>	5/6/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/erp/">http://epadata.epa.state.il.us/land/erp/</a>	
<b>4Y Letter:</b>		

**MapID 28: VCP - 1038 South Harvey Avenue**

<b>Map ID #28</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255226</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000968</b>
ComEd Banie Park Residential 26		Rel. Loc.: 0.39 miles NE
1038 South Harvey Avenue, Oak Park, IL 60304		Elevation: 626.52 feet (+626.52)
<b>Status:</b>		
<b>Receive Date:</b>	2/19/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



## MapID 30: VCP - 1034 South Harvey Avenue

<b>Map ID #30</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255224</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000966</b>
ComEd Barrie Park Residential 24		Rel. Loc.: 0.39 miles NE
1034 South Harvey Avenue, Oak Park, IL 60304		Elevation: 626.34 feet (+626.34)
<b>Status:</b>		
<b>Receive Date:</b>	2/18/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/sip/">http://epadata.epa.state.il.us/and/sip/</a>	
<b>4Y Letter:</b>		





**MapID 29: VCP - 206 Harvard Street**

<b>Map ID #29</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255220</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000962</b>
ComEd Barrie Park Residential 21		Rel. Loc.: 0.4 miles NE
206 Harvard Street, Oak Park, IL 60304		Elevation: 625.21 feet (+625.21)
<b>Status:</b>		
<b>Receive Date:</b>	1/20/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 30: VCP - 1032 South Harvey Avenue**

**Map ID #30** **VCP - State/Tribal Voluntary Cleanup** **Source: IL EPA**

**IL EPA ID: 0312255211** **EPA ID: NA** **Banks ID: banks\_000953**

ComEd Barrie Park Residential 12 Rel. Loc.: 0.4 miles NE  
 1032 South Harvey Avenue, Oak Park, IL 60304 Elevation: 826.45 feet (+826.45)

<b>Status:</b>	
<b>Receive Date:</b>	12/6/2004
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/crp/">http://epadata.epa.state.il.us/land/crp/</a>
<b>4Y Letter:</b>	



**MapID 31: VCP - 1108 South Lombard Avenue**

<b>Map ID #31</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255225</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000967</b>

ComEd Barrle Park Residential 27 Ref. Loc.: 0.4 miles NE  
 1108 South Lombard Avenue, Oak Park, IL 60304 Elevation: 623.99 feet (+623.99)

<b>Status:</b>	
<b>Receive Date:</b>	2/18/2005
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>
<b>4Y Letter:</b>	



**MapID 32: LPST - 6901 West Roosevelt****Map ID #32****LPST - State/Tribal Leaking Storage Tank****Source: IL EPA****Incident ID: 20031511****EPA ID: NA****Banks ID: 20031511**

Parkwyn Funeral Homes

Rel. Loc.: 0.4 miles W

6901 West Roosevelt, Berwyn, IL 60402

Elevation: 619.79 feet (+619.79)

**Site Classification:**

<b>Status:</b>	Professional Engineer Certification received
<b>Status Date:</b>	2/13/2004
<b>Leak Substance:</b>	Other Petroleum
<b>Leak Discovery Date:</b>	10/16/2003
<b>Leak Closure Date:</b>	9/28/2004
<b>Regulated By:</b>	P.A.
<b>NFR Letter Recorded:</b>	3/28/2005
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20031511">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20031511</a>
<b>State Contact Name:</b>	Covert
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Owner Contact Name:</b>	George Kopicki
<b>Owner Contact Phone:</b>	6303264440



## MapID 33: VCP - 1102 South Lombard Avenue

<b>Map ID #33</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255210</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000952</b>
ComEd Barrie Park Residential 10		Ref. Loc.: 0.41 miles NE
1102 South Lombard Avenue, Oak Park, IL 60304		Elevation: 624 feet (+624)
<b>Status:</b>		
<b>Receive Date:</b>	11/30/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



## MapID 34: VCP - 1041 South Lombard Avenue

<b>Map ID #34</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255230</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000972</b>
ComEd Barrie Park Residential 31 1041 South Lombard Avenue, Oak Park, IL 60304		Ref. Loc.: 0.41 miles NE Elevation: 825.06 feet (+625.06)
<b>Status:</b>		
<b>Receive Date:</b>	7/1/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 33: VCP - 1100 South Lombard Avenue**

<b>Map ID #33</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255236</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000978</b>
ComEd Barris Park Residential 37		Rel. Loc.: 0.41 miles NE
1100 South Lombard Avenue, Oak Park, IL 60304		Elevation: 624.16 feet (+624.16)
<b>Status:</b>		
<b>Receive Date:</b>	10/14/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/erp/">http://epadata.epa.state.il.us/land/erp/</a>	
<b>4Y Letter:</b>		

**MapID 37: VCP - 1022 South Harvey Avenue**

<b>Map ID #37</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255218</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000960</b>
ComEd Barrie Park Residential 19 1022 South Harvey Avenue, Oak Park, IL 60304		Rel. Loc.: 0.42 miles NE Elevation: 626.4 feet (+626.4)
<b>Status:</b>		
<b>Receive Date:</b>	1/20/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



## MapID 36: VCP - 1037 South Lombard Avenue

<b>Map ID #36</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255232</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000974</b>
ComEd Bame Park Residential 33 1037 South Lombard Avenue, Oak Park, IL 60304		Rel. Loc.: 0.42 miles NE Elevation: 625.05 feet (+625.05)
<b>Status:</b>		
<b>Receive Date:</b>	7/26/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 35: LPST - 615 Garfield Street**

<b>Map ID #35</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20100811</b>	<b>EPA ID: ILR000115543</b>	<b>Banks ID: 20100811</b>
Park District of Oak Park 615 Garfield Street, Oak Park, IL 60304		Rel. Loc.: 0.42 miles N Elevation: 624.71 feet (+624.71)
<b>Site Classification:</b>		
<b>Status:</b>	45 Day Selection Received Letter sent	
<b>Status Date:</b>	11/12/2010	
<b>Leak Substance:</b>	Fuel Oil	
<b>Leak Discovery Date:</b>	7/27/2010	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20100811">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20100811</a>	
<b>State Contact Name:</b>		
<b>Facility Contact Name:</b>	MIKE GRANDY	
<b>Facility Contact Phone:</b>	7083830002	
<b>Owner Contact Name:</b>	Gary Bailing	
<b>Owner Contact Phone:</b>	7087252020	

**MapID 36: VCP - 1035 South Lombard Avenue**

<b>Map ID #36</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255200</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000947</b>
ComEd Barrie Park Residential 5 1035 South Lombard Avenue, Oak Park, IL 60304		Rel. Loc.: 0.42 miles NE Elevation: 624.96 feet (+624.96)
<b>Status:</b>		
<b>Receive Date:</b>	5/29/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/srp/">http://epadata.epa.state.il.us/and/srp/</a>	
<b>4Y Letter:</b>		



## MapID 37: VCP - 1018 South Harvey Avenue

<b>Map ID #37</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255206</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000949</b>
ComEd Barrie Park Residential 7 1018 South Harvey Avenue, Oak Park, IL 60304		Rel. Loc.: 0.42 miles NE Elevation: 626.28 feet (+626.28)
<b>Status:</b>		
<b>Receive Date:</b>	11/22/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/erp/">http://epadata.epa.state.il.us/land/erp/</a>	
<b>4Y Letter:</b>		





## MapID 36: VCP - 1033 South Lombard Avenue

<b>Map ID #36</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255231</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000973</b>
ComEd Barrie Park Residential 32		Rel. Loc.: 0.42 miles NE
1033 South Lombard Avenue, Oak Park, IL 60304		Elevation: 624.42 feet (+624.42)
<b>Status:</b>		
<b>Receive Date:</b>	7/14/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 38: VCP - 1014 South Harvey Avenue**

<b>Map ID #38</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255191</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000943</b>
ComEd Barrie Park Residential 2		Ref. Loc.: 0.43 miles NE
1014 South Harvey Avenue, Oak Park, IL 60304		Elevation: 625.3 feet (+625.3)
<b>Status:</b>		
<b>Receive Date:</b>	6/5/2003	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadats.epa.state.il.us/land/srp/">http://epadats.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



## MapID 39: LPST - 6104 West Roosevelt Rd.

<b>Map ID #39</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 890204</b>	<b>EPA ID: NA</b>	<b>Banks ID: 890204</b>
John's Auto Mart 6104 West Roosevelt Rd., Oak Park, IL 60304		Rel. Loc.: 0.43 miles E Elevation: 617.07 feet (+617.07)
<b>Site Classification:</b>		
<b>Status:</b>	Notice of Release Letter sent	
<b>Status Date:</b>	2/21/1989	
<b>Leak Substance:</b>	Gasoline	
<b>Leak Discovery Date:</b>	2/6/1989	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	731	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LJT-Display.asp?INCIDENT=890204">http://epadata.epa.state.il.us/land/ust/LJT-Display.asp?INCIDENT=890204</a>	
<b>State Contact Name:</b>	Chappel	
<b>Facility Contact Name:</b>	JOHN HOLLENDONNER	
<b>Facility Contact Phone:</b>	3123830220	
<b>Owner Contact Name:</b>	John Hollendonner	
<b>Owner Contact Phone:</b>		



**MapID 40: VCP - 1023 South Lombard Avenue**

<b>Map ID #40</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255223</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000965</b>
ComEd Barrie Park Residential 25 1023 South Lombard Avenue, Oak Park, IL 60304		Rel. Loc.: 0.44 miles NE Elevation: 624.4 feet (+624.4)
<b>Status:</b>		
<b>Receive Date:</b>	2/18/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srpi">http://epadata.epa.state.il.us/land/srpi</a>	
<b>4Y Letter:</b>		



## MapID 41: VCP - 1101 South Taylor Avenue

<b>Map ID #41</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255216</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000958</b>
ComEd Barrie Park Residential 17		Rel. Loc.: 0.44 miles NE
1101 South Taylor Avenue, Oak Park, IL 60304		Elevation: 622.99 feet (+622.99)
<b>Status:</b>		
<b>Receive Date:</b>	12/20/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		

**MapID 42: VCP - 1021 South Lombard Avenue****Map ID #42****VCP - State/Tribal Voluntary Cleanup****Source: IL EPA****IL EPA ID: 0312255207****EPA ID: NA****Banks ID: banks\_000950**

ComEd Barrie Park Residential 6

Rel. Loc.: 0.44 miles NE

1021 South Lombard Avenue, Oak Park, IL 60304

Elevation: 624.74 feet (+624.74)

**Status:****Receive Date:** 11/22/2004**Acres:** 0**Institutional Controls:** Ordinance**Site Contamination Information:****Facility Contact Name:****Facility Contact Phone:****Link to Additional Information:** <http://epadata.epa.state.il.us/and/srp/>**4Y Letter:**



**MapID 42: VCP - 1019 South Lombard Avenue**

<b>Map ID #42</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255212</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000954</b>
ComEd Barrle Park Residential 13 1019 South Lombard Avenue, Oak Park, IL 60304		Ret. Loc.: 0.45 miles NE Elevation: 624.7 feet (+624.7)
<b>Status:</b>		
<b>Receive Date:</b>	12/9/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 42: VCP - 1017 South Lombard Avenue**

**Map ID #42** **VCP - State/Tribal Voluntary Cleanup** **Source: IL EPA**

**IL EPA ID: 0312255199** **EPA ID: NA** **Banks ID: banks\_000946**

ComEd Barrie Park Residential 4 **Rel. Loc.: 0.45 miles NE**  
 1017 South Lombard Avenue, Oak Park, IL 60304 **Elevation: 624.56 feet (+624.56)**

<b>Status:</b>	
<b>Receive Date:</b>	5/28/2004
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>
<b>4Y Letter:</b>	

**MapID 43: LPST - 1005 Lombard**

<b>Map ID #43</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20031246</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20031246</b>
Oak Park District 1005 Lombard, Oak Park, IL 60302		Rel. Loc.: 0.47 miles NE Elevation: 624.48 feet (+624.48)
<b>Site Classification:</b>		
<b>Status:</b>	Notice of Release Letter sent	
<b>Status Date:</b>	8/26/2003	
<b>Leak Substance:</b>	Other Petroleum	
<b>Leak Discovery Date:</b>	8/20/2003	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	P.A.	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epedata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20031246">http://epedata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20031246</a>	
<b>State Contact Name:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Jim Budrick	
<b>Owner Contact Phone:</b>	7083585722	



**MapID 43: ST EC - 1005 South Lombard Avenue****Map ID #43****ST EC - State/Tribal Engineering Control****Source: IL EPA****IL EPA ID: 0312255172****EPA ID: ILR000107599****Banks ID: banks\_000420**

ComEd Exelon

Rel. Loc.: 0.47 miles NE

1005 South Lombard Avenue, Oak Park, IL 60304

Elevation: 824.48 feet (+824.48)

**Status:**

<b>Engineering Control:</b>	Alternate Barrier
<b>Institutional Control:</b>	Ordinance, Worker Caution
<b>Initial Date:</b>	7/20/2004
<b>No Further Action Date:</b>	
<b>Allowable Land Use:</b>	Residential or Industrial/Commercial
<b>Contaminants:</b>	
<b>State Contact Name:</b>	
<b>Facility Contact Name:</b>	Alfan Fernandes
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/srp/">http://epadata.epa.state.il.us/and/srp/</a>

**MapID 43: VCP - 1005 South Lombard Avenue**

<b>Map ID #43</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255172</b>	<b>EPA ID: ILR000107599</b>	<b>Banks ID: banks_000939</b>
ComEd Exelon		Rel. Loc.: 0.47 miles NE
1005 South Lombard Avenue, Oak Park, IL 60304		Elevation: 624.48 feet (+624.48)
<b>Status:</b>		
<b>Receive Date:</b>	7/20/2004	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance, Worker Caution	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



**MapID 43: ST EC - 1001 South Lombard Avenue**

<b>Map ID #43</b>	<b>ST EC - State/Tribal Engineering Control</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255140</b>	<b>EPA ID: ILR000135095</b>	<b>Banks ID: banks_000417</b>
Barrie Park		Rel. Loc.: 0.47 miles NE
1001 South Lombard Avenue, Oak Park, IL 60302		Elevation: 624.79 feet (+624.79)
<b>Status:</b>		
<b>Engineering Control:</b>	Alternate Barrier	
<b>Institutional Control:</b>	Ordinance, Worker Caution	
<b>Initial Date:</b>	10/1/1998	
<b>No Further Action Date:</b>		
<b>Allowable Land Use:</b>	Residential or Industrial/Commercial	
<b>Contaminants:</b>		
<b>State Contact Name:</b>		
<b>Facility Contact Name:</b>	Añan Fernandes	
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	



**MapID 43: VCP - 1001 South Lombard Avenue**



<b>Map ID #43</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255140</b>	<b>EPA ID: ILR000135095</b>	<b>Banks ID: banks_000936</b>
Barrie Park		Rel. Loc.: 0.47 miles NE
1001 South Lombard Avenue, Oak Park, IL 60302		Elevation: 624.79 feet (+624.79)
<b>Status:</b>		
<b>Receive Date:</b>	10/1/1998	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance, Worker Caution	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>	
<b>4Y Letter:</b>		



## MapID 45: VCP - 1040 South Taylor Avenue

<b>Map ID #45</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255254</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000990</b>
ComEd Barrie Park Residential 47 1040 South Taylor Avenue, Oak Park, IL 60304		Rel. Loc.: 0.47 miles NE Elevation: 823.38 feet (+823.36)
<b>Status:</b>		
<b>Receive Date:</b>	9/25/2007	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/stp/">http://epadata.epa.state.il.us/land/stp/</a>	
<b>4Y Letter:</b>		

**MapID 44: LPST - 902 South Ridgeland Avenue**

<b>Map ID #44</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20100714</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20100714</b>
Bloom, Jerry		Rel. Loc.: 0.48 miles N
902 South Ridgeland Avenue, Oak Park, IL 60304		Elevation: 625.23 feet (+625.23)
<b>Site Classification:</b>		
<b>Status:</b>	Miscellaneous Correspondence received	
<b>Status Date:</b>	11/8/2010	
<b>Leak Substance:</b>	Gasoline	
<b>Leak Discovery Date:</b>	7/6/2010	
<b>Leak Closure Date:</b>	1/26/2011	
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>	6/8/2011	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20100714">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20100714</a>	
<b>State Contact Name:</b>	Weller	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>		
<b>Owner Contact Phone:</b>	7736373500	



**MapID 45: VCP - 1036 South Taylor Avenue****Map ID #45****VCP - State/Tribal Voluntary Cleanup****Source: IL EPA****IL EPA ID: 0312255221****EPA ID: NA****Banks ID: banks\_000963**

ComEd Barrie Park Residential 22

Rel. Loc.: 0.48 miles NE

1036 South Taylor Avenue, Oak Park, IL 60304

Elevation: 623.38 feet (+623.38)

**Status:****Receive Date:** 1/28/2005**Acres:** 0**Institutional Controls:** Ordinance**Site Contamination Information:****Facility Contact Name:****Facility Contact Phone:****Link to Additional Information:** <http://epadata.epa.state.il.us/land/srp/>**4Y Letter:**



**MapID 46: LPST - 945 South Oak Park Ave.**

**Map ID #46** **LPST - State/Tribal Leaking Storage Tank** **Source: IL EPA**

**Incident ID: 941009** **EPA ID: NA** **Banks ID: 941009**

Russo Auto Service Rel. Loc.: 0.48 miles NW  
 945 South Oak Park Ave., Oak Park, IL 60304 Elevation: 823.61 feet (+823.61)

<b>Site Classification:</b>	HIGH
<b>Status:</b>	Miscellaneous Correspondence received
<b>Status Date:</b>	8/14/2008
<b>Leak Substance:</b>	Gasoline
<b>Leak Discovery Date:</b>	5/5/1994
<b>Leak Closure Date:</b>	5/30/2008
<b>Regulated By:</b>	732
<b>NFR Letter Recorded:</b>	6/18/2009
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/UST-Display.asp?INCIDENT=941009">http://epadata.epa.state.il.us/land/ust/UST-Display.asp?INCIDENT=941009</a>
<b>State Contact Name:</b>	Putrich
<b>Facility Contact Name:</b>	FRANK RUSSO
<b>Facility Contact Phone:</b>	7083839456
<b>Owner Contact Name:</b>	Frank Russo
<b>Owner Contact Phone:</b>	



**MapID 44: VCP - 900 South Ridgeland Road**

**Map ID #44** **VCP - State/Tribal Voluntary Cleanup** **Source: IL EPA**

**IL EPA ID: 0312255248** **EPA ID: NA** **Banks ID: banks\_000988**

Oak Cleaners Rel. Loc.: 0.48 miles N

900 South Ridgeland Road, Oak Park, IL 60304 Elevation: 624.34 feet (-624.34)

<b>Status:</b>	
<b>Receive Date:</b>	1/19/2007
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance, Industrial, Commercial
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>
<b>4Y Letter:</b>	



**MapID 45: VCP - 1032 South Taylor Avenue**

<b>Map ID #45</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255227</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000969</b>
ComEd Barrie Park Residential 29 1032 South Taylor Avenue, Oak Park, IL 60304		Rel. Loc.: 0.46 miles NE Elevation: 623.77 feet (+623.77)
<b>Status:</b>		
<b>Receive Date:</b>	3/1/2005	
<b>Acres:</b>	0	
<b>Institutional Controls:</b>	Ordinance	
<b>Site Contamination Information:</b>		
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/srp/">http://epadata.epa.state.il.us/and/srp/</a>	
<b>4Y Letter:</b>		



**MapID 47: LPST - 1601 East Avenue**

**Map ID #47** **LPST - State/Tribal Leaking Storage Tank** **Source: IL EPA**

**Incident ID: 20020153** **EPA ID: NA** **Banks ID: 20020153**

Nurceeki, Mened Rel. Loc.: 0.48 miles S  
 1601 East Avenue, Berwyn, IL 60402 Elevation: 616.51 feet (+616.51)

<b>Site Classification:</b>	
<b>Status:</b>	Notice of Release Letter sent
<b>Status Date:</b>	2/4/2002
<b>Leak Substance:</b>	Used Oil
<b>Leak Discovery Date:</b>	1/30/2002
<b>Leak Closure Date:</b>	
<b>Regulated By:</b>	732
<b>NFR Letter Recorded:</b>	
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/us/LIT-Display.asp?INCIDENT=20020153">http://epadata.epa.state.il.us/land/us/LIT-Display.asp?INCIDENT=20020153</a>
<b>State Contact Name:</b>	NOT ASSIGNED
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	7087497332
<b>Owner Contact Name:</b>	
<b>Owner Contact Phone:</b>	7087497332

**MapID 48: LPST - 333 Harrison Street**

<b>Map ID #48</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 20131217</b>	<b>EPA ID: NA</b>	<b>Banks ID: 20131217</b>
Kassam, Shabir		Rel. Loc.: 0.49 miles N
333 Harrison Street, Oak Park, IL 60304		Elevation: 613.93 feet (+613.93)
<b>Site Classification:</b>		
<b>Status:</b>	Notice of Release Letter sent	
<b>Status Date:</b>	11/20/2013	
<b>Leak Substance:</b>	Gasoline/Other Petroleum	
<b>Leak Discovery Date:</b>	11/12/2013	
<b>Leak Closure Date:</b>	9/12/2014	
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>	2/11/2015	
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20131217">http://epadata.epa.state.il.us/land/ust/LIT-Display.asp?INCIDENT=20131217</a>	
<b>State Contact Name:</b>	Schwartzkopf	
<b>Facility Contact Name:</b>		
<b>Facility Contact Phone:</b>		
<b>Owner Contact Name:</b>	Shabir Kassam	
<b>Owner Contact Phone:</b>	7732775900	





**MapID 49: VCP - 1030 South Taylor Avenue**

**Map ID #49** **VCP - State/Tribal Voluntary Cleanup** **Source: IL EPA**

**IL EPA ID: 0312255234** **EPA ID: NA** **Banks ID: banks\_000976**

ComEd Barrie Park Residential 35 **Rel. Loc.: 0.49 miles NE**  
 1030 South Taylor Avenue, Oak Park, IL 60304 **Elevation: 623.56 feet (+623.56)**

<b>Status:</b>	
<b>Receive Date:</b>	9/13/2005
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>
<b>4Y Letter:</b>	

**MapID 49: VCP - 1026 South Taylor Avenue**



**Map ID #49** **VCP - State/Tribal Voluntary Cleanup** **Source: IL EPA**

**IL EPA ID: 0312255247** **EPA ID: NA** **Banks ID: banks\_000987**

ComEd Barrie Park Residential 46 **Rel. Loc.: 0.49 miles NE**  
 1026 South Taylor Avenue, Oak Park, IL 60304 **Elevation: 623.37 feet (+623.37)**

<b>Status:</b>	
<b>Receive Date:</b>	11/1/2006
<b>Acres:</b>	0
<b>Institutional Controls:</b>	Ordinance
<b>Site Contamination Information:</b>	
<b>Facility Contact Name:</b>	
<b>Facility Contact Phone:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/land/srp/">http://epadata.epa.state.il.us/land/srp/</a>
<b>4Y Letter:</b>	

**MapID 50: LPST - 1600 South Ridgeland Avenue**

<b>Map ID #50</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 933078</b>	<b>EPA ID: ILP200001489</b>	<b>Banks ID: 933078</b>
Berwyn Auto Service, Ltd. 1600 South Ridgeland Avenue, Berwyn, IL 60402		Rel. Loc.: 0.49 miles S Elevation: 615.86 feet (+615.86)
<b>Site Classification:</b>		
<b>Status:</b>	Review Letter sent	
<b>Status Date:</b>	2/2/2006	
<b>Leak Substance:</b>	Unleaded	
<b>Leak Discovery Date:</b>	11/29/1989	
<b>Leak Closure Date:</b>		
<b>Regulated By:</b>	734	
<b>NFR Letter Recorded:</b>		
<b>Heating Oil Letter Date:</b>		
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/and/ust/LJT-Display.asp?INCIDENT=933078">http://epadata.epa.state.il.us/and/ust/LJT-Display.asp?INCIDENT=933078</a>	
<b>State Contact Name:</b>	Davis	
<b>Facility Contact Name:</b>	RONALD A DENOVA	
<b>Facility Contact Phone:</b>	7084848050	
<b>Owner Contact Name:</b>	Ronald A. Denova	
<b>Owner Contact Phone:</b>		



**MapID 50: LPST - 1600 South Ridgeland Avenue**

<b>Map ID #50</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
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<b>Incident ID: 991491</b>	<b>EPA ID: ILP200001489</b>	<b>Banks ID: 991491</b>
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Berwyn Auto Service, Ltd.	Rel. Loc.: 0.49 miles S
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1600 South Ridgeland Avenue, Berwyn, IL 60402	Elevation: 615.86 feet (-615.86)
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**Site Classification:**

<b>Status:</b>	Review Letter sent
<b>Status Date:</b>	2/2/2006
<b>Leak Substance:</b>	Gasoline
<b>Leak Discovery Date:</b>	6/21/1999
<b>Leak Closure Date:</b>	
<b>Regulated By:</b>	734
<b>NFR Letter Recorded:</b>	
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/fand/ust/LIT-Display.asp?INCIDENT=991491">http://epadata.epa.state.il.us/fand/ust/LIT-Display.asp?INCIDENT=991491</a>
<b>State Contact Name:</b>	Davis
<b>Facility Contact Name:</b>	RONALD A DENOVA
<b>Facility Contact Phone:</b>	7084848050
<b>Owner Contact Name:</b>	Ronald Denova
<b>Owner Contact Phone:</b>	7084848050

**MapID 51: VCP - 1101 South Lyman Avenue**

<b>Map ID #51</b>	<b>VCP - State/Tribal Voluntary Cleanup</b>	<b>Source: IL EPA</b>
<b>IL EPA ID: 0312255228</b>	<b>EPA ID: NA</b>	<b>Banks ID: banks_000970</b>

ComEd Barrie Park Residential 28

Rel. Loc.: 0.5 miles NE

1101 South Lyman Avenue, Oak Park, IL 60304

Elevation: 622.67 feet (+622.67)

**Status:**

Receive Date: 3/1/2005

Acres: 0

Institutional Controls: Ordinance

Site Contamination information:

Facility Contact Name:

Facility Contact Phone:

Link to Additional Information: <http://epedata.epa.state.il.us/land/srp/>

4Y Letter:

**MapID 52: LPST - 6942 West Roosevelt Rd.**

<b>Map ID #52</b>	<b>LPST - State/Tribal Leaking Storage Tank</b>	<b>Source: IL EPA</b>
<b>Incident ID: 891542</b>	<b>EPA ID: NA</b>	<b>Banks ID: 891542</b>

Staley Supply Co.	Rel. Loc.: 0.5 miles W
6942 West Roosevelt Rd., Oak Park, IL 60304	Elevation: 820.49 feet (+820.49)

<b>Site Classification:</b>	
<b>Status:</b>	Response Letter received
<b>Status Date:</b>	8/31/1989
<b>Leak Substance:</b>	Gasoline
<b>Leak Discovery Date:</b>	8/17/1989
<b>Leak Closure Date:</b>	6/11/1990
<b>Regulated By:</b>	731
<b>NFR Letter Recorded:</b>	
<b>Heating Oil Letter Date:</b>	
<b>Link to Additional Information:</b>	<a href="http://epadata.epa.state.il.us/hand/ust/LIT-Display.asp?INCIDENT=891542">http://epadata.epa.state.il.us/hand/ust/LIT-Display.asp?INCIDENT=891542</a>
<b>State Contact Name:</b>	NOT ASSIGNED
<b>Facility Contact Name:</b>	ROCCO LA SPISA
<b>Facility Contact Phone:</b>	7083868101
<b>Owner Contact Name:</b>	
<b>Owner Contact Phone:</b>	



## MapID 53: RCRA COR - 5750 W ROOSEVELT RD

<b>Map ID #53</b>	<b>RCRA COR - RCRA CORRACTS</b>	<b>Source: EPA</b>	
<b>EPA Handler ID: ILD068469386</b>	<b>Handler Sequence Number: 1</b>	<b>Banks ID: ILD068469386</b>	
DANA CORP VICTOR PRODUCTS DIV CHGO PLT		Rel. Loc.: 0.83 miles E	
5750 W ROOSEVELT RD, CHICAGO, IL 60644		Elevation: 610.27 feet (+610.27)	
<b>Status:</b>	Inactive		
<b>Owner Name:</b>			
<b>Operator Name:</b>	VICTOR PRODUCTS DIV DANA CORPORATION		
<b>Mailing Address Street #:</b>			
<b>Mailing Address Street:</b>	P O BOX 1333		
<b>Mailing Address Street:</b>			
<b>Mailing Address City:</b>	CHICAGO		
<b>Mailing Address State:</b>	IL		
<b>Mailing Address Zip:</b>	60690		
<b>Contact Name:</b>	H NORTH		
<b>Contact Address Street #:</b>			
<b>Contact Address Street:</b>	P O BOX 1333		
<b>Contact Address Street:</b>			
<b>Contact Address City:</b>	CHICAGO		
<b>Contact Address State:</b>	IL		
<b>Contact Address Zip:</b>	60690		
<b>Contact Phone:</b>	3122876180		
<b>Contact Email Address:</b>			
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.		
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No		
<b>Permit Workload:</b>			
<b>Closure Workload:</b>			
<b>Post-Closure Workload:</b>			
<b>Subject to Corrective Action:</b>	Yes		
<b>Subject to Corrective Action 3004:</b>	No		
<b>Subject to Corrective Action Non-TSDF:</b>	No		
<b>Corrective Action Workload:</b>	No		
<b>Generator Status:</b>	Not a Generator		
<b>Nuclear Mixed Waste Handler:</b>	No		
<b>Onsite Burner Exemption:</b>	No		
<b>Furnace Exemption:</b>	No		
<b>Underground Injection Activity:</b>	No		
<b>NAIC Description 1:</b>			
<b>NAIC Description 2:</b>			
<b>NAIC Description 3:</b>			
<b>NAIC Description 4:</b>			
<b>Federal Generator Class:</b>	Not a Generator, Verified		
<b>State Generator Class:</b>			
<b>Environmental Controls in Place:</b>	No		
<b>Institutional Controls in Place:</b>	No		
<b>Groundwater Controls in Place:</b>	No		
<b>Significant Non-Compliance:</b>	No		
<b>Unaddressed Significant Non-Complier:</b>	No		
<b>Addressed Significant Non-Complier:</b>	No		
<b>Significant Non-Complier with Compliance Schedule:</b>	No		
<b>Enforcement Description</b>	<b>Responsible Enforcement Agency</b>	<b>Enforcement Date</b>	<b>Penalty Description</b>
INITIAL 3008(A) COMPLIANCE VIOLATION NOTICE (VN)	EPA Personnel State	6/13/1986 4/10/1986	
FINAL 3008(A) COMPLIANCE ORDER WRITTEN INFORMAL	EPA Personnel State	7/20/1987 7/2/1986	
STATE TO EPA ADMINISTRATIVE REFERRAL	State	2/10/1986	
<b>Evaluation Description</b>	<b>Responsible Agency</b>	<b>Evaluation Date</b>	<b>Violation Found</b>

## MapID 53: RCRA COR - 5750 W ROOSEVELT RD

Continued from Previous Page

COMPLIANCE EVALUATION INSPECTION ON-SITE	State	5/29/1985	Yes
COMPLIANCE EVALUATION INSPECTION ON-SITE	State	1/29/1986	No
FINANCIAL RECORD REVIEW	State	2/10/1986	Yes
FINANCIAL RECORD REVIEW	State	4/1/1985	Yes
COMPLIANCE EVALUATION INSPECTION ON-SITE	State	10/21/1986	No
COMPLIANCE EVALUATION INSPECTION ON-SITE	State	1/20/1999	No

Violation Description	Violation Determined By	Violation Date	Actual Resolution Date	Scheduled Resoiution Date
Standards Applicable to Generators of HW: General	State	5/29/1985	10/16/1985	
Standards Applicable to Generators of HW: General	State	2/10/1986	4/1/1987	
Standards Applicable to Generators of HW: General	State	4/1/1985	3/27/1987	7/12/1985

**Hazardous Waste Description**

1-BUTANOL (l) (OR) N-BUTYL ALCOHOL (l)

2-BUTANONE (l,T) (OR) METHYL ETHYL KETONE (MEK) (l,T)

2-NITROPROPANE (l,T) (OR) PROPANE, 2-NITRO- (l,T)

2-PROPANONE (l) (OR) ACETONE (l)

2-PROPENOIC ACID (l) (OR) ACRYLIC ACID (l)

2-PROPENOIC ACID, 2-METHYL-, METHYL ESTER (l,T) (OR) METHYL METHACRYLATE (l,T)

ACETIC ACID, ETHYL ESTER (l) (OR) ETHYL ACETATE (l)

BENZENE, DIMETHYL- (l,T) (OR) XYLENE (l)

BENZENE, METHYL- (OR) TOLUENE

CARBON TETRACHLORIDE (OR) METHANE, TETRACHLORO-

CHLOROFORM (OR) METHANE, TRICHLORO-

CORROSIVE WASTE

DESCRIPTION

FURAN, TETRAHYDRO-(l) (OR) TETRAHYDROFURAN (l)

IGNITABLE WASTE

MERCURY

METHANE, TRICHLOROFLUORO- (OR) TRICHLOROMONOFUOROMETHANE

METHANOL (l) (OR) METHYL ALCOHOL (l)

PHENOL

THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING: TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Corrective Action Description	Date of Corrective Action	Responsible Event Agency	Corrective Action Event Active
DETERMINATION OF NEED FOR AN INVESTIGATION-INVESTIGATION IS NOT NECESSARY	5/1/2009	EPA Personnel	Yes
CA PRIORITIZATION-LOW CA PRIDRITY	9/28/1992	EPA Personnel	Yes





# MapID 54: RCRA COR - 5700 W ROOSEVELT RD

**Map ID #54** **RCRA COR - RCRA CORRACTS** **Source: EPA**

**EPA Handler ID: ILD082076969** **Handler Sequence Number: 1** **Banks ID: ILD082076969**

CHICAGO STUDIO CITY Rel. Loc.: 0.92 miles E  
 5700 W ROOSEVELT RD, CHICAGO, IL 60644 Elevation: 606.67 feet (+606.57)

<b>Status:</b>	Inactive
<b>Owner Name:</b>	
<b>Operator Name:</b>	ALLIED PRODUCTS CORP
<b>Mailing Address Street #:</b>	
<b>Mailing Address Street:</b>	5700 W ROOSEVELT RD
<b>Mailing Address Street:</b>	
<b>Mailing Address City:</b>	CHICAGO
<b>Mailing Address State:</b>	IL
<b>Mailing Address Zip:</b>	60644
<b>Contact Name:</b>	EDWARD PUCHALSKI
<b>Contact Address Street #:</b>	
<b>Contact Address Street:</b>	5700 W ROOSEVELT RD
<b>Contact Address Street:</b>	
<b>Contact Address City:</b>	CHICAGO
<b>Contact Address State:</b>	IL
<b>Contact Address Zip:</b>	60650
<b>Contact Phone:</b>	3122610300
<b>Contact Email Address:</b>	
<b>Government Performance and Results Act (GPRA) Permit:</b>	The facility does not exist on the Operating/Post-Closure Permit Baseline.
<b>Government Performance and Results Act (GPRA) Corrective Action:</b>	No
<b>Permit Workload:</b>	
<b>Closure Workload:</b>	
<b>Post-Closure Workload:</b>	
<b>Subject to Corrective Action:</b>	Yes
<b>Subject to Corrective Action 3004:</b>	No
<b>Subject to Corrective Action Non-TSDF:</b>	No
<b>Corrective Action Workload:</b>	No
<b>Generator Status:</b>	Not a Generator
<b>Nuclear Mixed Waste Handler:</b>	No
<b>Onsite Burner Exemption:</b>	No
<b>Furnace Exemption:</b>	No
<b>Underground Injection Activity:</b>	No
<b>NAIC Description 1:</b>	Boil, Nut, Screw, Rivet, and Washer Manufacturing
<b>NAIC Description 2:</b>	
<b>NAIC Description 3:</b>	
<b>NAIC Description 4:</b>	
<b>Federal Generator Class:</b>	Not a Generator, Verified
<b>State Generator Class:</b>	
<b>Environmental Controls in Place:</b>	No
<b>Institutional Controls in Place:</b>	No
<b>Groundwater Controls in Place:</b>	No
<b>Significant Non-Compliance:</b>	No
<b>Unaddressed Significant Non-Complier:</b>	No
<b>Addressed Significant Non-Complier:</b>	No
<b>Significant Non-Complier with Compliance Schedule:</b>	No

Enforcement Description	Responsible Enforcement Agency	Enforcement Date	Penalty Description
VIOLATION NOTICE (VN)	State	9/20/1985	
WRITTEN INFORMAL	State	4/4/1985	
VIOLATION NOTICE (VN)	State	5/17/1985	
VIOLATION NOTICE (VN)	State	7/5/1985	
VIOLATION NOTICE (VN)	State	9/20/1985	
WRITTEN INFORMAL	State	1/22/1985	
VIOLATION NOTICE (VN)	State	9/20/1985	



## MapID 54: RCRA COR - 5700 W ROOSEVELT RD



Continued from Previous Page

Evaluation Description	Responsible Agency	Evaluation Date	Violation Found
COMPLIANCE EVALUATION INSPECTION ON-SITE	State	1/11/1985	Yes
FINANCIAL RECORD REVIEW	State	3/29/1985	Yes
NON-FINANCIAL RECORD REVIEW	State	9/20/1985	Yes
COMPLIANCE EVALUATION INSPECTION ON-SITE	State	12/9/1985	No

Violation Description	Violation Determined By	Violation Date	Actual Resolution Date	Scheduled Resolution Date
Standards for Owners and Operators of HW TSDs: General Facility Standards	State	1/11/1985	11/27/1985	
Standards Applicable to Generators of HW: Pre-Transport Requirements	State	9/20/1985	11/27/1985	
Standards for Owners and Operators of HW TSDs: Closure and Post-Closure	State	9/20/1985	3/26/1987	
Standards for Owners and Operators of HW TSDs: Financial Requirements	State	9/20/1985	3/26/1987	
Standards for Owners and Operators of HW TSDs: Contingency Plan and Emergency Pr	State	1/11/1985	11/27/1985	
Standards Applicable to Generators of HW: General	State	9/20/1985	3/26/1987	
Standards for Owners and Operators of HW TSDs: Financial Requirements	State	3/28/1985	3/26/1987	
Standards for Owners and Operators of HW TSDs: General	State	9/20/1985	3/26/1987	

**Hazardous Waste Description**

CADMIUM

COPPER CYANIDE (OR) COPPER CYANIDE CU(CN)

CORROSIVE WASTE

DESCRIPTION

ETHENE, TRICHLORO- (OR) TRICHLOROETHYLENE

FORMALDEHYDE

IGNITABLE WASTE

LEAD

PLATING BATH RESIDUES FROM THE BOTTOM OF PLATING BATHS FROM ELECTROPLATING OPERATIONS IN WHICH CYANIDES ARE USED IN THE PROCESS.

QUENCHING BATH RESIDUES FROM OIL BATHS FROM METAL HEAT TREATING OPERATIONS IN WHICH CYANIDES ARE USED IN THE PROCESS.

QUENCHING WASTEWATER TREATMENT SLUDGES FROM METAL HEAT TREATING OPERATIONS IN WHICH CYANIDES ARE USED IN THE PROCESS.

SODIUM CYANIDE (OR) SODIUM CYANIDE NA(CN)

SPENT CYANIDE PLATING BATH SOLUTIONS FROM ELECTROPLATING OPERATIONS.

SPENT CYANIDE SOLUTIONS FROM SLAT BATH POT CLEANING FROM METAL HEAT TREATING OPERATIONS.

SPENT STRIPPING AND CLEANING BATH SOLUTIONS FROM ELECTROPLATING OPERATIONS IN WHICH CYANIDES ARE USED IN THE PROCESS.

THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING: TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROETHANE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROETHANE, TRICHLOROETHYLENE, AND 1,1,2-TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

WASTEWATER TREATMENT SLUDGES FROM ELECTROPLATING OPERATIONS, EXCEPT FROM THE FOLLOWING PROCESSES: (1) SULFURIC ACID ANODIZING OF ALUMINUM; (2) TIN PLATING ON CARBON STEEL; (3) ZINC PLATING (SEGREGATED BASIS) ON CARBON STEEL; (4) ALUMINUM OR ZINC-ALUMINUM PLATING ON CARBON STEEL; (5) CLEANING/STRIPPING ASSOCIATED WITH TIN, ZINC, AND ALUMINUM PLATING ON CARBON STEEL; AND (6) CHEMICAL ETCHING AND MILLING OF ALUMINUM.

ZINC CYANIDE (OR) ZINC CYANIDE ZN(CN)2

Corrective Action Description	Date of Corrective Action	Responsible Event Agency	Corrective Action Event Active
STABILIZATION MEASURES EVALUATION-FACILITY IS AMENABLE TO STABILIZATION	6/4/1992	EPA Personnel	Yes
CA PRIORITIZATION-LOW CA PRIORITY	9/14/1992	EPA Personnel	Yes
DETERMINATION OF NEED FOR AN INVESTIGATION-INVESTIGATION IS NOT NECESSARY	5/1/2009	EPA Personnel	Yes

## Unmapped Sites Details: ST SL (20000166)

### ST SL - State Spills

#### ST SL - State Spills

Source: IEMA

Incident Number: 20000166

Secondary ID: NA

Banks ID: 20000166

20000166

RIDGELAND &amp; GUNDERSON, BERWYN, IL

Type:	UNKNOWN
Materials Involved:	CABLE OIL
Amount Released:	1,000 GALLONS
Area Involved:	LEAK OR SPILL; OTHER, POSS. STORM SEWER
Cause of Release:	CABLE SEVERED BY DIGGING
Container Size:	UNDERGROUND CABLE LINE
Container Type:	UNDERGROUND CABLE LINE
Duration of Release:	
Estimated Spill Extent:	
Spill Extent Units:	
Media:	
Rate of Release in minutes:	
Date Discovered:	01/29/2000 13:40
Date Entered:	01/29/2000 AM
Date Incident Occurred:	01/29/2000 AM
Incident Report Date:	1/29/2000 13:47
Leaking Underground Storage Tank LUST:	
Extremely Hazardous Substance 302a:	
Hazmat Incident Type:	LEAK OR SPILL
RCRA Hazardous Waste:	
RCRA Regulated Facility:	
Hyperlink:	<a href="http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=20000166">http://tier2.iema.state.il.us/FOIAHazmatSearch/HazmatDetails.aspx?RptNum=20000166</a>

### End of ST SL Sites Section



## Dataset Descriptions and Sources

Dataset	Source	Dataset Description	Update Schedule	Data Requested	Data Obtained	Data Updated	Source Updated
<b>NPL -- National Priority List</b>	EPA	NPL is the list of high priority hazardous waste sites in the United States eligible for long-term remedial action financed under the federal Superfund program and CERCLIS (SEMS database). Also known as Superfund sites, the EPA will only add sites to the NPL list based upon completion of the Hazard Ranking System (HRS) screening, public solicitation of comments about the proposed site, and after all comments have been addressed.	Quarterly	05/06/2016	05/06/2016	05/07/2016	03/07/2016
<b>DNPL -- Deregulated National Priority List</b>	EPA	DNPL is a list of all sites that have been deleted from the EPA NPL list (SEMS database). These sites are taken off the NPL list usually due to no further response or remedial action being required on them. Notices to delete NPL sites are published in the Federal Register and become effective unless the EPA receives significant adverse or critical comments during the 30-day public comment period.	Quarterly	05/06/2016	05/06/2016	05/07/2016	03/07/2016
<b>GER -- CERCLIS</b>	EPA	CERCLIS sites come from the Comprehensive Environmental Response, Compensation, and Liability Act, a federal law designed to clean up abandoned hazardous waste sites (SEMS database). These sites are either proposed, listed or under review currently to be a part of the National Priority List.	Quarterly	07/22/2016	05/06/2016	05/07/2016	03/07/2016
<b>CER NFRAP -- CERCLIS NFRAP</b>	EPA	CERCLIS sites designated as No Further Remedial Action Planned or NFRAP have been removed from CERCLIS (SEMS database). NFRAP sites may be sites where, following an initial investigation, no contamination was found, contamination was removed quickly without the site being placed on the NPL, or the contamination was not serious enough to require Federal Superfund action or NPL consideration.	Quarterly	05/06/2016	05/06/2016	05/07/2016	03/07/2016
<b>RCRA COR -- RCRA CORRACTS</b>	EPA	These sites are registered hazardous waste generators or handlers that fall under the Resource Conservation and Recovery Act (RCRA) and subject to corrective action activity.	Quarterly	06/03/2016	06/03/2016	06/03/2016	05/06/2016
<b>RCRA TSD -- RCRA non-CORRACTS TSD</b>	EPA	This database lists all treatment, storage and disposal of hazardous material sites that fall under the Resource Conservation and Recovery Act (RCRA). All hazardous waste TSD facilities are required to notify EPA of their existence.	Quarterly	06/03/2016	06/03/2016	06/03/2016	05/06/2016
<b>RCRA GEN -- RCRA Generators</b>	EPA	The EPA regulates all Hazardous Waste Generators subject to the Resource Conservation and Recovery Act (RCRA). They are classified by the quantity of hazardous waste generated. A Small Quantity Generator (SQG) generates between 100kg and 1,000 kg of waste per month. A Large Quantity Generator (LQG) generates over 1,000 kg of waste per month. A Conditionally Exempt SQG (CEG) generates less than 100 kg of waste per month.	Quarterly	06/03/2016	06/03/2016	06/03/2016	05/06/2016
<b>FED BWN -- Federal Brownfields</b>	EPA	A listing of sites that assist the EPA in collecting, tracking, and updating information of sites in relation to the Small Business Liability Relief and Brownfields Revitalization Act. These sites are real property that is either abandoned or underutilized where redevelopment or expansion is complicated by real or perceived environmental contamination.	Quarterly	07/22/2016	07/22/2016	07/26/2016	07/07/2016
<b>FED IC -- Federal Institutional Control</b>	EPA	This is a listing of Brownfield Management System (BMS) sites that have had Institutional Controls (ICs) placed on them. ICs are administrative restrictions, such as legal controls, that help minimize the potential for human exposure to known contamination by ensuring appropriate land or resource use. ICs are meant to supplement Engineering Controls and will rarely be the sole remedy at a site. ICs are a type of Activity and Use Limitation (AUL).	Quarterly	07/22/2016	07/22/2016	07/26/2016	07/07/2016
<b>FED EC -- Federal Engineering Control</b>	EPA	This is a listing of Brownfield Management System (BMS) sites that have had Engineering Controls (ECs) placed on them. ECs are physical methods or modifications put into place on a site to reduce or eliminate the possibility of human exposure to known contamination. ECs are a type of Activity and Use Limitation (AUL).	Quarterly	07/22/2016	07/22/2016	07/26/2016	10/25/2013



## Dataset Descriptions and Sources

Dataset	Source	Dataset Description	Update Schedule	Data Requested	Data Obtained	Data Updated	Source Updated
ERNS -- ERNS List	EPA National Response Center	ERNS is a national database used to store information on unauthorized releases of oil and hazardous substances that have been reported to the National Response Center since 2001. The NRC is the sole federal point of contact for reporting oil and chemical spills. Prior to 2001 this information was maintained by the EPA.	Annually	01/04/2016	01/04/2016	01/09/2016	12/31/2015
ST NPL -- State/Tribal Equivalent NPL (IL)	IEPA	This database includes all records found within the Illinois Environmental Protection Agency State Sites Unit. This database identifies all sites handled by the State Response Action Program including abandoned landfills, old manufacturing plants, former waste oil recycling operations, contaminated agrochemical facilities and other areas where surface water, groundwater, soil and air may be contaminated with hazardous substances.	Quarterly	07/25/2016	06/19/2016	06/05/2016	05/19/2016
ST CER -- State/Tribal Equivalent CERCLIS (IL)	NA	This database is not currently available from this state. If this state does make this database available in the future, Banks Environmental Data will obtain it for reporting purposes.	N/A	N/A	N/A	N/A	N/A
SWLF -- State/Tribal Disposal or Landfill (IL)	IL EPA	Illinois Environmental Protection Agency Bureau of Land maintains this listing of all solid waste permittees in the state of Illinois.	Annually	06/06/2016	11/19/2015	08/03/2015	11/19/2015
SWLF -- State/Tribal Disposal or Landfill (IL)	IL NIPC	This listing contains all records from the Northeastern Illinois Planning Commission (NIPC) historical inventory of solid waste sites.	N/A	06/08/2015	06/08/2015	06/08/2015	01/01/1988
LPST -- State/Tribal Leaking Storage Tank (IL)	IL EPA	This database identifies all records found in the Illinois Environmental Protection Agency Leaking Underground Storage Tank Incident Tracking (LIT) database. LIT identifies the status of all Illinois LUST incidents reported to the Illinois Emergency Management Agency (IEMA) and to the Illinois Environmental Protection Agency.	Quarterly	07/20/2016	07/20/2016	07/24/2016	07/20/2016
LPST -- State/Tribal Leaking Storage Tank (IL)	EPA	The Tribal LUST database (maintained by EPA Region 5) provides leaking underground storage tank information on tribal lands in Illinois, Indiana, Michigan, Minnesota, Ohio, Wisconsin, and Tribal Nations.	Quarterly	07/20/2016	07/20/2016	07/20/2016	04/06/2016
PST -- State/Tribal Storage Tank (IL)	IL OSFM	This database lists all underground storage tank facilities maintained by the Office of the Illinois State Fire Marshal, Division of Petroleum & Chemical Safety.	Quarterly	06/22/2016	06/22/2016	06/23/2016	06/22/2016
PST -- State/Tribal Storage Tank (IL)	EPA	The Tribal UST database (maintained by EPA Region 5) provides underground storage tank information on tribal lands in Illinois, Indiana, Michigan, Minnesota, Ohio, Wisconsin, and Tribal Nations.	Quarterly	07/20/2016	07/20/2016	07/24/2016	04/06/2016
ST IC -- State/Tribal Institutional Control (IL)	IL EPA	This database lists records from the Site Remediation Program (SRP) that have institutional controls placed on them.	Quarterly	08/01/2016	09/01/2016	08/02/2016	08/01/2016
ST IC -- State/Tribal Institutional Control (IL)	IL EPA	This database lists all sites maintained by the Illinois Environmental Protection Agency Uniform Environmental Covenants Registry. An environmental covenant is defined as a servitude arising under an environmental response project that imposes activity and use limitations.	Quarterly	08/01/2016	08/01/2016	08/02/2016	08/01/2016
ST EC -- State/Tribal Engineering Control (IL)	IL EPA	This database lists records from the Site Remediation Program (SRP) that have engineering controls placed on them.	Quarterly	08/01/2016	08/01/2016	08/02/2016	08/01/2016
VCP -- State/Tribal Voluntary Cleanup (IL)	IL EPA	This database includes all records from the Site Remediation Program (SRP) maintained by Illinois Environmental Protection Agency. The SRP provides information on voluntary remediation projects from 1989 to present.	Quarterly	08/01/2016	08/01/2016	08/02/2016	08/01/2016

## Dataset Descriptions and Sources

Dataset	Source	Dataset Description	Update Schedule	Data Requested	Data Obtained	Data Updated	Source Updated
ST BWN -- State/Tribal Brownfield (IL)	IL EPA	This database lists all sites found within the Redevelopment Assessment Database maintained by Illinois Environmental Protection Agency. This listing is separate from the Site Remediation Program Database. This group of sites are flagged by the agency for site investigations and targeted brownfields assessments.	Quarterly	07/05/2016	07/11/2016	07/11/2016	07/14/2016
ST SL -- State Spills (IL)	IEMA	This database lists all records found in the Hazardous Materials Incident Reports (Hazmat) database maintained by Illinois Emergency Management Agency.	Quarterly	07/08/2016	07/08/2016	07/12/2016	07/08/2016
HW -- State/Tribal Hazardous Waste (IL)	NA	This database is not currently available from this state. If this state does make this database available in the future, Banks Environmental Data will obtain it for reporting purposes.	N/A	N/A	N/A	N/A	N/A
RCRA -- RCRA	EPA	This database lists all sites that fall under the Resource Conservation and Recovery Act (RCRA) and are not classifiable as treatment, storage, disposers of hazardous material, hazardous waste generator or subject to corrective action activity.	Quarterly	06/03/2016	06/03/2016	06/03/2016	05/06/2016
FRS -- Facility Registry Service	EPA	This database contains records from the EPA's Facility Registry System (FRS). All records within the FRS database represent facilities, sites, or places of environmental interest or are subject to environmental regulations.	Quarterly	07/08/2016	07/08/2016	07/08/2016	07/08/2016
DRYC -- Dry Cleaners (IL)	NA	This database is not currently available from this state. If this state does make this database available in the future, Banks Environmental Data will obtain it for reporting purposes.	N/A	N/A	N/A	N/A	N/A



## Disclaimer

The Banks Environmental Data Regulatory Database Report was prepared based upon data obtained from State, Tribal, and Federal sources known to Banks Environmental Data at the time the data was obtained. Great care has been taken by Banks in obtaining the best available data from the best available sources. However, there is a possibility that there are sources of data applicable or pertaining to this report's target property, and/or surrounding properties, to which Banks does not have access or has not accessed. Furthermore, although Banks Environmental Data performs quality assurance and quality control on all data, including data it obtains, Banks recognizes that inaccuracies in data from these sources may, and do, exist; accordingly, inaccurate data may have been used or relied upon in the preparation of this report. Even though Banks Environmental Data performs a thorough and diligent search to locate and fix any inaccuracies in the data relied upon in the preparation of this report, Banks cannot guarantee or warrant the accuracy of the locations, information, data, or report. The purchaser of this report accepts this report "as is" and assumes all risk related to any potential inaccuracy contained in the report or not reported in it, whether due to a reliance by Banks Environmental Data on inaccurate data, or for any other reason [including but not limited to the negligence or express negligence of Banks Environmental Data]. If this report is being used for the Records Review section of a Phase I Site Assessment according to the ASTM 1527-13, for EPA's All Appropriate Inquiry, or for any other purpose (public or private), all liability and responsibility is assumed by the Environmental Professional or other individual or entity acquiring the report.





**APPENDIX D**  
**HISTORICAL INFORMATION**

**HISTORICAL AERIAL PHOTOGRAPHS**



AERIAL PHOTOGRAPH



<b>PROPERTY ADDRESS</b>	<b>EPS ENVIRONMENTAL SERVICES, INC.</b>	<b>YEAR</b>
6501 West Roosevelt Road Berwyn, Illinois	7237 West Devon Avenue Chicago, Illinois 60631	1938





**AERIAL PHOTOGRAPH**

↑  
*North*

<b>PROPERTY ADDRESS</b>	<b>EPS ENVIRONMENTAL SERVICES, INC.</b>	<b>YEAR</b>
6501 West Roosevelt Road Berwyn, Illinois	7237 West Devon Avenue Chicago, Illinois 60631	1999





**AERIAL PHOTOGRAPH**



<b>PROPERTY ADDRESS</b>	<b>EPS ENVIRONMENTAL SERVICES, INC.</b>	<b>YEAR</b>
6501 West Roosevelt Road Berwyn, Illinois	7237 West Devon Avenue Chicago, Illinois 60631	2002





**AERIAL PHOTOGRAPH**

↑  
*North*

**PROPERTY ADDRESS**

EPS ENVIRONMENTAL SERVICES, INC.

**YEAR**

6501 West Roosevelt Road  
Berwyn, Illinois

7237 West Devon Avenue  
Chicago, Illinois 60631

2007





**AERIAL PHOTOGRAPH**



<b>PROPERTY ADDRESS</b>	<b>EPS ENVIRONMENTAL SERVICES, INC.</b>	<b>YEAR</b>
6501 West Roosevelt Road Berwyn, Illinois	7237 West Devon Avenue Chicago, Illinois 60631	2015

**FREEDOM OF INFORMATION ACT (FOIA) REQUESTS**



# Freedom of Information Act Request

The Village of Oak Park  
Village Hall  
123 Madison St.  
Oak Park, IL 60302-4272

708.358.5670  
708.358.5108 fax  
clerk@oak-park.us  
www.oak-park.us

You may request records from the Village of Oak Park in person, in writing or by e-mail. Indicate specific records requested, including dates (if known) and whether the documents should be certified. Additional charges may be assessed based on the cost to reproduce the materials requested.

## CONTACT INFORMATION

Ross Kroll  
Name

7237 West Devon Avenue, Chicago, IL 60631  
Address

773-792-3090  
Phone

rkroll@epsenv.com  
E-mail

EPS Environmental Services, Inc.  
Person or entity represented (if any)

## PUBLIC RECORDS REQUESTED

Please describe in as much detail as possible the records you are requesting and indicate whether you wish to inspect or copy such records.

	INSPECT	COPY	CERTIFIED
1. Please see the attached request for the Property located at 8500-8528 West Roosevelt Road in Oak Park. PINs: 18.18.427.036-044		x	
2.			
3.			

Please be aware that requests may be denied if providing the documents would constitute an invasion of personal privacy, or would excessively disrupt the work of the Village. If your request for records is denied, you have the right to have that decision reviewed by the Public Access Counselor of the Illinois Attorney General's Office.

Please check here if records are sought for commercial use.

Ross Kroll  
Signature

August 3, 2016  
Date

## DUPLICATION FEES

First 50 pages: Free  
Certification: 25 cents

50 pages or more: 15 cents per page or side of page  
DVD: \$1

Fees are for 8.5" x 11", 8.5" x 14" or 11" x 17" paper only. Other material sizes or types will be charged actual reproduction cost.

Submit this form to: Office of the Village Clerk  
123 Madison St.  
Oak Park, IL 60302-4272  
or fax to: 708.358.5108

FOIA REQUEST NUMBER

DUE





According to the Freedom of Information Act, and as required by ASTM Standard Practice E 1527-13 for environmental site assessments, EPS Environmental Services, Inc. requests to obtain information from the following Village/Town/City department(s) in order to ascertain the *historical uses* and/or occupancy of the following property, to determine if any may have had an environmental impact:

6500-6528 West Roosevelt Road in Oak Park  
PIN: 16.18.427.036-044

***From the Building Department (or similar) –***

Any records reflecting the permission to construct, alter or demolish improvements on the Property, and which indicate the **Property's original development** and/or past usage history. Additionally, any records with *environmentally significant information*, such as the **installation or removal of underground storage tanks**, or records of complaints, inspections or permits reflecting air emissions, noise, asbestos or hazardous materials.

***From the Zoning Department –***

The current zoning restrictions; and if available, the historical zoning restrictions on the Property, (i.e., the zoning designation(s) and brief definition(s) only, not the entire ordinance) to determine if the Property's use has changed significantly.

***From the Fire Department (Fire Prevention Bureau) –***

Any records or inspections on file reflecting the current or previous *storage or use* of hazardous substances or petroleum products, including the **current or historical presence of underground storage tanks** (e.g., *installation, inspection, or removal records*) on the Property, and additionally, any records with **environmentally significant information**, such as hazardous material incidents at or near the Property.

***From the Water Department -***

Records for any potable or groundwater-monitoring wells located on the Property.

***From the Sewer Department -***

Records of any septic systems located on the Property

***Please forward to the appropriate departments.***

Your time and attention to this request are most appreciated.

Thank you,



Ross Kroll  
EPS Environmental Services, Inc.  
7237 West Devon Avenue  
Chicago, Illinois 60631  
Fax #773.792.3091  
Phone #773.792.3090

6501 West Roosevelt Road



1:2500





**ZONING MAP**









**ENVIRONMENTAL LIEN SEARCH**

**COOK COUNTY RECORDER OF DEEDS**

**KAREN A. FARROW**

6501 West Roosevelt Road  
Berwyn, Illinois

Recorded Date	FIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/1/2015	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	150709023	JPMORGAN CHASE BK	MERUG LLC
3/1/2015	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	150709024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/3/2015	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1506217027	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
3/3/2015	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/1/2014	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/1/2014	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1419215031	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
5/21/2010	16-18-427-036-0000	AMENDMENT	1012234035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/25/2010	16-18-427-036-0000	AMENDMENT	1014534065	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-18-427-036-0000	AMENDMENT	1013834061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
5/5/2010	16-18-427-036-0000	AMENDMENT	1012534023	JPMORGAN CHASE BK	JPMORGAN CHASE BK
4/18/2010	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1010634073	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
3/25/2010	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1008434046	JPMORGAN CHASE BK	BERWYN PROP LLC
3/25/2010	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	1008434082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/6/2009	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	921634023	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
8/22/2005	16-18-427-036-0000	AMENDMENT	526517000	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
8/13/2005	16-18-427-036-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
8/13/2005	16-18-427-036-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
8/13/2005	16-18-427-036-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
8/13/2005	16-18-427-036-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/19/2005	16-18-427-036-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/2/2005	16-18-427-036-0000	AMENDMENT	506116001	AMERICAN NATL B&T CO	JPMORGAN CHASE BK
3/2/2005	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	506116000	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
3/2/2005	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	506116002	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-18-427-036-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-18-427-036-0000	CONTINUING FINANCING STATEMENT	505922132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
1/21/2005	16-18-427-036-0000	TRUSTEE'S DEED	502147091	NORTHERN TRUST CO TR	BERWYN PROP LLC
12/22/2004	16-18-427-036-0000	FINANCING STATEMENT	495712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/21/2004	16-18-427-036-0000	FINANCING STATEMENT	495712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-18-427-036-0000	FINANCING STATEMENT	495712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-18-427-036-0000	FINANCING STATEMENT	495712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-18-427-036-0000	FINANCING STATEMENT	495712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
8/17/2000	16-18-427-036-0000	FINANCING STATEMENT	634094	MERUG LLC	AMERICAN NATL B&T CO
8/17/2000	16-18-427-036-0000	FINANCING STATEMENT	634093	BOLINGBROOK PROPERTIES LLC	AMERICAN NATL B&T CO
8/17/2000	16-18-427-036-0000	FINANCING STATEMENT	634092	BERWYN PROP LLC	AMERICAN NATL B&T CO
8/17/2000	16-18-427-036-0000	FINANCING STATEMENT	634091	KNEAD DOUGH BAKING CO	AMERICAN NATL B&T CO
8/17/2000	16-18-427-036-0000	FINANCING STATEMENT	634090	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
8/14/2000	16-18-427-036-0000	MORTGAGE	623278	NORTHERN TRUST CO TR	AMERICAN NATL B&T CO
8/14/2000	16-18-427-036-0000	SUBORDINATION	623230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
12/3/1999	16-18-427-036-0000	TRUSTEE'S DEED	912967	FIRST COLONIAL TR CO TR	NORTHERN TRUST CO TR
6/15/1997	16-18-427-036-0000	RELEASE	92429085	CHICAGO TITLE & TRUST CO	YORK ST B&T CO
1/23/1988	16-18-427-036-0000	ASSIGNMENT	88542564	MIDWEST B&T CO TR	PIONEER B&T CO
1/23/1988	16-18-427-036-0000	STATEMENT	13755686	MIDWEST B&T CO TR	PIONEER B&T CO
1/23/1988	16-18-427-036-0000	MORTGAGE	13755684	MIDWEST B&T CO TR	PIONEER B&T CO
1/23/1988	16-18-427-036-0000	MORTGAGE	88542563	MIDWEST B&T CO TR	PIONEER B&T CO





# COOK COUNTY RECORDER OF DEEDS

KAREN A. YARBROUGH

6501 West Roosevelt Road  
Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
12/7/2009	16-19-204-001-0000	DEED	934118074	JUDICIAL SALES CORP	DEI CUGINI LLC
				MORGANTE WILSON	
6/2/2009	16-19-204-001-0000	LIEN	915322055	ARCHITECTS LTD	VOIGT DEV LLC
6/7/2006	16-19-204-001-0000	RELEASE	615854065	FIRST BK	GUERRERO FRANCISCO
6/7/2006	16-19-204-001-0000	RELEASE	615854066	FIRST BK	GUERRERO FRANCISCO
				HOMEWERKS-VOIGHT DEV	
4/14/2006	16-19-204-001-0000	MORTGAGE	610453029	LLC	BERWYN
					HOMEWERKS-VOIGHT DEV
4/14/2006	16-19-204-001-0000	WARRANTY DEED	610453027	GUERRERO FRANCISCO	LLC
5/14/2004	16-19-204-001-0000	RELEASE	413526023	FIRST BK AMER	GUERRERO FRANCISCO
2/18/2004	16-19-204-001-0000	RELEASE	404901257	BERWYN DEV CORP	GUERRERO FRANCISCO
2/9/2004	16-19-204-001-0000	ASSIGNMENT	404004312	GUERRERO FRANCISCO	FIRST BK AMER
2/9/2004	16-19-204-001-0000	MORTGAGE	404004311	GUERRERO FRANCISCO	FIRST BK AMER
9/5/2003	16-19-204-001-0000	MORTGAGE	10820876	GUERRERO FRANCISCO L	BERWYN DEV CORP
12/20/2000	16-19-204-001-0000	RELEASE	999966	JAROS ARTHUR G SR TR	AGATE MARIA
12/1/2000	16-19-204-001-0000	ASSIGNMENT	940806	GUERRERO FRANCISCO	FIRST BK AMER
12/1/2000	16-19-204-001-0000	MORTGAGE	940805	GUERRERO FRANCISCO	FIRST BK AMER
12/1/2000	16-19-204-001-0000	RELEASE	940803	GARFIELD RIDGE T&S BK	GARFIELD RIDGE T&S BK TR
12/1/2000	16-19-204-001-0000	TRUSTEES DEED	940804	FIRSTAR BK TR	GUERRERO FRANCISCO
5/22/1997	16-19-204-001-0000	DEED IN TRUST	97364289	AGATE MARIA	FIRSTAR BK ILL TR
				COOK COUNTY REGISTRAR	
4/28/1997	16-19-204-001-0000	CERTIFICATE OF TITLE	97292413	OF TITLES	AGATE MARIA
5/22/1989	16-19-204-001-0000	ASSIGNMENT	T3796204	AGATE MARIA	JAROS ARTHUR G SR TR
5/22/1989	16-19-204-001-0000	TRUST DEED	T3796203	AGATE MARIA	JAROS ARTHUR G SR TR
5/22/1989	16-19-204-001-0000	TRUSTEES DEED	T3796202	GARFIELD RDG T&S BK TR	AGATE MARIA
5/17/1988	16-19-204-001-0000	RELEASE	T3708631	CHICAGO TITLE & TRUST CO	RAHOFY BASHIR M
5/5/1988	16-19-204-001-0000	ASSIGNMENT	T3705836	GARFIELD RDG T&S BK TR	GARFIELD RDG T&S BK
5/5/1988	16-19-204-001-0000	MORTGAGE	T3705835	GARFIELD RDG T&S BK TR	GARFIELD RDG T&S BK
5/5/1988	16-19-204-001-0000	TRUSTEES DEED	T3705834	DEVON BK TR	GARFIELD RDG T&S BK

**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROUGH**

6501 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
6/2/2009	16-19-204-002-0000	LIEN	915322055	MORGANTE WILSON ARCHITECTS LTD	VOIGT DEV LLC
3/25/2008	16-19-204-002-0000	LIS PENDENS	808539053	BERWYN	HOMEWERKS VOIGHT DEV LLC
4/14/2006	16-19-204-002-0000	MORTGAGE	610453029	HOMEWERKS-VOIGHT DEV LLC	BERWYN
4/14/2006	16-19-204-002-0000	TRUSTEES DEED	610453028	CHICAGO TITLE LAND TRUST CO TR	HOMEWERKS-VOIGHT DEV LLC
3/4/2005	16-19-204-002-0000	ASSIGNMENT	506327077	CLC CREDITORS GRANTOR TRUST	OTTAWA SAV BK
2/4/2005	16-19-204-002-0000	ASSIGNMENT	503534087	COMMERCIAL LOAN CORP	CLC CREDITORS TRUST
6/7/2004	16-19-204-002-0000	RELEASE	415910000	LASALLE BK NATL ASSN	MANUFACTURERS AFFILIATED TRUST CO TR
11/20/2003	16-19-204-002-0000	MODIFICATION	332442290	LASALLE NATL ASSN TR	LASALLE NATL ASSN TR
12/2/2002	16-19-204-002-0000	MODIFICATION	21322918	LASALLE BK NATL ASSN TR	LASALLE BK NATL ASSN TR
9/20/2000	16-19-204-002-0000	RELEASE	733851	LASALLE BK NATL ASSN	MANUFACTURERES AFFILIATED TRUST CO TR
8/3/2000	16-19-204-002-0000	ASSIGNMENT	590586	LASALLE BK NATL ASSN TR	COMMERCIAL LOAN CORP
8/3/2000	16-19-204-002-0000	MORTGAGE	590585	LASALLE BK NATL ASSN TR	COMMERCIAL LOAN CORP
7/17/2000	16-19-204-002-0000	DEED IN TRUST	528487	LASALLE BK TR	LASALLE BK TR
2/25/1999	16-19-204-002-0000	CERTIFICATE OF TITLE	99187940	COOK COUNTY REGISTRAR OF TITLES	DEBTOR MANUFACTURERS AFFILIATED TRUST C
1/22/1993	16-19-204-002-0000	CERTIFICATE OF TITLE	93058709	COOK COUNTY REG TITLES	MANUFACTURERS AFFILIATED
1/22/1993	16-19-204-002-0000	RELEASE	93058714	AFFILIATED BK	MANUFACTURERS AFFILIATED
1/22/1993	16-19-204-002-0000	RELEASE	93058710	AFFILIATED BK	MANUFACTURERS AFFILIATED
5/30/1991	16-19-204-002-0000	TRANSFER	91256587	VOIGT KONRAD	VOIGT KONRAD
5/24/1991	16-19-204-002-0000	ASSIGNMENT	T3967190	MANUFACTURERS AFFILIATED	AFFILIATED BK
5/24/1991	16-19-204-002-0000	FINANCING STATEMENT	T3967192	MANUFACTURERS AFFILIATED	AFFILIATED BK
5/24/1991	16-19-204-002-0000	MORTGAGE	T3967189	MANUFACTURERS AFFILIATED	AFFILIATED BK
11/15/1990	16-19-204-002-0000	AFFIDAVIT	T3926574	MANUFACTURERS AFFILIATED	AFFILIATED BK NORTH SHOR
11/15/1990	16-19-204-002-0000	ASSIGNMENT	T3926576	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
11/15/1990	16-19-204-002-0000	CHANGE NAME	T3926573	WESTERN NATL BK CICERO	AFFILIATED BK WESTERN
11/15/1990	16-19-204-002-0000	TRUST DEED	T3926575	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
1/22/1993	16-19-204-003-0000	RELEASE	93058715	AFFILIATED BK	MANUFACTURERS AFFILIATED
1/22/1993	16-19-204-003-0000	RELEASE	93058713	AFFILIATED BK	MANUFACTURERS AFFILIATED
1/22/1993	16-19-204-003-0000	RELEASE	93058712	AFFILIATED BK	MANUFACTURERS AFFILIATED
1/22/1993	16-19-204-003-0000	RELEASE	93058711	AFFILIATED BK	MANUFACTURERS AFFILIATED
11/15/1990	16-19-204-003-0000	ASSIGNMENT	T3926578	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
11/15/1990	16-19-204-003-0000	TRUST DEED	T3926577	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
2/9/1990	16-19-204-003-0000	AFFIDAVIT	T3859781	MANUFACTURERS AFFILIATED	AFFILIATED BK NORTH SHOR
2/9/1990	16-19-204-003-0000	TRUST DEED	T3859782	MANUFACTURERS AFFILIATED	AFFILIATED BK WESTERN
5/20/1988	16-19-204-003-0000	TRUST DEED	T3709568	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
5/20/1988	16-19-204-003-0000	TRUST DEED	T3709567	AFFILIATED BK WESTERN	AFFILIATED BK WESTERN
3/26/1987	16-19-204-003-0000	CHANGE NAME	T3602174	WESTERN NATL BK CICERO	AFFILIATED BK WESTERN
3/26/1987	16-19-204-003-0000	TRUST DEED	T3602175	AFFILIATED BK WESTERN	MALLEN CHARLES TR



**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBOROUGH**

8501 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	FIN	Type Desc.	Doc. #	Set Grantor	1st Grantee
8/11/2015	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1507030073	JPMORGAN CHASE BK	MERUG LLC
8/11/2015	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1507030073	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/11/2015	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1507030073	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/11/2015	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1507030073	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
7/11/2014	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
9/23/2010	16-19-204-004-0000	AMENDMENT	1017234035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/25/2010	16-19-204-004-0000	AMENDMENT	1014534065	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-204-004-0000	AMENDMENT	1011934061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
5/5/2010	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1012534023	JPMORGAN CHASE BK	JPMORGAN CHASE BK
4/16/2010	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1010824077	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
3/25/2010	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1008434044	JPMORGAN CHASE BK	BERWYN PROP LLC
3/25/2010	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	1008434044	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	992634025	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	992634025	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	992634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	992634025	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	992634025	JPMORGAN CHASE BK	BERWYN PROP LLC
9/22/2005	16-19-204-004-0000	AMENDMENT	526017020	KNEAD DOUGH BAKING CO	BANG ONE LEASING CORP
4/13/2005	16-19-204-004-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-204-004-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-204-004-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-204-004-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-204-004-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/2/2005	16-19-204-004-0000	AMENDMENT	506116003	AMERICAN NATL B&T CO	JPMORGAN CHASE BK
3/2/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	506116003	CHGO	JPMORGAN CHASE BK
3/2/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	506116003	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
3/2/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	506116003	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-19-204-004-0000	AMENDMENT	505622150	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-204-004-0000	AMENDMENT	505622150	BERWYN PROP LLC	JPMORGAN CHASE BK
2/18/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	505622150	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/18/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	505622150	BERWYN PROP LLC	JPMORGAN CHASE BK
2/18/2005	16-19-204-004-0000	CONTINUING FINANCING STATEMENT	505622150	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
1/21/2005	16-19-204-004-0000	TRUSTEE'S DEED	402147094	COSMOPOLITAN B&T TR	BERWYN PROP LLC
12/22/2004	16-19-204-004-0000	FINANCING STATEMENT	435712130	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-204-004-0000	FINANCING STATEMENT	435712130	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-204-004-0000	FINANCING STATEMENT	435712131	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-204-004-0000	FINANCING STATEMENT	435712132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-204-004-0000	FINANCING STATEMENT	435712133	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/6/2004	16-19-204-004-0000	LETTER	403748210	PROTECTION AGCY	TURANO BAKING CO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	MERUG LLC	AMERICAN NATL B&T CO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	BOLINGBROOK PROPERTIES LLC	CHGO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	BERWYN PROP LLC	AMERICAN NATL B&T CO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	KNEAD DOUGH BAKING CO	CHGO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
8/17/2000	16-19-204-004-0000	FINANCING STATEMENT	634094	BAKERY INC	CHGO
8/14/2000	16-19-204-004-0000	MORTGAGE	621227	AUSTIN BK CHGO TR	CHGO
8/14/2000	16-19-204-004-0000	MORTGAGE	621228	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
8/4/1999	16-19-204-004-0000	ASSIGNMENT	99538574	AUSTIN BK CHGO TR	CHGO TR
6/4/1999	16-19-204-004-0000	CERTIFICATE OF TITLE	99538669	OF TITLES	COOK COUNTY RECORDER
6/4/1999	16-19-204-004-0000	DEED IN TRUST	99538672	KIMMY ROBERTZ C	KIMMY ROBERTZ C
6/4/1999	16-19-204-004-0000	MORTGAGE	99538673	AUSTIN BK CHGO TR	AUSTIN BK CHGO TR
6/4/1999	16-19-204-004-0000	RELEASE	99538673	DRIVE PHTLUS TR	AUSTIN BK CHGO
6/4/1999	16-19-204-004-0000	RELEASE	99538673	DRIVE PHTLUS TR	KIMMY ROBERTZ C

**COOK COUNTY RECORDER OF DEEDS**  
**KRISTIN A. YARBROUGH**

6501 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantee	1st Grantee
3/11/2013	16-19-205-001-0000	CONTINUING FINANCING STMT	1507539003	JPMORGAN CHASE BK	ALEREA LLC
7/11/2013	16-19-205-001-0000	CONTINUING FINANCING STMT	1507839024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/3/2013	16-19-205-001-0000	CONTINUING FINANCING STMT	1506217007	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
3/1/2013	16-19-205-001-0000	CONTINUING FINANCING STMT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-205-001-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-205-001-0000	CONTINUING FINANCING STMT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-205-001-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-205-001-0000	CONTINUING FINANCING STMT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-205-001-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-205-001-0000	AMENDMENT	1017234031	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/21/2010	16-19-205-001-0000	AMENDMENT	1015494060	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-205-001-0000	AMENDMENT	1013484050	JPMORGAN CHASE BK	BOULINGBROOK PROP LLC
5/12/2010	16-19-205-001-0000	AMENDMENT	892234023	JPMORGAN CHASE BK	JPMORGAN CHASE BK
4/16/2010	16-19-205-001-0000	CONTINUING FINANCING STMT	1010834073	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
3/25/2010	16-19-205-001-0000	CONTINUING FINANCING STMT	1008434044	JPMORGAN CHASE BK	BERWYN PROP LLC
3/25/2010	16-19-205-001-0000	CONTINUING FINANCING STMT	1008434060	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
3/4/2009	16-19-205-001-0000	CONTINUING FINANCING STMT	921634023	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-205-001-0000	CONTINUING FINANCING STMT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-205-001-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-205-001-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
4/9/2009	16-19-205-001-0000	CONTINUING FINANCING STMT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
9/22/2005	16-19-205-001-0000	AMENDMENT	510517020	KNEAD DOUGH BAKING CO	BASIC ONE LEASING CORP
4/13/2005	16-19-205-001-0000	TERMINATION	510547227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-205-001-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-205-001-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-205-001-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-205-001-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/27/2005	16-19-205-001-0000	AMENDMENT	506116003	AMERICAN NATL B&T CO	JPMORGAN CHASE BK
3/27/2005	16-19-205-001-0000	CONTINUING FINANCING STMT	506116000	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
3/17/2005	16-19-205-001-0000	CONTINUING FINANCING STMT	506116002	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-19-205-001-0000	AMENDMENT	505921366	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-205-001-0000	CONTINUING FINANCING STMT	505921384	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-205-001-0000	CONTINUING FINANCING STMT	505921365	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
12/23/2004	16-19-205-001-0000	FINANCING STATEMENT	425711449	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-205-001-0000	FINANCING STATEMENT	425712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-205-001-0000	FINANCING STATEMENT	425712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-205-001-0000	FINANCING STATEMENT	425712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-205-001-0000	FINANCING STATEMENT	425712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
7/9/2003	16-19-205-001-0000	AFFIDAVIT FINANCING STATEMENT	610451331	ILLINOIS ENVIRON PROTECTION AGENCY	TURANO BAKING CO
8/17/2000	16-19-205-001-0000	FINANCING STATEMENT	604094	MERUG LLC	AMERICAN NATL B&T CO
8/17/2000	16-19-205-001-0000	FINANCING STATEMENT	604098	BOLINGBROOK PROPERTIES LLC	AMERICAN NATL B&T CO
8/17/2000	16-19-205-001-0000	FINANCING STATEMENT	604092	BERWYN PROP LLC	AMERICAN NATL B&T CO
8/17/2000	16-19-205-001-0000	FINANCING STATEMENT	604091	KNEAD DOUGH BAKING CO	AMERICAN NATL B&T CO
8/17/2000	16-19-205-001-0000	FINANCING STATEMENT	604090	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
8/14/2000	16-19-205-001-0000	MORTGAGE	603226	BERWYN PROP LLC	AMERICAN NATL B&T CO
5/14/2000	16-19-205-001-0000	SUBORDINATION	601230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
6/5/2000	16-19-205-001-0000	WARRANTY DEED	403540	KUBIK AUDOLPH JR	BERWYN PROP LLC
12/31/1987	16-19-205-001-0000	RELEASE	73570211	LAUREN MICH CENTER INC	CAPITAL B&T CO CHSD TR
12/31/1987	16-19-205-001-0000	RELEASE	73570009	RELIABLE GLASS CO	CAPITAL B&T TR
12/31/1987	16-19-205-001-0000	RELEASE	73570008	BONLUCELLI RON	CAPITAL B&T TR
7/10/1987	16-19-205-001-0000	DEED	87861120	DILLARDI BLDG OTC OAK P	CAPITAL B&T CO TR
5/31/1987	16-19-205-001-0000	RELEASE	87280643	BONLUCELLI RON	CAPITAL B&T TR
2/20/1987	16-19-205-001-0000	DEED	87103422	BONLUCELLI RON	CAPITAL B&T TR

**COOK COUNTY RECORDER OF DEEDS****KAREN A. YARBROUGH**6501 West Roosevelt Road  
Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/11/2015	16-19-205-043-0000	CONTINUING FINANCING STMT	1507039023	JPMORGAN CHASE BK	MERUG LLC
3/3/2015	16-19-205-043-0000	CONTINUING FINANCING STMT	1506217027	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
3/3/2015	16-19-205-043-0000	CONTINUING FINANCING STMT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
5/25/2010	16-19-205-043-0000	AMENDMENT	1014534065	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/5/2010	16-19-205-043-0000	AMENDMENT	1012534023	JPMORGAN CHASE BK	JPMORGAN CHASE BK
4/16/2010	16-19-205-043-0000	CONTINUING FINANCING STMT	1010634073	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
3/25/2010	16-19-205-043-0000	CONTINUING FINANCING STMT	1008434044	JPMORGAN CHASE BK	BERWYN PROP LLC
3/25/2010	16-19-205-043-0000	CONTINUING FINANCING STMT	1008434082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
9/22/2005	16-19-205-043-0000	AMENDMENT	526517020	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
3/2/2005	16-19-205-043-0000	AMENDMENT	506116001	AMERICAN NATL B&T CO CHGO	JPMORGAN CHASE BK
3/2/2005	16-19-205-043-0000	CONTINUING FINANCING STMT	506116000	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
3/2/2005	16-19-205-043-0000	CONTINUING FINANCING STMT	506116002	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-19-205-043-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-205-043-0000	AMENDMENT	505922131	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CI CHGO
2/28/2005	16-19-205-043-0000	AMENDMENT	505922133	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-205-043-0000	CONTINUING FINANCING STMT	505922132	CAMPAGNA-TURANO BAKERY INC	JP MORGAN CHASE BK
1/21/2005	16-19-205-043-0000	TRUSTEES DEED	502147097	NORTH STAR TRUST CO TR	BERWYN PROP LLC
8/17/2000	16-19-205-043-0000	FINANCING STATEMENT	634094	MERUG LLC	AMERICAN NATL B&T CO CHGO
8/17/2000	16-19-205-043-0000	FINANCING STATEMENT	634093	BOLINGBROOK PROPERTIES LLC	AMERICAN NATL B&T CO CHGO
8/17/2000	16-19-205-043-0000	FINANCING STATEMENT	634092	BERWYN PROP LLC	AMERICAN NATL B&T CO CHGO
8/17/2000	16-19-205-043-0000	FINANCING STATEMENT	634091	KNEAD DOUGH BAKING CO	AMERICAN NATL B7T CO CHGO
8/17/2000	16-19-205-043-0000	FINANCING STATEMENT	634090	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-205-043-0000	MORTGAGE	621225	BANCO POPULAR TR	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-205-043-0000	RELEASE	620773	BANK AMER	CAPITOL B&T TR
8/14/2000	16-19-205-043-0000	SUBORDINATION	621230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
1/15/1998	16-19-205-043-0000	LIEN	98040403	HASCEK-MELVILLE CORP	TURANO BAKING CO
12/8/1997	16-19-205-043-0000	MORTGAGE	97920185	CAPITOL B&T CHGO TR	BANK AMER IL
2/19/1992	16-19-205-043-0000	EXTENSION	92102182	CAPITOL B&T TR	CHICAGO TITLE & TRUST CO



**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROU**

6505 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	FIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/1/2015	16-19-206-005-0000	CONTINUING FINANCING STMT	1507039024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/3/2015	16-19-206-005-0000	CONTINUING FINANCING STMT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-206-005-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-005-0000	CONTINUING FINANCING STMT	1429215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-206-005-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-206-005-0000	CONTINUING FINANCING STMT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-005-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/23/2010	16-19-206-005-0000	AMENDMENT	1017234035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-206-005-0000	AMENDMENT	1013834061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
3/25/2010	16-19-206-005-0000	CONTINUING FINANCING STMT	1008434082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-206-005-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-206-005-0000	CONTINUING FINANCING STMT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-005-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-206-005-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-005-0000	CONTINUING FINANCING STMT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
9/21/2005	16-19-206-005-0000	AMENDMENT	526517020	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
4/13/2005	16-19-206-005-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-005-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-206-005-0000	TERMINATION	510347220	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-206-005-0000	TERMINATION	510347250	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-005-0000	TERMINATION	510347251	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-19-206-005-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-005-0000	AMENDMENT	505922131	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CO CHGO
2/28/2005	16-19-206-005-0000	AMENDMENT	505922133	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-005-0000	AMENDMENT	505922136	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-005-0000	CONTINUING FINANCING STMT	505922132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-005-0000	CONTINUING FINANCING STMT	505922134	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-005-0000	CONTINUING FINANCING STMT	505922135	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
23/22/2004	16-19-206-005-0000	FINANCING STATEMENT	435712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-005-0000	FINANCING STATEMENT	435712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-206-005-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-005-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-206-005-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
8/14/2000	16-19-206-005-0000	MORTGAGE	620777	BERWYN PROP LLC	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-206-005-0000	RELEASE	620767	BANCO POPULAR	BANCO POPULAR N AMER TR
8/14/2000	16-19-206-005-0000	SUBORDINATION	521230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
7/19/2000	16-19-206-005-0000	TRUSTEE DEED	539651	OSMOPOLITAN B&T TR	BERWYN PROP LLC
1/14/1999	16-19-206-005-0000	JUDGMENT	99042507	BERWYN	LOUIS THROGORE
12/31/1987	16-19-206-005-0000	RELEASE	87583051	MOHAWK CONTR CO	CAPITAL B&T TR
12/31/1987	16-19-206-005-0000	RELEASE	87583051	EYDEN MECH CONTR INC	CAPITAL B&T CO CHGO TR
12/31/1987	16-19-206-005-0000	RELEASE	87583050	DELLARMI BLDG INC	CAPITAL B&T CO TR
11/24/1987	16-19-206-005-0000	LIS PENDENS	87629164	C P LAROCO EXCAVATORS C	BELL ARMI BLDG INC
4/30/1987	16-19-206-005-0000	RELEASE	87191830	FIRST BK OAK PK	FIRST BK OAK PK
8/6/1987	16-19-206-005-0000	LIS PENDENS	87125704	MELLCANT WILLIAM J	NEWTON A THEODORE
3/6/1987	16-19-206-005-0000	LIS PENDENS	87125703	MELLCANT WILLIAM J	NEWTON A THEODORE
12/13/1985	16-19-206-005-0000	ASSIGNMENT	73483615	BERWYN CITY	CAPITOL B&T
12/13/1985	16-19-206-005-0000	ASSIGNMENT	73483614	CAPITOL B&T TR	BERWYN CITY
12/13/1985	16-19-206-005-0000	ASSIGNMENT	85323957	CAPITOL B&T TR	BERWYN CITY
12/13/1985	16-19-206-005-0000	DEED IN TRUST	73483612	CAPITOL B&T CHGO TR	CAPITOL B&T TR
12/13/1985	16-19-206-005-0000	MORTGAGE	73483619	CAPITOL B&T TR	BERWYN CITY
11/23/1985	16-19-206-005-0000	MORTGAGE	85323866	CAPITOL B&T TR	BERWYN CITY
11/22/1985	16-19-206-005-0000	DEED	73478767	FIRST BK OAK PK TR	CAPITOL B&T CHGO TR

# COOK COUNTY RECORDER OF DEEDS

KAREN A. YARBROUGH

6501 West Roosevelt Road  
Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
5/11/2015	16-19-206-006-0000	CONTINUING FINANCING STMT	1507039024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/3/2015	16-19-206-006-0000	CONTINUING FINANCING STMT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-206-006-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-006-0000	CONTINUING FINANCING STMT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-206-006-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-206-006-0000	CONTINUING FINANCING STMT	1419215081	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-006-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-206-006-0000	AMENDMENT	1017284035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/28/2010	16-19-206-006-0000	AMENDMENT	1013834061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
3/25/2010	16-19-206-006-0000	CONTINUING FINANCING STMT	1008484082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-206-006-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-206-006-0000	CONTINUING FINANCING STMT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-006-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-206-006-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-006-0000	CONTINUING FINANCING STMT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
9/22/2005	16-19-206-006-0000	AMENDMENT	526517020	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
4/13/2005	16-19-206-006-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-006-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-206-006-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-206-006-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-006-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	AMENDMENT	505922131	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CO CHGO
2/28/2005	16-19-206-006-0000	AMENDMENT	505922132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	AMENDMENT	505922133	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	CONTINUING FINANCING STMT	505922132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	CONTINUING FINANCING STMT	505922134	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-006-0000	CONTINUING FINANCING STMT	505922135	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
1/21/2005	16-19-206-006-0000	TRUSTEES DEED	502147093	NORTHERN TRUST CO TR	BERWYN PROP LLC
12/22/2004	16-19-206-006-0000	FINANCING STATEMENT	435712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-006-0000	FINANCING STATEMENT	435712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-206-006-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-006-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-206-006-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
8/14/2000	16-19-206-006-0000	MORTGAGE	620776	NORTHERN TRUST CO TR	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-206-006-0000	SUBORDINATION	621230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
12/3/1999	16-19-206-006-0000	TRUSTEES DEED	9129068	AUSTIN BK CHGO TR	NORTHERN TR CO TR
8/7/1997	16-19-206-006-0000	CERTIFICATE OF TITLE	97576314	COOK COUNTY REGISTRAR OF TITLES	AUSTIN BK CHGO TR
6/9/1983	16-19-206-006-0000	DEED IN TRUST	T3714520	BAVONE DOMINICK C P LAROCCO EXCAVATING C	AUSTIN BK CHGO TR
11/24/1987	16-19-206-006-0000	LIS PENDENS	87629104	C	BELL ARMY BLDG INC



**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROUGH**

6501 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/11/2015	16-19-206-007-0000	CONTINUING FINANCING STMT	1507039024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/3/2015	16-19-206-007-0000	CONTINUING FINANCING STMT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-206-007-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-007-0000	CONTINUING FINANCING STMT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-206-007-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
7/11/2014	16-19-206-007-0000	CONTINUING FINANCING STMT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-007-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-206-007-0000	AMENDMENT	1017234035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-206-007-0000	AMENDMENT	1013834061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
5/23/2010	16-19-206-007-0000	CONTINUING FINANCING STMT	1008484082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-206-007-0000	CONTINUING FINANCING STMT	921634023	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-206-007-0000	CONTINUING FINANCING STMT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-007-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-206-007-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-007-0000	CONTINUING FINANCING STMT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
9/22/2005	16-19-206-007-0000	AMENDMENT	516517020	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
4/13/2005	16-19-206-007-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-007-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-206-007-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-206-007-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-007-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	AMENDMENT	505922131	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CO CHGO
2/28/2005	16-19-206-007-0000	AMENDMENT	505922133	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	AMENDMENT	505922136	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	CONTINUING FINANCING STMT	505922132	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	CONTINUING FINANCING STMT	505922134	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-007-0000	CONTINUING FINANCING STMT	505922135	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-007-0000	FINANCING STATEMENT	435712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-007-0000	FINANCING STATEMENT	435712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-206-007-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-007-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-206-007-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
8/14/2000	16-19-206-007-0000	MORTGAGE	620776	NORTHERN TRUST CO TR	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-206-007-0000	SUBORDINATION	621230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
12/23/1999	16-19-206-007-0000	DEED IN TRUST	9192168	BANCO POPULAR NORTH AMER TR	NORTHERN TRUST CO TR
12/3/1999	16-19-206-007-0000	DEED IN TRUST	9129066	BANCO POPULAR NA TR	NORTHERN TRUST CO TR
4/2/1993	16-19-206-007-0000	DEED IN TRUST	83246241	SUBURBAN T&S BK TR	CAPITOL B&T TR
11/24/1987	16-19-206-007-0000	LIS PENDENS	87628104	C P LAROCCO EXCAVATING C	BELL ARMY BLDG INC



**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROU**

6503 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PU#	Type Desc	Doc. #	3rd Grantor	3rd Grantee
3/11/2013	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1507030026	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/12/2013	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1508217028	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/15/2014	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1419225026	JPMORGAN CHASE BK	BERWYN PROP LLC
7/14/2014	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1618215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/15/2014	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1418215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1418215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1418215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-206-008-0000	AMENDMENT	1017334035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/11/2010	16-19-206-008-0000	AMENDMENT	1013894061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
3/25/2010	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	1008484082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
11/4/2009	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	921634024	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	921634074	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
11/4/2009	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	921634015	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
8/4/2009	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
8/27/2005	16-19-206-008-0000	AMENDMENT	510517020	KNEAD DOUGH BAKING CO	BANC ONE LESSING CORP
4/13/2005	16-19-206-008-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-008-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-206-008-0000	TERMINATION	510347229	JPMORGAN CHASE BK	LOCKTOWN CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-008-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-008-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/18/2005	16-19-206-008-0000	RELEASE	507519019	BANCO POPULAR N AMER	CAPITLA B&T TR
3/15/2005	16-19-206-008-0000	RELEASE	507519090	BANCO POPULAR N AMER	CAPITLA B&T TR
3/2/2005	16-19-206-008-0000	AMENDMENT	505922189	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
1/28/2005	16-19-206-008-0000	AMENDMENT	505922191	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CO
1/7/2005	16-19-206-008-0000	AMENDMENT	505922188	BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-008-0000	AMENDMENT	505922190	BERWYN PROP LLC	JPMORGAN CHASE BK
1/28/2005	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	505922192	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
1/2/2005	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	505922193	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-008-0000	CONTINUING FINANCING STATEMENT	505922194	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
1/21/2005	16-19-206-008-0000	TRUSTEE'S DEED	508147095	NORTH STAR TRUST CO TR	BERWYN PROPERTIES LLC
11/2/2004	16-19-206-008-0000	FINANCING STATEMENT	457712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-008-0000	FINANCING STATEMENT	457712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/2/2004	16-19-206-008-0000	FINANCING STATEMENT	436712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
11/7/2004	16-19-206-008-0000	FINANCING STATEMENT	437712153	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
11/22/2004	16-19-206-008-0000	FINANCING STATEMENT	437712154	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
10/10/2003	16-19-206-008-0000	AFFIDAVIT	528548128	ILLINOIS ENVIROM PROTECTION AGCY	TURANO BAKING CO
8/15/2000	16-19-206-008-0000	MODIFICATION	624629	BANCO POPULAR N AMER TR	AMERICAN NATL B&T CO
8/14/2000	16-19-206-008-0000	MORTGAGE	620775	BANCO POPULAR TR	CHGO
8/14/2000	16-19-206-008-0000	MORTGAGE	620775	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO
8/14/2000	16-19-206-008-0000	MORTGAGE	620775	CAMPAGNA-TURANO BAKERY INC	CHGO TR
8/14/2000	16-19-206-008-0000	MORTGAGE	620775	CAPITOL B&T TR	CAPITOL B&T
8/14/2000	16-19-206-008-0000	MORTGAGE	620775	CAPITOL B&T TR	CAPITOL B&T
8/4/1992	16-19-206-008-0000	CERTIFICATE OF TITLE	92677901	COOK COUNTY REG TRLES	CAPITOL B&T CHGO TR
8/4/1992	16-19-206-008-0000	MODIFICATION	92377902	TURANO EUGENE	CAPITOL B&T TR
3/7/1990	16-19-206-008-0000	ASSIGNMENT	90103716	CAPITOL B&T TR	CAPITOL B&T
3/7/1990	16-19-206-008-0000	DEED IN TRUST	90103714	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
3/7/1990	16-19-206-008-0000	TRUST DEED	90103715	CAPITOL B&T TR	CHICAGO TITLE & TRUST CO
2/14/1990	16-19-206-008-0000	TRANSFER	90775134	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
1/13/1990	16-19-206-008-0000	AFFIDAVIT	73860277	SUBURBAN T&S BK TR	PUBLIC
1/13/1990	16-19-206-008-0000	ASSIGNMENT	73860280	CAPITOL B&T TR	CAPITOL B&T
2/13/1990	16-19-206-008-0000	DEED IN TRUST	73860278	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
2/13/1990	16-19-206-008-0000	TRUST DEED	73860279	CAPITOL B&T TR	CHICAGO TITLE & TRUST CO
9/2/1989	16-19-206-008-0000	CERTIFICATE	73826396	COOK COUNTY CLERK	FIRST UNION CO
11/74/1987	16-19-206-008-0000	LIS PENDENS	87429104	C P CARROCCO EXCAVATING	BERL ARMI BLDG INC
2/13/1986	16-19-206-008-0000	RELEASE	8061614	FIXABLE RESERVE ADN	CHICAGO TITLE & TRUST CO
2/11/1986	16-19-206-008-0000	RELEASE	73493480	SUBURBAN T&S BK	ANDREWS EMANUEL T
2/11/1986	16-19-206-008-0000	RELEASE	8060203	SUBURBAN T&S BK	ANDREWS EMANUEL T

**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. KARLHOFER**

4501 West Roosevelt Road  
 Downers Grove, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/11/2015	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	150733078	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/9/2015	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1506317029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1419215030	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-206-009-0000	AMENDMENT	5017234070	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-206-009-0000	AMENDMENT	5013834061	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
3/25/2010	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	500843080	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	921634028	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	921634029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	921634029	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	921634029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
9/22/2005	16-19-206-009-0000	AMENDMENT	526517020	KNEAD DOUGH BAKING CO	BANK ONE LEASING CORP
4/3/2005	16-19-206-009-0000	TERMINATION	510947227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-009-0000	TERMINATION	510947228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-206-009-0000	TERMINATION	510947229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-206-009-0000	TERMINATION	510947230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-009-0000	TERMINATION	510947231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/5/2005	16-19-206-009-0000	RELEASE	507543085	BANCO POPULAR N AMER	CAPITAL B&T TR
3/16/2005	16-19-206-009-0000	RELEASE	507519090	BANCO POPULAR N AMER	CAPITAL B&T TR
1/28/2005	16-19-206-009-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2008	16-19-206-009-0000	AMENDMENT	505922131	BOLINGBROOK PROP LLC	AMERICAN NATL B&T CO CHGO
2/28/2005	16-19-206-009-0000	AMENDMENT	505922133	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-009-0000	AMENDMENT	505922136	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	505922137	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	505922138	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-009-0000	CONTINUING FINANCING STATEMENT	505922139	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
1/21/2005	16-19-206-009-0000	TRUSTEE'S DEED	502147095	NORTH STAR TRUST CO TR	BERWYN PROPERTIES LLC
12/27/2004	16-19-206-009-0000	FINANCING STATEMENT	435712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/27/2004	16-19-206-009-0000	FINANCING STATEMENT	435712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/27/2004	16-19-206-009-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/27/2004	16-19-206-009-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-206-009-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
10/10/2003	16-19-206-009-0000	AFFIDAVIT	328348126	ILLINOIS ENVIRON PROTECTION AGCY	TRIANO BAKING CO
8/15/2000	16-19-206-009-0000	MODIFICATION	624092	BANCO POPULAR N AMER TR	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-206-009-0000	MORTGAGE	620775	BANCO POPULAR TR	AMERICAN NATL B&T CO CHGO
8/14/2000	16-19-206-009-0000	SUBORDINATION	621230	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
3/31/1995	16-19-206-009-0000	ASSIGNMENT	95218704	CAPITOL B&T TR	CAPITOL B&T
3/31/1995	16-19-206-009-0000	MORTGAGE	95218705	CAPITOL B&T TR	CAPITOL B&T
8/4/1992	16-19-206-009-0000	CERTIFICATE OF TITLE	92572801	COOK COUNTY REG TITLES	CAPITOL B&T CHGO TR
8/4/1992	16-19-206-009-0000	MODIFICATION	92572802	TURANO EUGENE	CAPITOL B&T TR
3/8/1990	16-19-206-009-0000	RELEASE	80104861	SUBURBAN T&S BK	SUBURBAN T&S BK TR
8/7/1990	16-19-206-009-0000	DEED IN TRUST	80104862	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
2/15/1990	16-19-206-009-0000	TRANSFER	90076134	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
2/13/1990	16-19-206-009-0000	ASSIGNMENT	73860280	CAPITOL B&T TR	CAPITOL B&T
2/13/1990	16-19-206-009-0000	DEED IN TRUST	73860278	SUBURBAN T&S BK TR	CAPITOL B&T CHGO TR
2/13/1990	16-19-206-009-0000	TRUST DEED	73860279	CAPITOL B&T CO TR	CHICAGO TITLE & TRUST CO
12/24/1987	16-19-206-009-0000	US PENDING	87629104	C P LANDCO EXCAVATING C	REI ARM BLDG INC
3/20/1986	16-19-206-009-0000	RELEASE	86108073	SUBURBAN T&S BK	ANDREWS EMANUEL T
3/20/1986	16-19-206-009-0000	RELEASE	86108074	SUBURBAN T&S BK	ANDREWS EMANUEL T
3/30/1986	16-19-206-009-0000	ASSIGNMENT	86101448	SUBURBAN T&S BK	SUBURBAN T&S BK
3/14/1986	16-19-206-009-0000	TRUST DEED	86101449	SUBURBAN T&S BK TR	SUBURBAN T&S BK TR
2/11/1986	16-19-206-009-0000	RELEASE	73495480	SUBURBAN T&S BK	ANDREWS EMANUEL T
2/11/1986	16-19-206-009-0000	RELEASE	86080203	SUBURBAN T&S BK	ANDREWS EMANUEL T



**COOK COUNTY RECORDER OF DEEDS**

**KAREN A. YARBROUGH**

8571 West Roosevelt Road  
Berwyn, Illinois

Recorded Date	PKB	Type Desc.	Doc. #	2nd Grantee	1st Grantee
6/5/2015	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1507085024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
6/3/2015	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1506217029	JPMORGAN CHASE BK	BOLLINGBROOK PROP LLC
7/11/2014	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1419215026	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/5/2014	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/3/2014	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1419215031	JPMORGAN CHASE BK	MERUS LIMITED LIABILITY COMPANY
7/1/2014	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1419215032	JPMORGAN CHASE BK	BOLLINGBROOK PROPERTIES LLC
6/11/2015	16-19-206-010-0000	AMENDMENT	1612846939	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/19/2010	16-19-206-010-0000	AMENDMENT	1611884561	JPMORGAN CHASE BK	BOLLINGBROOK PROP LLC
3/29/2010	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	1608454087	JPMORGAN CHASE BK	KNEAD DOUGH BAKERS COMPANY
8/4/2009	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	921634725	JPMORGAN CHASE BK	MERUS LLC
8/15/2009	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	921634726	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	921634725	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
8/4/2009	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	921634726	JPMORGAN CHASE BK	BOLLINGBROOK PROP LLC
8/4/2009	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	921634727	JPMORGAN CHASE BK	BERWYN PROP LLC
8/22/2005	16-19-206-010-0000	ASSIGNMENT	245517120	KNEAD DOUGH BAKING CO	BANC ONE LEASING CORP
4/13/2005	16-19-206-010-0000	TERMINATION	50047227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-010-0000	TERMINATION	510347178	JPMORGAN CHASE BK	MERUS LTD LIABILITY CO
4/13/2005	16-19-206-010-0000	TERMINATION	510347179	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-206-010-0000	TERMINATION	510347180	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
4/13/2005	16-19-206-010-0000	TERMINATION	510347181	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
5/18/2005	16-19-206-010-0000	RELEASE	507514098	BANCO POPULAR N AMER	CAPITAL B&T TR
5/18/2005	16-19-206-010-0000	RELEASE	507514099	BANCO POPULAR N AMER	CAPITAL B&T TR
2/28/2005	16-19-206-010-0000	AMENDMENT	505822130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-010-0000	AMENDMENT	505822131	BOLLINGBROOK PROP LLC	AMERICAN NATL B&T CO CHGO
2/8/2005	16-19-206-010-0000	AMENDMENT	505822132	CAMPAGNA TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-010-0000	AMENDMENT	505822133	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	505822134	CAMPAGNA TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	505822135	BERWYN PROP LLC	JPMORGAN CHASE BK
2/8/2005	16-19-206-010-0000	CONTINUING FINANCING STATEMENT	505822136	BOLLINGBROOK PROP LLC	JPMORGAN CHASE BK
7/1/2006	16-19-206-010-0000	TRUSTEE'S DEED	302167085	NORTH STAR TRUST CO TR	BERWYN PROPERTIES LLC
4/19/2005	16-19-206-010-0000	VACATION	501901152	BERWYN CITY	PUBLIC
12/22/2004	16-19-206-010-0000	FINANCING STATEMENT	435712148	BERWYN PROP LLC	JPMORGAN CHASE BK
11/17/2004	16-19-206-010-0000	FINANCING STATEMENT	435712150	MERUS LTD LIABILITY CO	JPMORGAN CHASE BK
11/17/2004	16-19-206-010-0000	FINANCING STATEMENT	435712151	BOLLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
11/17/2004	16-19-206-010-0000	FINANCING STATEMENT	435712152	CAMPAGNA TURANO BAKERY INC	JPMORGAN CHASE BK
11/17/2004	16-19-206-010-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
10/10/2003	16-19-206-010-0000	AFFIDAVIT	236988128	TECHNICAL AGENT	TURANO BAKING CO
6/15/2000	16-19-206-010-0000	MODIFICATION	51429773	BANCO POPULAR N AMER	TR
6/14/2000	16-19-206-010-0000	MORTGAGE	520735	BANCO POPULAR TR	CHRG
4/14/2000	16-19-206-010-0000	RELEASE	450767	BANCO POPULAR	TR
8/14/2000	16-19-206-010-0000	SUBORDINATION	621260	CAMPAGNA TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
6/11/2000	16-19-206-010-0000	MORTGAGE	4911814	CAPITOL B&T TR	CAPITOL B&T TR
6/11/2000	16-19-206-010-0000	MORTGAGE	4911815	CAPITOL B&T TR	CAPITOL B&T TR
6/11/2000	16-19-206-010-0000	CONFIRMATION OF TITLE	6197247	COOK COUNTY AFFI TITLES	CAPITOL B&T CHGO TR
6/11/2000	16-19-206-010-0000	CONFIRMATION OF TITLE	6197247	COOK COUNTY AFFI TITLES	CAPITOL B&T TR
6/11/2000	16-19-206-010-0000	RELEASE	501444	SUBURBAN T&B BK	SUBURBAN T&B BK TR
6/11/2000	16-19-206-010-0000	ASSIGNMENT	501444	SUBURBAN T&B BK TR	CAPITOL B&T TR
6/11/2000	16-19-206-010-0000	RELEASE TRUST	501444	SUBURBAN T&B BK TR	CAPITOL B&T CHGO TR
3/7/1990	16-19-206-010-0000	TRUST DEED	90102715	CAPITOL B&T TR	CHICAGO TITLE & TRUST CO
1/25/1990	16-19-206-010-0000	TRANSFER	50075194	SUBURBAN T&B BK TR	CAPITOL B&T CHGO TR
1/19/1990	16-19-206-010-0000	ASSIGNMENT	73860260	CAPITOL B&T TR	CAPITOL B&T TR
1/13/1990	16-19-206-010-0000	DEED IN TRUST	73860276	SUBURBAN T&B BK TR	CAPITOL B&T CHGO TR
2/13/1990	16-19-206-010-0000	TRUST DEED	73860275	CAPITOL B&T CO TR	CHICAGO TITLE & TRUST CO
1/24/1987	16-19-206-010-0000	115 PROMISSORY	67839250	C	DEL ARMI B&B INC
1/19/1987	16-19-206-010-0000	RELEASE	67780548	BOVIGALLI RON	CAPITOL B&T TR
2/0/1986	16-19-206-010-0000	RELEASE	66106074	SUBURBAN T&B BK	ANDREWS EMANUEL T
2/20/1986	16-19-206-010-0000	RELEASE	66106070	SUBURBAN T&B BK	ANDREWS EMANUEL T
2/14/1986	16-19-206-010-0000	ASSIGNMENT	66102444	SUBURBAN T&B BK TR	SUBURBAN T&B BK
2/14/1986	16-19-206-010-0000	TRUST DEED	66102443	SUBURBAN T&B BK TR	SUBURBAN T&B BK TR
2/1/1986	16-19-206-010-0000	RELEASE	73495480	SUBURBAN T&B BK	ANDREWS EMANUEL T
2/1/1986	16-19-206-010-0000	RELEASE	80682205	SUBURBAN T&B BK	ANDREWS EMANUEL T
12/13/1985	16-19-206-010-0000	DEED IN TRUST	85371964	CAPITOL B&T CO CHGO TR	CAPITOL B&T CO TR
12/13/1985	16-19-206-010-0000	MORTGAGE	85371966	CAPITOL B&T TR	BERWYN CITY



**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROUGH**

6503 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PKB	Type Desc	Doc. #	1st Grantor	1st Grantee
2/11/2015	16-19-206-042-0000	CONTINUING FINANCING STMT	1507039028	JPMORGAN CHASE BK	MERUS LLC
2/11/2015	16-19-206-042-0000	CONTINUING FINANCING STMT	1507039029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/2/2015	16-19-206-042-0000	CONTINUING FINANCING STMT	1506217827	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
3/3/2015	16-19-206-042-0000	CONTINUING FINANCING STMT	1506217026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-206-042-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-206-042-0000	CONTINUING FINANCING STMT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-206-042-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-206-042-0000	CONTINUING FINANCING STMT	1419215031	JPMORGAN CHASE BK	MERUS LIMITED LIABILITY COMPANY
7/11/2014	16-19-206-042-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
5/21/2010	16-19-206-042-0000	AMENDMENT	2017286095	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/25/2010	16-19-206-042-0000	AMENDMENT	2014534085	JPMORGAN CHASE BK	JPMORGAN CHASE BK
5/18/2010	16-19-206-042-0000	AMENDMENT	2014983465	JPMORGAN CHASE BK	BOLINGBROOK PROF LLC
5/5/2010	16-19-206-042-0000	AMENDMENT	2012534028	JPMORGAN CHASE BK	JPMORGAN CHASE BK
4/16/2010	16-19-206-042-0000	CONTINUING FINANCING STMT	2010584073	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
3/25/2010	16-19-206-042-0000	CONTINUING FINANCING STMT	1008434044	JPMORGAN CHASE BK	BERWYN PROP LLC
3/23/2010	16-19-206-042-0000	CONTINUING FINANCING STMT	1008434087	JPMORGAN CHASE BK	KNEAD DOUGH BAKING COMPANY
8/4/2009	16-19-206-042-0000	CONTINUING FINANCING STMT	921634028	JPMORGAN CHASE BK	MERUS LLC
8/4/2009	16-19-206-042-0000	CONTINUING FINANCING STMT	921634014	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-206-042-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-206-042-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-206-042-0000	CONTINUING FINANCING STMT	921634227	JPMORGAN CHASE BK	BERWYN PROP LLC
2/22/2005	16-19-206-042-0000	AMENDMENT	526517020	KNEAD DOUGH BAKING CO	BANK ONE LEASING CORP
4/13/2005	16-19-206-042-0000	TERMINATION	510347277	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-206-042-0000	TERMINATION	510407128	JPMORGAN CHASE BK	MERUS LTD LIABILITY CO
4/13/2005	16-19-206-042-0000	TERMINATION	510347229	JPMORGAN CHASE BK	BERWYN PROP LLC
4/13/2005	16-19-206-042-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-206-042-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/2/2005	16-19-206-042-0000	AMENDMENT	506116001	AMERICAN NATL B&T CO CHGO	JPMORGAN CHASE BK
3/2/2005	16-19-206-042-0000	CONTINUING FINANCING STMT	506116002	JPMORGAN CHASE BK	MERUS LTD LIABILITY CO
3/2/2005	16-19-206-042-0000	CONTINUING FINANCING STMT	506116003	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
2/28/2005	16-19-206-042-0000	AMENDMENT	505922150	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-206-042-0000	AMENDMENT	505922156	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-042-0000	CONTINUING FINANCING STMT	505922152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
2/28/2005	16-19-206-042-0000	CONTINUING FINANCING STMT	505922134	BERWYN PROP LLC	JPMORGAN CHASE BK
2/28/2005	16-19-206-042-0000	CONTINUING FINANCING STMT	505922135	BOLINGBROOK PROP LLC	JPMORGAN CHASE BK
1/21/2005	16-19-206-042-0000	TRUSTEES DEED FINANCING STATEMENT	502147096	NORTH STAR TRUST CO TR	BERWYN PROP LLC
12/22/2004	16-19-206-042-0000	FINANCING STATEMENT	438712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-042-0000	FINANCING STATEMENT	438712150	MERUS LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-206-042-0000	FINANCING STATEMENT	438712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-206-042-0000	FINANCING STATEMENT	438712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-206-042-0000	FINANCING STATEMENT	438712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
9/5/2000	16-19-206-042-0000	TERMINATION	698159	BANK AMER	BERWYN PROP LLC
6/17/2000	16-19-206-042-0000	FINANCING STATEMENT	634094	MERUS LLC	AMERICAN NATL B&T CO CHGO
6/17/2000	16-19-206-042-0000	FINANCING STATEMENT	634093	BOLINGBROOK PROPERTIES LLC	AMERICAN NATL B&T CO CHGO
6/17/2000	16-19-206-042-0000	FINANCING STATEMENT	634092	BERWYN PROP LLC	AMERICAN NATL B&T CO CHGO
6/17/2000	16-19-206-042-0000	FINANCING STATEMENT	634091	KNEAD DOUGH BAKING CO	AMERICAN NATL B&T CO CHGO
6/17/2000	16-19-206-042-0000	FINANCING STATEMENT	634090	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO
6/14/2000	16-19-206-042-0000	MORTGAGE RELEASE	621124	BANK OF AMER	AMERICAN NATL B&T CO CHGO
6/14/2000	16-19-206-042-0000	MORTGAGE RELEASE	620772	BANK AMER	CAPTOR B&T TR
6/14/2000	16-19-206-042-0000	SUBORDINATION	621120	CAMPAGNA-TURANO BAKERY INC	AMERICAN NATL B&T CO CHGO TR
5/16/1998	16-19-206-042-0000	CERTIFICATE OF TITLE	98045628	COOK COUNTY RECORDER OF DEEDS	CAPTOR B&T TR
12/8/1997	16-19-206-042-0000	MORTGAGE	97920184	CAPITAL B&T CHGO TR	BANK AMERICA IL

**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROUW**

6601 West Roosevelt Road  
 Mayfield, Illinois

Recorded Date	PK#	Type Desc.	Doc. #	1st Grantor	1st Grantee
3/17/2015	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1507039024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
3/18/2015	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1506639010	JPMORGAN CHASE BK	BERWYN PROPERTIES LLC
3/18/2015	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1506217029	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
7/11/2014	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1419215029	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-207-001-0000	CONTINUING FINANCING STATEMENT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
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5/18/2010	16-19-207-001-0000	AMENDMENT	3012834082	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
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4/13/2005	16-19-207-001-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-207-001-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-207-001-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-207-001-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
3/9/2005	16-19-207-001-0000	AMENDMENT	508832067	BERWYN PROP LLC	JPMORGAN CHASE BK
1/18/2005	16-19-207-001-0000	AMENDMENT	505922130	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
2/28/2005	16-19-207-001-0000	AMENDMENT	505922133	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
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12/22/2004	16-19-207-001-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-207-001-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
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2/19/2000	16-19-207-001-0000	RELEASE	172979	FED CU	SELFRELIANCE UKRAINIAN
1/20/2000	16-19-207-001-0000	QUIT CLAIM DEED	48920	TURANO J ANTHONY	BERWYN PROP LLC
1/20/2000	16-19-207-001-0000	TRUSTEE'S DEED	48971	TOLD KENT BK TR	TURANO J ANTHONY
7/6/1999	16-19-207-001-0000	RELEASE	95098847	PINNACLE BK TR	PINNACLE BK TR
7/6/1999	16-19-207-001-0000	RELEASE	95098848	HARRIS BK HINSDL	HARRIS BK HINSDL TR
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3/5/1991	16-19-207-001-0000	ASSIGNMENT	91098393	FIRST NATL BK CICERO TR	FIRST NATL BK CICERO
3/5/1991	16-19-207-001-0000	MORTGAGE	91098392	FIRST NATL BK CICERO TR	FIRST NATL BK CICERO
3/5/1991	16-19-207-001-0000	TRUSTEE'S DEED	91098391	HARRIS BK HINSDL TR	FIRST NATL BK CICERO TR
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8/27/1986	16-19-207-001-0000	MORTGAGE	86379391	HARRIS BK HINSDL	HARRIS BK HINSDL
7/9/1986	16-19-207-001-0000	MORTGAGE	86276084	HARRIS BK HINSDL, NA	HARRIS BK HINSDL, NA

**COOK COUNTY RECORDER OF DEEDS**  
**KAREN A. YARBROUGH**

6501 West Roosevelt Road  
 Berwyn, Illinois

Recorded Date	PIN	Type Desc.	Doc. #	1st Grantor	1st Grantee
7/11/2014	16-19-207-003-0000	CONTINUING FINANCING STMT	1419215028	JPMORGAN CHASE BK	BERWYN PROP LLC
7/11/2014	16-19-207-003-0000	CONTINUING FINANCING STMT	1419215029	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
7/11/2014	16-19-207-003-0000	CONTINUING FINANCING STMT	1419215030	JPMORGAN CHASE BK	CAMPAGNA TURANO BAKERY INC
7/11/2014	16-19-207-003-0000	CONTINUING FINANCING STMT	1419215031	JPMORGAN CHASE BK	MERUG LIMITED LIABILITY COMPANY
7/11/2014	16-19-207-003-0000	CONTINUING FINANCING STMT	1419215032	JPMORGAN CHASE BK	BOLINGBROOK PROPERTIES LLC
6/21/2010	16-19-207-003-0000	AMENDMENT	1017234035	JPMORGAN CHASE BK	JPMORGAN CHASE BK
8/4/2009	16-19-207-003-0000	CONTINUING FINANCING STMT	921634023	JPMORGAN CHASE BK	MERUG LLC
8/4/2009	16-19-207-003-0000	CONTINUING FINANCING STMT	921634024	JPMORGAN CHASE BK	KNEAD DOUGH BAKING CO
8/4/2009	16-19-207-003-0000	CONTINUING FINANCING STMT	921634025	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
8/4/2009	16-19-207-003-0000	CONTINUING FINANCING STMT	921634026	JPMORGAN CHASE BK	BOLINGBROOK PROP LLC
8/4/2009	16-19-207-003-0000	CONTINUING FINANCING STMT	921634027	JPMORGAN CHASE BK	BERWYN PROP LLC
4/13/2005	16-19-207-003-0000	TERMINATION	510347227	BERWYN PROP LLC	JPMORGAN CHASE BK
4/13/2005	16-19-207-003-0000	TERMINATION	510347228	JPMORGAN CHASE BK	MERUG LTD LIABILITY CO
4/13/2005	16-19-207-003-0000	TERMINATION	510347229	JPMORGAN CHASE BK	UNKNOWN
4/13/2005	16-19-207-003-0000	TERMINATION	510347230	JPMORGAN CHASE BK	CAMPAGNA-TURANO BAKERY INC
4/13/2005	16-19-207-003-0000	TERMINATION	510347231	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
12/22/2004	16-19-207-003-0000	FINANCING STATEMENT	435712149	BERWYN PROP LLC	JPMORGAN CHASE BK
12/22/2004	16-19-207-003-0000	FINANCING STATEMENT	435712150	MERUG LTD LIABILITY CO	JPMORGAN CHASE BK
12/22/2004	16-19-207-003-0000	FINANCING STATEMENT	435712151	BOLINGBROOK PROPERTIES LLC	JPMORGAN CHASE BK
12/22/2004	16-19-207-003-0000	FINANCING STATEMENT	435712152	CAMPAGNA-TURANO BAKERY INC	JPMORGAN CHASE BK
12/22/2004	16-19-207-003-0000	FINANCING STATEMENT	435712153	KNEAD DOUGH BAKING CO	JPMORGAN CHASE BK
10/17/2000	16-19-207-003-0000	CERTIFICATE OF TITLE	809804	COOK COUNTY REGISTRAR OF TITLES	CRONE GEORGE R
10/17/2000	16-19-207-003-0000	RELEASE	809806	CENTRAL FED S&L ASSN	CRONE GEORGE
10/17/2000	16-19-207-003-0000	WARRANTY DEED	809805	CRONE GEORGE	BERWYN PROP LLC





**SANBORN FIRE INSURANCE MAPS (SANBORNS)**

6501 West Roosevelt Road  
6501 West Roosevelt Road  
Berwyn, IL 60402

Inquiry Number: 4693142.1  
August 05, 2016

## Certified Sanborn® Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)



# Certified Sanborn® Map Report

08/05/16

**Site Name:**

6501 West Roosevelt Road  
6501 West Roosevelt Road  
Berwyn, IL 60402  
EDR Inquiry # 4693142.1

**Client Name:**

Environmental Services, Inc.  
7237 West Devon Avenue  
Chicago, IL 60631  
Contact: Ross Kroll



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**Certification #** 3967-4C30-A47F  
**PO #** NA  
**Project** 17312-0716



Sanborn® Library search results  
Certification #: 3967-4C30-A47F

**Maps Provided:**

1975  
1951  
1950  
1947  
1929  
1919  
1908

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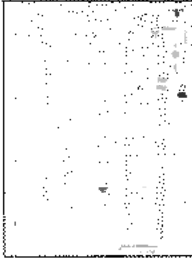
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**Sanborn Sheet Key**

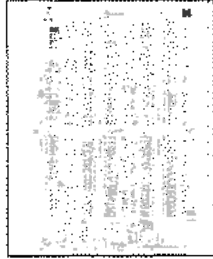
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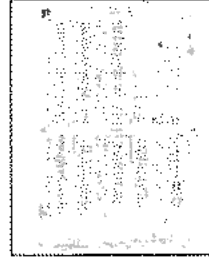
**1975 Source Sheets**



Volume 31, Sheet 6

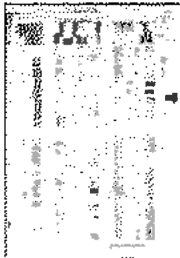


Volume 1, Sheet 96



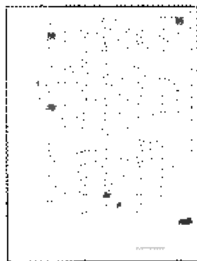
Volume 1, Sheet 97

**1951 Source Sheets**

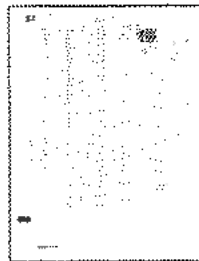


Volume 31, Sheet 6

**1950 Source Sheets**

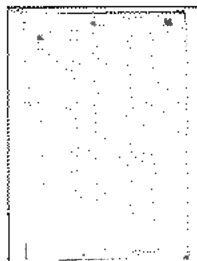


Volume 1, Sheet 96

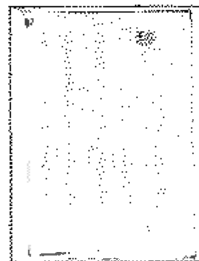


Volume 1, Sheet 97

**1947 Source Sheets**



Volume 1, Sheet 96



Volume 1, Sheet 97

**Sanborn Sheet Key**

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



**1929 Source Sheets**



Volume 31, Sheet 6

**1919 Source Sheets**



Volume B, Sheet 6



Volume B, Sheet 7

**1908 Source Sheets**



Volume 1, Sheet 87

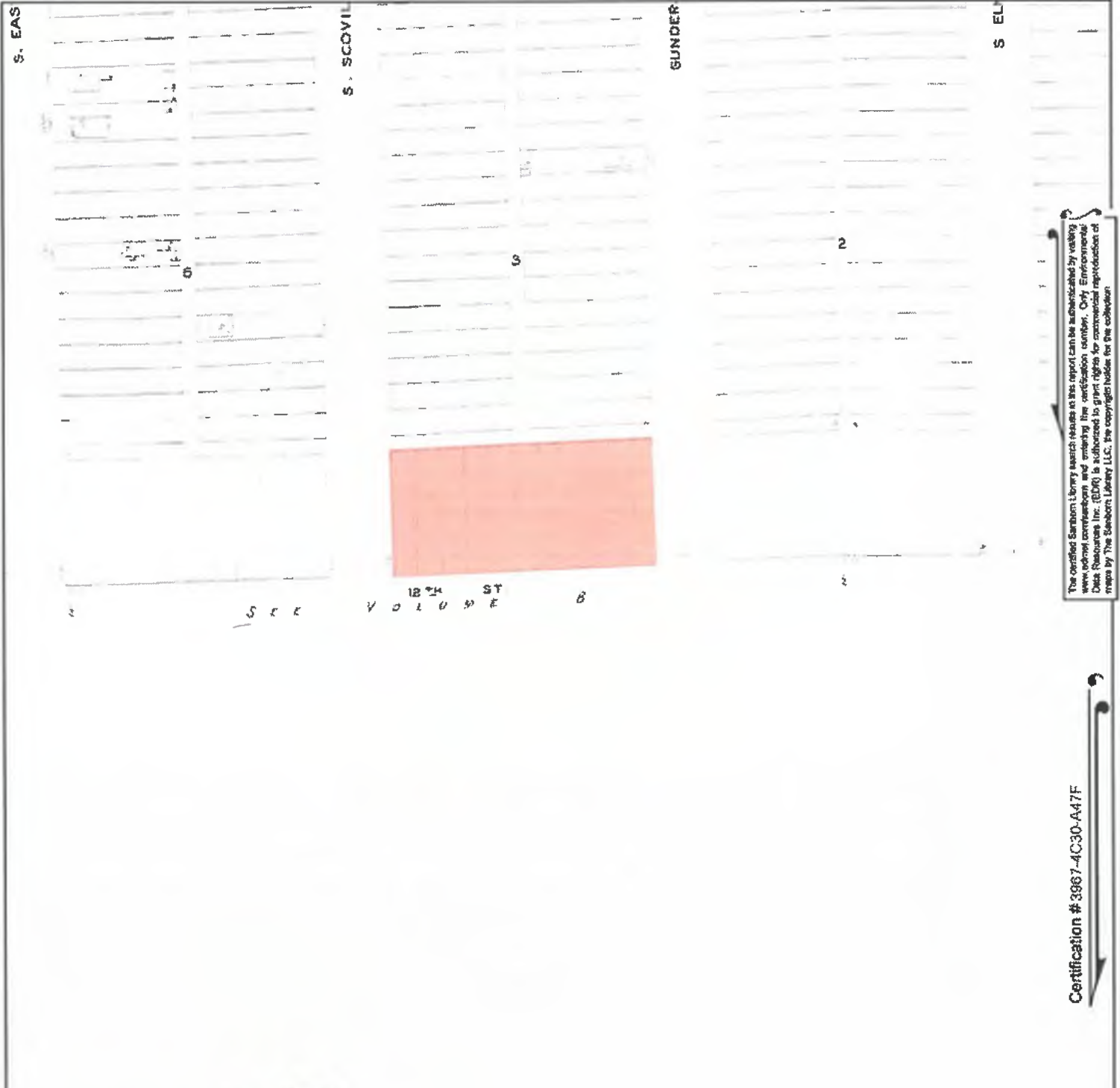


Volume 1, Sheet 96



Volume 1, Sheet 97





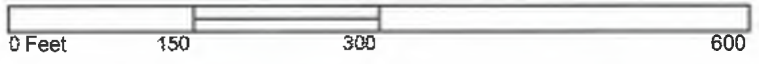
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Certification # 3967-4C30-A47F

Site Name: 6901 West Roosevelt Road  
 Address: 6501 West Roosevelt Road  
 City, ST, ZIP: Skowhegan, ME 04908  
 Client: Environmental Services, Inc.  
 EDR Inquiry: 4603142-1  
 Draw Date: 06/25/2013  
 Certification #: 3937-4C30-A47F  
 Date: 10/20



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.

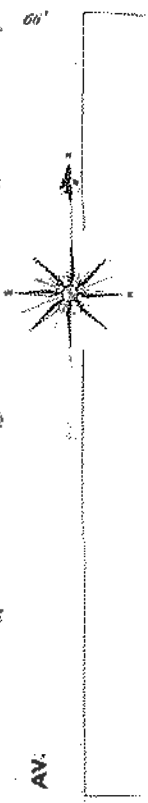
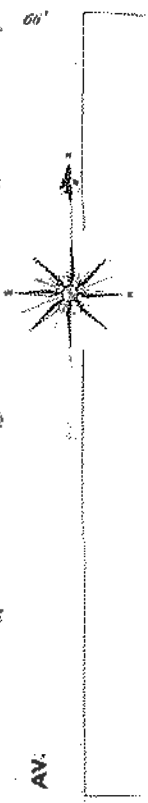
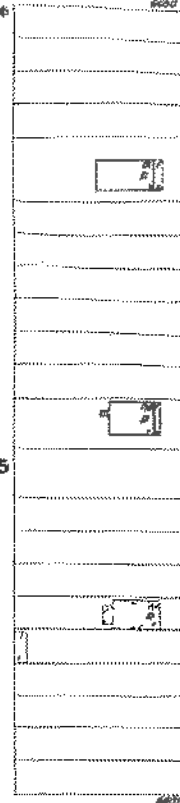
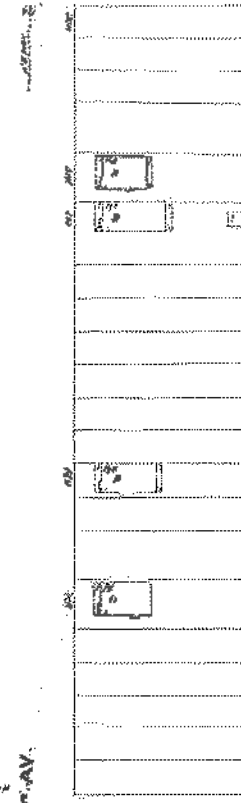
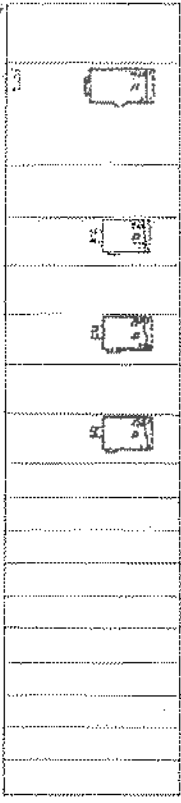
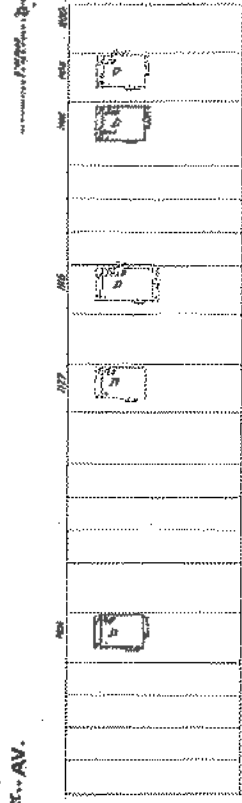
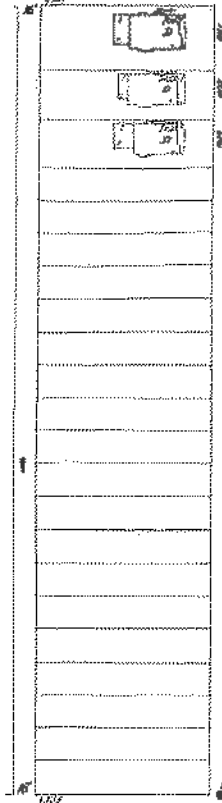


Volume 1, Sheet 97  
 Volume 1, Sheet 96  
 Volume 1, Sheet 87



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HARVARD 85



WESLEY AV.

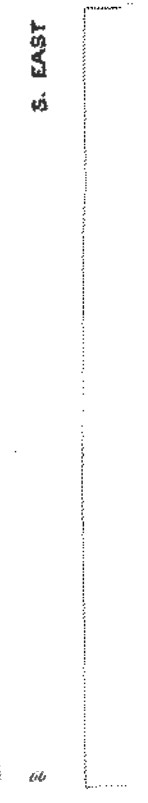
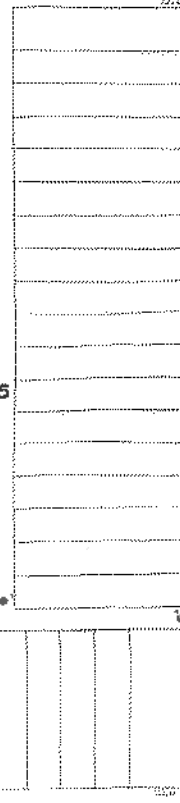
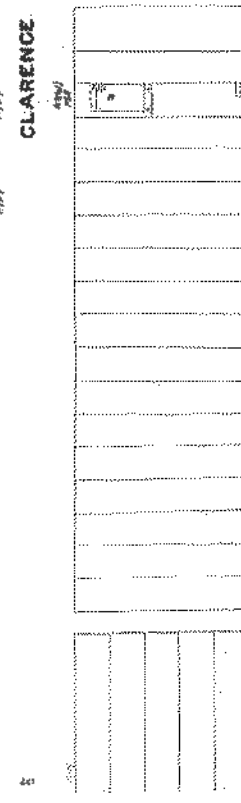
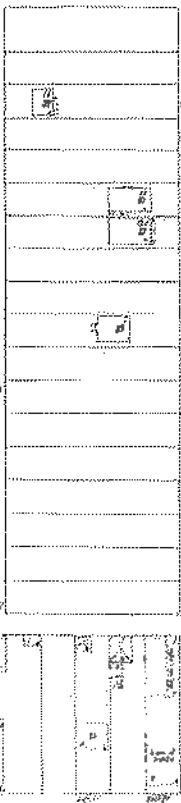
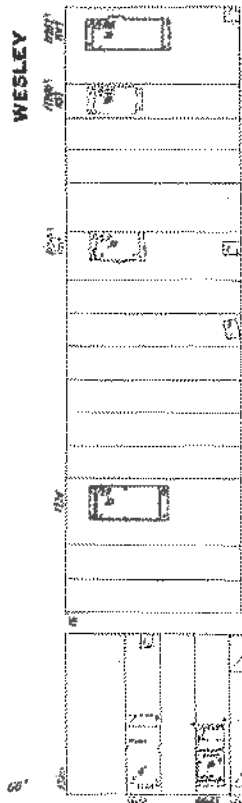
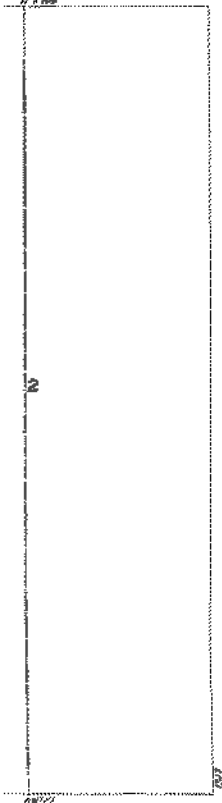
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S. EAST AV.

94

FILLMORE

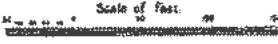
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WESLEY

CLARENCE

S. EAST

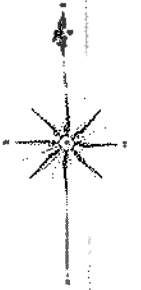
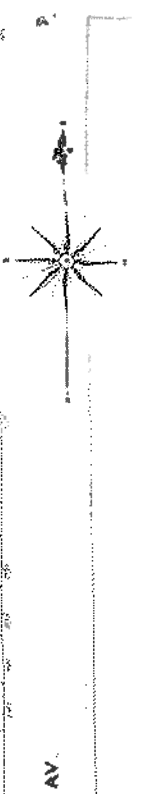
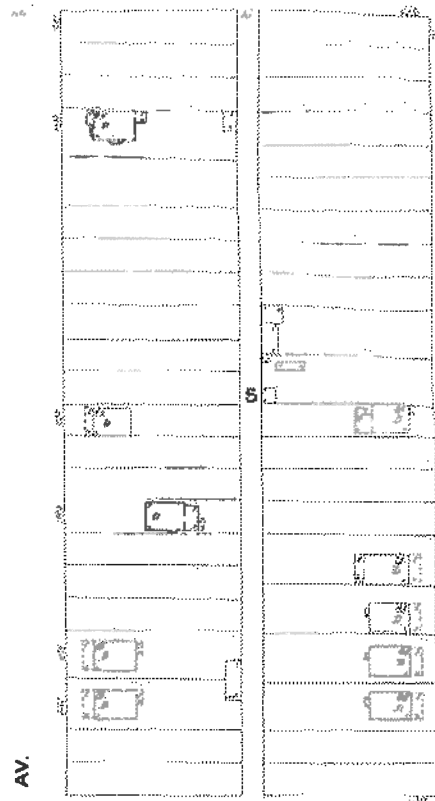
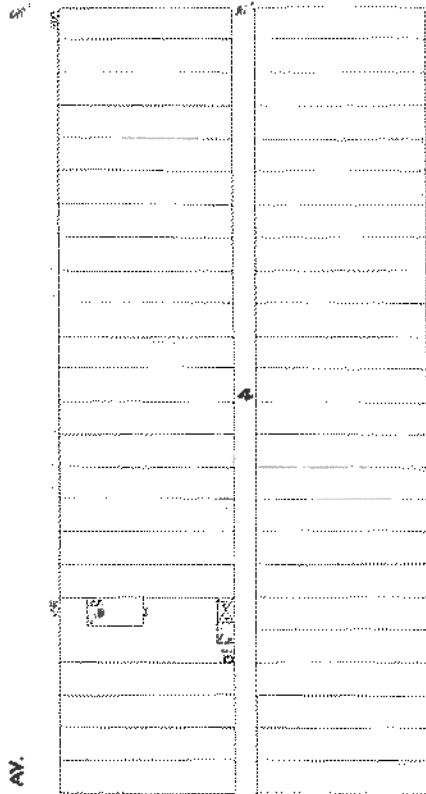
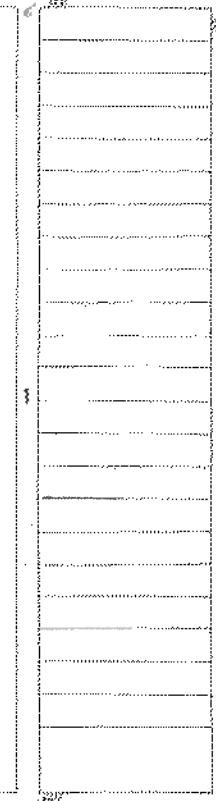


SEE VOLUME 12<sup>TH</sup> ST. B

97

HARVARD

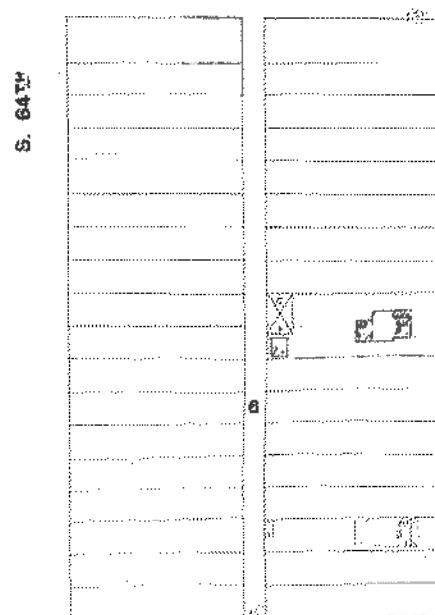
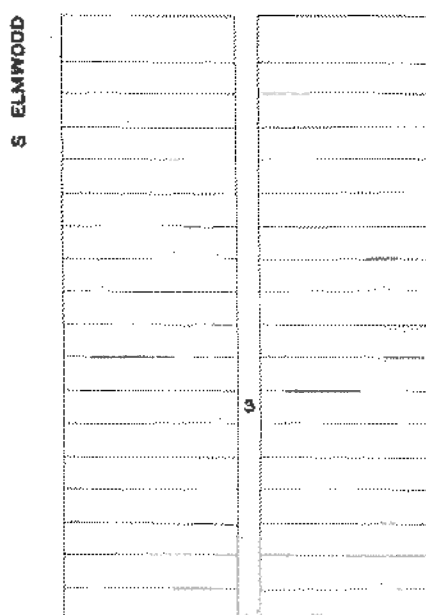
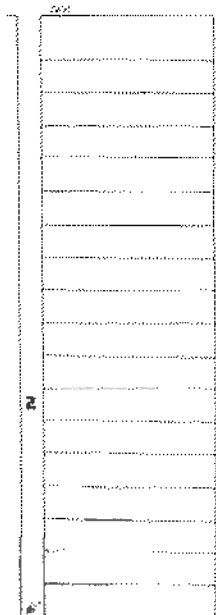
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96

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98



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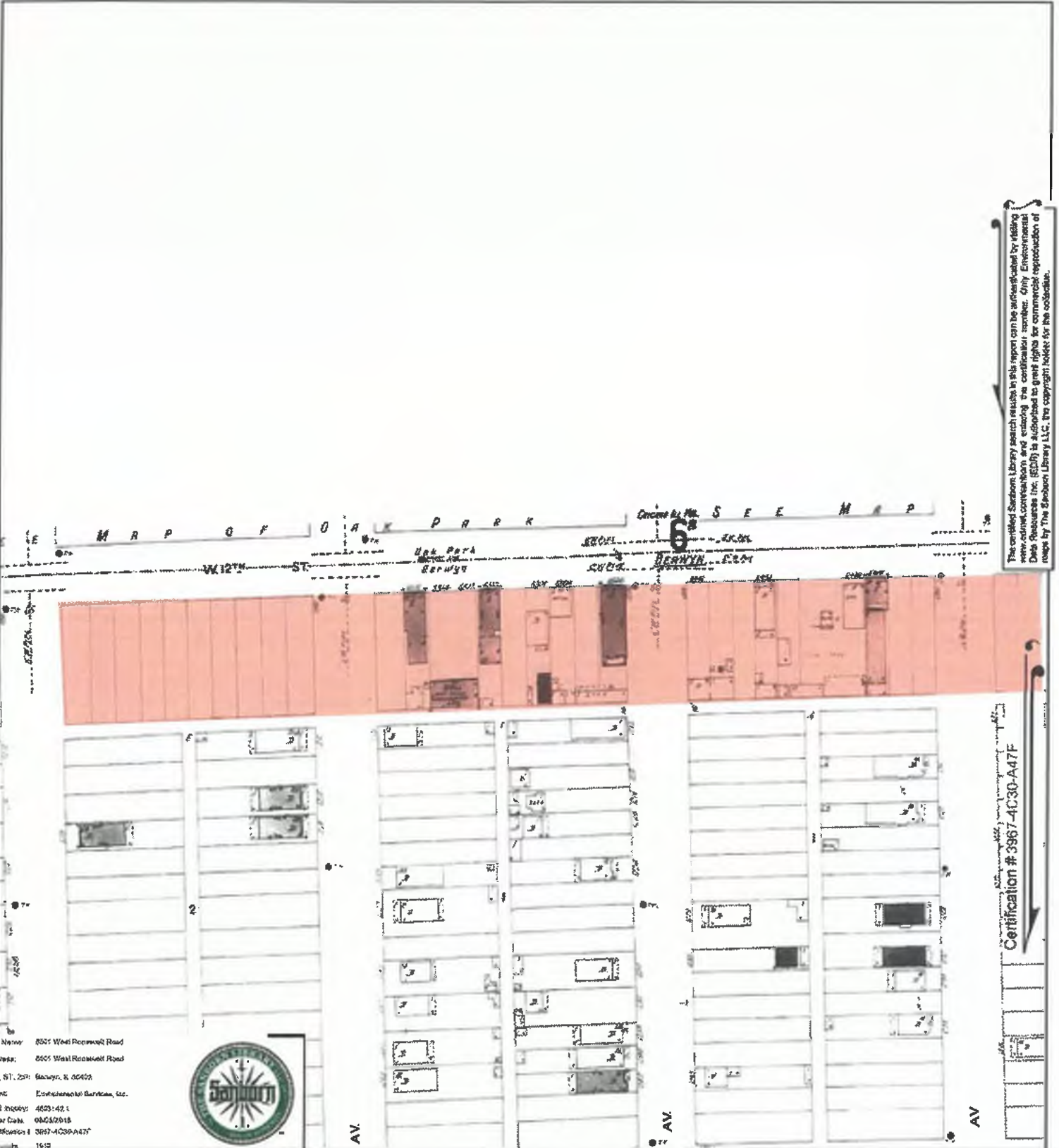
S. CUYLER



12TH ST  
SER VOLUME B



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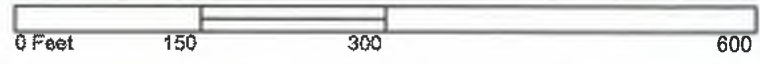


Site Name: 8501 West Rosewell Road  
Address: 8501 West Rosewell Road  
City, ST, ZIP: Kenosha, W, 53142  
Client: Environmental Services, Inc.  
EDR Project: 4621-42-1  
Order Date: 04/25/2018  
Certification #: 3967-4C30-A47F  
Completion: 1919



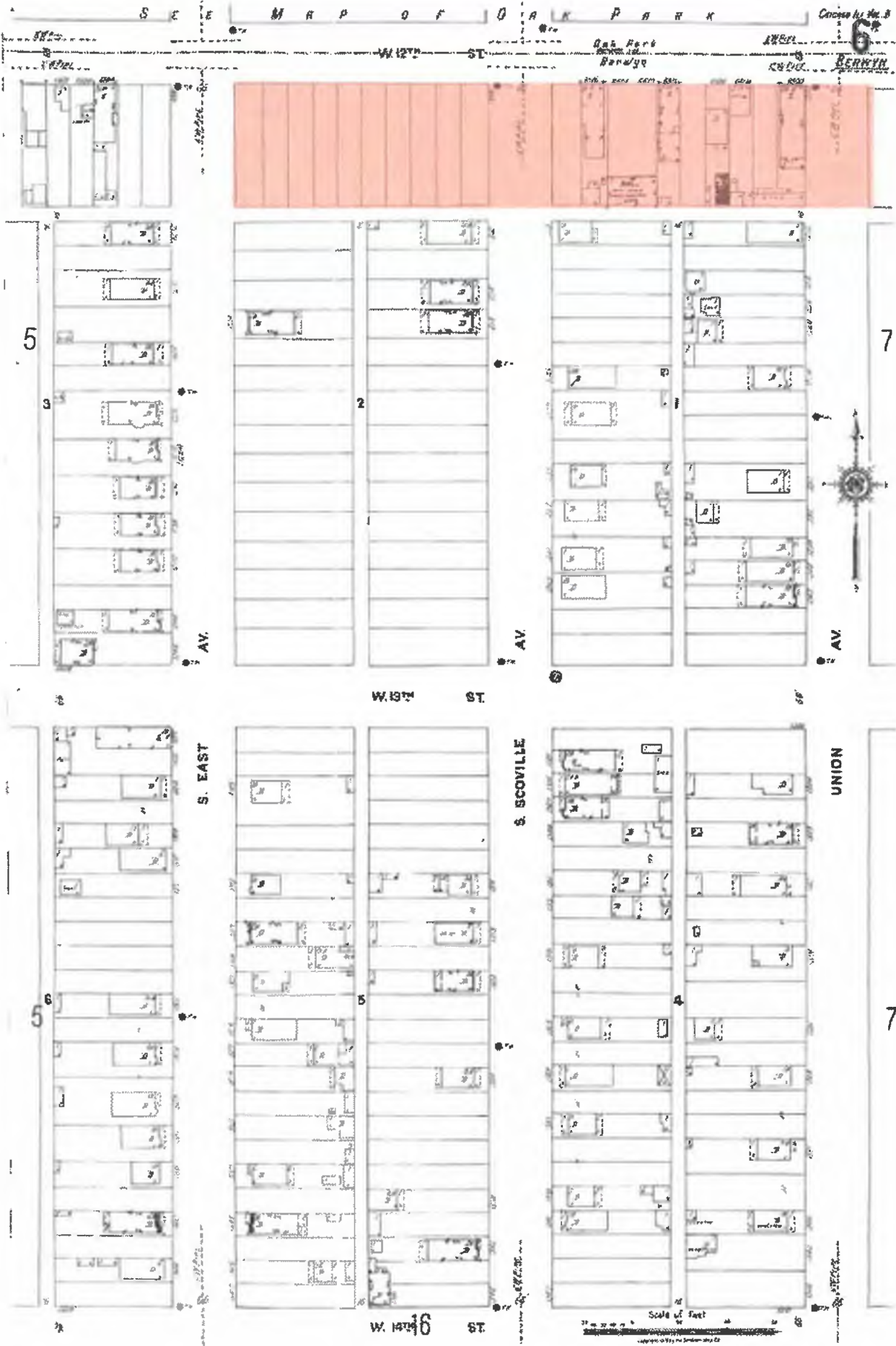
Certification # 3967-4C30-A47F

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Volume B, Sheet 7  
Volume B, Sheet 6





S E E M A P O F O A K P A R K

Concess by No. 3

6

W 12th ST

Oak Park  
Parade

W 13th ST

W 14th ST

UNION

5

7

AV.

AV.

AV.

W 13th ST

S. EAST

S. SCOVILLE

UNION

5

7

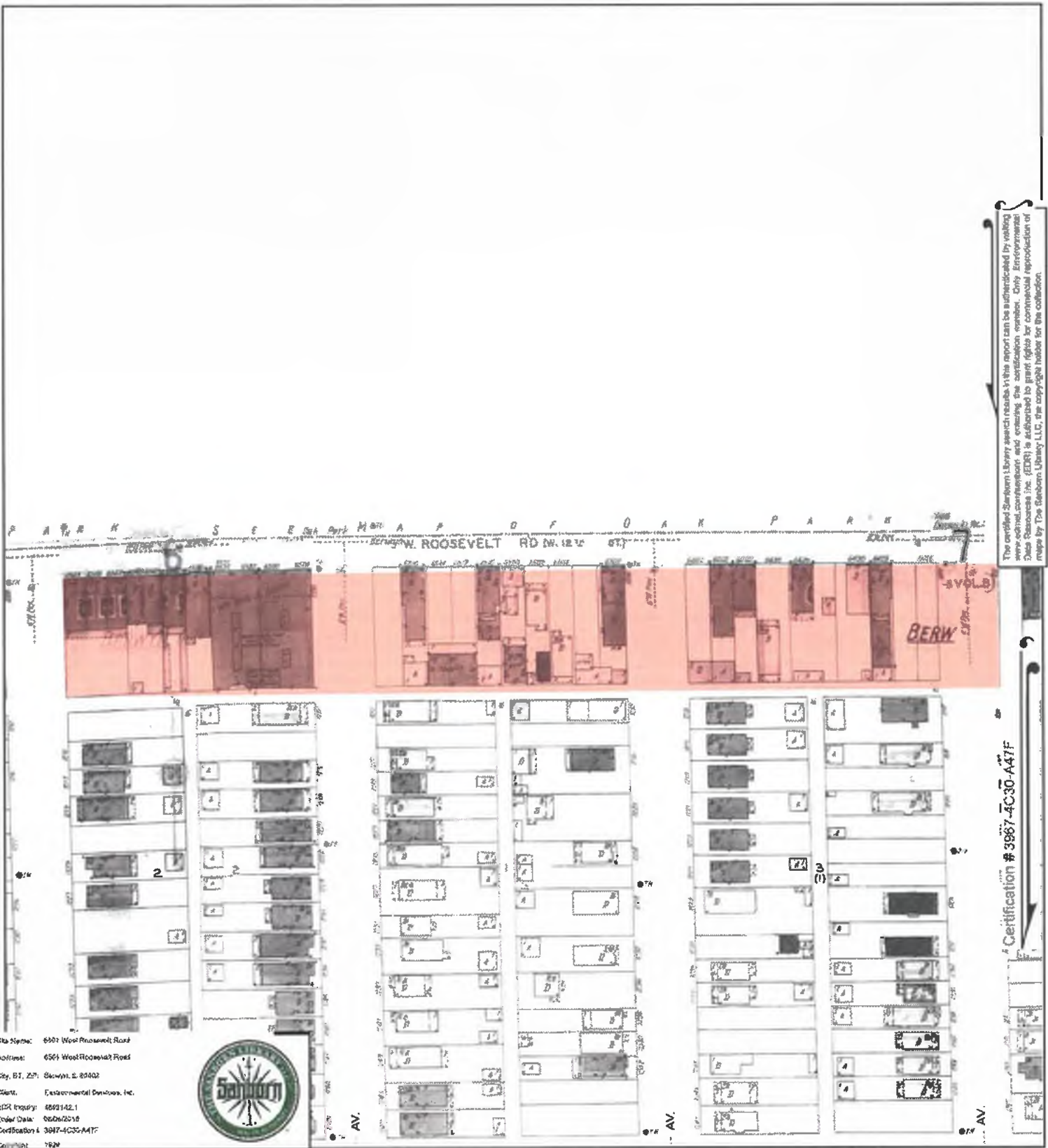
W. 14th ST

Scale of Feet

Copyright 1919 by the Standard Map Co.







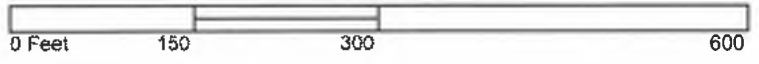
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Block Symbol: 6901 West Roosevelt Road  
 Address: 6901 West Roosevelt Road  
 City, ST, ZIP: Searsville, IL 60082  
 Client: Environmental Services, Inc.  
 EDR Inquiry: 4693142-1  
 Order Date: 06/06/2016  
 Certification #: 3987-4C30-A47F  
 Collection: 1929



Certification # 3987-4C30-A47F

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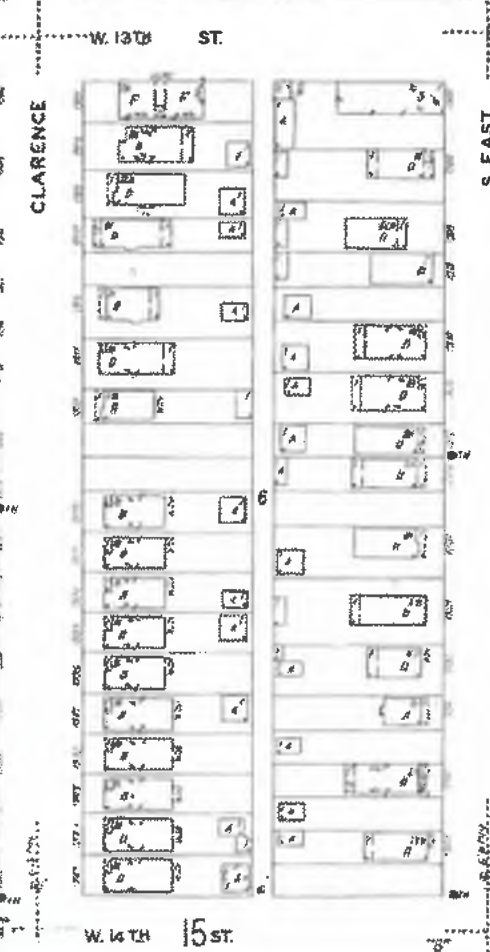
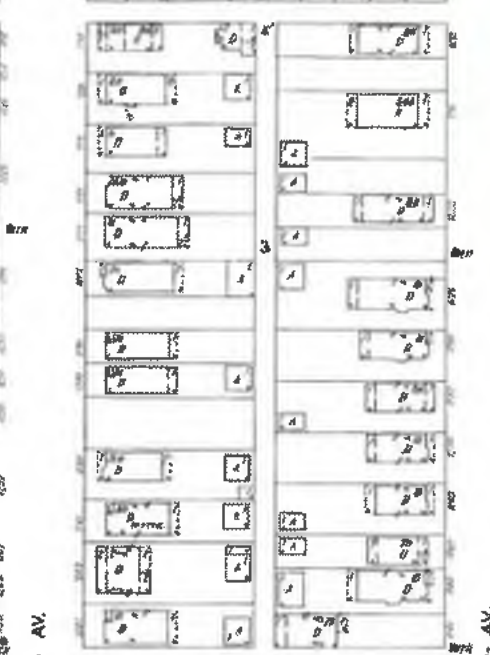
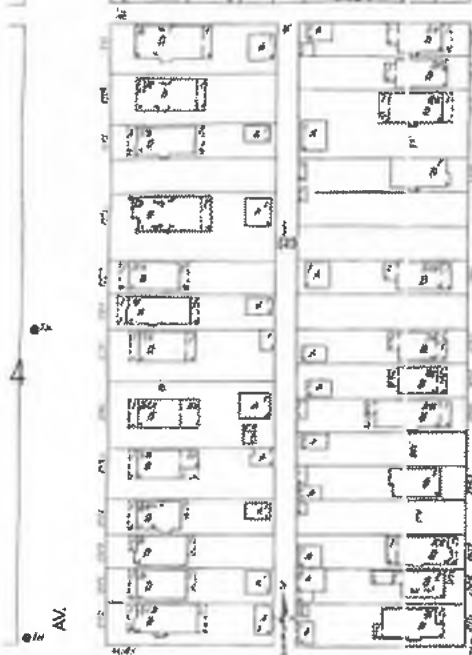
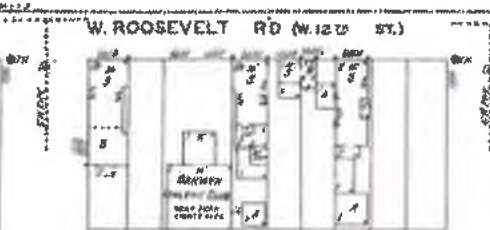
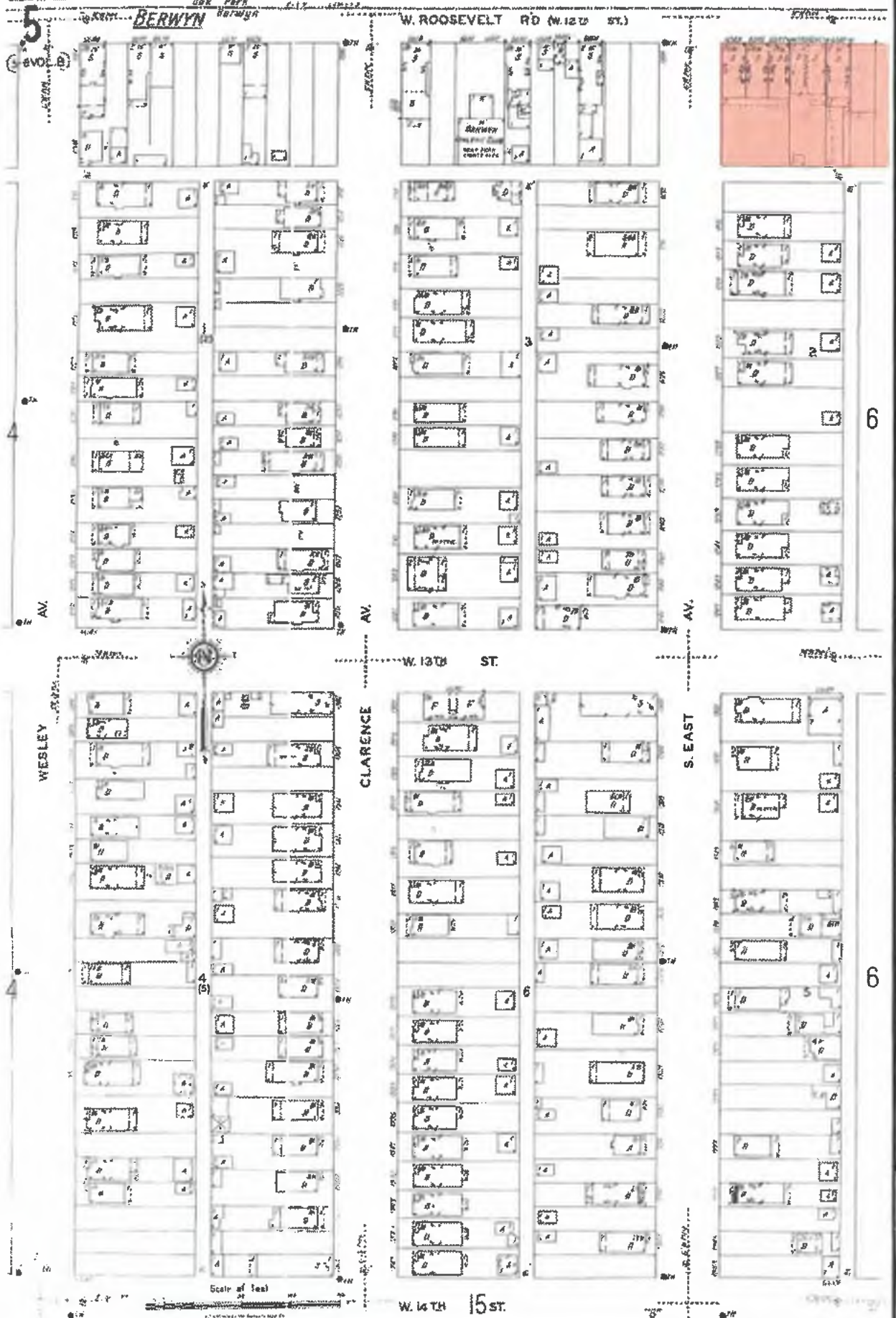


Volume 31, Sheet 6



1929 West Adjacent

General Map of BERWYN



Scale of feet

W. 14th 15th ST.



S E E M A P D O F O R A P R A R A



BERWYN

W ROOSEVELT RD (W 12TH ST.)

(BYOLA)

BERWYN

AV.

AV.

AV.

Scale of Feet

W 13TH ST.

S. ELWOOD AV.

S. RIDGELAND AV.

S. CUYLER AV.

6

8

W. 14TH ST.



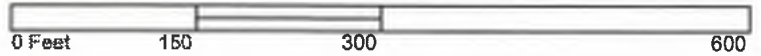


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Site Name: 651 West Roosevelt Road  
 Address: 651 West Roosevelt Road  
 City, ST, ZIP: Beverly, IL 60402  
 Client: Environmental Data Resources, Inc.  
 EDR Inquiry: 4025142.1  
 Case Date: 06/28/2016  
 Certification #: 3967-4C30-A47F  
 Date: 1947



This Certified Sanborn Map combines the following sheets.  
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 97  
 Volume 1, Sheet 96

Certification # 3967-4C30-A47F

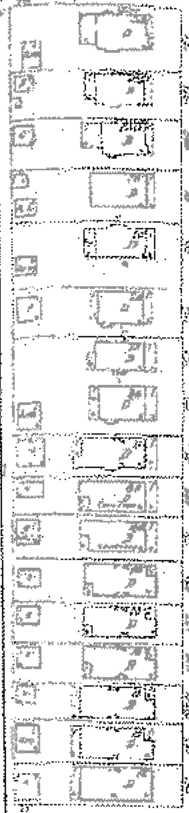


95

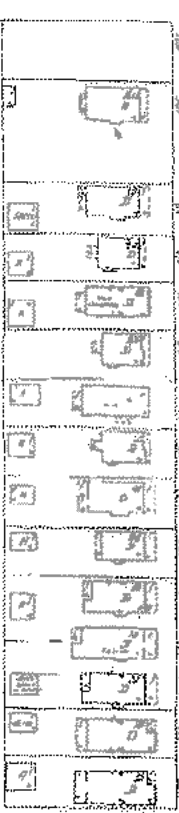
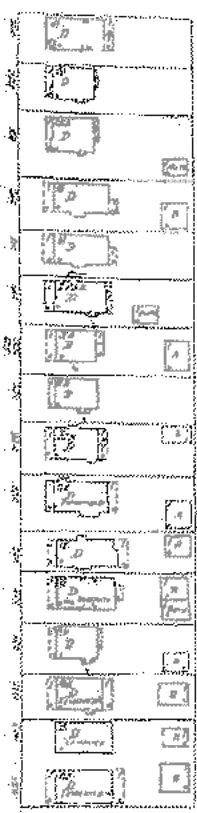
HARVARD

85

1947 Northwest Adjacent

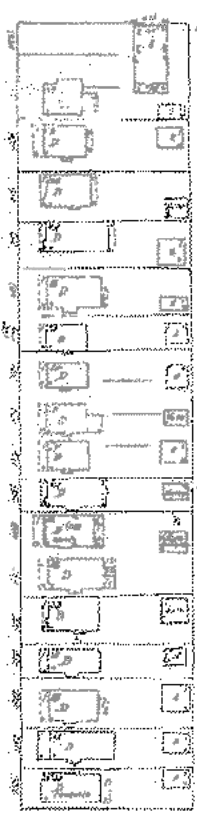


WESLEY ST.



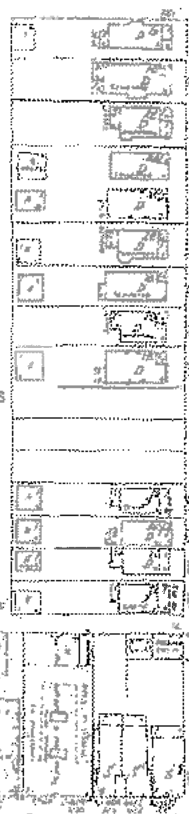
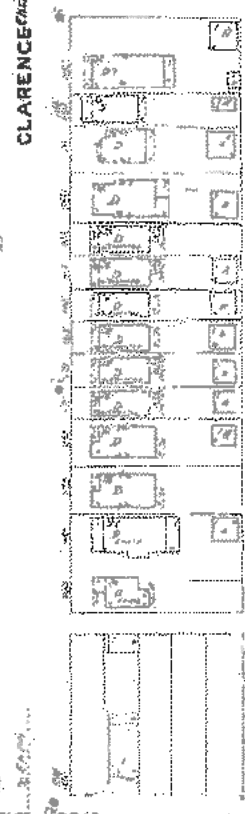
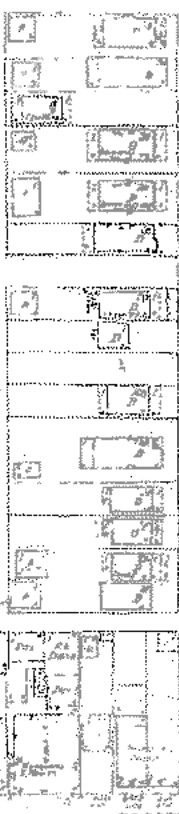
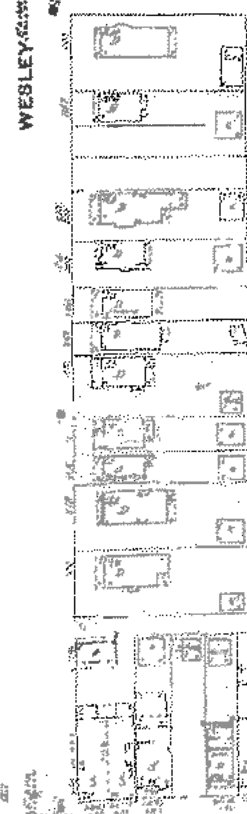
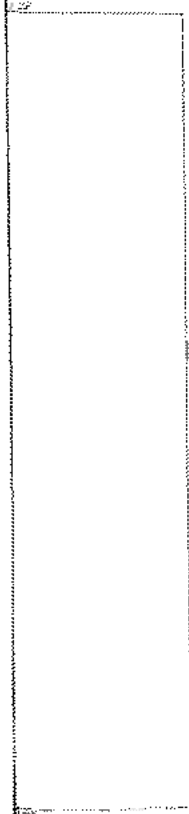
FILLMORE

CLARENCE ST.



S. EAST AV.

96



Scale of Feet

ROOSEVELT ROAD

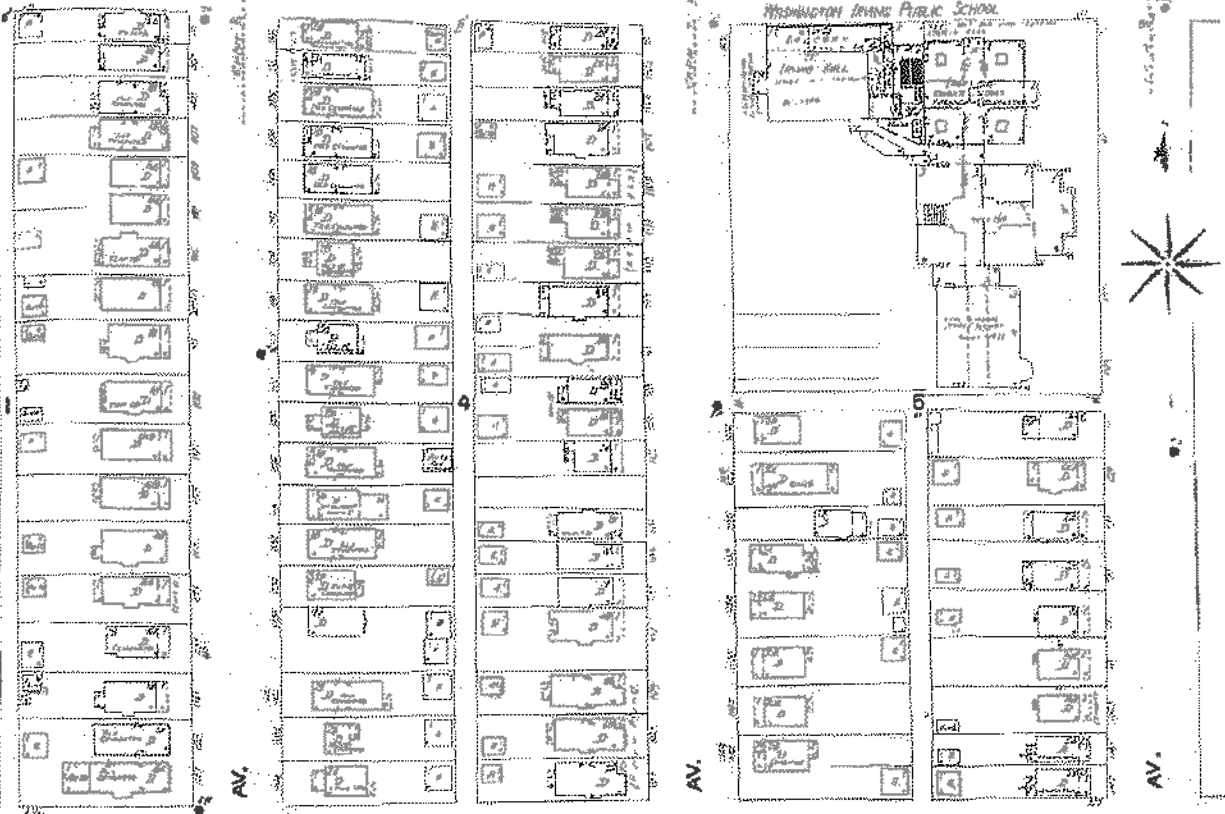
Oak Park  
Norman

SEE V O L U M E 3

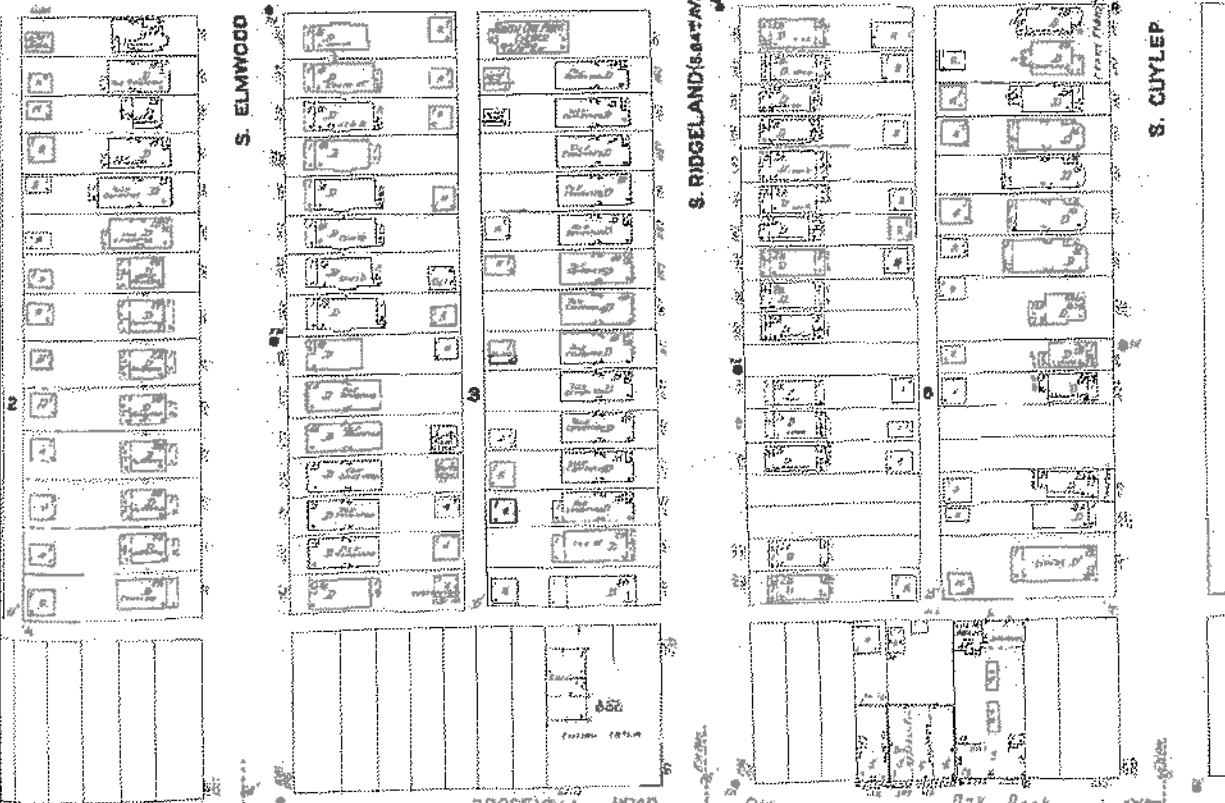
HARVARD

1947 North Adjacent

WASHINGTON IRVING PUBLIC SCHOOL



FILLMORE



SEE VIEW 4



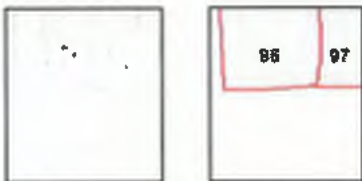
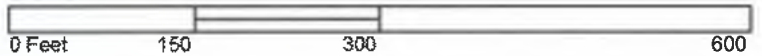


Certification # 3967-4C30-A47F

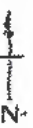
Site Name: 6501 West Roosevelt Road  
 Address: 6501 West Roosevelt Road  
 City, St, Zip: Sewyn, L 49402  
 Client: Environmental Services, Inc.  
 EDR Inquiry: 4893142.1  
 Order Date: 06/16/2016  
 Certification: 3967-4C30-A47F  
 Contour: 1000



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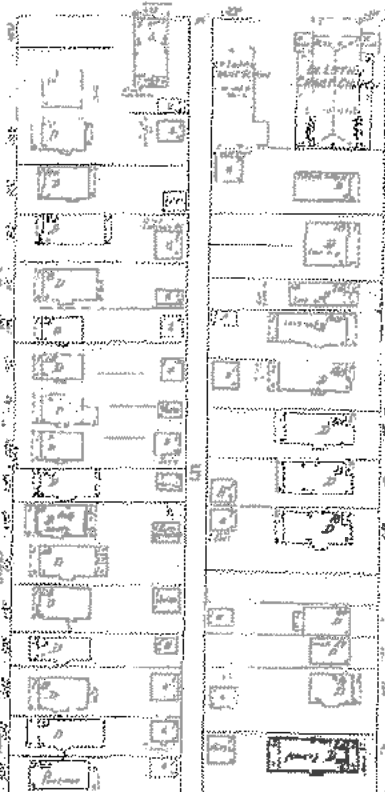
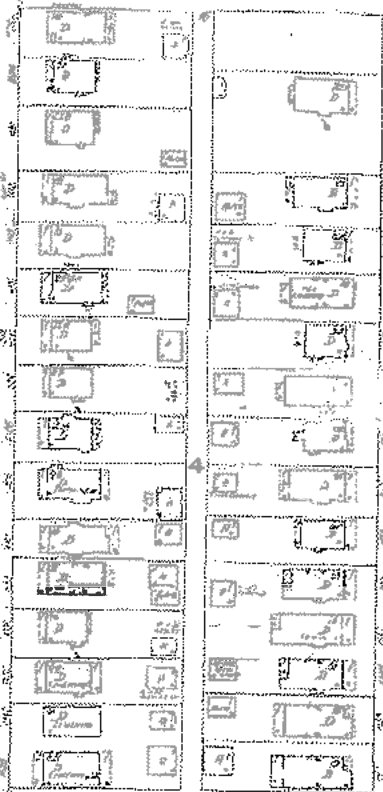
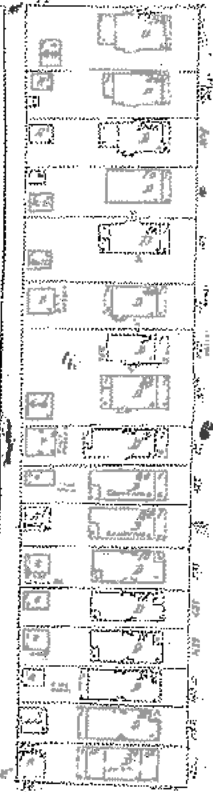
Volume 1, Sheet 87  
 Volume 1, Sheet 96



95

HARVARD

85



94

FILLMORE

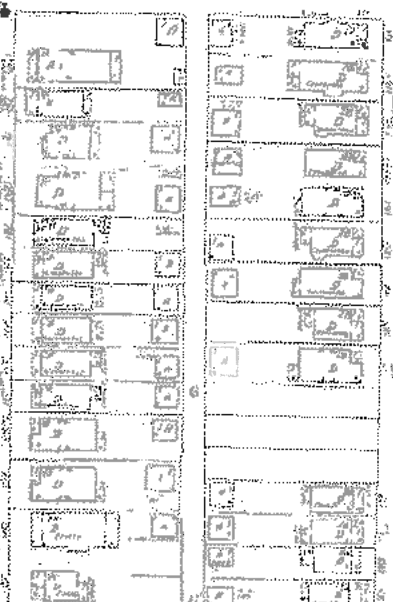
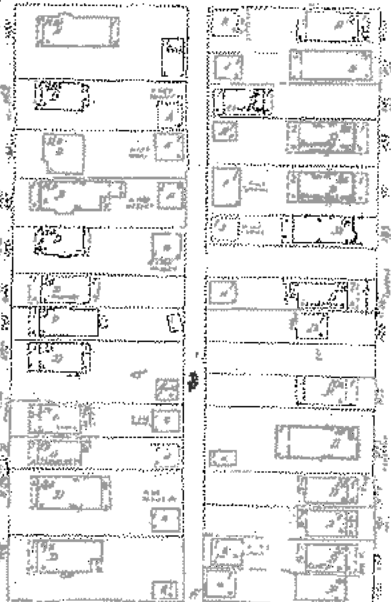
96

WESLEY ST. AV.

CLARENCE ST. AV.

AV.

S. EAST



Scale of Feet

ROOSEVELT ROAD

SEE

VOLU

31

625 Park Berwyn

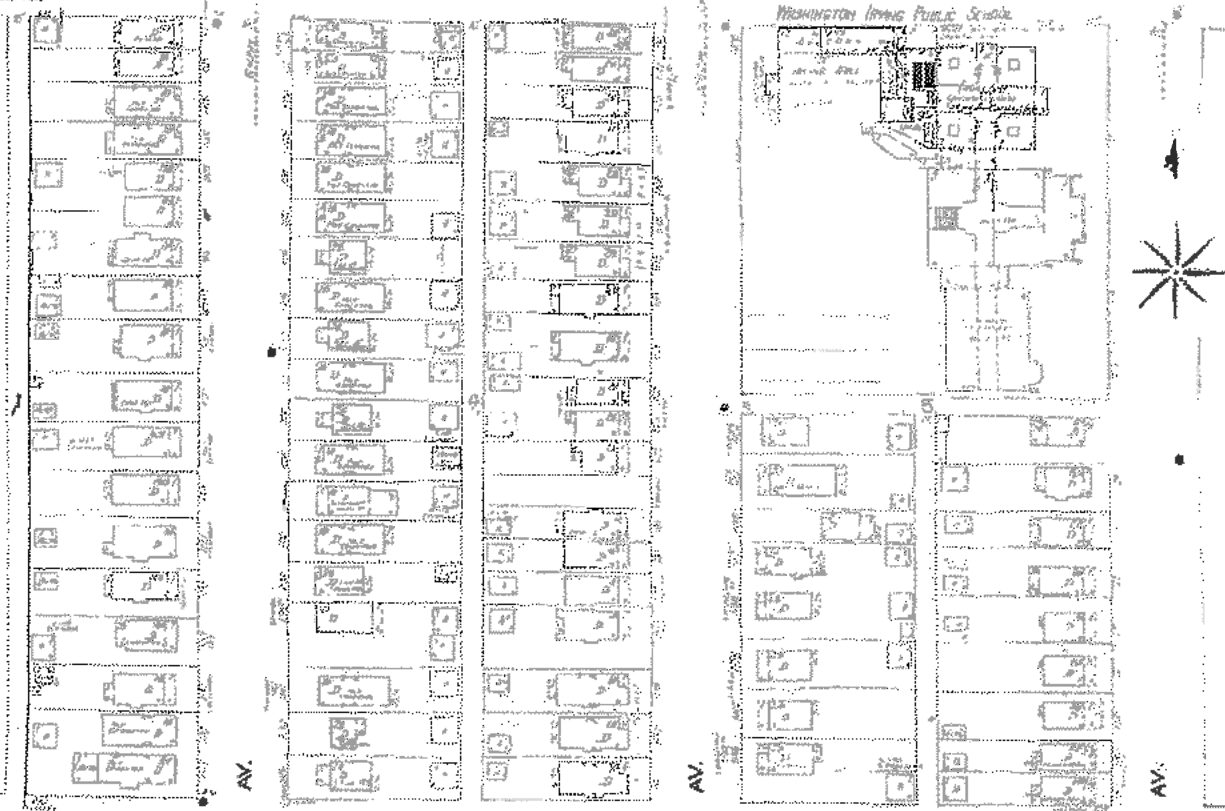
1950 North Adjacent

97

87

HARVARD

WILMINGTON IRVING PUBLIC SCHOOL



96

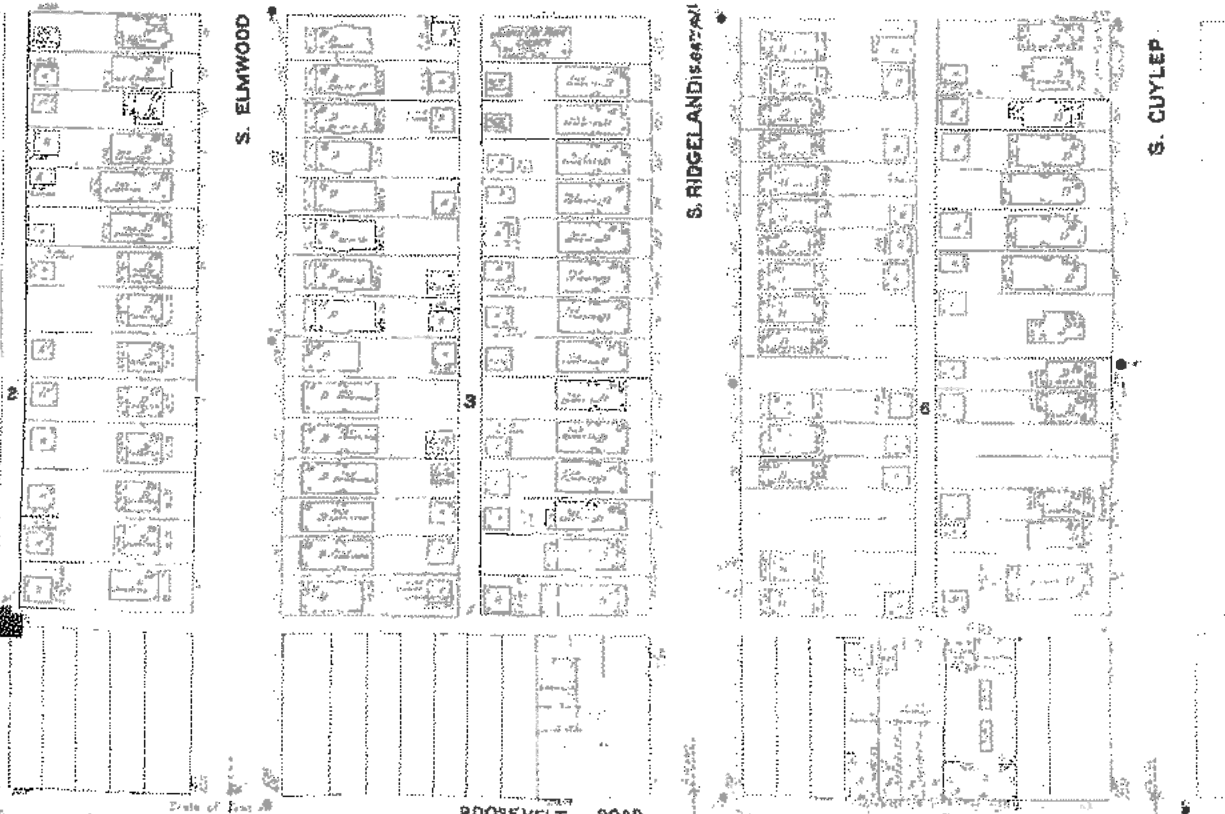
FILLMORE

98

S. ELMWOOD

S. RIDGELAND

S. CUYLER



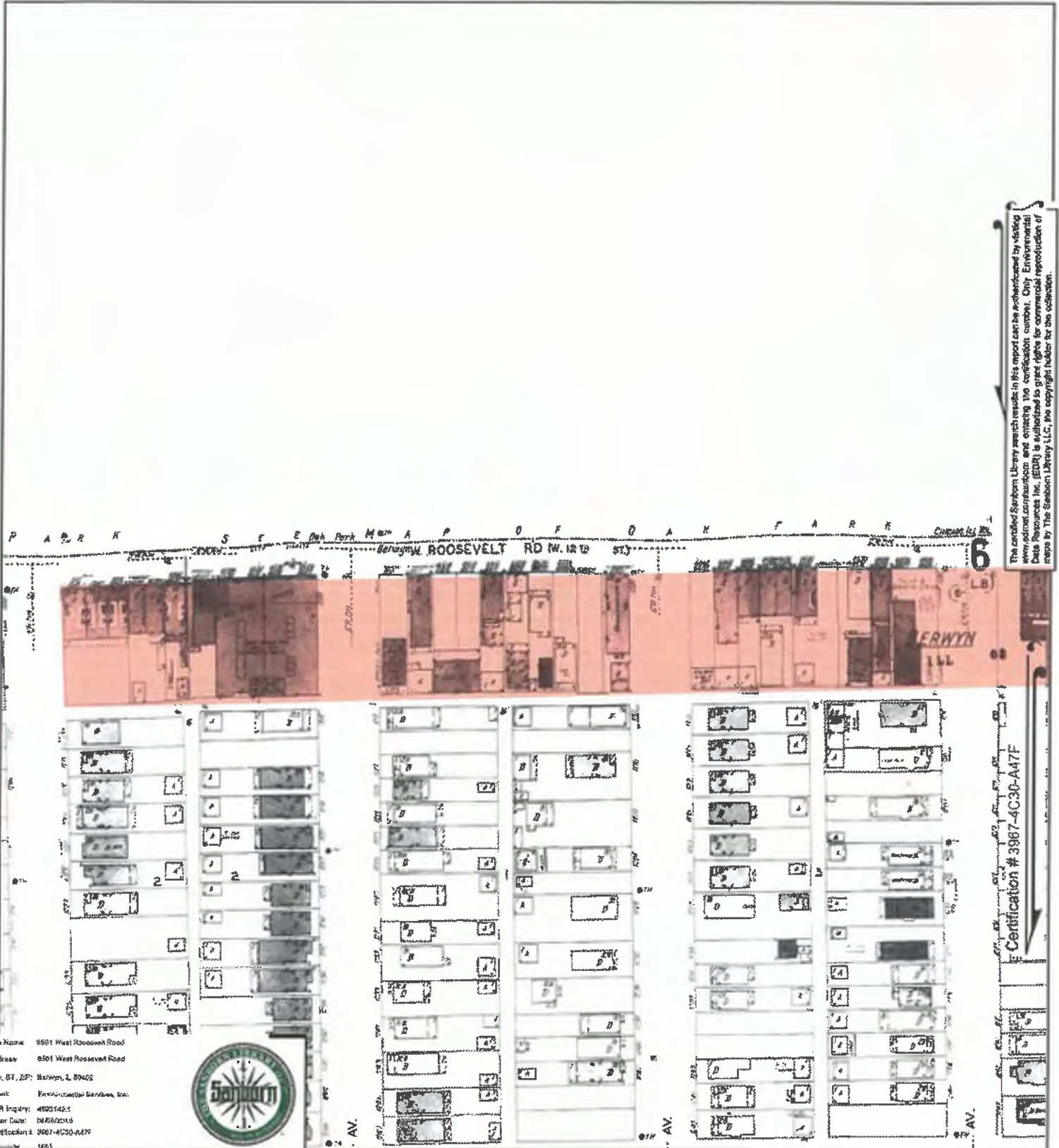
ROOSEVELT ROAD

S E E 12 7 8 5 1 U S 2

DATE OF PLAN

BY





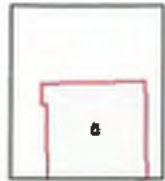
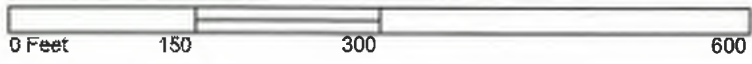
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Site Name: 8501 West Roosevelt Road  
 Address: 8501 West Roosevelt Road  
 City, ST, ZIP: Burien, WA, 98602  
 Client: Environmental Services, Inc.  
 EDR Inquiry: 4893142.1  
 Order Date: 11/26/2018  
 Certification #: 3967-4C30-A47F  
 Date: 10/1



Certification # 3967-4C30-A47F

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Volume 31, Sheet 6



1951 West Adjacent





1951 East Adjacent







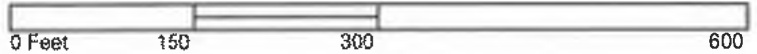
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Site Name: 6001 West Roosevelt Road  
 Address: 6101 West Roosevelt Road  
 City, St., Zip: Berwyn, IL 60632  
 Client: Environmental Services, Inc.  
 EDR Inquiry: 4693142.1  
 User Sids: 666525716  
 Certification #: 3967-4C30-A47F  
 Copyright: 1975



Certification # 3967-4C30-A47F

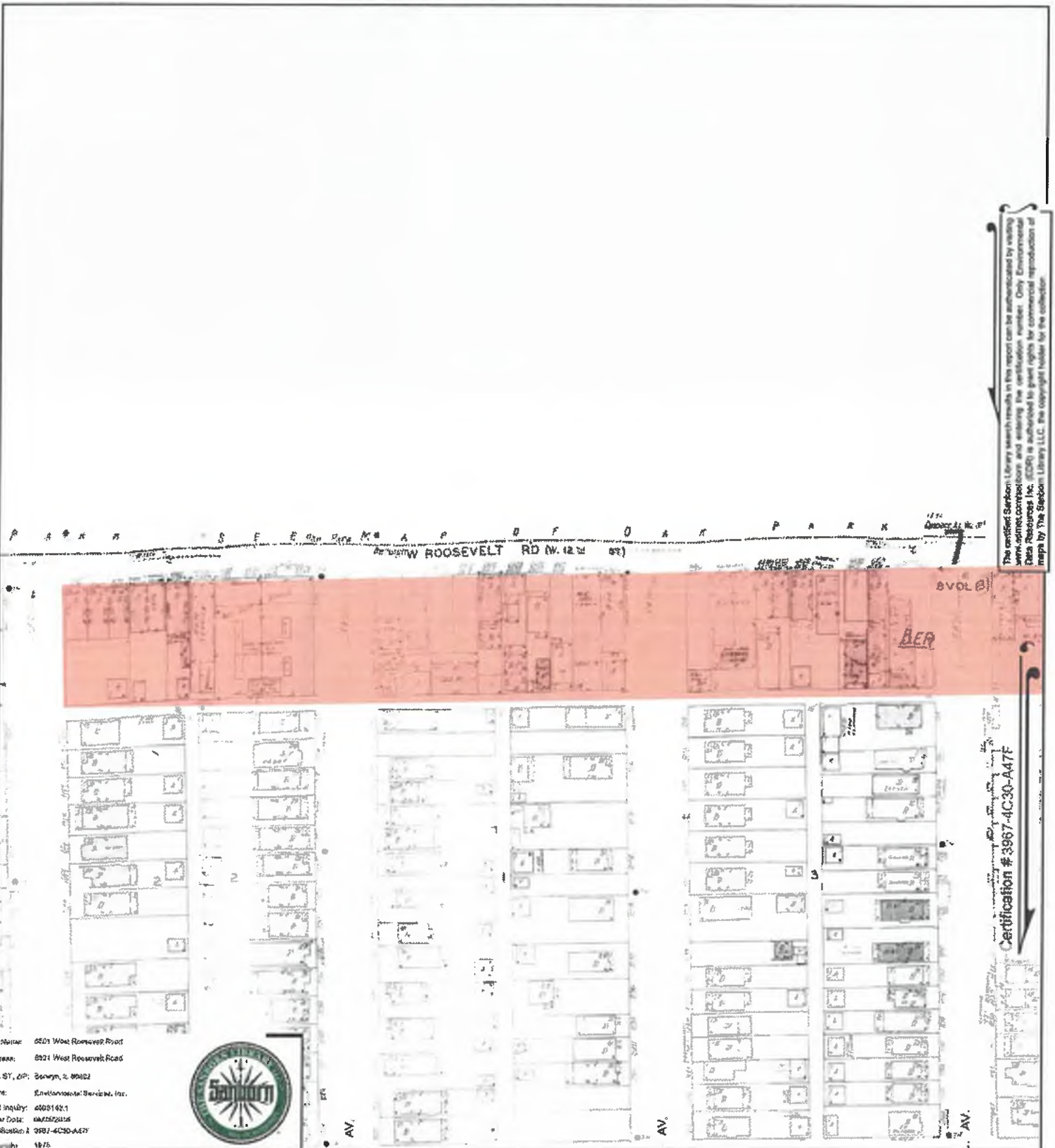
This Certified Sanborn Map combines the following sheets.  
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Volume 1, Sheet 97  
 Volume 1, Sheet 96  
 Volume 31, Sheet 6



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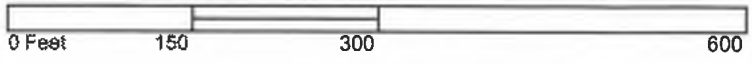


Site Name: 0501 West Roosevelt Road  
Address: 0501 West Roosevelt Road  
City, ST, ZIP: Saratoga, IL 60082  
Client: Environmental Services, Inc.  
EDR Inquiry: 408142.1  
Order Date: 04/22/2016  
Certification #: 3967-4C30-A47F  
Copyright: 1975

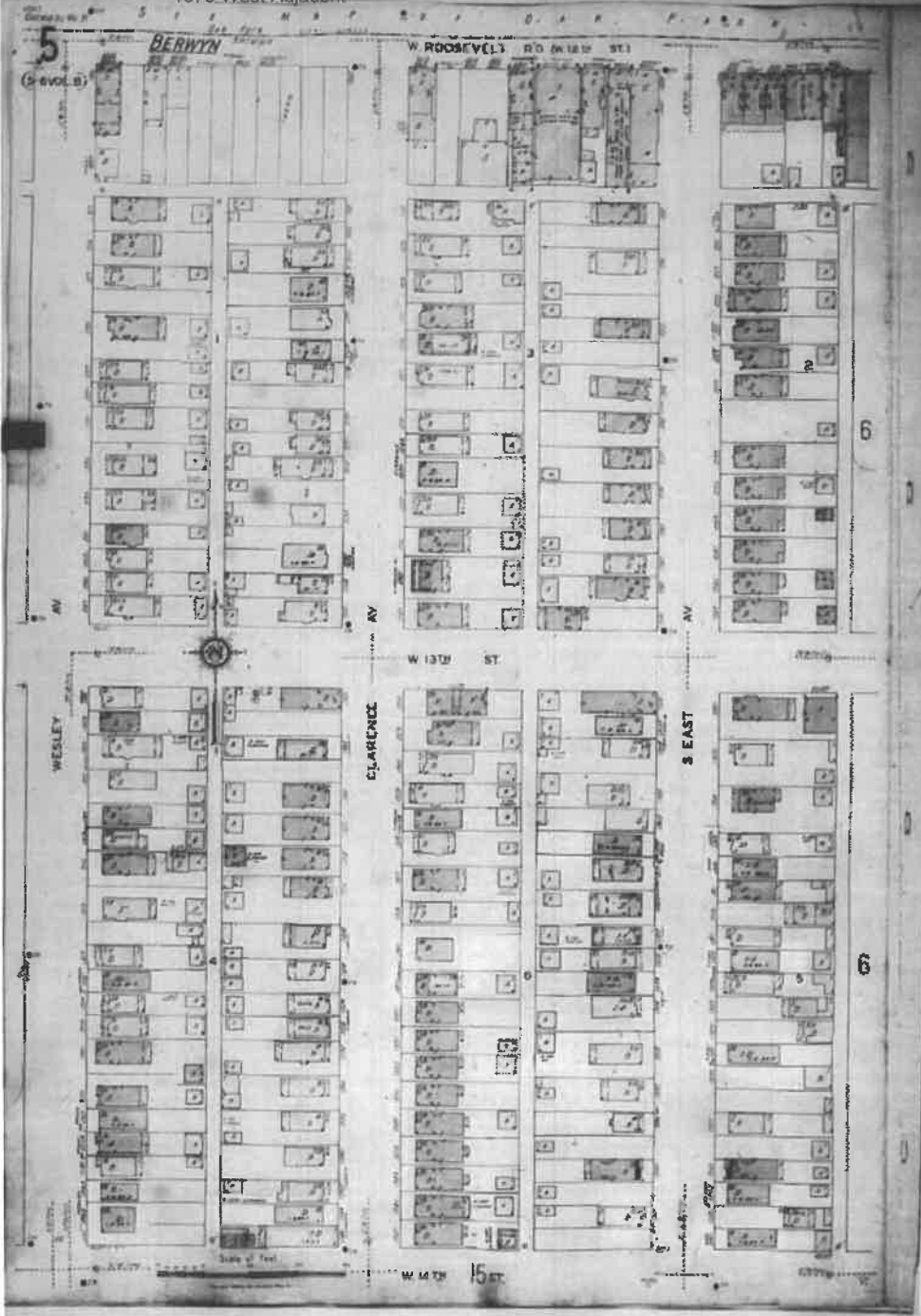


Certification # 3967-4C30-A47F

This Certified Sanborn Map combines the following sheets.  
Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 97  
Volume 1, Sheet 96  
Volume 31, Sheet 6







**CITY DIRECTORY SEARCH**

**6501 West Roosevelt Road**  
6501 West Roosevelt Road  
Berwyn, IL 60402

Inquiry Number: 4690851.1  
August 08, 2016

## The EDR-City Directory Image Report



## TABLE OF CONTENTS

### **SECTION**

**Executive Summary**

**Findings**

**City Directory Images**

***Thank you for your business.***  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

### DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

### RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2013	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2008	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2003	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1999	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1992	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1988	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1982	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1977	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory
1970	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Haines Criss-Cross Directory

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## FINDINGS

### TARGET PROPERTY STREET

6501 West Roosevelt Road  
Berwyn, IL 60402

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
<b><u>ROOSEVELT RD</u></b>		
2013	pg A17	Cole Information Services
2008	pg A35	Cole Information Services
2003	pg A52	Cole Information Services
1999	pg A67	Cole Information Services
1995	pg A83	Cole Information Services
1992	pg A95	Cole Information Services
1988	pg A100	Haines Criss-Cross Directory
1988	pg A99	Haines Criss-Cross Directory
1982	pg A103	Haines Criss-Cross Directory
1982	pg A104	Haines Criss-Cross Directory
1977	pg A108	Haines Criss-Cross Directory
1977	pg A109	Haines Criss-Cross Directory
1977	pg A110	Haines Criss-Cross Directory
1977	pg A111	Haines Criss-Cross Directory
1970	pg A114	Haines Criss-Cross Directory
1970	pg A115	Haines Criss-Cross Directory



## FINDINGS

### CROSS STREETS

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
<u>EAST AVE</u>		
2013	pg. A2	Cole Information Services
2008	pg. A20	Cole Information Services
2003	pg. A38	Cole Information Services
1999	pg. A55	Cole Information Services
1995	pg. A70	Cole Information Services
1992	pg. A86	Cole Information Services
1988	pg. A97	Haines Criss-Cross Directory
1988	pg. A98	Haines Criss-Cross Directory
1982	pg. A101	Haines Criss-Cross Directory
1982	pg. A102	Haines Criss-Cross Directory
1977	pg. A105	Haines Criss-Cross Directory
1977	pg. A106	Haines Criss-Cross Directory
1977	pg. A107	Haines Criss-Cross Directory
1970	pg. A112	Haines Criss-Cross Directory
1970	pg. A113	Haines Criss-Cross Directory

## **City Directory Images**

## EAST AVE 2013

1212	DIMAS DIAS DIMAS DIAZ
1213	LILLIAN LEGARRETA
1214	KEVIN GLEESON
1215	ALFRED HOLMAN
1216	BLANCA GUTIERREZ DAYSI LIZAMA WILBER GAITAN
1217	THOMAS THOMPSON
1219	LISA ARMSTRONG
1220	RAUL VALLINES
1221	GINA DIAZ WARNELL BERRY
1222	VALEE KAMAR
1223	ANA MUNOZ CHRISTINE MICHAEL LUIS CENTENO ROSALBA GUITIERREZ
1226	ANDREA MELCHOR JACINTO ROJAS MARIA GARIBAY MARIO ABARCA
1227	MARIO DELVALLE
1230	FREDY SANCHEZ
1233	OCCUPANT UNKNOWN
1235	VINCENT ROSE
1236	JOSE PEREZ
1239	LUIS CENTERO
1240	OCCUPANT UNKNOWN
1241	CLOTILDE WEZTRAN
1242	ARTURO NERI
1244	GUMARO LOPEZ JOSE SANTIAGO
1245	AQUILINO RAMOS
1246	SARAH HENSEL
1247	BENITO MENA
1301	OCCUPANT UNKNOWN
1302	VICTOR BUENDIA
1304	JENNIFER GOMEZ
1305	JAMES ISAAC
1308	JULIEANN WEDEN
1309	ALEXANDER ANTEPENKO FRANK VANDEVELOE WAYNE LENSU
1310	JASON SCHOLTENS LIBBY HANNIGAN
1312	E HAMILTON JANET RODRIGUEZ KEVIN MAREK NICHOLA SANDERS



**EAST AVE****2013****(Cont'd)**

1313 JOSEPH OWSIAK  
1314 ROSS SIMMONS  
1315 JOSE GARCIA  
1317 ANN ZIZZO  
CRYSTAL JAMES  
JOVITA CARTER  
MARIBEL MCFARNAND  
1319 DAVID RAMIREZ  
1320 REBECA ESPINOSA  
1321 ADAM BRADLEY  
CARDENAZ JOSE  
CLAUDIA RODRIGUEZ  
MARIA ROMAN  
RAMONITA ESPINO  
THERESA MARANDO  
1322 ANNE STIRRAT  
1323 ROSALBA GUERRERO  
1324 THERESA KAZDA  
1325 GERMAN JIMENEZ  
LIDIA DELEON  
1326 ELIAS DESANTIAGO  
NORMA GAYTAN  
TIBERIU LUPANCU  
1327 ALEJANDRO SANCHEZ  
1328 JUAN OCON  
1329 HUGO HERNANDEZ  
1331 MARIA ROMERO  
1332 OCCUPANT UNKNOWN  
1333 CHAD HOWARD  
1336 OCCUPANT UNKNOWN  
1337 DANIEL ALVAREZ  
1340 KIARA JONES  
SALOMON ESPADAS  
1341 JOHN KVICKY  
ROBERT WARDZALA  
1343 JAVIER TORRES  
1344 ARMANDO MANCILLA  
FRANCISCA JUAN  
1345 BENJAMIN SANCHEZ  
JEREMY POLLACK  
LAURA ANDERSON  
1347 DAVID PEREZ  
RAQUEL MARTINEZ  
1401 OCCUPANT UNKNOWN  
1404 GABRIEL MORALES  
1408 J SCHECKEL  
SCHECKEL HARRY  
1409 LAWRENCE TAYLOR  
1410 LUCY CARTER  
1412 JOSEPH HELBING

EAST AVE

2013

(Cont'd)

1413	OCCUPANT UNKNOWN
1416	ARNULFO RODRIGUEZ J CARRERA MARTHA MEDINA
1419	PEDRO OCHOA
1420	CARLOS LOREDO
1421	MARY HALPIN
1423	SHELDON HARRISON
1424	ALLAN LEONARD
1425	ELEAZAR BUADO
1426	BERNARDINO TAMAYO CLARENCE JOHNSON
1427	ADRIAN PANAS
1428	MARIA GRANADOS
1430	DANIEL CANDELARIO HECTOR RAMIREZ JUAN LOPEZ LUZ LAFONTINE LUZ LASONTAINE
1431	JIM DANG
1433	MONICA VALENCIA
1434	SAMUEL GARCIA
1435	RAYMOND LENDABARKER
1436	LEONOR IBARRA
1438	ROBERT BLECHA
1439	EMIGDIOS SAUCEDO
1441	BERNARDINO TAMAYO
1442	ANDREW MICHAELS CARRIE SLAVIN JUSTIN PFEIL
1444	GEORGE CORONADO
1445	ARACELI DELAPAZ
1446	VICTOR TELLEZ
1447	THOMAS CINTRON
1500	EL DON GROCERY
1501	ROBERT BREUER
1504	GABRIELA GARZA
1507	JESUS CANELO
1508	RON KUCZWARA
1511	JOSEPH GRONKIEWICZ
1512	DEANDRE HARDY RACHEL HOYT
1513	MARTHA SALAS
1514	ANGEL MORALES FELIX PENA ROGELIO TORRES RUDOLPH JURINA SHYRICK COX
1515	OCCUPANT UNKNOWN
1516	NANCY GOVEA

**EAST AVE 2013 (Cont'd)**

1519 MARIO PEREZ  
1520 OCCUPANT UNKNOWN  
1523 JOHN FUENTES  
1524 THOMAS HARTMANN  
1527 RENE HERNADEZ  
1528 MALISSA SCOTT  
MARGARITA DURAN  
SABRINA MARTINEZ  
1530 PAT PFAFF  
1532 JENNIFER DELAROSA  
1534 OSCAR MORA  
1535 FRANKI SCALFANO  
MARCUS WILLIAMS  
1537 ABELARDO CAMBRON  
CONSUELO VAZQUEZ  
LETICIA MOYA  
MISAEEL MEDINA  
MOYA LETICIA  
1601 MIKES AUTO REPAIR  
1602 JESUS GARCIA  
1603 ALEJANDRO CRESPO  
1604 JOHN DEWITT  
1605 BERTHINA BERMUDEZ  
1606 DONALD GUSZAK  
1607 PAVLA PEIRCE  
1609 DUSAN GERLAK  
1612 MARIA TOVAR  
1613 ALFREDO MARQUEZ  
1614 BRENDA NOGUERA  
ESAUL DIAZ  
1616 CANNELLA MADLEN  
FRANCISCO MORENO  
MARIA TORRES  
1617 BEN HOWARD  
1618 ARACELIA PERALÉZ  
1620 ALEXIS WILLIAMS  
ANGEL TRIPP  
TANYA FLOYD  
1621 LELAND TRUSNER  
1624 JOHN SKALA  
1627 ESTELA ARELLANO  
1628 OCCUPANT UNKNOWN  
1629 JUAN GARCIA  
1630 THERESA GILBERT  
TIMOTHY DRENTH  
1631 YANJI PAN  
1632 STEVIE MICHELL  
1633 JUDITH VESSELY  
1634 SERGIO GARCIA  
TANYA RICE



EAST AVE

2013

(Cont'd)

1635	MIGUEL SUAREZ
1636	GILBERTO RODRIGUEZ
1638	JULIO RODRIGUEZ
1639	ALLAN GOLDFARE
1641	DANIEL VASQUEZ
1642	OCCUPANT UNKNOWN
1643	BENJAMIN DELTORO
1644	BILL FEROWICH
1647	ANA PEREZ
	ANA SALGADO
	CESAR RAMOS
1800	FERNANDO ROCHA
1801	MARK BISHOP
1805	BRIAN SWADE
1806	DANIEL ANDRIES
1807	JERRY MARTINEZ
1808	ANTONIO ALVAREZ
1809	EFRAM AGOSTO
1811	RON PALKOVIC
1812	CHARLES SCHUBERT
1813	OLGA VELEZ
1816	DARNELL STOVALL
1817	JORGE DIAZ
1818	RAUL ORTIZ
1819	MARIA MORA
1820	RAMON KARKUT
1821	TOMAS SANCHEZ
1822	FRANCES FOJTIK
1824	STEVEN CAMACHO
1825	FRANCISCO ORTEGA
1827	LEONARDO GARCIA
1828	SAM FERRAYE
1829	KEVIN KEY
1830	MIGUEL FRANCO
1831	ARACELIA ALFEREZ
	JUAN MONTIEL
1832	WILLIAM RENTNER
1833	JOSE HURTADO
1834	VICTOR ROMAN
1837	ERICA ALMARAZ
	MARIA SERVEN
	VENTURA SERVIN
1839	JULIA AGUIRRE
1840	SHERRIE PATRICK
1841	PATRICIA CABRERA
1842	SESILIA BARAJAS
1844	GENARO MARTINEZ
1845	YOLANDA DIAZ
1846	ISAURO LUNA
1848	RICHARD PECHOTA

EAST AVE

2013

(Cont'd)

Target Street	Cross Street	Source
-	✓	Cole Information Services
<b>EAST AVE      2013      (Cont'd)</b>		
1849	MATTHEW SCHADEMANN	
1851	OCCUPANT UNKNOWN	
1852	JUAN JAIMES	
1901	JAVIER HEREDIA	
1902	ALEHANDRO ROMO	
1903	ALEXA BOTWIN	
1906	CHRISTOPHER KRIBALES	
1907	RITA VALVODA	
1908	N CHERDCHAIYAP	
1909	MARIELA MONTOYA	
1912	JONATHAN KLEIDON	
1913	JAMES KUST	
1915	REFUGIO TORRES	
1917	OCCUPANT UNKNOWN	
1918	SOLEDAD MEDRANO	
1920	JOSE SANTACRUZ	
1921	TOMAS RIVERA	
1923	DOUGLAS ROBERTS	
	MR ROBERTS PLUMBING	
1924	MUBARAK MALIK	
1925	MOHAMMAD OTHMAN	
1926	ANTONIO ROSADO	
1928	JASON BUTT	
1929	CINDY CAPUTO	
1931	REGINA KUREK	
1932	VIRGILIO CONANAN	
1934	ANTHONY COLBY	
1935	RUSSELL PHILLIPS	
1938	JOHNNY DIAZ	
1939	OCCUPANT UNKNOWN	
1941	MIRZA FERNANDEZ	
2101	JUAN GOMEZ	
2102	J DELARIVA	
2105	JORGE GARCIA	
2106	SALVADOR PEREZ	
2107	LYNN VUU	
2108	MARTIN SOLIS	
2111	JOSEPH FLORIO	
2112	JOSEPH GENNETT	
2113	EDD SANTANGELO	
2117	OCCUPANT UNKNOWN	
2118	JESUS OCAMPO	
2119	OCCUPANT UNKNOWN	
2120	HECTOR MEDINA	
	LA CASITA JESUS HOME DAY CARE	
	SALAZAR FONTANEZ	
2123	MARIA LIMANDRI	
2124	EDUARDO MEJIA	
2125	OCCUPANT UNKNOWN	
2211	JOSEPH PICHA	

EAST AVE

2013

(Cont'd)

2214	CHESTER LAKA
2215	RODOLFO RAMIREZ
2216	ARMANDO BAEZ
2217	EDGARDO PINEDA
	JOHN STANFORD
	LOPEZ SANDOVAL
	MARIA VASQUEZ
	ROCIO SANTOS
2218	GILBERTO CABRAL
	JESSIE WORDLAW
2219	PHIL RODRIGUES
2221	MIKE STRICKER
2222	MARIBEL RODRIGUEZ
2223	KATHERINE LABARBERA
2224	MARIO GAUDIO
2225	CARLOS BURGOS
2226	STEVE ENRIGHT
2227	NOREEN MCGINLEY
2228	GUILLERMO REYES
2229	MARIAN LAFIN
2233	HANG NGO
2235	EDGAR NUNEZ
2236	JOHN ANDERSON
2237	OCCUPANT UNKNOWN
2239	DIANE TRAVIS
2243	JOHN JANATA
2244	RICHARD SAUDIS
	ST ODILO
2301	JANET SHUTAY
2305	MIGUEL MONSIVAIS
2307	BERTHA CORONA
2311	ANDREW SARROS
2315	BERTA CASTREJON
2317	ALEXANDER SARROS
2320	ANDREW GUSZCZA
2321	JOSEPH GEARHART
2324	JAMES OKAL
2326	OCCUPANT UNKNOWN
2327	PETER SHARPITIS
2328	ERNESTINA ONTIVEROS
2329	CARMELO MARTINEZ
2332	OSCAR NAVARRO
2333	OCCUPANT UNKNOWN
2334	JOSE CUEVAS
2336	CECELIA SEDIVY
2338	DITHSON ROSA
2339	ANTHONY TSELEPIS
2341	ANTHONY BRUCCI
2342	SANTIAGO MORILLO
2343	MICHAEL TAYLOR



**EAST AVE 2013 (Cont'd)**

2346	RAYMOND LORENZ
2347	RAYMUNDO GINEZ
2348	OCCUPANT UNKNOWN
2401	ANGELICA MILLAN DAVID ZEPEDA
2402	MARTIN TORRES
2403	CORY MARSHALL
2406	SANDRA SALAS
2407	FELIPA ROMAN
2408	VINCENT ZAWORSKI
2409	ALEJANDRO CURIEL
2410	MIKE POCIUS
2414	ANTHONY SAVAIANO
2415	EVALIDIA VALENCIA
2416	CARLOS BANDA
2417	JOSE GAMBOA
2419	MARIA CASILLAS
2420	GARY FISHER
2421	RODRIGO VARGAS
2422	JOHN TENORIO
2424	JOHN KASPER
2425	OCCUPANT UNKNOWN
2426	MIECZYSLAW KIELER
2427	OCCUPANT UNKNOWN
2428	PAUL JOCKL
2429	FRANCIS SPROVIERI
2430	JOSE MENDOZA
2433	THOMAS MONTEFUSCO
2434	ALFONSO REYES
2435	ANTOINETTE MCCARTHY
2438	RAYMUNDO GONZALEZ
2439	IVAN KEVO
2442	OSCAR SALAZAR
2443	HARRIS KENNETH KENNETH HARRIS SHIRLEY CHESNY
2444	JAMES PULLEN
2445	JOSE TEJEDA LINDA GONZALEZ
2447	CARLTON CARTER CAROLYN BYRD JOANNA QUEZADA
2448	JOHN ALONZO
2501	OCCUPANT UNKNOWN
2502	CHESTER PIEKNY
2503	GEORGE KRAFT
2504	RICARDO RAMOS
2505	EDWARD FREDERICKS
2506	OCCUPANT UNKNOWN
2508	FELIX CACERES

**EAST AVE****2013****(Cont'd)**

2509	JOSE VALDES
2510	JOHN HOUGH
2511	OCCUPANT UNKNOWN
2512	ANTONIO MARQUEZ
2513	CESAR GARCIA
2516	BALTAZAR HERNANDEZ
2517	SAUL JUAREZ
2518	CYNTHIA MOZDZIESC
2523	BOGDAN BASARIC
2524	OCCUPANT UNKNOWN
2525	ROSEMARIE HLOSTA
2526	EDWARD SPEARMAN MICHAEL WIENER
2527	MIRIAM ACEVEDO
2528	FRANKLIN PARAMO
2530	KENNETH KUCINSKI
2532	KAREN GEORGE
2534	ADRIAN VARGAS
2612	PHILLIP BLAZIC
2616	ERICA HERNANDEZ
2618	RAMIRO PEREZ
2626	FLORES TERESA
2628	JESUS SANCHEZ
2630	FRANCISCO MORENO
2634	JAMES WOODROW
2636	RICHARD ZIEGLER
2640	ROSELLA LEVRANT
2644	OCCUPANT UNKNOWN
2646	OCCUPANT UNKNOWN
2647	FRANCISCO SALGADO
2648	TERRY GARCIA
2702	BERNICE HADZIMA
2704	MARTHA LEMUS
2708	OCCUPANT UNKNOWN
2710	MARGARITA ACEVEDO
2712	OCCUPANT UNKNOWN
2714	RAYMOND LAURENT
2715	JOSE BARRIOS MARTIN GONZALEZ
2716	DAVID HOLUM
2718	AUDREY OCASIO
2720	ELVIS VALE FILOMENA ROSS
2724	OLEGARIO PINEDA
2726	HUMBERTO LUEVANOS
2728	BENITO GAMA
2730	ROY DELGADO
2732	RODOLFO RAMOS
2734	OCCUPANT UNKNOWN
2738	ROBERT HARPER

EAST AVE

2013

(Cont'd)

2740	JAVIER BARRAZA-CORRAL
2742	JOHN SWICIONIS
2744	ALVARO GONZALEZ
2746	LAWRENCE OHLER
2800	BERWYN PLAYGROUND & RECREATION
2900	MACNEAL HOSPITAL
3000	LEN MICKENBECKER
3008	SHIRLEY JANECEK
3012	WALTER WOODS
3014	CRYSTAL KENNEDY
	JASON BELGIN
	MICHELE BARNES
3016	JOHN LORENZI
3020	MARTIN RICCARDO
3022	ROBERTO OROZCO
3024	PEDRO SEGOVIA
3026	JEANETTE VASQUEZ
3028	YOLAND CISNEROS
3030	AARON AVILA
	DIANA RAMOS
3034	RUBI ROGERS
3101	JOSE GOMEZ
3102	FRANCISCO LOZA
3105	TIMOTHY AKERS
3106	CHRISTINA MALDONADO
3107	WAYNE MICKENBECKER
3109	LEONARD IOVINO
3110	RALPH WITTMANN
3111	JOHN LUNARDON
3112	OCCUPANT UNKNOWN
3114	RUBEN SANCHEZ
3115	ARNOLD MENDOZA
3116	DANIEL RUBIO
3118	VICTORINO VILCHEZ
3119	CHRISTOPHER GOOD
3120	OCCUPANT UNKNOWN
3122	FERNANDO ROBLES
3200	GENECIA FIGUEROA
	HILDA TREJO
	JEFFREY CEHODA
	KENNY PRAUSE
	MARY CAWLEY
3207	KENIA LEANOS
3211	PAUL SHELTON
3217	TIMOTHY OCONNELL
3218	SONIA LAUGELLO
3220	OCCUPANT UNKNOWN
3221	OSCAR JARAMILLO
3224	BENJAMIN PEREZ
3225	OTTO DOLANSKY



**EAST AVE****2013****(Cont'd)**

3232	DANIEL PALEN
3236	M & B DELIVERY MICHAEL MOLINARO
3240	ANTHONY SARABIA
3242	SCOTT MORTENSON
3246	ANDREA MORGAN
3250	MATTHEW KOSCO
3300	GUZMAN MIGUEL
3308	LAURA MORRISSY
3312	MATTHEW MACIAK
3314	FRANCISCO CASTRO JOSEF CUMBA RICHARD HANK
3318	DAVID VERA VERA DAVID
3322	KAREN NELSON
3328	STEPHEN FEIFAR
3330	BARBARA ROSSI
3334	OCCUPANT UNKNOWN
3340	TAMMY FIGUEROA
3414	FRANK BONK
3415	JENNIFER BYRON
3416	ROBERT CIENCIAK
3417	LEN OLSZEWSKI
3419	DIANA RODRIGUEZ
3420	OCCUPANT UNKNOWN
3421	PAT BENDA
3426	KEVIN MAHONEY
3428	CASIMIR LEWANDOWSKI
3507	VIRGINIA SAMEL
3509	RENE LIMAS
3512	ROBERT MARCKESS
3515	LUKE BARTLETT
3517	JAMES STECH
3518	TIMOTHY WYRICK
3520	MIGUEL ESTRADA
3521	OCCUPANT UNKNOWN
3523	JOSE FLORES
3525	WILLIAM BERECKIS
3527	DEMETRIO GALVAN
3528	TAMIKA MITCHELL
3529	ARACEL GUERRERO
3530	KEVIN HUGHES
3531	GILDA GONZALEZ
3532	JAMES LIPOFSKI
3533	CATHERINE ALFARO
3537	OCCUPANT UNKNOWN
3538	JOSEPH BELCASTER
3539	HENRY VOLANTI
3540	GUSTAVO GUITIERREZ

**EAST AVE 2013 (Cont'd)**

3542 JOE GAMBINA  
3544 FERNANDO FLORES  
3545 LAURENCE KONOPASEK  
3546 JEFFREY CARPENTER  
3547 L ODEHNAL  
3548 BRUNO HERNANDEZ  
DAVID BRUNO  
3601 JOSEPH FEENEY  
3602 JOSE AVILES  
3603 ALAN REBERSKI  
3605 JOSEPH BELCASTER  
3607 ALPHONSE TORIBIO  
3608 JILL KINDLE  
ROBERT JENSEN  
STEPHEN TOSCH  
3609 DANIEL VALENZUELA  
3610 ALBERTO COLON  
CARLOS NAVARRO  
IVAN CARDONA  
3612 BRIAN BRUNSLIK  
3613 FLORENCE LOGLI  
IRENE MARVAN  
3614 RONALD LEDVORA  
3617 JUDE ESPINOZA  
WILLIAM RAMOS  
3620 BENJAMIN COZZONE  
3622 FREDDIE ROCHA  
3623 JOSE ALONZO  
3626 JAMES VORAC  
3628 JOSEPH KRUPA  
3630 LISA GAEGER  
3634 MATTHEW HOLDA  
3638 OCCUPANT UNKNOWN  
3640 RODOLFO VILLALON  
3644 BLANCA GONZALEZ  
3648 LINDA DANIEL  
3700 EDMAR CRUZ  
3701 MARIANNA QUILANTAN  
3703 ENRIQUE RODRIGUEZ  
3704 WILLIAM BRONKEMA  
3707 ALEJANDRO BLANCO  
GREG DAVILA  
3708 JOSE ALMARAZ  
3711 JAMES PATRICK  
3712 DARRELL HELTSLEY  
3715 WILLIAM SINKENBERG  
3716 OCCUPANT UNKNOWN  
3717 SAMMOUR KHADER  
3719 FELIPE HERRERA  
3720 ISRAEL HERRERA

EAST AVE

2013

(Cont'd)

3720 JOAQUIN GUZMAN  
3721 OCCUPANT UNKNOWN  
3722 ALMA BUNDAGE  
MARIA DEJESUS  
3723 MIGUEL MORENO  
3724 ROGER MILAR  
STEPHEN THOMAS  
3725 JULIO GOMEZ  
SILVESTRE HERNANDEZ  
3728 EFRAIN PRADO  
3730 JOSE CARRENO  
MARIA NUNEZ  
SILVIA VILLA  
SUZY LOPEZ  
3731 AARON KNAFL  
LUIS PINEDA  
SANDRA CLARK  
SUBRINS RICHARDS  
THELMA HOPKINS  
3732 VEDA WORTNER  
3733 PRISCILLA DIAZ  
VINCENT GOMEZ  
3735 EARL GRIFFIN  
3736 JASON MOFFETT  
3737 HELMUT KREBS  
3738 BARBARA BREEN  
3741 KATHLEEN TANCZYN  
3743 OCCUPANT UNKNOWN  
3746 MIKE GARAY  
3747 WILLIAM HART  
3748 JOSE ALVAREZ  
REBECCA KEMPER  
3802 RAUL ANDRADE  
3803 OCCUPANT UNKNOWN  
3805 FRANCIS RADOGNO  
3806 OCCUPANT UNKNOWN  
3807 MARIBEL ZAPATA  
3810 KENNETH SOURWINE  
MONICA SANCHEZ  
MONICA SINCLAIR  
3811 GUILLERMO ALMANZA  
JAUNA ALVAREZ  
3814 CATARINA GAMBOA  
3815 ANGEL LEON  
JOSE PADILLA  
JOSEPH HENKEL  
3818 SCOTT NASATSKY  
3822 LESLIE CARD  
3825 CONNIE SMITH  
JOSE VELEZ

EAST AVE

2013

(Cont'd)

3825	ROMAIN HEALY YADI VILLASENOR
3827	JUAN MUNIZ MARY RODRIGUEZ
3828	PETER KORNIJTSCHUK
3829	DON KUSPER ELAINA MONTGOMERY JAMES CHLADA ROSAURA MENDOZA
3831	MARIBEL SALINAS
3832	JOE SERRANO
3834	RONALD OCZKO
3836	VICENTE HERNANDEZ
3839	ELAINE KRONQUIST
3840	FRANCISCO TRUJILLO
3842	MARK LOSASSO
3846	JESUS JIMENEZ
3848	BONNIE BOLGER
3912	ROBERT WOZNAK
3913	GARY TABOR
3916	VINCENT KASPER
3917	BRIAN JASNICA
3918	STELLA ZEDNIK
3919	ROBERT BAUSCH
3923	JAMES KUCHARZ
3924	MILDRED NOEL
3925	EUGENE PARSILL PHILLIP SAKOWSKI
3926	JOHN MALINEK
3928	OCCUPANT UNKNOWN
3929	TERRY HAUMPTMAN
3931	TERRY SPRIGGS
3935	STEFAN MACHCINIK
3936	HENRY BIELAK
3939	PAUL BLUDGEN
3940	ERIC CHRISTENSEN
3942	WILLIAM SIKORRA
3943	OCCUPANT UNKNOWN
4000	WILLIAM HOLUB
4002	IRVIN JANOVSKY
4003	OCCUPANT UNKNOWN
4006	CINDY WOLF
4010	ERIC BALIUS
4014	DAVID NIEMIEC
4015	ELIZABETH CARDENAS
4016	JUAN URQUIZO
4018	BRUCE BUGGELE
4019	JOSE ALBA MILES CHALABALA
4022	TINA COOK



EAST AVE

2013

(Cont'd)

4025	WILLIAM LEVENTHAL
4027	OSCAR ARIZA
4033	AMI MURRELL
4034	RONALD BRNIAK
4100	ANTONIO ORTIZ
4104	OCCUPANT UNKNOWN
4108	FRANK CHRISTIANO
4110	CATHERINE STERRETT
4114	LARRY BATTLES
4201	TIMOTHY HUEBNER
4203	PHILIP GILLMAN
4205	JOSEPH TYRANOWSKI
4207	SONIA RODRIQUEZ
4209	RICHARD COLONNA
4211	SUSAN KOPRIVA
4215	VINCENT SCHWERIN
4217	MARIA ANAYA
4219	EUGENE BEILY
4221	MARK JORDAN
4223	PHILIP CAPUTO
4225	PEDRO DELGADILLO
4227	MICHAEL SOYER
4229	OCCUPANT UNKNOWN
4231	OCCUPANT UNKNOWN
4233	MARLISA GRANADOS
4235	PIOTR JUSZCZYK
4237	OCCUPANT UNKNOWN

**ROOSEVELT RD 2013**

6218 ELIZABETH AQUILAR  
6220 LEKETHAS INKINK UPGRADE  
6222 HAPPINESS CHINESE RESTAURANT  
6226 FAIR SHARE FINER FOODS  
6300 BILLMAN DANIEL MD  
BOLTON CORNELIUS MD  
CHARDHARY FARZANA MD  
CHEN JACKSON MD  
FREDLAND ALLAN MD  
GOULD CYNTHIA MD  
LAWSON LEONARD MD  
MACNEAL HEALTHCARE CENTERS  
MEHTA MUKUDINI MD  
NELSON KAREN MD  
PEDIAGROUP ASSOCIATES  
PEOPLES CRYSTAL MD  
THEODORAKIS SPYRIDON P MD  
WALDRON ELIZABETH MD  
WALL TIMOTHY MD  
6303 ACASH MEDICAL SUPPLY  
6305 JOSE CHAVEZ ALLSTATE AGENT  
NICK PAPADOPOULOS  
6309 YOLANDA MANSON  
6313 ROK STEADY STAGING  
6318 ROSHAN MAWAN  
6320 PATRICIA BROWN  
6321 CAMARGOS AUTO & TIRE REPAIR  
6326 BROWN JAMES L MD  
6332 BULL SHARPENING SERVICE INC  
6337 ANN BROW-CONNOLLY  
ANNE RODGERS  
ANTOINETTE WESTBROOKS  
ASHLEY MCCANN  
BEVERLY STEFANO  
CARL HARRIS  
CAROLE GOODWIN  
CHRIS MCDAVID  
CORNELL BURSEY  
CURTIS MOORE  
DEBORAH WIMBLEY  
DOROTHY CHILLIS  
FREDERICK JOHNSON  
IRENE AKOURIS  
JAMES SHERLOCK  
JEFFREY FOSTER  
JUANA HAGGAR  
KIMBERLEY PRESTLEY  
MARCO SPINELLI  
MARY FITZPATRICK  
MICHAEL KOHNHORST

**ROOSEVELT RD 2013 (Cont'd)**

6337 MYRNA MARTINEZ  
ORA JENKINS  
PATRICIA MCMAHON  
PATSY WILLIAMS  
PIERRE DUNEM  
RITA AVILA  
SAMANTHA RILEY  
STEVE SUTTLE  
SUSAN WEBER  
THOMAS HLAVACEK  
TIFFINE BASKIN  
VERNITA MEADOWS  
6338 WINDY CITY FIREARMS INC  
6340 LESLAW LENART  
MARTA KLOS  
WALTERS BARBER SHOP  
6346 PETES RED HOTS  
6347 MOBIL  
6406 BRADLEY BECK  
6412 WALGREENS  
6436 ABE SHENOUDA  
ADEKOLA ASHAYE  
ANTOINETTE CALLOWAY  
BETTY ALBELO  
CHRISTOPHER LEOW  
DARIO CRUZ  
DARRICK GURAKI  
DEREK NICHOLS  
EBONEE JONES  
ERICKA LYNK  
EVA GONZALEZ  
FILIPPO ROVITO  
GARRETT BEHLING  
HASANI STARKS  
HUIJUAN LIU  
JANICE MOODY  
JOSIE CARTER  
KAMIL BRADY  
KARA TROSPER  
KATHY KIRIKLAKIS  
KEVIN MCCUBBIN  
LISA RZESZUTEK  
MARCIN ZUREK  
MEGAN DUNN  
MICHAEL GOZA  
MOHAMED YALA  
RAY HERNDON  
RICHARD LAMORENA  
RICKEY MOTEN  
RUFUS WILLIAMS

**ROOSEVELT RD 2013 (Cont'd)**

6436	SCOTT CERVONE STACY BOGARD STACY COBLENTZ TERRENCE JANAS
6501	TURANO BAKERY CO TURANO PASTRY SHOP INC
6536	THE SALVATION ARMY
6540	AUTO EXPERTS MUFFLER BRAKE & COMPLET
6601	7ELEVEN
6602	PLATINUM SOLUTIONS
6604	RONALD TYREE SUN CLEANERS
6611	WISHBONE RESTAURANT
6613	CAPRI RESTAURANT
6615	FITZGERALDS
6619	LAURA SEVILLA PETER SEVILLA
6623	SUBWAY SANDWICHES
6625	WING BOSS BERWYN INC
6629	DINICOS PIZZA TACO YO INC
6630	OAK PARK DENTAL STUDIO
6631	GAMESTOP
6632	DAVES PETS N STUFF
6633	CRICKET
6636	RUBY CLEANERS
6644	OIL EXPRESS
6720	BANK OF AMERICA CSR ROOFING CONTRACTORS INC
6748	CVS PHARMACY
6800	MARELLI GOLD EXCHANGE



**EAST AVE 2008**

1212 DIMAS DIAS  
1213 LILLIAN LEGARRETA  
1214 KEVIN GLEESON  
1215 ALFRED HOLMAN  
1216 BLANCA GUTIERREZ  
DAYSI LIZAMA  
DIANE MORRISSEY  
WILBER GAITAN  
1219 LISA ARMSTRONG  
1220 QUY MACH  
1221 DEBORAH FONZINO  
MICHELLE VEAL  
1222 VALEE KAMAR  
1223 LUIS CENTENO  
ROSALBA GUITIERREZ  
ROSALBA GUTIEREZ  
ROSALBA GUTIERREZ  
1227 MARIO DELVALLE  
1230 FREDY SANCHEZ  
1232 CHONG LEWIS  
1233 CATALINA ONTIVEROS  
1235 ROSE COLORED PRODUCTIONS  
WILLIE MILLER  
1236 JOSE PEREZ  
1239 GABRIEL PADILLA  
1240 EXCELLENT CLEANING SERVICE INC  
JAN JARACZ  
1241 CLOTILDE WEZLAN  
1242 ARTURO NERI  
1244 ANNA DIAZ  
SANDRA EVANS  
SANDRA IVAQUIRRE  
VERNELL BUTLER  
1245 AQUILINO RAMOS  
1246 HENSEL SERVICES INC  
LAWRENCE HENSEL  
1247 FERNANDO LOPEZ  
1250 SHERMAN MCLAWHORN  
1301 MARGARITO SANDOVAL  
1302 VICTOR BUENDIA  
1305 EE VELASCO  
1308 ANNA CEJKA  
1309 ALEXANDER ANTEPENKO  
FRANK VANDEVELOE  
WAYNE LENSU  
1310 KENNETH HANNIGAN  
1312 E HAMILTON  
JANET RODRIQUEZ  
NICHOLA SANDERS  
1313 JOSEPH OWSIAK

**EAST AVE****2008****(Cont'd)**

1314 ROSS SIMMONDS  
ROSS SIMMONS

1315 JOSE GARCIA

1317 DIANE PRINCE  
JOVITA CARTER  
MARK CLARK

1319 DAVID RAMIREZ

1320 JOAQUIN REBERRA  
LUIS COLON  
TARSHA WILLIAMS

1321 CLAUDIA RODRIGUEZ  
JOE GEARHART  
JOSE CARDENAS  
RUDOLFO RIVERA  
SERGIO ROJAS  
THERESA MARANDO

1322 DANIEL STIRRAT

1323 NOORJEHAN TARIG

1325 ARMANDO BAEZ  
GERMAN JIMENEZ  
JOSE MURILLO  
LIDIA DELEON

1326 DEBRA RODIO  
JUAN JUAREZ  
MARIO SANTILLAN

1327 ALEJANDRO SANCHEZ

1329 RUBY MANSOUR

1331 JESUS MARTINEZ

1332 JAMES KAESTNER

1333 CHAD HOWARD

1336 JOSEPH HORECNY

1337 DEBBIE JANOPOULOS

1340 GUADALUPE VALDEZ  
ROBERT SULLIVAN  
SALOMON ESPADAS

1341 JOHN KVICKY  
KATHLEEN VASQUEZ  
ROBERT WARDZALA  
TIMOTHY KLESZCZEWSKI

1343 PATRICK NOVAK

1344 ARMANDO MANCILLA  
FRANCISCA JUAN

1345 MICHAEL ANDERSON

1347 DAVID PEREZ  
IGNACIO ORTIZ

1351 CARLOS MORA

1403 DAVID JONES

1404 GABRIEL MORALES

1407 NANCY ARIAS

1408 J SCHECKEL

EAST AVE

2008

(Cont'd)

1409	LAWRENCE TAYLOR
1410	RICHARD CATALANO
1411	MARY SUWANSKI
1412	WENDY HELBING
1415	THEODORE KABALA
1416	ARNULFO RODRIGUEZ EVA FLORES MARCO PEREZ
1418	MUNSOORA MALIK
1420	CARLOS LOREDO
1423	SHELDON HARRISON
1424	ALLAN LEONARD
1425	ELEAZAR BUADO
1426	CLARENCE JOHNSON
1427	ESTHER SOTO
1428	SHARITA JACKSON
1429	CESAR PINO
1430	ELOY HERNANDEZ HECTOR RAMIREZ
1431	JIM DANG
1433	ANNA BOBER
1434	SAMUEL GARCIA
1436	LEONOR IBARRA
1437	VIRGINIA MIKNEUS
1438	ROBERT BLECHA
1439	JOSE PINEDA
1441	ELIZABETH TAMAYO
1442	ANDREW MICHAELS
1444	GEORGE CORONADO
1445	ELOY CARRERA
1447	THOMAS CINTRON
1500	EL CHANGARRO LAVICTORIA GROCERY STORE
1504	GABRIELA GARZA
1507	VICTOR TORRES
1508	RON KUCZWARA
1511	JOSEPH GRONKIEWICZ
1512	DEANDRE HARDY EMMA PARRA
1513	MARTHA SALAS
1514	ALEXANDER TORRES DONNA KIRSCHENMAN FELIX PENA GEORGE WHITE KATTRESS CARRANZA RUDOLF JURINA
1515	RUSSELL REYNOLDS
1516	NANCY GOVEA
1519	MARIO PEREZ
1520	DORIS LOPEZ

EAST AVE

2008

(Cont'd)

1523	JOHN FUENTES
1524	THOMAS HARTMANN
1527	JORGE ORTIZ
1528	ABBY RIVERA SABRINA MARTINEZ
1529	ARTURO PEREZ MARIA OSEGUERA SALOMON RAMIREZ
1530	EUGENE PFAFF
1531	OMAR GONZALEZ
1532	MANUEL DELAROSA
1534	OSCAR MORA
1535	C CAMBRON EVA PEDRAZA FRANKI SCALFANO LETICIA MOYA MARIA VILLA
1537	MARIA VAZQUEZ
1601	MIKES AUTO REPAIR
1602	GONZALO GARCIA
1603	ALEJANDRO CRESPO
1604	BERWYN NORTH SCHOOL DST 98 JUSTIN MYERS
1606	JUANITA REYNA
1607	PAVLA PIERCE
1609	DUSAN GERLAK
1612	JENARITO PINTO
1613	ALFREDO MARQUEZ LLOYD WYRICK M SANTIAGO
1614	ESAU DIAZ
1615	PAVLINA PIERCE
1616	CANNELLA MADLEN MADLEN CANNELLA
1618	JUAN PERALES
1623	LILIANA ORTIZ
1627	JOSE GUZMAN
1629	JUAN GARCIA
1630	CHRISTOPHER DRENTH THERESA GILBERT
1631	YANJI PAN
1633	JUDITH VESSELY MUSIC FOR ALL OCCASIONS B
1634	SERGIO GARCIA
1635	MARGELENE DELEON
1636	GILBERTO RODRIGUEZ
1638	JULIO RODRIGUEZ
1639	ALLAN GOLDFARB
1641	DANIEL VASQUEZ
1643	BENJAMIN DELTORO



Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**2008**

**(Cont'd)**

1644 BILL FEROWICH  
1647 ERIKA BRITO  
JUANITA GARCIA  
1648 ELIZABETH RASMUMSON  
JILL HILLOCK  
SUSAN DEBLASE  
1800 FERNANDO ROCHA  
1801 MARK BISHOP  
1805 BRIAN SWADE  
1806 DANIEL ANDRIES  
1808 ANTONIO ALVAREZ  
1809 ISRAEL PADRON  
1811 RON PALKOVIC  
1812 JOHN DUBANSKI  
1813 GILBERTO VELEZ  
1816 DARNELL STOVALL  
1817 LUIS SANCHEZ  
1818 VANESSA ORTIZ  
1819 MARIA MORA  
1820 FRANK KARKUT  
1822 FRANCES FOJTIK  
1824 ETHEL MURILLO  
1825 MARIA CROSS  
1827 LEONARDO GARCIA  
1828 CHARLES FERRAYE  
1829 KEVIN KEY  
1830 MIGUEL FRANCO  
1831 JUAN MONTIEL  
MARTIN CASTRO  
1832 WILLIAM RENTNER  
1833 MARIA HURTADO  
1834 VICTOR ROMAN  
1836 RANDY SACHEN  
1837 CRUZ RIVERA  
JOSE SERVIN  
ROSA MOLINA  
1839 JULIA AGUIRRE  
LATIN ZEST DANCE INC  
1840 JOSEPHINE KREJCA  
1841 FRANK CABRERA  
1842 LAURA VOLPE  
1844 GENARO MARTINEZ  
1845 SALVADOR ZARATE  
1846 ERICK CERDA  
1848 RICHARD PECHOTA  
1849 SHARRON SCHADEMANN  
1851 SYED ALI  
1852 EZEQUIEL MENDEZ  
1901 GEORGE VASQUEZ  
1903 JOSE ALVAREZ

**EAST AVE****2008****(Cont'd)**

1906 CHRISTOPHER KRIBALES  
1907 RITA VALVODA  
1908 JACK SANSEEHA  
P C BEEF & FRIED RICE  
1909 ANGELINE GUIDO  
1912 ROBERT BEDNAR  
1913 JAMES KUST  
1914 HELEN NOVAK  
1915 REFUGIO TORRES  
1917 CASILDO GONZALEZ  
1918 PETER SICHÉLSKI  
1921 TOMAS RIVERA  
1923 MARY LEBEAU  
1925 MOHAMMED OTHMAN  
1926 ANTONIO ROSADO  
1928 ANTON HARAMIJA  
1929 CINDY CAPUTO  
1931 TOM SCHNEBERGER  
1932 VERNON CONANAN  
1935 JEAN PHILLIPS  
1938 JOHNNY DIAZ  
1939 JOSE TORRES  
1941 REYES ANDREW  
2101 WILLIAM RAICHART  
2105 JORGE GARCIA  
2106 SALVADOR PEREZ  
2107 LYNN PHAN  
2108 MARTIN SOLIS  
2111 JOHN MESHEK  
2112 ROBERT SHIFFLET  
2114 FRANCISCO GONZALEZ  
2117 MARY LEGAN  
2119 VLADIMIR SHKALIKOV  
2120 ALEXANDRÁ SALAZAR  
HECTOR MEDINA  
ISMAEL FONTANEZ  
JULIE TAMPIZIVAS  
LA CASITA JESUS HOME DAY CARE  
2123 SAM LIMANDRI  
2124 DAVID MOLINA  
2211 JOSEPH PICHA  
2214 JOYCE LAKA  
2215 JOSE LOPEZ  
2216 ARMANDO BAEZ  
2217 JOHN STANFORD  
ROCIO SANTOS  
2218 BEVERLY KING  
JESSIE WORDLAW  
2219 JOEL CASTILLO  
2222 MARIBEL RODRIGUEZ

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**2008**

**(Cont'd)**

2225 CARLOS BURGOS  
2226 DOLORES ENRIGHT  
2227 NOREEN MCGINLEY  
2228 CESAR ZEPEDA  
2229 CHRISTOPHER LAFIN  
2232 IRENE GIBAS  
2233 HANG NGO  
2235 MERE GOMEZ  
2236 SUSAN ANDERSON  
2237 JORGE GRANADOS  
2239 DIANE TRAVIS  
2243 JOHN JANATA  
2244 ANTHONY BRANKIN  
ST ODILO CH  
2305 CHRISTOPHER DIERS  
2307 JOSE CORONA  
2311 ALVIN BLINSTRUP  
2315 SAMUEL CENTENO  
2317 ALEXANDER SARROS  
2320 ANDREW GUSZCZA  
2321 JOSEPH GEARHART  
2323 DOROTHEE BECHSTADT  
2327 PETER SHARPITIS  
2328 FERNANDO ONTIVEROS  
2329 EPIFANIO CARRERA  
RAUL RIVERA  
2332 LUCIANO PANTALEON  
2333 GEORGE PAGURKO  
2334 JOSE CUEVAS  
2335 HENRY SCHOBERT  
2336 CECELIA SEDIVY  
2338 DITHSON ROSA  
2339 WILLIAM TSELEPIS  
2341 ANTHONY BRUCCI  
2342 PABLO SALAZAR  
2343 MICHAEL TAYLOR  
ROBERT MILES  
2346 RAYMOND LORENZ  
2347 RAYMUNDO GINEZ  
2348 LUDMILA SAFUS  
2401 DAVID ZEPEDA  
2402 MARTIN TORRES  
MILAN DJAKOVAC  
2403 CORY MARSHALL  
2406 LORENZO GAMBOA  
2407 ROMAN FELIPA  
2408 VINCENT ZAWORSKI  
2409 MARCOS CASTRO  
2410 MIKE POCIUS  
2414 ANTHONY SAVALAND

## EAST AVE

2008

(Cont'd)

2415	EVALIDIA VALENCIA
2416	CARLOS BANDA
2419	LUIS CASILLAS
2420	GARY FISHER
2421	ESNELIA RUIZ VARGAS RODRIGO VARGAS
2424	GEORGE KASPER
2425	ANTHONY INDOVINA
2426	PATRICIA KIELER
2427	RONALD SKOLBA
2428	PAUL JOCKL
2429	FRANCIS SPROVIERI FRANK SALES
2433	THOMAS MONTEFUSCO
2435	ANTOINETTE MCCARTHY
2438	RAYMUNDO GONZALEZ
2439	IVAN KEVO
2442	HEATHER SALAZAR
2443	KENNETH HARRIS
2445	TONI TOBIAS VICTOR HINOJOSA
2447	CARLTON CARTER DOLORES MERRITT JESSE VILLAREAL JOANNA QUEZADA JOEL ALVARADO MICHAEL LOPEZ
2448	NICK ALONZO
2501	MARAGRET FADZE
2503	WILLIAM KRAFT
2504	RICARDO RAMOS
2505	EDWARD FREDERICKS
2508	FELIX CACERES
2509	JOSE VALDES
2510	CAROLYN CONWELL
2512	ANTONIO MARQUEZ
2513	CESAR GARCIA
2516	BALTAZAR HERNANDEZ
2517	BERTA CASTELLANOS MIGUEL JUAREZ OLIVIA GONZALES TOMAS CHIQUITO
2518	JOSE SANDOVAL NICHOLAS GOMEZ
2520	BRUCE CLARK
2523	BOGDAN BASARIC
2524	JUAN BEAR
2525	ROSEMARIE HLOSTA
2526	AHMAD OMAR CHRIS WIDLACKI



**EAST AVE****2008****(Cont'd)**

2526 CLARENCE DANIELS  
PATRICIA MILES  
2527 MIRIAM ACEVEDO  
2528 CHRISTINA PARAMO  
2530 KENNETH KUCINSKI  
2532 ERICH GEORGE  
2534 ADRIAN VARGAS  
2612 PHILLIP BLAZIC  
2616 PEDRO LUNA  
2618 RAMIRO PEREZ  
2626 YOLANDA MENDOZA  
2628 ELEUTERIO SANCHEZ  
2630 FRANCISCO MORENO  
2634 JAMES WOODROW  
2636 RICHARD ZIEGLER  
2638 WILLIAM STRAFF  
2640 ROSELLA ROMANO  
2644 CHRISTINA ZIENKIEWCIZ  
2646 SERGIO HERRERA  
2647 IRINEO SALGADO  
2648 TERRY GARCIA  
2702 BERNICE HADZIMA  
2704 ANNE NOVAK  
2712 AFFORDABLE CONSTRUCTION LLC  
JOSEPH SALINAS  
2714 RAYMOND LAURENT  
2715 ALEXANDER OLARU  
JOSE BARRIOS  
JOSE CRUZ  
MARIA HERNANDEZ  
MARTIN GONZALEZ  
SOLEDAD VERONICA  
2716 DAVID HOLUM  
2718 FRED VOSECKY  
2722 GEORGE IDE  
2724 OLEGARIO PINEDA  
2726 IMELDA ARAMBULA  
2728 JOSE GAMA  
2730 ROY DELGADO  
2732 LEIDY TELLEZ  
2734 NORMAN MACKEY  
2738 ROBERT HARPER  
2740 CANDELARIA CORRAL  
2742 JOHN SWICIONIS  
2744 ALVARO GONZALEZ  
2746 FELIX OHLER  
3000 LEN MICKENBECKER  
3004 WILLIAM CHADWICK  
3008 CHARMAYNE DETTORE  
3012 JANE WOODS

**EAST AVE****2008****(Cont'd)**

3014 GE LORENZI  
JOAN MOORE  
MICHELLE RODRIQUEZ  
3016 JOHN LORENZI  
3020 ADVANCED HYPNOSIS CENTER  
MARTIN RICCARDO  
3022 EDDIE LOZADA  
3024 PEDRO SEGOVIA  
3026 JEANETTE VASQUEZ  
3028 YOLANDA MARTINEZ  
3030 AARON AVILA  
3034 RUBI ROGERS  
3101 MICHELE BERNAL  
3102 FRANCISCO LOZA  
VICTORIA SANCHEZ  
3105 MARIE HUGHES  
3109 LEONARD TOVINO  
3111 JOHN LUNARDON  
3114 MARIA ZAMARRIPA  
3115 MA MENDOZA  
3118 MIRIAM GUTIERREZ  
3119 CHRISTOPHER GOOD  
3200 JOHN LOPEZ  
MARY CAWLEY  
3207 LORENA MEJIA  
MEJIA CONCRETE INC  
3211 PAUL SHELTON  
3218 PAUL JORDAN  
3220 WARREN RITZMA  
3221 MUSA EL-TILLAWI  
3224 BENJAMIN PEREZ  
3225 OTTO DOLANSKY  
3232 DANIEL PALENCIA  
3233 MARIA GALVAN  
3236 MICHAEL MOLINARO  
3246 JOSE RIVERA  
3250 MATTHEW KOSCO  
3300 GUZMAN MIGUEL  
3304 JOHN POKRZYWA  
3308 CULLEN CAMMERS  
3314 BRIAN STERNISHA  
JAMES TROHA  
JOSEF CUMBA  
LANNY CHARLES  
MAREK MINISTR  
MARTIN MOJZIZ  
RICHARD HANK  
3318 DAVID VERA  
3322 BENJAMIN NELSON  
3328 THEODORE PEIFAR

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**2008**

**(Cont'd)**

3330 DARIN FREEBERN  
3340 MARY GORMAN  
3414 FRANK BONK  
3415 JENNIFER BYRON  
3416 ROBERT CIENCIAK  
3419 DIANA RODRIGUEZ  
3421 BERNARD BENDA  
3426 KEVIN MAHONEY  
3428 AS IS ANTIQUES  
CASIMIR LEWANDOWSKI  
CASIMIR LEWANDOWSKI  
3507 VIRGINIA SAMEL  
3509 RENÉ LIMAS  
3512 L ROY  
ROBERT MARCKESS  
3515 JOHN BARTLETT  
SHEILA ORTIZ  
3518 TIMOTHY WYRICK  
3520 MIGUEL ESTRADA  
3521 DANIEL COAN  
3523 JOSÉ FLORES  
3524 EDWARD ZUNCIC  
3525 WILLIAM BERECKIS  
3527 DEMETRIO GALVAN  
3528 FABIOLA RAMIREZ  
RAMANDO COUNCIL  
3529 DJF REMODELING & REPAIR INC  
LILLIAN MOUDRY  
3531 JOSE HERNANDEZ  
3533 FRANCISCO VEGA  
3535 NAJI HAJJAR  
3537 MANUEL MENDEZ  
3538 JOSEPH BELCASTER  
3539 HENRY VOLANTI  
3542 ELIZABETH GAMBINA  
3544 D STANKO  
3545 LAURENCE KONOPASEK  
3546 JEFFREY CARPENTER  
3547 MARY ODEHNAL  
3548 DAVID BRUNO  
3601 JOSEPH FEENEY  
3602 MAGIN AVILES  
3603 ALAN REBERSKI  
3607 TONY MAURICIO  
3608 TERESITA MARRERO  
3609 DAVID MURCZEK  
3610 ALBERTO COLON  
3612 BRIAN BRUNSLIK  
3614 RONALD LEDVORA  
TIMOTHY SKENANDORE

**EAST AVE 2008 (Cont'd)**

3617	GEORGE DELAVEGA
3620	BENJAMIN COZZONE
3621	SYLVESTER MARTIN
3622	ELI ROCHA
3623	JOSE ALONZO
3625	DAVID KNOPF MARY MATIS VINCENT BURNS
3626	BETTY BUCINSKI JAMES VORAC
3628	JOSEPH KRUPA
3630	MICHAEL VOKAC
3634	SHERRY CONNOLLY TERI KING
3638	ANSELMO PEREZ
3640	CESAR CASTILLO
3644	BLANCA GONZALEZ
3648	GENE DANIEL
3700	EDMAR CRUZ
3701	GILBERTO QUILANTAN
3703	ENRIQUE RODRIGUEZ
3704	WILLIAM BRONKEMA
3707	GREG DAVILA
3708	JOSE ALMARAZ
3709	DUANE SMITH
3711	JAMES PATRICK
3712	DARRELL HELTSLEY
3715	WILLIAM SINKENBERG
3716	BOGDAN TSIOS
3717	IRENE STEINKE
3719	NORMA RIVERA
3720	GERARDO JIMENEZ ISRAEL HERRERA JOAQUIN GUZMAN
3722	FAST TEKS OF OAK PARK ISAAC BAYON
3723	FRED PETERS JOSE CHAMORRO MICHAEL MORENO
3724	BENJAMIN GODOY
3725	SILVESTRE HERNANDEZ
3728	JESUS BAHENA
3730	MARIA NUNEZ
3731	LAKISHA JONES SHARON BUTLER
3732	VEDA WORTNER
3733	CATHERINE ZDUNCZYK JULIA FRIAS
3735	EARL GRIFFIN
3736	JERRY SLEZAK



EAST AVE

2008

(Cont'd)

3737 TOMAS DAVILA  
3738 PATRICK GARELLI  
3740 DAVID HOOGAKKER  
3741 KATHLEEN TANCZYN  
3743 JOSEPH GAROFALO  
3744 ELIZABETH LOZANO  
HOSSEIN YAR  
PABLO SANTOYO  
ZAHRAZS SANDOVAL  
3745 MARY LAMPHIER  
3746 MIKE GARAY  
3747 WILLIAM HART  
3748 JENNIFER HEATLEY  
L SHOEMAKEER  
LEONA SHOEMAKER  
3802 RAUL ANDRADE  
3803 MIGUEL GRANADOS  
3805 FRANCIS RADOGNO  
3806 RAY MERENKOV  
3807 JORGE SCOPP  
3808 LUIS LOPEZ  
3811 ANDREW PATRAS  
CONNIE WELLHOEFER  
GUILLERMO ALMANZA  
JESSICA ALVAREZ  
LORRAINE MIKESH  
TRACIE COSINO  
3814 CATARINA GAMBOA  
3815 G NARVAEZ  
JOSE PADILLA  
JOSE RAMOS  
JOSEPH HENKEL  
3818 JACK NASATSKY  
3822 HUNG DUONG  
3825 ALFREDO MARTINEZ  
MARIA FARIAS  
ROMAIN HEALY  
YADIRA VILLASENOR  
3826 SAMUEL OFORI-NTOW  
3827 JUAN MUNIZ  
3828 PETER KORNIJTSCHIK  
3829 ALBERTO CHAVEZ  
HORACIO RAMIREZ  
J STREMPLE  
MARIA BENITEZ  
TIMOTEO OVANDO  
3832 PETER GARCIA  
TYRONE RENNICK  
3836 GILBERT HERNANDEZ  
3840 FRANCISCO TRUJILLO

**EAST AVE****2008****(Cont'd)**

3846 MARIA JIMENEZ  
3848 BONNIE BOLGER  
3912 ROBERT WOZNIAK  
3913 DONALD TABOR  
3915 JANE DYBALA  
3916 VINCENT KASPER  
3917 MARGARET JASNICA  
3918 THOMAS ZEDNIK  
3919 ROBERT BAUSCH  
3923 JAMES KUCHARZ  
3924 MILDRED NOEL  
3925 BERNADETTE SAKOWSKI  
EUGENE PARSILL  
STANLEY BAFIA  
3928 ROBERT BILLS  
3929 S HAUPTNAN  
3930 JEFFREY LAUGHLIN  
3931 TERRY SPRIGGS  
3935 STEVE MACHCINIK  
3936 HENRY BIELAK  
3939 PAUL BLUDGEN  
3940 ERIC CHRISTENSEN  
4000 WILLIAM HOLUB  
4001 JOHN PLIML  
4002 IRVIN JANOVSKY  
4007 MARTIN AGUILAR  
4010 ERIC BALIUS  
4014 DAVID HULSMAN  
4015 ELIZABETH CARDENAS  
4016 JUAN URQUIZO  
4017 MARVIN JONES  
4019 MILES CHALABALA  
WILLIAM JOHNSON  
4021 EDWARD CARDENAS  
4025 WILLIAM LEVENTHAL  
4027 DANIEL VOORHEES  
4028 GENE SMUDA  
4030 GREGORIO CAMACHO  
4033 MICHELLE ESTRADA  
4034 RONALD BRNIAK  
4100 ANTONIO ORTIZ  
4104 R SMITH  
4114 LARRY BATTLES  
4201 HUMBERTO CAMPOS  
4203 PHILIP GILLMAN  
4205 JOSEPH TYRANOWSKI  
4207 SONIA RODRIQUEZ  
4209 ARLENE COLONNA  
4211 SUSAN KOPRIVA  
4213 ALEJANDRO ALVARADO

Target Street

Cross Street

Source

Cole Information Services



**EAST AVE**

**2008**

**(Cont'd)**

4215 VINCENT SCHWERIN  
4217 RAMON ANAYA  
4219 EUGENE BEILY  
4221 MARK JORDAN  
4223 PHILIP CAPUTO  
4225 MIGDALIA ORTIZ  
4227 MICHAEL SOYER  
4231 RONALD LANDERS  
4233 MARIE PRINTY  
4235 PIOTR JUSZCZYK

## ROOSEVELT RD 2008

6218 ELIZABETH AQUILAR  
 WYANDA SMITH  
 6220 TERRI WILLIAMS  
 ULTIMATE NAILS  
 6222 HAPPINESS RESTAURANT  
 LATONYA THOMPSON  
 MALENA NORMAN  
 SHAQUANA VINCENT  
 6226 FAIR SHARE FINER FOODS INC  
 FAIRSHARE  
 6300 DOC FAMILY PRACTICE  
 PEDIA GROUP ASSOCIATES  
 6305 DONNELL DAGLEY  
 6309 DANNY GRAY  
 JAMES ROBINSON  
 6312 MEDICAL INTL INC  
 6317 BUGI  
 6318 ROSHAN MAWAN  
 6319 INCLUSIVE INC  
 6321 CAMARGOS AUTO & TIRE REPAIR  
 COMPLETE AUTOMOTIVE  
 ROOSEVELT WRECK ROOM  
 6326 JACOBSON & SONS APPEARANCE  
 JANET Y FORBES MD  
 6332 BULL SHARPENING SERVICE INC  
 6337 AGNES GRIFFARD  
 ANN BROW  
 ANTOINETTE WESTBROOKS  
 CARLOS CASTANEDA  
 CAROL ROTH  
 CAROLE GOODWIN  
 CAROLINE TONGSON  
 CONNOLLY KEVIN  
 CURTIS MOORE  
 DEBORAH JOHNSON  
 DON COHEN  
 FRANK PADUCH  
 GERTRURE FITZPATRICK  
 GUILLERMINA OQUENDO  
 HECTOR HAGGAR  
 HYUNMYUNG TAK  
 JAMES SHERLOCK  
 JEFFREY FOSTER  
 JOSE MARTINEZ  
 JOSEPH WODYNSKI  
 JR ENGRACIA  
 JULIE MUHLENFELD  
 JULIE THOMPSON  
 KIMBERLEY PRESTLEY  
 LIDO PETRUCCI



**ROOSEVELT RD    2008    (Cont'd)**

6337 LORETTA SELLERS  
MARIA BRAVO  
MARY FOSTER  
NANOOK COSA  
PATRICIA MCMAHON  
RAUL DELAVEGA  
RICK WILLIAMS  
RICK WILLIAMSON  
RITA AVILA  
SALVADOR HERRERA  
STEVE SUTTLE  
SUSAN WEBER  
TANYA WOOLFOLK  
THOMAS HLAVACEK  
THOMAS TETLAFF  
VANESSA CHOLICO  
WILLIAM HAMMACK  
6340 LESLAW LENART  
WALTERS HAIR SALON  
6356 FORBES & BROWN MDS  
6406 BRADLEY BECK  
6412 WALGREEN DRUG STORES  
WALGREENS  
WALGREENS PHARMACY  
6433 ARLENÉ LUCENA  
6436 AARON THOMAS  
ADRIAN GIL  
ANAMAET WENDY  
ANTOINETTE CALLOWAY  
ARMANDO CUEVAS  
CHARLES GRANT  
CHARLES MOODY  
EMILY MORAN  
ERIKA BORBOR  
EVA GONZALEZ  
FILIPPO ROVITO  
GARRETT BEHLING  
GLENN COMPTON  
GREG KNAPP  
HASANI STARKS  
HIZBULLAH SHAIKH  
IHAB SHENOUDA  
KAMIL BRADY  
KAREN SCHINDEL  
KATHY KIRIKLAKIS  
MARIA AVINA  
MELISA LOPES  
MICHELLE CISELL  
PATRICK MURPHY  
PPOMATT INC



## EAST AVE 2003

1212	DIMAS DIAS FRANCISCO DIAZ NANCY GUERRERO
1213	DAVID NAVARRO NAVARRO APPLIANCE
1214	KEVIN GLEESON
1215	RICHARD CECI
1216	BLANCA GUTIERREZ DAYSI LIZAMA DIANE MORRISSEY WILBER GAITAN
1217	MICHAEL BEIRNE
1219	FERNANDO COFRE SARA RAMIREZ
1220	QUY MACH
1221	ROSE BARNETTE
1223	TIMOTHY LEEMING
1226	JACINTO ROJAS MARY POLIS
1227	ANGELINE STANICEK
1230	PATRICIA BLAYE
1232	CHONG LEWIS
1233	JOSE ONTIVEROS
1236	SAMUEL MONTES
1239	FREDRICK MASHEIMER
1240	LILLIAN SIWAK
1241	CLOTILDE VEZTRAN
1242	ARTURO NERI
1244	IZGUIRRE EVANS RODRIGO GUERRERO
1245	AQUILINO RAMOS
1246	B & L SERVICES LAWRENCE HENSEL
1247	FRANCES KUNICKIS
1250	SHERMAN MCLAWHORN
1300	BERNARDO TOSTADO
1301	MARGARITO SANDOVAL
1302	VICTOR BUENDIA
1304	AIDA CHICON OLGA NOYS
1305	JAMES ISAAC
1308	ANNA CEJKA BETTY WEDEN
1309	ALEXANDER ANTEPENKO FRANK VANDEVELDE WAYNE LENSU
1310	THOMAS SCHLOTENS
1312	JANET RODRIQUEZ
1313	KATHLEEN OWSIAK
1314	ROSS SIMMONS

EAST AVE

2003

(Cont'd)

1317	MICHAEL ZAWISLAK ROBERT MEDINA
1319	ARTURO ALDANA
1320	NORMA COLON
1321	LAURA MURRAY RUDOLFO RIVERA THERESA MARANDO
1322	DANIEL STIRRAT
1323	JOSE FARFAN
1325	ARMANDO BAEZ GERARDO CASTANON
1326	DEBRA RODIO MARIA SANTILLAN NORMA GAYTAN
1327	ALEJANDRO SANCHEZ RIGOBERTO FAUSTO
1328	DANIEL LOOSE
1329	EFREN OLAGUE
1331	CARLOS MORA MELISSA RIVERA
1332	JAMES KAESTNER
1333	ROGER HOWARD
1336	JOSEPH HORECNY
1337	ADAM ALAVAREZ
1340	GERALDINE CARLSON ISIDRO ESPADAS ROBERT SULLIVAN
1341	JOHN KVICKY KENNETH VALADEZ MICHELLE PUZEK ROBERT WARDZALA TIMOTHY KLESZCZEWSKI
1344	DONATO PEREZ
1345	MICHAEL ANDERSON
1347	ARMANDO PEREZ ROBERTO GARCIA
1401	VINCENT WALLER
1403	DAVID JONES
1406	DENNIS KOLTZ
1407	KAREN LEONARD
1408	J SCHECKEL SCHECKEL HARRY
1409	LAWRENCE TAYLOR
1410	KENNETH KVASNICKA
1411	MARY SUWANSKI
1412	MICHAEL HELBING
1416	ARNULFO RODRIGUES ISAIAS RODRIGUEZ MARIO RIVAS
1418	MUNSOORA MALIK



**EAST AVE****2003****(Cont'd)**

1419 MICHAEL TORTORICI  
1420 FRANK ORSENO  
1421 MARY SBARBORO  
1423 SHELDON HARRISON  
1424 MICHAEL LEONARD  
1425 GERALD GABRILLO  
1426 CESAR PINO  
1427 PABLO ALVAREZ  
1428 PETER SALERNO  
1430 EDUARDO HUERTA  
HECTOR RAMIREZ  
1431 JIM DANG  
1433 ANNA BOBER  
1434 GERARD KAVANAGH  
SAMUEL GARCIA  
1435 ANTOINETTE MCCARTHY  
1436 BAUDELIO RIVERA  
1437 VIRGINIA MIKNEUS  
1438 ROBERT BLECHA  
1439 MARY ESPINOZA  
1441 LISA TANGNEY  
1442 MARIE MICHAELS  
1444 GEORGE CORONADO  
1445 ANIBAL PEREZ  
1446 THERESA BRATTA  
1447 JOSEPHINE KONVALINKA  
1500 JOAQUIN VILLA  
LAVICTORIA GROCERY STORE  
1501 FERDINANDO DECORE  
1504 GABRIELA GARZA  
1507 VICTOR TORRES  
1508 RON KUCZWARA  
1511 JOSEPH GRONKIEWICZ  
1512 EMMA PARRA  
1513 WILLIAM STEVENS  
1514 ANDREW DEMONBREUN  
DONNA KIRSCHENMANN  
LAURA WHITE  
SCOTT SNYDER  
1515 ROBERT DEFEBBAUGH  
1516 JULIO VARGAS  
1519 RONALD PLASKY  
1520 ROBERT FINN  
1527 LORRAINE LAPORTE  
1528 BEVERLY SALINAS  
BOB DZIEDZIC  
1529 ADELA PEREZ  
MIGUEL DELGADO  
1530 PAT PFAFF  
1531 MARIA GARCIA

## EAST AVE

2003

(Cont'd)

1532 MANUEL DELAROSA  
1534 RAMIRO HERNANDEZ  
1535 BOLDDAATAR MIYAJAV  
C CAMBRON  
LETICIA MOYA  
MARIA VILLA  
1537 CESAR MEDINA  
CONSUELO VAZQUEZ  
1601 MIKES AUTO REPAIR  
1602 VINCENT LOMBAROO  
1604 BOARD OF EDUCATION  
JUSTIN MYERS  
1605 THOMAS LAMICH  
1606 MILES PROS  
1609 DUSAN GERLAK  
1612 FRANCA SCHILTZ  
1613 LLOYD WYRICK  
ROBERT CHIORDI  
1614 ESAUL DIAZ  
1615 CHARLES GAST  
1616 LOUIS CANNELLA  
1617 STELLA ZUMMO  
1618 WALTER MUNNICH  
1620 RUDOLPH LUKAC  
1623 VERONICA OLIVA  
1627 GERONIMO RAMIREZ  
1628 THOMAS WOLFF  
1629 JUAN GARCIA  
1630 CHRISTOPHER DRENTH  
DALE GILBERT  
1631 MIKE JIANG  
1632 GONZALO BLAMCO  
1633 JUDITH VESSELY  
MUSIC FOR ALL OCCASIONS B  
1634 TIBURCIO BOTELLO  
TIFFANY HARRIS  
1635 PHYLLIS PHILLIPO  
1636 GILBERTO RODRIGUEZ  
1638 JULIO RODRIGUEZ  
1639 SUSAN GOLDFARE  
1641 DANIEL VASQUEZ  
1642 KIERAN SETECKA  
1643 BENJAMIN DELTORO  
1644 BILL FEROWICH  
1647 ERIKA BRITO  
JUANITA GARCIA  
1648 ELIZABETH RASMUMSON  
J HILLOCK  
LORRAINE KRATOVIL  
SUSAN DEBLASE

**EAST AVE 2003 (Cont'd)**

1801 MARK BISHOP  
1805 MARISEL DELGADO  
1806 DANIEL ANDRIES  
1807 MIGUEL AGUILERA  
1808 PETER MANZIE  
1809 ISRAEL PADRON  
1811 RONALD PALKOVIC  
1812 JOHN DUBANSKI  
1813 GILBERTO VELEZ  
1816 EVELYN NEMECEK  
1817 JULIO ORTEGA  
1818 AAA HOCK ROOFING  
1819 DONALD SHARON  
1820 FRANK KARKUT  
1821 JANE ANDERSON  
1822 JERRY FOJTIK  
1824 ETHEL MURILLO  
1825 MARIA CROSS  
1827 LEONARDO GARCIA  
1828 CHARLES FERRAYE  
1829 KEVIN KEY  
1830 ALFREDO MASCORRO  
1831 JUAN MONTIEL  
MARTIN CASTRO  
1832 WILLIAM RENTNER  
1833 RICARDO ISAIS  
1834 VICTOR ROMAN  
1837 CRUZ RIVERA  
RICARDO RUBIO  
1839 JULIA AGUIRRE  
1840 JOSEPHINE KREJCA  
1841 FRANK CABRERA  
1842 LAURA VOLPE  
1844 JOSEPH ENSALACO  
1845 SCOTT FREY  
1846 JEANETTE PRASIL  
1848 RICHARD PECHOTA  
1849 MICHAEL RITA  
1851 SYED ALI  
1852 EZEQUIEL MENDEZ  
1901 JOSEPH TODRO  
1903 BETTY KIESKOWSKI  
1906 ADRIENNE KRIBALES  
1907 RITA VALVODA  
1909 ANGELINE GUIDO  
1912 JOHN BURES  
1913 JAMES KUST  
1914 HELEN NOVAK  
1915 JOSEPHINE PEKSA  
1917 ELSYE PISHA

EAST AVE

2003

(Cont'd)

1918 EDWARD SANTIAGO  
1920 JOSE SANTACRUZ  
1921 TOMAS RIVERA  
1923 ROSEMARY MARTINEZ  
1924 ALFRED PENA  
1925 ROBERT LIM  
1926 JOHN MENZIK  
1928 ANTON HARAMIJA  
1929 CINDY CAPUTO  
1931 RICHARD HANK  
1932 CARLOS RAMIREZ  
1934 ANTHONY COLBY  
1935 JEAN PHILLIPS  
1938 LISANDRA FIGUEROA  
1939 THERESA BUCHANAN  
1941 ANGEL VELAZQUEZ  
CHRISTINA FUTIA  
1942 ROBERT FITZNER  
2101 WILLIAM RAICHART  
2105 JORGE GARCIA  
KIMBERLEY PECINA  
2106 SALVADOR PEREZ  
2107 PHUOC PHAN  
2108 MARCIA WHITE  
2111 JOHN MESHEK  
2114 BENJAMIN SOTO  
JUAN BARRAGAN  
2118 SANDRA AGOSTO  
2119 VLADIMIR SHKALIKOV  
2120 ALEXANDRA SALAZAR  
HECTOR MEDINA  
JULIE TAMPIZIVAS  
2125 ANGELA PROVENZANO  
2211 JOSEPH PICHA  
2214 JOYCE LAKA  
2215 FIDEL MALDONADO  
2216 JAVIER VELEZ  
2217 HENRYK SKOWRONEK  
JOAN KELLY  
2218 JAMES GATLIN  
NU WAY ORTHODONTIC APLNC  
2219 JOEL CASTILLO  
2221 CINDY STRICKER  
2222 ANNA BUZAN  
2223 ANDREW BOCHANTIN  
KATHERINE LABARBERA  
RICHARD LABARBERA  
2224 MARIO GAUDIO  
2225 BRAD WILLIAMS  
2226 DOLORES ENRIGHT



Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**2003**

**(Cont'd)**

2227	NOREEN MCGINLEY
2228	CESAR ZEPEDA KATHY SCHMALZ
2229	CHRISTOPHER LAFIN
2232	IRENE GIBAS
2233	THUY NGO
2235	VICTOR WALCZAK
2236	EXPO SPECS SUSAN ANDERSON
2237	ROSA GUERRERO
2239	DIANE TRAVIS
2243	JOHN JANATA
2244	ST ODILO CH
2305	MYRA SLAJCHERT
2307	JOSE CORONA
2311	CAROLYN BLINSTRUP
2315	JAMES HUML
2317	JAMES SARROS
2320	ANDREW GUSZCZA
2321	JOSEPH GEARHART
2323	MARCUS MIERLE
2324	MICHAEL OKAL
2327	PETER SHARPITIS
2328	GERALDINE MOZIS
2332	ISRAEL MORALES
2333	GEORGE PAGURKO
2334	JOSE CUEVAS
2335	HENRY SCHOBERT
2336	CECELIA SEDIVY
2341	ANTHONY BRUCCI
2342	PABLO SALAZAR
2348	LUDMILA SAFUS
2401	DAVID ZEPEDA ILENE MILLAN MARIA ZEPEDA
2402	MILAN DJAKOVAC
2403	TODD ODELL
2406	LORENZO GAMBOA
2407	EDWARD MAREK
2408	VINCENT ZAWORSKI
2410	MIKE POCIUS
2414	ANTHONY SAVAIANO
2416	V PERTRYGA
2419	ANSELMO CASILLAS
2420	MARIA HERNANDEZ
2421	RODRIGO VARGAS
2424	GEORGE KASPER
2425	ANTHONY INDOVINA ENERGY MANAGEMENT CONTROLSCORP
2427	RONALD SKOLBA

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE 2003 (Cont'd)**

2428 PAUL JOCKL  
2429 FRANKS SALES  
2430 EVA MENDOZA  
2433 LYDIA PALAITIS  
2434 ANDREW YURKOVIC  
2438 RAYMUNDO GONZALEZ  
2439 NATAIIE KEVO  
2442 AARON KAYS  
2443 SHIRLEY CHESNY  
2444 MATTHEW DILIBERTO  
2445 JOSE TEJEDA  
TONI TOBIAS  
2447 DOLORES MERRITT  
JULIE LOPEZ  
NORINE KLUND  
2448 JOHN ALONZO  
2501 LYDIA FADZE  
MARAGRET FADZE  
2503 ELMER OMEARA  
2504 RICARDO RAMOS  
2505 SCOTT CITTER  
2506 HECTOR FERNANDEZ  
2508 FELIX CACERES  
2509 JOSE VALDES  
2510 FLORENCE CONWELL  
2511 ALEXANDER MORELLI  
2512 ANTONIO MARQUEZ  
2513 VOJISLAV PLAVSIC  
2516 JUAN ROMAN  
2517 BERTA CASTELLANOS  
2518 GUADALUPE VEGA  
JOSE CRUZ  
2520 HAROLD CLARK  
2523 INOCENCIO CHIQUITO  
2524 JUAN BEAR  
2525 ROSEMARIE HLOSTA  
2526 KERI SWANSON  
MICHELLE AGUIRRE  
RAFAEL SALDANA  
2527 LINDA LOPEZ  
2530 N KUCINSKI  
2532 ERICH GEORGE  
2534 ADRIAN VARGAS  
2612 PHILLIP BLAZIC  
2616 JOSEPH PASSARELLI  
2618 MIERYA CONCHAS  
2626 BLANKELIDA PEREZ  
JEAN MILLER  
MAITTIE RODRIGUEZ  
MOHAMAD AGHA

**EAST AVE****2003****(Cont'd)**

2628 WILLIAM SCHAUER  
2630 FRANCISCO MORENO  
2634 JAMES WOODROW  
2636 RICHARD ZIEGLER  
2638 WILLIAM STRAFF  
2640 MICHELLE DESCHAMPS  
NICKALOS ROMANO  
2644 CHRISTINA ZIENKIEWCIZ  
2646 ISMAEL DELATORRE  
2647 ESMERALDA YOL  
2648 JOHN DUSEK  
2702 BERNICE HADZIMA  
2704 ANNE NOVAK  
2708 ARTHUR REATO  
2712 FRANK FENCL  
2714 RAYMOND LAURENT  
2715 ALEKSANDER CHROBAK  
ALEXANDER OLARU  
CALIN NARTEA  
2716 DAVID HOLUM  
2718 FRED VOSECKY  
2724 RAYMOND GORDON  
2726 PETER PARTIPILO  
2728 ADAM ASCENCIO  
2730 ROY DELGADO  
2732 MARICAR PROCESO  
2738 ROBERT HARPER  
2742 JOHN SWICIONIS  
2744 HAROLD KOLB  
2746 FELIX OHLER  
3000 LEN MICKENBECKER  
3004 WILLIAM CHADWICK  
3008 CHARMAYNE DETTORE  
3012 JANE WOODS  
3014 JOAN MOORE  
RICHARD FERRELL  
3016 JOHN LORENZI  
3020 MARTIN RICCARDO  
3022 EDDIE LOZADA  
3024 PEDRO SEGOVIA  
3026 PEDRO VASQUEZ  
3028 ANTHONY CIFONIE  
3034 RUBI ROGERS  
3101 VICENTE ALEJANDREZ  
3102 GUADALUPE LOZA  
3105 PETER SAKLEH  
3106 JOSEPH MADDA  
3107 WAYNE MICKENBECKER  
3109 LEN IOVINO  
3111 JOHN LUNARDON

Target Street

Cross Street

Source

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Cole Information Services

**EAST AVE 2003 (Cont'd)**

3114 MATTHEW NOVAK  
3115 JAMES HENDERSON  
3116 BRIAN PIERCE  
3118 ROBERT BOWER  
3119 CHRISTOPHER GOOD  
3122 DONALD YACOVELLI  
3200 DONALD BENISCHEK  
MARYANN CAWLEY  
3207 STEVE JANSTO  
3208 JEANNE REILLY  
3211 ELEANORE LEWIS  
3218 RAYMOND PRANCIK  
3220 WARREN RITZMA  
3221 MUSA EL-TILLAWI  
3224 BENJAMIN PEREZ  
3225 OTTO DOLANSKY  
3232 MICHAEL BARRETT  
3233 MARIA GALVAN  
3236 BRIDGET MOLINARO  
3240 FLORENCE SARABIA  
3242 LEE MORTENSON  
WILLIS SERVICE  
3246 JOSE RIVERA  
3250 SCOTT MOREY  
3300 EDWARD RICE  
3304 JOHN POKRZYWA  
3308 CULLEN CAMMERS  
3312 MATTHEW MACIAK  
3314 JAMES TROHA  
LANNY CHARLES  
RICHARD HANK  
3318 DAVID WAGNER  
3322 EMILY PINTA  
3328 THEODORE FEIFAR  
3330 DARIN FREEBERN  
3334 SUBSTANCE COUNSELING INC  
3340 MARYJO GORMAN  
3414 FRANK BONK  
3415 JENNIFER BYRON  
3416 ROBERT CIENCIÁK  
3419 MIGUEL RODRIGUEZ  
3420 PETRA GUERRERO  
3421 BERNARD BENDA  
3422 H ARMSTRONG  
3426 KEVIN MAHONEY  
3428 CASIMIR LEWANDOWSKI  
3507 MICHAEL SAMEL  
3509 RENE LIMAS  
3512 L ROY  
ROBERT MARCKESS



EAST AVE

2003

(Cont'd)

3515	JOHN BARTLETT
3517	JAMES STECH
3518	TIMOTHY WYRICK
3520	ANGELES VILLARREAL
3521	DANIEL COAN
3523	JOSE FLORES
3524	EDWARD ZUNCIC
3525	DIANE BERECKIS
3527	DEMETRIO GALVAN
3528	EFREN CARRERA
3529	DJF REMODELING & REPAIR INC LILLIAN MOUDRY
3530	KEVIN HUGHES
3531	JOSE HERNANDEZ
3532	DENNIS SADLER
3533	BERTHA VEGA
3537	MICHAEL DAVIS
3538	JOSEPH BELCASTER
3539	HENRY VOLANTI
3540	ADELINA OROZCO
3542	ELIZABETH GAMBINA
3544	D STANKO
3545	LAURENCE KONOPASEK
3546	JEFFREY CARPENTER
3547	MARY ODEHNAL
3601	JOSEPH FEENEY
3603	ROBERT SLIFKA
3607	ALPHONSE TORIBIO
3608	EARL GOLDBERGER JOSEPH MIASO
3609	MARY VALENZUELA
3610	KEVIN HAWES
3612	BRIAN BRUNSLIK
3613	IRENE MARVAN
3614	TIMOTHY SKENANDORE
3617	VICTORIA MARTINEZ
3620	BENJAMIN COZZONE
3621	MARTIN THOMAS
3622	ELI ROCHA
3623	JOSE ALONZO
3625	DAVID KNOPF THOMAS BURNS
3626	BETTY BUCINSKI JAMES VORAC
3628	JOSEPH KRUPA
3630	MICHAEL VOKAC
3634	TERI KING
3640	AURORA CASTANEDA GUADALUPE VILLALON
3644	BLANCA GONZALEZ

**EAST AVE 2003 (Cont'd)**

3648	GENE DANIEL
3700	RUSSELL WOZNAK
3701	FRANCISCO GARCIA
3703	PEDRO RIVERA
3704	WILLIAM BRONKEMA
3707	MARIANNA QUILANTAN
3708	DONALD MYTYS
3709	DUANE SMITH
3711	JAMES PATRICK
3712	RACHEL BILLINGTON
3715	WILLIAM SINKENBERG
3716	LORRAINE BIRCH
3717	KHADER SAMMOUR
3719	DAVID BELL
3720	LOUIS NYKIEL
3721	STEVE OGIELA
3722	GEORGE IDE ISAAC BAYON
3723	FRED PETERS MICHAEL MORENO
3724	STEPHEN THOMAS
3728	GUADALUPE PRADO
3730	JIM SANTUCCI
3731	DALIA ZAMORA LUCIA MONTANO
3732	VEDA WORTNER
3733	J FRIAS
3735	EARL GRIFFIN
3737	DAVID SOTO
3738	BARBARA BREEN PATRICK GARELLI
3740	DAVID HOOGAKKER MARTA GARDIAN ZBIGNIEW GARDIAN
3741	KATHLEEN TANCZYN
3744	HOSSEIN YARMOHAMMADI ZAHRA SANDOVAL
3745	DONALD LAMPHIER
3746	MIKE GARAY
3747	WILLIAM HART
3748	JENNIFER GREENE L SHOEMAKEER ROBERT GREEN
3802	RAUL ANDRADE
3803	MIGUEL GRANADOS
3805	FRANK RADOGNO
3806	RAY MERENKOV
3807	JORGE SCOPP
3808	PATRICIA RAMIREZ
3810	ANNA O'DONNELL

**EAST AVE 2003 (Cont'd)**

3810 JESSE ALDAPE  
WALTER KULAK  
3811 LORRAINE MIKESH  
3815 JOSE PADILLA  
JOSE RAMOS  
JOSEPH HENKEL  
LUIS NARVAEZ  
MARIA GETEDERFLINGHE  
3818 JACK NASATSKY  
3825 JOSE VELEZ  
ROMAIN HEALY  
3826 LEILANI CAPPETTA  
3827 RAFAEL HERNANDEZ  
3828 PETER KORNIJTSCHIK  
3829 J STREMPLE  
3831 VIOLET KOSATKA  
3832 JOSE PENNA  
3836 ALICIA HERNANDEZ  
3840 JOEL IRIZARRY  
3842 RICHARD LOPAZ  
3846 JULIE AUSTIN  
3848 BONNIE BOLGER  
3912 ROBERT WOZNAK  
3913 DONALD TABOR  
3915 FRANK DYBALE  
3916 VINCENT KASPER  
3918 THOMAS ZEDNIK  
3919 J MALEK  
3923 JAMES KUCHARZ  
3925 BERNADETTE SAKOWSKI  
3926 JOHN MALINEK  
3929 MICHAEL TYOPRIL  
3930 JEFFREY LAUGHLIN  
3931 AMERICO DETRES  
3935 WAYNE STEFFL  
3936 HENRY BIELAK  
3939 PAUL BLUDGEN  
3942 WILLIAM GAYLE  
4000 WILLIAM HOLUB  
4001 JOHN PLIML  
4003 TERRY SPRIGGS  
4006 JAMES WOLF  
4010 AUDREY GAEGER  
4014 WALTER POZDOLSKI  
4015 DEBORAH DUCKHORN  
4017 MELANIE DISANTIS  
4019 MARILYN CHALABALA  
MELBA JOHNSON  
4022 THOMAS MITCHELL  
4025 WILLIAM LEVENTHAL

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**2003**

**(Cont'd)**

4027 THOMAS FEEHAN  
4030 CLINTON KUCHTA  
4034 ANGEL TERRAZAS  
4100 ANTONIO ORTIZ  
4104 H & H SECRETARIAL SERVICES  
R SMITH  
4108 JOHN ZITEK  
4110 ANTHONY SPECIALE  
4114 LARRY BATTLES  
4201 TADEUSZ BARAN  
4209 RICHARD COLONNA  
4211 DOROTHY SOBOTA  
4217 CHRISTOPHER LOPRESTI  
4219 LINDA DOZIER  
4221 MARK JORDAN  
4223 GINA HERNANDEZ  
4225 MIGDALIA ORTIZ  
4227 MICHAEL SOYER  
4231 RONALD LANDERS  
4233 MARIE PRINTY



## ROOSEVELT RD 2003

6218 SRDJAN KUNDACINA  
WYANDA SMITH

6220 ULTIMATE NAILS

6222 HAPPINESS CHINESE RESTAURANT

6226 FAIR SHARE FINER FOODS

6300 GOULD CYNTHIA MD  
NELSON KAREN MD

6303 ACASH MEDICAL SUPPLY

6305 GWENDOLYN HAYWOOD  
JAMES FERRONE

6309 CIGARETTE MART INC  
GUL RONEY  
JAMES PITTMAN  
TRACY PIERCE

6312 CLASSIC COLOR

6313 ROK STEADY STAGING

6319 ORLA STOKES

6320 GABRIEL STANEK  
NORTHERN WATERPROOFING

6321 TOTAL AUTOMOTIVE

6326 BROWN T MARIE MD  
T BROWN

6332 BULL SHARPENING SERVICE INC  
LARRY DANTONIO  
LARRY DANTONIO  
UP 4 CHNG HAIR & HLTH SALON

6337 ADDOLORI BARNES  
ANN BROW  
ANNE RODGERS  
CAROLINE TONGSON  
CHRISTOPHER BERG  
DEBORAH JOHNSON  
DENEEN SCOTT  
DENNIS BARTOLOTTA  
ERIK ROSTAMAIN  
FIDEL FONSECA  
GLENN GRZONKA  
GLORIA WILLIAMS  
GREGORY DEMPSEY  
IMELDA RIVERA  
J MIRR  
JAMES OSBORN  
JAMES SHERLOCK  
JOHN PYLE  
JOSEPH DORCHACK  
JUDITH MICHALEK  
JULIE THOMPSON  
KEN BRADSHAW  
LIDO PETRUCCI  
LINDA ZIC

**ROOSEVELT RD 2003 (Cont'd)**

6337 MARGARET PEVRIL  
MARIA RODRIGUEZ  
MICHAEL PTACEK  
PETER SZMEROT  
RICK WILLIAMSON  
ROBERT FAILLA  
STEVE SUTTLE  
TANYA WOOLFOLK  
VICTOR VANSANTEN  
VIJAY MEHTA  
6340 DANYELLE DAVIS  
WALTERS HAIR SALON  
6346 PETES RED HOTS  
6401 FAMILY SHELL  
6412 WALGREENS DRUG STORE  
6413 GEORGE CRONE  
6417 UDO HARTTUNG INC  
6433 ARLENE LUCENA  
6440 OAK PARK MOTORS  
6501 SCOTT SOLANO  
TURANO BAKING CO  
6532 RICHARD BURKE  
6536 SALVATION ARMY THRIFT STORE  
6537 DONALD BURNSIDE  
KONRAD VOIGT  
6540 AUTO EXPERTS  
EXPRESS AUTO REPAIR  
6545 FRANCISCO GUERRERO  
LOS CERROS  
6547 OMA SANDERS  
6549 ESMERALDA IZAGUIRRE  
GUERRERO FRANCISCO  
JUAN ESPINO  
6600 ACE BONDING AGENCY  
CAIRO SAUSAGE HOUSE  
MARY LAZOPOULOS  
6602 GALE BAHR  
6604 ANGIE YEOH  
BLIND ZONE  
6606 WILLIAMS AWNING CO  
6615 FITZGERALDS  
6619 KATHINE FITZGERILZ  
6623 SUBWAY SANDWICHES & SALADS  
6625 INTERSTATE BRANDS DOLLY MDSN  
6630 CHRISTOPHER BOSS  
JOSEPH A LEPKOWSKI JR  
6632 SUBURBAN PET CITY INC  
6633 VIDEO UPDATE INC  
6636 DENNIE ALDRIDGE  
SUN CLEANERS

Target Street

Cross Street

Source

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Cole Information Services

**ROOSEVELT RD 2003 (Cont'd)**

6644 OIL EXPRESS  
6720 ABN AMRO INVESTMENT SERVICES  
LASALLE BANK SUBURBS  
6748 CVS PHARMACY STORE  
6800 ESTEBAN CARRERA  
RSVLT & OAK PARK CRNCY EXCHNG  
6802 SCHMITZ & LISS INC  
6804 TRI CITY EXTERMINATING

**EAST AVE 1999**

1212 DIMAS DIAZ  
1213 MARIA NAVARRO  
NAVARRO APPLIANCE  
1214 PAUL GLEESON  
1215 RICHARD CECI  
1216 C DICKERSON  
JEROME ONSTOTT  
1217 GLADYS BEIRNE  
1219 JOSEPH CARLISI  
1220 QUY MACH  
1221 ANTHONY PANTANO  
ROSE BARNETTE  
1222 WILLIAM ANDREWS  
1223 BOBBIE NEVILLE  
1226 DAVID SCHAAL  
MARY POLIS  
1227 VIOLA STANICEK  
1230 JAMES DAGATI  
1232 CHONG LEWIS  
1233 JOSE ONTIVEROS  
1235 VINCENT CIRRINGIONE  
1236 MARIA LOPEZ  
1239 FREDRIC MASHEIMER  
1240 LILLIAN SIWAK  
1241 C VEZTRAN  
1242 PANCHO VILLA  
1244 RODRIGO GUERRERO  
1245 A RAMOS  
1246 SUSAN HENSEL  
1300 RODOLFO CASAS  
1302 VICTOR BUENDIA  
1304 AIDA CHICON  
1308 BETTY CEJKA  
1309 A ANTEPENKO  
FRANK VANDEVELDE  
JOANNE MCMAHON  
1310 KENNETH HANNIGAN  
THOMAS SCHLOTENS  
1312 JANET RODRIQUEZ  
1313 JOSEPH OWSIAK  
1314 PAUL PARELLO  
1315 TRUONG HUA  
1317 CYNTHIA MEDINA  
1320 ANGEL COLON  
1322 DANIEL STIRRAT  
1323 D VISK  
JOSE FARFAN  
ROSALBA GUERRERO  
1324 EMIL KAZDA  
1325 GERARDO CASTANON



EAST AVE

1999

(Cont'd)

1326	WILLIAM SALERNO
1327	MARIA SANCHEZ
1329	RAYMOND MARQUEZ
1331	JOSE LOPEZ M CASTRO
1332	JAMES KAESTNER
1333	CHAD HOWARD
1336	PAUL HORECNY
1337	G ARMENTA
1340	ROBERT SULLIVAN SEAN LOWERY STEVEN HORNBAKER
1341	M PUZEK ROBERT MULLANEY ROBERT WARDZALA
1343	GEORGE CHAYKA
1344	MIGUEL CARDENAS
1345	MICHAEL ANDERSON
1347	ROBERTO GARCIA
1401	ISABEL WALLER
1403	RONALD RADA
1407	EDITH LEONARD
1408	HUGO SCALZITTI JOANN SCHECKEL
1409	L TAYLOR
1411	MARY SUWANSKI
1412	MICHAEL HELBING
1413	DAVID BRUCKMAN
1415	T KABALA
1416	ARNULFO RODRIGUEZ F RAMIREZ
1418	STEVEN SPEARS
1419	MIKE TORTORICI
1420	FRANK ORSENO
1423	SHELDON HARRISON
1424	DODIE BARNISH NORMAN LEONARD
1425	SONIA BUADO
1426	MARIO DELVALLE
1428	PETER SALERNO
1430	GEORGE SOSA HECTOR RAMIREZ
1431	JIM DANG
1433	ANNA BOBER
1434	JOSE AYALA
1435	RAYMOND LENDABARKER
1438	ROBERT BLECHA
1439	F SEPULVEDA
1441	LISA TANGNEY
1442	IRENE DEIKUS

EAST AVE

1999

(Cont'd)

1442	MARIE MICHAELS
1444	RALPH CORONADO
1447	J KONVALINKA
1500	SILVAS GROCERY INCORPORATED WILLIAM ELWOOD
1501	ORSOLA DECORE
1504	EDWARD STARY
1507	VICTOR TORRES
1508	RON KUCZWARA
1511	JOSEPH GRONKIEWICZ
1512	MARIA OJEDA NANCY SLIFKA TINA GOZDAL
1513	THOMAS OBERMEYER
1514	DAVID JANAS
1516	QUINN WILLIAMS
1519	RONALD PLASKY
1520	ROBERT FINN
1523	JOSEPH KELLY
1527	L LAPORTE
1528	DIANE JEPSEN DIANE JEPSON
1530	P PFAFF
1532	CECELIA LENZA
1601	MIKES AUTO REPAIR
1604	SCHOOLS PUBLIC BERWYN SPECIAL EDUCATION DISTRICT 98
1605	THOMAS LAMICH
1606	MILES PROS
1609	MILDRED VOKATY
1612	FRANCA SCHILTZ
1613	LLOYD WYRICK SHERRY CHIORDI
1614	GREGORY SHAKESHAFT
1615	CHARLES GAST
1617	JAMES ZUMMO
1618	WALTER MUNNICH
1620	MICHAEL VUJICA RUDOLPH LUKAC
1628	THOMAS WOLFF
1630	DALE GILBERT MARY DRENTH
1632	BLANCO GONZALO
1633	JUDITH VESSELY
1634	TIFFANY HARRIS
1635	PHYLLIS PHILLIPO
1636	MARIA RODRIGUEZ
1641	DANIEL VASQUEZ
1642	KIERAN SETECKA
1644	WILLIAM FEROWICH

**EAST AVE****1999****(Cont'd)**

1647	JAMES POSEDEL
1648	EDWARD LUGAI
	L KRATOVIL
	PAUL DOMINGUEZ
	STEVEN FISHER
1805	EMILY ARROYO
1806	DANIEL MARTIN
1807	MIGUEL AGUILERA
1808	PETER MANZIE
1811	JOHN PALKOVIC
1812	JOHN DUBANSKI
1813	HARRY GORT
1816	L NEMECEK
	MARY MOLITOR
1818	MARK FIEBIG
1819	J SCATASSI
1820	FRANK KARKUT
1821	JANE ANDERSON
1822	JERRY FOJTIK
1824	JENA TEGTMEYER
	THOMAS GUSHES
1825	MARIE PERKINS
1827	CLARA BRODZINSKI
1828	ELIAS FERRAYE
	HANNA HABEISHY
1829	KEVIN KEY
1831	JUAN MONTIEL
	VANESSA SANTILLAN
1832	WILLIAM RENTNER
1833	RICARDO ISAIS
1834	FRANK BURIC
1836	SUZANNE DEFFENBAUGH
1837	RICARDO RUBIO
1839	THOMAS DENNEHY
1841	FRANK CABRERA
1842	ARNOLD KOBER
1844	JOSEPH ENSALACO
1845	ROBERT FREY
1846	J PRASIL
1848	RICHARD PECHOTA
1849	MICHAEL RITA
1901	FRANK TODRO
1902	JOAN SARICH
1903	BETTY KIESKOWSKI
1907	RITA VALVODA
1908	HECTOR VASQUEZ
1909	ANGELIN GUIDO
	LAVERNE HOLMES
1912	JOHN BURES
1913	JAMES KUST

**EAST AVE****1999****(Cont'd)**

1914	HELEN NOVAK
1915	EMIL PEKSA
1918	NANCY LLOYD
1920	TERRENC LYONS
1921	TOMAS RIVERA
1923	R MARTINEZ
1924	ALFRED PENA
1925	M OTHMAN
1926	JOHN MENZIK
1928	ANTON HARAMIJA
1929	CINDY CAPUTO
1931	RUSS DUSEK
1932	JESUS MARTINEZ
1934	ANTHONY COLBY COLBY ANTHONY
1935	RUSS PHILLIPS
1938	JOHNNY DIAZ
1939	THERESA BUCHANAN
1941	B DIONISIO
1942	ROBERT FITZNER
2101	WILLIAM RAICHART
2102	FRANK HOLAS
2105	V PECINA
2106	S PEREZ
2108	MARCIA WHITE
2111	JOHN MESHEK
2113	EDDA SANTANGELO
2114	LETICIA SOTO
2117	MARY LEGAN
2118	JULIE MULCRONE
2119	VLADIMI SHKALIKOV
2120	ADAM TOPALOGLOU JULIE BELLAS
2123	SAM LIMANDRI
2124	DONALD PIHA
2211	JOSEPH PICHA
2215	FIDEL MALDONADO
2217	HENRYK SKOWRONEK T SOKOLOWSKI
2218	NU WAY ORTHODONTIA RONALD MILFORD
2221	CINDY STRICKER
2222	LETICIA TORRES
2223	K LABARBERA
2224	MARIO GAUDIO
2225	NANCY WILLIAMS
2226	JERRY ENRIGHT
2227	NOREEN MCGINLEY
2228	KELLY OSULLIVAM
2229	MARIAN LAFIN



EAST AVE

1999

(Cont'd)

2232 ALEX GIBAS  
2233 THUY NGO  
2235 DALE WEBER  
2236 J ANDERSON  
2237 SALVADO GUERRERO  
2239 DIANE TRAVIS  
2244 ST ODILO CH  
2305 MYRA SLAJCHERT  
2311 ALVIN BLINSTRUP  
2315 IRVIN HUML  
2317 ALEX SARROS  
2320 ANDREW GUSZCZA  
2321 JOSEPH GEARHART  
2323 MARCUS MIERLE  
VICKI RIORDAN  
2324 MICHAEL OKAL  
2326 JUAN GONZALEZ  
2328 G MOZIS  
2332 ANGEL MARRERO  
2333 GEORGE PAGURKO  
2334 JOSE CUEVAS  
2335 HENRY SCHOBERT  
R PITTAN  
RAYMOND MATEJKA  
2336 C SEDIVY  
2338 DITHSON ROSA  
2339 WILLIAM TSELEPIS  
2341 ANTHONY BRUCCI  
2342 PABLO SALAZAR  
2343 KAREN GAVRAS  
2346 ROBERTA LORENZ  
2347 AMANCIO GARCIA  
R GONZALEZ  
2348 LUDMILA SAFUS  
2401 ALICEA MIGUEL  
DAVID ZEPEDA  
2402 VESNA DJAKOVAC  
2403 CHARLES ROICHEK  
2406 ROSENDO BUENTELLO  
2407 EDWARD MAREK  
2408 V ZAWORSKI  
2409 HELEN SIMA  
2410 MICHAEL POCIUS  
2416 V PERTRYGA  
VICTOR PIETRYGA  
2417 CARLOS ORTIZ  
2420 MICHAEL KVASNICKA  
2421 JOHN HENDERSON  
2422 JOHN TENORIO  
2424 GEORGE KASPER

Target Street

Cross Street

Source

Cole Information Services

EAST AVE

1999

(Cont'd)

2427 RON SKOLBA  
2428 PAUL JOCKL  
2429 FRANCIS SPROVIERI  
RAY BORELLI  
2430 ADAN MENDOZA  
2434 CAROL YURKOVIC  
2435 ROGELIO DIAZ  
2438 JOSE GONZALEZ  
2439 NATALIE KEVO  
2442 DEBORAH KAYS  
RICHARD JOCIUS  
2443 KENNETH HARRIS  
SHIRLEY CHESNY  
2444 CANAVAN LORETTA  
2445 HECTOR PEREZ  
VICTOR HINOJOSA  
2501 DANIEL KRYGOWSKI  
LYDIA FADZE  
2502 CHARLES VAVRA  
2505 BARBARA ITTER  
2506 HECTOR FERNANDEZ  
2508 FELIX CACERES  
2509 JOSE VALDES  
2510 F CONWELL  
2511 ALEX MORELLI  
2513 V PLAVSIC  
2516 MILLER BRADBURN  
2518 JOSE CRUZ  
2520 HAROLD CLARK  
2523 S HANSEN  
2524 R HITZELBERGER  
2525 R HLOSTA  
2526 KERI SWANSON  
MARIA LOPEZ  
RONNIE AMBROSIA  
2527 ANTHONY SCHILINGO  
2528 F PARAMO  
2530 NANCY KUCINSKI  
2532 ERICH GEORGE  
2612 V BLAZIC  
2616 JOSEPH PASSARELLI  
2626 MOHAMAD AGHA  
2630 F MORENO  
2634 JAMES WOODROW  
2636 RICHARD ZIEGLER  
2640 NICK ROMONO  
2644 CHRISTI ZIENKIEWCIZ  
K BIENKIEWICZ  
2646 ISMAEL DELATORRE  
T DELA

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**1999**

**(Cont'd)**

2647 E YOL  
2702 BERNICE HADZIMA  
2704 ANNE NOVAK  
2712 DAWN AUSTIN  
2714 RAYMOND LAURENT  
2715 PETER GARCIA  
2716 BARBARA HOLUM  
M PECK  
2718 JERRI LANE  
2720 BALTAZA ANGUIANO  
WILLIAM WEISS  
2724 RAYMOND GORDON  
2726 PATRICI BIHUN  
2728 BESSIE DVORAK  
2730 RICHARD CWIKLIK  
2732 STEVEN COVICH  
2738 ROBERT HARPER  
2740 M SPEVACEK  
2742 JOHN SWICIONIS  
2744 HAROLD KOLB  
2746 FELIX OHLER  
3004 WILLIAM CHADWICK  
3008 C DETTORE  
SHIRLEY JANECEK  
3012 WALTER WOODS  
3014 BROCK BARNES  
JEAN SARULLO  
JEAN VANCURA  
3016 J LORENZI  
3020 MARTIN RICCARDO  
3026 J VASQUEZ  
3030 RYAN WENZEL  
3034 RUBI ROGERS  
3101 VICENTE ALEJANDREZ  
3105 PETER SAKLEH  
3107 EUGENIA MICKENBECKER  
3109 LEN IOVINO  
3111 JOHN LUNARDON  
3114 MATTHEW NOVAK  
3115 JAMES HENDERSON  
3116 BRIAN PIERCE  
3119 CHRIS GOOD  
3122 JANET YACOVELLI  
3200 DONALD BENISCHEK  
MARIA CAYETUNA  
3207 STEVE JANSTO  
3208 E TROUT  
OLIVER PANTALEON  
3211 E LEWIS  
3218 RAYMOND PRANCIK

EAST AVE

1999

(Cont'd)

3220	WARREN RITZMA
3221	TILLAWI EL
3224	LAURA COLVIN
3232	MICHAEL BARRETT
3236	KAREN LEIGH STEVE MULTER
3240	ANTHONY SARABIA
3242	LEE MORTENSON
3246	R DOVALE
3250	COMPUTER RECYCLING SOLUTIONS INCORPORATED CORPORATE CREATIONS
3300	EDWARD RICE
3304	JOHN POKRZYWA
3308	CULLEN CAMMERS
3312	ROBERT PARNOCK
3314	TONY GAJEWSKI
3318	DAVID WAGNER THERESE STARK
3322	EMILY PINTA
3328	T FEIFAR
3330	DAVID CHRIST
3414	FRANK BONK
3415	ROBERT DAVIDSON
3417	LEN OLSZEWSKI
3419	M RODRIGUEZ
3420	MARILEE GRAHAM
3422	ANDREW KOBEK HEATHER ARMSTRONG
3426	K MAHONEY
3428	CASIMIR LEWANDOWSKI
3507	MICHAEL SAMEL PAUL SKIRHA
3509	RENE LIMAS
3512	BARBARA MARCKESS L ROY
3515	JOHN BARTLETT
3517	JOSEPH STECH
3518	TIM WYRICK
3521	DANIEL COAN
3524	EDWARD ZUNCIC
3525	DIANE BERECKIS
3529	CYNTHIA FAGAN LILLIAN MOUDRY
3533	DANEL NINO
3537	DIANE DAVIS
3538	JOSEPH BELCASTER
3542	E GAMBINA
3544	THOMAS STANKO
3546	BRIAN PROSKA
3548	LARRY FLANAGAN



EAST AVE

1999

(Cont'd)

3601 JOSEPH FEENEY  
3602 ANNA MIEROP  
3605 JOSEPH BELCASTER  
3608 JOHN MIASO  
3609 JEFF KRAMER  
3610 PEGGY ROBERTS  
3612 B BRUNSLIK  
3613 F LOGLI  
3614 ANNA PELIKAN  
WILBUR BONAGUIDI  
3617 LAURA MORTLOCK  
3620 LAURA SKENANDORE  
3622 ANITA STROYECK  
3623 MARIA CEPEDA  
3625 DAVID KNOFF  
E KADLECEK  
MATTHEW TESSAROLO  
3626 JAMES VORAC  
3630 EDWARD ODENBACH  
3634 MATTHEW HOLDA  
TERI KING  
3638 ALEXIS DIAZ  
3640 LUDMILA HRESIL  
3644 MARY ALESSANDRO  
3648 GENE DANIEL  
3707 CHESTER BIDUS  
3708 JOSEPH MYTYS  
3711 JAMES PATRICK  
3712 R BILLINGTON  
3715 WILLIAM SINKENBERG  
3716 L BIRCH  
3721 W OGIELA  
3724 STEPHEN THOMAS  
3728 G PRADO  
3732 MICHAEL ZIEMBA  
3733 CHARLES CRAFTON  
3735 EARL GRIFFIN  
3736 R SLEZAK  
3740 DAVID HOOGAKKER  
GARDIAN MARTA  
MARTA GARDIAN  
MARTIN RODRIGUEZ  
3741 C TROFIMCHUK  
3743 ALAN TACCOLA  
3744 CAROL DAUM  
LADDIE ZMRHAL  
3745 DONALD LAMPHIER  
3746 CHAS GARAY  
3747 WILLIAM HART  
3748 CHARLES SHOEMAKER

EAST AVE

1999

(Cont'd)

3802 RAUL ANDRADE  
3805 FRANK RADOGNO  
3806 RAY MERENKOV  
3807 ROGER MERENKOV  
3810 ALLEN HYMAN  
ROSES REMEMBERED  
3814 GAMBOA CATARINA  
3815 FABIOLA VILLAGRANA  
MARIA GETE-DERFLINGHE  
3818 JACK NASATSKY  
3825 GAIL ATHERTON  
ROMAIN HEALY  
3826 A CAPPETTA  
3827 EDWARD RODRIGUEZ  
3828 PETER KORNIJTSCHIK  
3829 J STREMPLE  
RAY SHERRY  
3831 VIOLET KOSATKA  
3832 WINSLOW KOLBA  
3834 RONALD OSZKO  
3836 GILBERT HERNANDEZ  
3839 ELAINE KRONQUIST  
3840 VICTOR GARCIA  
3842 RICHARD LOPAZ  
3846 JULIE AUSTIN  
3848 BONNIE BOLGER  
3915 DORIS KOLBUCH  
3916 DONALD STEFA  
3919 J MALEK  
3924 MILDRED NOEL  
3926 LAURIE KNUTH  
3928 ROBERT BILLS  
3929 MIKE TYRPEKL  
3930 ROSE LAUGHLIN  
3931 TERRY SPRIGGS  
3936 HENRY BIELAK  
3940 ERIC CHRISTENSEN  
4001 JOHN PLIML  
4002 IRVIN JANOVSKY  
4003 K PECHOUS  
4006 JOHN WOLF  
4010 KARL GAEGER  
4014 WALTER POZDOLSKI  
4015 GREGORY KRCMAR  
4016 JOHN KOSTELANCIK  
4017 MARVIN JONES  
4018 ROBERT HINRICHSEN  
4019 MELBA JOHNSON  
MILES CHALABALA  
4021 JOSEPH CAMPAGNA

Target Street

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Cole Information Services

EAST AVE

1999

(Cont'd)

4022 THOMAS MITCHELL  
4027 JAMES VOORHEES  
4028 GENE SMUDA  
4033 EVELYN WAGNER  
4034 RONALD BRNIAK  
4104 H & H SECRETARIAL SERVICES  
R SMITH  
4108 JOHN ZITEK  
4110 ANTHONY SPECIALE  
4114 LARRY BATTLES  
4201 H CAMPOS  
TADEUSZ BARAN  
TIMOTHY HUEBNER  
4203 PAULA GILLMAN  
4205 JOSEPH TYRANOWSKI  
4207 STEPHEN MARTZ  
4209 D COLONNA  
4211 SCOTT BAHDE  
4213 JAMES POUPA  
4215 VINCENT SCHWERIN  
4217 MARIE SIWEK  
4221 MARK JORDAN  
4223 ERMA ZELINSKY  
4225 ELENA RIVECCO  
4227 M SOYER  
4229 JOHN JORDAN  
4231 RONALD LANDERS  
4233 MARIE PRINTY  
4237 LAURA FAST

**ROOSEVELT RD 1999**

6220 TERRI WILLIAMS  
ULTIMATE NAILS

6222 HAPPINESS CHINESE RESTAURANT

6226 FAIR SHARE FINER FOODS

6300 BILLMAN DANIEL MD  
BOLTON CORNELIUS MD  
CHARDHARY FARZANA MD  
CHEN JACKSON MD  
FREDLAND ALLAN MD  
GOULD CYNTHIA MD  
LAWSON LEONARD MD  
MACNEAL HEALTHCARE CENTERS  
MEHTA MUKUDINI MD  
NELSON KAREN MD  
PEOPLES CRYSTAL MD  
THEODORAKIS SPYRIDON P MD  
WALKER KAREN MD  
WALL TIMOTHY MD

6303 D JS CIGARETTE OUTLET

6305 CIGARETTE MART INCORPORATED

6312 MEDIA INTERNATIONAL INCORPORATED

6319 UNCLE SNORKEYS PUBLIC HOUSE  
WACKOS COMEDY SHOP

6320 NORTHERN WATERPROOFING  
VANGUARD PROGRAMMING

6321 ANGEL AUTO SERVICE INCORPORATED  
D GUZMAN

6326 BROWN T MARIE MD  
FORBES JANET

6332 BULL SHARPENING SERVICE INCORPORATED

6337 AMY KELLY  
ANTHONY HOYE  
C TONGSON  
DENNIS BARLOTTA  
DIANE FILIPIAK  
E FISTER  
ERIK ROSTAMAIN  
JAMES OSBORN  
JOHN PYLE  
K BIBLE  
KEN BRADSHAW  
LINDA ZIC  
M PEVRIL  
MICHAEL PTACEK  
OLGA BIEKER  
PERRY FRANKLIN  
PETER SZMERDT  
RICK WILLIAMS  
ROBERT FAILLA  
SARAH HARRIS





**ROOSEVELT RD 1999 (Cont'd)**

6630	BOSS CHRISTOPHER A DDS LEPKOWSKI JOSEPH A DDS
6632	SUBURBAN PET CITY INCORPORATED
6633	VIDEO UPDATE
6634	PREMIER MAINTENANCE SERVICES INCORPORATED PREMIER MAINTENANCE SYSTEMS INCORPORATED
6636	SUN CLEANERS
6644	OAK PARK OIL EXPRESS OIL EXPRESS
6720	LASALLE BANK FSB
6748	CASSIDY TIRE COMPANY CASSIDY WILLIAM J TIRE & AUTO SUPPLY COMPANY INCORPORATED
6800	M CARRERA OAK SIDE SNACK SHOP
6802	SCHMITZ & LISS INCORPORATED
6804	TRI CITY EXTERMINATING

## EAST AVE 1995

1212	CARRERA, SAMUEL DELRIO, MANUEL DIAZ, DIMAS
1213	BUTLER, TINA M
1214	GLEESON, PAUL F
1215	CECI, RICHARD
1216	CUPERY, DAVID PAZ, MIRZA
1217	BEIRNE, MIKE
1219	CARLISI, JOSEPH P
1220	OCCUPANT UNKNOWNN
1221	BATEK, EMIL GIBAS, BARBARA
1222	ANDREWS, WILLIAM H
1223	NEESE, AMY OTTERSON, JOHN
1226	SHELTHOFF, C A
1227	STANICEK, VIOLA
1230	DAGATI, JAMES
1232	BLAHA, WILLIAM F
1235	CIRRINGIONE, VINCENT
1236	OCCUPANT UNKNOWNN
1239	MASHEIMER, F C
1240	SIWAK, JOHN S
1241	WEZRAN, JAMES L
1242	VIGNOLA, KIRK J
1244	EVANS, DONNA
1245	ALANIS, RAUL D
1246	HENSEL, L B
1247	BLAND, ROBIN
1300	CASAS, RODOLFO
1301	GRIM, CHARLES
1302	BUENDIA, VICTOR M
1304	LEONARD, JOHN L SR
1305	OCCUPANT UNKNOWNN
1308	CEJKA, JOHN M
1309	MCMAHON, JOANNE VANDEVELDE, FRANK
1310	SCHLOTENS, THOMAS
1312	MCDONALD, MAUREEN
1313	OCCUPANT UNKNOWNN
1314	PARELLO, PAUL
1315	HUA, NGOC
1317	LEE, G M MEDINA, CYNTHIA NUNEZ, LUCIANO
1320	OCCUPANT UNKNOWNN
1321	OCCUPANT UNKNOWNN
1323	TRENT, CALVERT
1325	ARAIZA, ANTONIO

EAST AVE

1995

(Cont'd)

1325 CANTU, JORGE M  
1326 SALERNO, WILLIAM H  
1327 VALERA, MARIA  
1328 ZAVALA, JOSE  
1329 OCCUPANT UNKNOWNN  
1331 GARZA, ALMA P  
GAYTAN, JOHN  
KORYCKI, SINDY  
TURNER, SHARON  
1332 KAESTNER, JAMES F  
1333 HOWARD, MARY  
1335 OCCUPANT UNKNOWNN  
1336 HORECNY, P  
1337 HOLTROP, W  
1340 DEMURO, ANTHONY  
SULLIVAN, R  
1341 DECHRISTOHER, SAM  
MULLANEY, ROBT  
SALDANA, JOSEPH  
TRENTER, LINDA  
WARDZALA, ROBT  
1343 CHAYKA, GEORGE L  
1344 OCCUPANT UNKNOWNN  
1345 ANDERSON, MICHAEL  
1347 BURKHEAD, LISA  
CHGO GENDER SOCIETY  
FREEMAN, RICHARD  
HAMSTRA, BEVERLY  
1401 WALLER, ISABEL  
1403 RADA, RONALD E  
1406 OCCUPANT UNKNOWNN  
1407 LEONARD, JOHN J  
1408 SCALZITTI, HUGO  
SCHECKEL, JOANN M  
1409 TAYLOR, L  
1410 OCCUPANT UNKNOWNN  
1411 SWANSKI, MARY  
1412 LITSTER, JOHN  
1413 BRUCKMAN, DAVID J  
1416 RODRIGUEZ, ARNULFO  
1418 OCCUPANT UNKNOWNN  
1419 GLOECKLER, SYLVIA  
1420 OCCUPANT UNKNOWNN  
1421 SBARBORO, JOSEPH D  
1423 HARRISON, SHELDON  
1424 LEONARD, NORMAN J  
1425 BUADO, ELEAZAR  
1426 OCCUPANT UNKNOWNN  
1427 ALVAREZ, PABLO  
1428 SALERNO, PETER



EAST AVE

1995

(Cont'd)

1430 RAMIREZ, GEORGE  
1431 DANG, JIM  
1433 OCCUPANT UNKNOWNN  
1434 ESPOSITO, JOANNE  
GRONKIEWICZ, JOSEPH  
1435 OCCUPANT UNKNOWNN  
1436 GRABINSKI, E  
ISKRA, ANDREW M  
PATEL, VARSHA  
1437 OCCUPANT UNKNOWNN  
1438 OCCUPANT UNKNOWNN  
1441 KAUFMAN, F W  
1442 DEIKUS, IRENE  
MICHAELS, MARIE E  
1444 CORONADO, FELIPA R  
1446 HULL, LYNNE  
1447 KONVALINKA, J  
1500 KHALIL, MAHA  
1501 DECORE, ORSOLA  
1504 OCCUPANT UNKNOWNN  
1505 SWEENEY, ANTHONY J  
1507 THINNES, MICHAEL A  
1508 OCCUPANT UNKNOWNN  
1511 OCCUPANT UNKNOWNN  
1512 FALICETTI, LAURA  
GUNKEL, V  
1514 BAUTISTA, RAMIRO  
1516 NEWCOMER, PEGGY  
1519 PLASKY, RONALD D  
1520 FINN, ROBERT  
1523 KELLY, JOSEPH R  
1527 OCCUPANT UNKNOWNN  
1528 LEE, SANDRA  
1529 EVANS, G  
SKLARSKI, ALAN  
1531 OCCUPANT UNKNOWNN  
1532 LENZA, CHARLES  
1534 OCCUPANT UNKNOWNN  
1535 COGAN, DONALD H JR  
1537 LEFEVRE, DAVID H  
1601 MIKES AUTO REPAIR  
1602 LOMBARDO, VINCENT  
1604 SPECIAL EDUCATION  
1605 LAMICH, THOMAS P  
1606 PROS, MILES  
1609 VOKATY, EDWARD C  
1612 SCHILTZ, FRANCA  
1613 OCCUPANT UNKNOWNN  
1614 ALONZO, FRANK J  
SHAKESHAFT, GREGORY

**EAST AVE 1995 (Cont'd)**

1615	GAST, CHARLES H
1616	OCCUPANT UNKNOWNN
1617	ZUMMO, JAMES
1618	MUNNICH, WALTER
1620	LUKAC, RUDOLPH A VUJICA, MICHAEL
1621	BUDZINSKI, ALEX
1623	TORRES, ALICIA
1624	SKALA, JOHN G
1627	OCCUPANT UNKNOWNN
1628	WOLFF, THOMAS E
1629	GARCIA, JUAN P
1630	DRENTH, MARY E JR GILBERT, DALE
1631	PELAFAS, THOMAS
1632	OCCUPANT UNKNOWNN
1633	VESSELY, JUDITH N
1634	DOBBINS, K
1635	PHILLIPO, PHYLLIS
1636	KORINEK, JOSEPH
1638	OPIELA, IRENA
1639	MUSIL, EMMA
1641	BATISTA, HENRY
1642	SETECKA, KIERAN J
1643	OCCUPANT UNKNOWNN
1647	OCCUPANT UNKNOWNN
1648	KRATOVIL, L J LUGAI, EDWARD J
1802	OCCUPANT UNKNOWNN
1805	OCCUPANT UNKNOWNN
1807	ZAJAC, VICTOR
1808	OCCUPANT UNKNOWNN
1809	VELIZ, SANDRA
1811	MONROE, RITA
1812	DUBANSKI, JOHN A
1813	GORT, HARRY S
1816	MOLITOR, MARY NEMECEK, L F
1817	HODOR, HARRY H
1819	SCATASSI, J
1820	KARKUT, FRANK S
1821	ANDERSON, JANE K
1822	FOJTIK, JERRY J
1824	GUSHES, THOMAS H
1827	BRODZINSKI, CLARA
1828	FERRAYE, ELIAS HABESHY, HANNA
1829	KEY, KEVIN
1830	OCCUPANT UNKNOWNN
1831	MONTIEL, JUAN J

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**1995**

**(Cont'd)**

1832 RENTNER, WILLIAM  
1834 BURIC, FRANK J  
1836 DEFFENBAUGH, FOSTER H  
1837 RUBIO, RICARDO  
1840 OCCUPANT UNKNOWNN  
1841 CABRERA, FRANK  
1842 VOLPE, LAURA A  
1845 FREY, ROBERT J  
1846 PRASIL, J  
1848 PELHOTA, RICHARD  
1849 RITA, MICHAEL P  
1851 ALI, SYED N  
1901 TODRO, JOSEPH M  
1902 SARICH, JOAN N  
1903 KIESKOWSKI, BETTY  
1906 KRIBALES, E P  
1907 VALVODA, RITA M  
1908 OCCUPANT UNKNOWNN  
1909 GUIDO, A  
HOLMES, LAVERNE  
1912 BURES, JOHN J  
1913 KUST, JAMES J  
1914 NOVAK, JERRY  
1915 PEKSA, EMIL  
1917 PISHA, LOUIS H  
1918 GIANNINI, ALBERT  
1920 LYONS, T R SR  
1921 LUCAS, MARK  
1923 LEBEAU, JAMES  
1924 PENA, ALFRED  
1925 HAVRANEK, STANLEY B  
1926 MENZIK, JOHN J  
1928 HARAMIJA, ANTON  
1934 ANTHONY, COLBY  
COLBY, ANTHONY  
KMET, EMIL  
1935 PHILLIPS, RUSS  
1938 OCCUPANT UNKNOWNN  
1939 BUCHANAN, WILLIE  
1941 DELOS, ELVIRA  
1942 FITZNER, ROBERT  
2101 OCCUPANT UNKNOWNN  
2105 PILEWSKI, TOMEK  
2106 PEREZ, S  
2107 OCCUPANT UNKNOWNN  
2108 LYNCH, PETER L  
2112 KOSTLEVY, LILLIAN  
2113 LAWSON, THANIEL  
2117 LEGAN, M  
2119 SHKALIKOV, VLADIMI

## EAST AVE

1995

(Cont'd)

2120	BELLAS, JULIE VARVITSIOTIS, TOM
2123	COKINIS, GEORGE
2124	PIHA, DONALD G
2126	BRIGAN, JOHN P
2216	BIANCO, M
2217	SOKOLOWSKI, MARY
2218	MILFORD, RONALD L NU WAY ORTHODONTIA LABORATORY ROGOZ, B
2219	SHOWALTER, JOSEPH
2221	STRICKER, CINDY
2222	TORRES, LETICIA
2223	LABARBERA, CAROL A
2224	BERNARD, H
2225	WILLIAMS, NANCY P
2226	ENRIGHT, JERRY S JR
2227	MCGINLEY, NOREEN M
2228	WOROBICZ, DOLORES
2229	LAFIN, EARL A
2232	GIBAS, ALEX
2233	NGO, THUY
2235	WEBER, DALE R
2236	ANDERSON, JOHN
2237	JINDRICH, EMILY
2239	TRAVIS, DIANE M
2243	JANATA, JOHN
2244	SKACH, CHARLES J ST ODILO CH
2301	OCCUPANT UNKNOWNN
2305	OCCUPANT UNKNOWNN
2307	KRATOCHVIL, FRANK
2311	BLINSTRUP, ALVIN A
2315	HUML, IRVIN J
2317	OCCUPANT UNKNOWNN
2320	GUSZCZA, ANDREW
2321	GEARHART, JOSEPH
2323	WICHER, AUGUST R
2324	OKAL, MORRIS
2326	MILLER, TAMIKA
2327	BUKOVSKY, JOSEPH E
2328	MOZIS, G
2329	CARRERA, E
2332	OCCUPANT UNKNOWNN
2333	PAGURKO, GEORGE JR
2334	ZAHRADNIK, FRANK J
2335	PETERSON, LYNN PITTAN, R SCHOBERT, HENRY J
2336	SEDIVY, C F



EAST AVE

1995

(Cont'd)

2338	ROSA, DITHSON
2339	OCCUPANT UNKNOWNN
2341	BRUCCI, ANTHONY J
2342	KASSAK, JOHN
2343	OCCUPANT UNKNOWNN
2346	OCCUPANT UNKNOWNN
2347	GONZALEZ, R
2348	SAFUS, JOSEF
2401	MIGUEL, ALICEA
2402	LISICIC, MILICA
2403	ROICHEK, CHARLES J
2406	CHABA, SY
2407	MAREK, EDWARD
2408	ZAWORSKI, V
2409	SIMA, FRANK
2410	POCIUS, MICHAEL
2414	OCCUPANT UNKNOWNN
2415	LUKASZEK, GLADYS
2416	PERTRYGA, V
2417	GAMBOA, JOSE H
2419	OCCUPANT UNKNOWNN
2420	OCCUPANT UNKNOWNN
2421	HENDERSON, JOHN
2422	OCCUPANT UNKNOWNN
2424	KASPER, GEORGE J
2425	OCCUPANT UNKNOWNN
2426	SZENIAWSKI, RICHARD
2427	SKOLBA, RONALD
2428	JOCKL, PAUL
2429	BORELLI, RAY L
	SPROVIERI, FRANCIS E
2430	MENDOZA, LUIS M
2433	PALAITIS, EDWARD
2434	WALENGA, WALTER G
2435	BYRD, VILMA
	DIAZ, ROGELIO
	GARCIA, JAVIER
2438	GONZALEZ, JOSE C
2439	KEVO, NATALIE
	MUNEGOWDA, MELUR
2443	CHESNY, SHIRLEY N
2444	OCCUPANT UNKNOWNN
2445	PRANIS, ARTHUR
2447	BROWN, SARILYN
	CYZA, C
	PALERMO, LOUIS
2448	OCCUPANT UNKNOWNN
2501	FADZE, LYDIA W
2503	OCCUPANT UNKNOWNN
2504	OCCUPANT UNKNOWNN

EAST AVE

1995

(Cont'd)

2505 KWIT, AILEEN T  
2508 CACERES, FELIX M  
2510 KUNZ, ROBERT J  
2511 MORELLI, ALEX J JR  
2512 ZALOKAR, VICTOR  
2513 OCCUPANT UNKNOWNN  
2517 FENCL, ROBERT E SR  
2518 VEGA, G  
2520 CLARK, HAROLD S  
2523 SCOTT, ADAM J  
2524 BEAR, JUAN C  
2525 HLOSTA, R  
2526 WILSON, KATRINA  
2527 SCHILINGO, ANTHONY  
2528 OCCUPANT UNKNOWNN  
2530 KUCINSKI, NANCY  
2532 GEORGE, ERICH A  
2612 BLAZIC, V P  
2616 PASSARELLI, JOSEPH E  
2618 PEREZ, RAMIRO  
2626 AGHA, MOHAMAD K  
2628 SCHAUER, WILLIAM R JR  
2630 GRANDOWSKI, GARY  
2634 WOODROW, JAMES  
2636 ZIEGLER, RICHARD  
2640 LEVRANT, ROSELLA  
2644 ZIENKIEWCIZ, C  
ZIENKIEWICZ, K  
2646 BERGEMANN, SCOTT C  
DEJOHN, JOSEPH A  
STUDNICKA, JAMES W  
2647 OCCUPANT UNKNOWNN  
2648 DUSEK, JOHN B  
2702 OCCUPANT UNKNOWNN  
2704 NOVAK, JOSEPH  
2708 OCCUPANT UNKNOWNN  
2712 FENCL, JENNIE A  
2714 HUGHES, PATRICK  
2715 CHOLEWIAK, VENITA  
HOLDEN, P L  
2716 PECK, RAYMOND S  
2718 LANE, JERRI  
2720 WEISS, WILLIAM  
2724 GORDON, RAYMOND C  
2726 BIHUN, P  
2728 DVORAK, FRANK J  
2730 CWIKLIK, RICHARD  
2732 OCCUPANT UNKNOWNN  
2734 OCCUPANT UNKNOWNN  
2738 HARPER, ROBERT

EAST AVE

1995

(Cont'd)

2740	SPEVACEK, M G
2742	SWICIONIS, JOHN J
2746	OHLEK, FELIX J JR
3004	WAGNER, LARRY
3008	PAPADOPOULOS, C
3012	WOODS, WALTER S
3014	HARAMIJA, BILL
	JANDA, JEFF
	PLOTKA, ROBERT
3016	LORENZI, JOHN G
3020	OCCUPANT UNKNOWNN
3022	OCCUPANT UNKNOWNN
3024	JAKAB, LOUIS JR
3026	PLUMMER, E
3028	OCCUPANT UNKNOWNN
3030	HUGULEY, MICHELE
3034	LEVINE, R A
3101	MACHADO, EDGAR
	RECON COMPUTER SYSTEMS
3102	NIJMEH, LUCIA
3105	SAKLEH, PETER
3106	OCCUPANT UNKNOWNN
3107	MICKENBECKER, C
3109	CZYZEWICZ, DONNA M
3110	WITTMANN, RALPH C
3111	LUNARDON, JOHN J
3114	COKINIS, JIM
3116	PIERCE, BRIAN
3118	BOWER, ROBERT W
3119	OCCUPANT UNKNOWNN
3122	YACOVELLI, JANET A
3200	BENISCHEK, DONALD L
	RAMIREZ, JUAN C
	SILVERA, NYMPHA
3207	JANSTO, STEVE H
3208	ANSELME, WILLIAM
	CELOVSKY, TILLIE
3217	OCONNELL, TIMOTHY
3218	PRANCIK, RAYMOND R
3220	RITZMA, WARREN H
3221	JACHINSKI, STEPHEN A
3224	COLVIN, LAURA
3232	BARRETT, RICHARD C
3236	DOHERTY, GINA
3240	SARABIA, ANTHONY T
3242	MORTENSON, LEE S
3246	DOVALE, FACUNDO
3250	MCLAWHORN, SHERMAN
3300	RICE, EDWARD R
3304	SCHUMACHER, JOHN

EAST AVE

1995

(Cont'd)

3308	CAMMERS, CULLEN J
3312	PARNOCK, ROBERT J
3314	CLANCY, PAUL
3318	DJORDJEVIC, MILUTIN
3322	PINTA, EMILY D
3328	FEIFAR, T S
3330	CHRIST, DAVID M
3334	HUBKA, JOHN J
3415	DAVIDSON, ROBERT
3416	OCCUPANT UNKNOWNN
3417	OLSZEWSKI, LEN
3420	GRAHAM, MARILEE
3422	KLUMP, MICHAEL S KOEK, ANDREW A
3426	BEAUPRIE, A E
3428	LEWANDOWSKI, CASIMIR
3507	SKIRHA, PAUL
3509	LUKES, DALE A
3512	MARCKESS, BARBARA A
3515	MONDIKE, FRANCES B
3517	OCCUPANT UNKNOWNN
3518	WYRICK, TIM
3521	OCCUPANT UNKNOWNN
3523	FLORES, E
3524	ZUNCIC, EDWARD V
3525	DADAS, ROBERT J
3527	JACKOWIAK, KATHY
3528	TOLDEO, M M
3529	FAGAN, CYNTHIA
3530	HUGHES, MARSILE J
3531	MCVICAR, BETTE K
3532	OCCUPANT UNKNOWNN
3533	NINO, IMELDA
3535	HAJJAR, NAGI S
3537	DAVIS, MICHAEL
3538	BELCASTER, JOSEPH T
3540	NORRIS, MICHAEL P
3542	TAZELAAR, MARK E
3545	KONOPASEK, L
3546	PROSKA, BRIAN
3547	ODEHNAL, MARY
3548	FLANAGAN, LARRY
3601	FEENEY, JOSEPH T
3602	OCCUPANT UNKNOWNN
3603	SLIFKA, ROBERT
3605	BELCASTER, J
3608	MIASO, JOHN
3609	KRAMER, ANTHONY
3610	HAWES, KEVIN
3613	COLEMAN, MARY



EAST AVE

1995

(Cont'd)

3614	SMITH, GLENDA
3620	OCCUPANT UNKNOWNNN
3622	STROYECK, ANITA M
3623	CEPEDA, MIGUEL A
3625	HOLDA, MATTHEW W KNOPF, DAVID
3626	VANOVER, DINA L
3628	OCCUPANT UNKNOWNNN
3630	KASTLER, MARYLOU L
3634	BARILE, PAUL R GRAHAM, K KING, TERI VERZAL, STEVEN
3640	BALANDES, CYNTHIA G HRESIL, LUDMILA M
3644	GONZALEZ, T
3648	DANIEL, GENE D
3700	PERSHING ELEMENTARY SCHOOL
3703	OCCUPANT UNKNOWNNN
3704	MIERZWA, C J
3707	BIDUS, CHESTER A
3708	MYTYS, JOSEPH J
3711	PATRICK, JAMES
3712	SWARTZFLORES, RITA
3715	SINKENBERG, WILLIAM G
3716	BIRCH, L D
3717	MALEWICZ, ALBIN NOWACKI, MARIAN
3719	BELL, DAVID
3720	GUZMAN, R
3721	OGIELA, W
3722	SINDER, WANDA L
3723	ESTACIO, L
3724	OCCUPANT UNKNOWNNN
3725	BRADLEY, ROBERT P
3728	GREEN, CONNIE
3731	RICE, JAMES
3732	OCCUPANT UNKNOWNNN
3735	GRIFFIN, EARL R
3736	SLEZAK, R J
3737	OCCUPANT UNKNOWNNN
3738	OCCUPANT UNKNOWNNN
3740	GARDIAN, MARTA KOZINA, JAN
3741	BURNETTE, AARON C
3744	DAUM, JAMES H ZMRHAL, LADDIE R
3745	LAMPHIER, DONALD G
3746	MUELLER, CHARLES G
3748	SHOEMAKER, CHARLES

**EAST AVE****1995****(Cont'd)**

3802 SWIEDRYCH, RYSZARD  
3805 ZEPEDA, ELDA N  
3806 MERENKOV, RAY  
3807 MERENKOV, ROGER J  
3810 HYMAN, ALLEN  
REDA, WILLIAM J SR  
3811 OCCUPANT UNKNOWNN  
3814 GAMBOA, C  
3815 HENKEL, E  
TENNANT, DENIS  
3818 NASATSKY, J W  
3825 ATHERTON, GAIL  
HEALY, ROMAIN D JR  
3826 CAPPETTA, A  
LAPIANA, ANTHONY  
3827 RODRIGUEZ, ANNETTE M  
3829 BYERS, J  
KIEL, FRANCES  
SHERRY, RAY  
3831 KOSATKA, VIOLET  
VETTER, DARRELL  
3832 KOLBA, WINSLOW  
3834 OCCUPANT UNKNOWNN  
3836 HERNANDEZ, G  
3839 KRONQUIST, CHARLES  
3840 ZAPPA, JAMES A  
3842 OCCUPANT UNKNOWNN  
3846 SINCULA, GLADYS  
3848 BOLGER, BONNIE  
3913 RUZICH, PAULA J  
3915 KOLBUCK, DORIS E  
3916 STEFA, DONALD  
3917 SUKUP, JOHN  
3918 ZEDNIK, THOMAS J  
3919 OCCUPANT UNKNOWNN  
3923 OCCUPANT UNKNOWNN  
3924 COSENTINO, JOSEPH  
3925 OCCUPANT UNKNOWNN  
3929 TYRPEKL, MIKE  
3930 LOSTUMBO, MARIO  
3931 OCCUPANT UNKNOWNN  
3935 OCCUPANT UNKNOWNN  
3936 BIELAK, HENRY  
3939 BERTUCCI, ANTHONY M  
3940 CHRISTENSEN, ERIC  
3943 NIEMEC, JOHN  
4001 PLIML, JOHN J  
4002 JANOVSKY, IRVIN  
4003 HAMILTON, RONALD G  
4006 WOLF, JOHN A

**EAST AVE      1995      (Cont'd)**

4007 OCCUPANT UNKNOWNN  
4010 OCCUPANT UNKNOWNN  
4014 POZDOLSKI, WALTER H  
4015 KRCDMAR, GREGORY G  
4016 KOSTELANCIK, JOHN P  
4017 DICARLO, ROBERT  
4018 HINRICHSEN, ROBERT  
4019 CHALABALA, MILES H  
JOHNSON, MELBA  
4021 CAMPAGNA, JOSEPH A II  
4022 MITCHELL, THOMAS  
4026 OCCUPANT UNKNOWNN  
4027 VOORHEES, JAMES  
4028 SMUDA, GENE  
4030 KARLOVIC, WILLIAM  
4033 WAGNER, JOHN C  
4034 BRNIAK, RONALD  
4100 GAMMICHIA, SAM C  
4104 HOWARD, CYNTHIA  
SMITH, R J  
4108 ZITEK, JOHN  
4110 OCCUPANT UNKNOWNN  
4114 MACCHIA, RONALD  
4201 BARAN, CHARLES R  
4203 GILLMAN, PAULA D  
4205 TYRANOWSKI, JOSEPH  
4207 MARTZ, STEPHEN R  
4209 CERTIFIED PAVING  
COLONNA, D  
4213 POUPA, JAMES R  
4215 SCHWERIN, VINCENT  
4217 OCCUPANT UNKNOWNN  
4219 JANOWICK, L V  
4221 JORDAN, MARK  
4223 ZELINSKY, ERMA  
4225 HANNA, JOS  
HENRI, JOAN  
POKROPINSKI, HENRY J  
4227 OCCUPANT UNKNOWNN  
4229 JORDAN, JOSEPH JR  
4231 EWING, ROMA T  
4233 OCCUPANT UNKNOWNN  
4235 LAMBERSON, HAROLD C  
4237 FAST, LAURA

## ROOSEVELT RD 1995

6220 ALFEAS, PETER  
 MORRISSY, KELLY  
 6222 ALFEAS, GINA  
 HAPPINESS RESTAURANT  
 6226 FAIR SHARE FINER FOODS  
 6300 CYNTHIA GOULD MD  
 FAMILY HEALTHCARE SPECIALIST  
 KAREN WALKER MD  
 6303 D JS CIGARETTE OUTLET  
 WESTERN UNION  
 6305 CIGARETTE MART INC  
 FERRONE, JAMES  
 6309 DOMINGUEZ, ALEX  
 HAGEL, CHARLES  
 OTERO, DORA  
 PREMIER PORCELAIN  
 PREMIER PORCELAIN REFINISHERS  
 6311 PARENTI, RALPH  
 6312 KAYRON  
 MEDIA INTERNATIONAL INC  
 MEDIA INTL INC  
 6313 OCCUPANT UNKNOWNN  
 6319 UNCLE SNOREYS PUBLIC HOUSE  
 WACKOS COMEDY SHOP  
 6320 ANWAR, HAMID  
 CANDLES BY LEILA  
 CHICAGO STAGING  
 NORTHERN WATERPROOFING  
 PERMAGUARD PROTECTIVE COATING  
 VANGUARD PROGRAMMING  
 6321 ROOSEVELT WRECK ROOM  
 6326 BROWN, T  
 JACOBSON&SONS APRNC  
 JANET Y FORBES MD  
 6332 ABRASIVE DISTRIBUTORS  
 BULL SHARPENING SVC INC  
 DANTONIO LARRY  
 S W DISTRIBUTORS INC  
 UP 4 CHANGE  
 6334 OAK PARK PRESS  
 6335 SELIMOSGOLDEN, CHRIS T  
 6337 BARTOLOTTA, DENNIS  
 BENVENUTTI, A E  
 BIEKER, OLGA J  
 DEFRANCISCO, BEN  
 FAILLA, ROBERT P  
 FILIPIAK, DIANE C  
 FISTER, E  
 GARAY, AUTUN  
 GINSBURG, MICHAEL



**ROOSEVELT RD 1995 (Cont'd)**

6337	HARACZ, PAUL W MCDOWELL, DANIEL P MEYER, MARY MULLEN, A M OSBORN, JAMES PTACEK, MICHAEL D RISTIC, VERA ROSTAMIAN, ERIC ROSTAMIAN, ERIK SUTTLE, STEVE TETZLAFF, THOMAS G TONGSON, C WALKER, BRAD WEBER, S M WEISE, SHARON L ZDARSKY, L
6340	ALLSTATE INSURANCE
6346	PETES RED HOTS
6347	GO TANE SVC STATION
6400	BALIAN AUTO SVC
6401	FAMILY SHELL
6412	WALGREENS DRUG STORE
6415	EVANS, TERRY N
6417	WEINKELLER BAR & LIQUORS
6431	OCCUPANT UNKNOWNN
6433	VAUGHAN, MATT
6435	THEODORE, LOUIS F
6440	BENNETT MOTOR SALES
6501	CAMPAGNA TURANO BAKERY INC TURANO PASTRY SHOP INC
6517	CHUCKS BERWYN LIQUORS INC OCCUPANT UNKNOWNN
6519	KUBIKS AUTO SVC
6527	HOUSE OF VINYL LTD
6532	RELIANCE PRESS
6536	SALVATION ARMY THRIFT STORE
6537	RASMUNSON, E
6539	DR SCOTTS CAR CLNC WERCO AUTOMOTIVE SUPPLY INC WERCO AUTOMTV SPLY
6540	GOODYEAR
6545	DIAMOND GRAPHICS OF BERWYN INC OCCUPANT UNKNOWNN
6547	BACCI BALL CLUB ROFFERS, DOUGLAS
6549	ACKERMAN, TIFFANY M JOSEPHS PIZZA REST
6600	CAIRO SAUSAGE HOUSE
6602	LORD, CHARLES F
6604	TYREE, RONALD L

**ROOSEVELT RD 1995 (Cont'd)**

6604 WALTERS BARBER SHOP  
6606 OAK PARK AWNING CO  
WILLIAMS AWNING CO  
WILLIAMS CASUAL FURNITURE  
6609 WILKS CERTIFIED GROCERY  
6611 FITZGERALD, C  
SUNSHINE BAKERY  
6615 FITZGERALDS  
6619 FITZGERALD, WILLIAM  
6623 SUBWAY SANDWICHES & SALADS  
6625 DOLLY MADISON CAKES  
6627 AMERICAN BUILDING & CONSTR INC  
BLIND ZONE  
6629 VINCES THE PIZZA PEOPLE V  
6630 FAZIO HEATING & AIR COND  
6631 YOGYS FROZEN YOGURT  
6632 ALL SPORTS CARDS & COMICS  
6633 WEST COAST VIDEO  
6634 PREMIER MAINTENANCE SYSTEMS  
6636 NORCROSS PRODUCTIONS  
NORCROSS, CHARLES  
SUN CLEANERS  
6638 EUWEMA MOVERS  
6644 OAK PARK OIL EXPRESS  
6720 LA SALLE TALMAN BANK  
6748 WILLIAM J CASSIDY TIRE  
6800 OAK SIDE SNACK SHOP  
PAPPAS, JAMES  
6802 SCHMITZ & LISS INC  
6804 KODIS, STANLEY M  
TRI CITY EXTERMINATING

## EAST AVE 1992

1212	PALERMO, JOHN
1213	MAURIZI, JOSEPH A
1214	GLEESON, PAUL F
1215	CECI, RICHARD
1219	CARLISI, JOSEPH P
1221	GIBAS, B
1222	ANDREWS, WILLIAM H
1223	FISHMAN, REGINA M PAULSON, BRENT
1226	SASS, ANTHONY
1227	STANICEK, V
1230	CHRISTOFFER, ARTHUR L
1232	BLAHA, WILLIAM F
1235	CIRRINGIONE, VINCENT
1239	MASHEIMER, F C
1240	SIWAK, JOHN S
1242	VIGNOLA, KIRK J
1244	LANNERS, T
1246	HENSEL, L B
1301	GRIM, CHARLES
1308	CEJKA, JOHN M
1309	SOSA, ALAN V VANDEVELDE, FRANK
1310	SCHLOTENS, THOMAS
1314	HORVATH, EMIL
1315	HAU, T
1317	FAVIA, VICKY G MEDINA, CYNTHIA
1320	BARTELT, HERMAN
1325	BLACK, PATRICK VISTINE, TIM
1326	SALERNO, WILLIAM H
1331	FASANO, DANIEL R NAPOLITANO, ANTHONY
1333	HOWARD, CHAD
1337	HOLTROP, W
1343	CHAYKA, GEORGE L
1345	ANDERSON, MICHAEL
1401	WALLER, ISABEL
1404	RODRIGUEZ, MARY
1407	LEONARD, JOHN J
1408	SCALZITTI, HUGO SCHECKEL, JOANN M
1409	TAYLOR, L
1413	BRUCKMAN, DAVID J
1418	ERICKSEN, PETER J
1420	SUBSITS, BRET
1423	VRANIK, C
1424	LEONARD, NORMAN J
1425	MCCLUSKEY, JOHN J

EAST AVE

1992

(Cont'd)

1426 PINO, CESAR  
1427 CALEK, JOSEPH F  
1428 SALERNO, PETER  
1430 POCIUS, CHARLES W  
1431 LANGREHR, ERNEST A  
1435 LENDABARKER, RAYMOND J  
1437 MIKNEUS, V  
1441 KAUFMAN, F W  
1442 MICHAELS, MARIE E  
1444 CORONADO, RAFAEL V  
1445 DONARSKI, L D  
1500 KHALIL, JAMAL  
1505 SWEENEY, ANTHONY J  
1507 THINNES, MICHAEL A  
1508 KUCZWARA, RON  
1520 FINN, ROBERT  
1529 KNOWSKI, JAMES  
1532 LENZA, CHARLES  
1534 KISH, GEORGE  
1535 COGAN, DONALD H JR  
1537 LEFEVRE, DAVID H  
1601 MIKES AUTO REPAIR  
1602 LOMBARDO, VINCENT  
1605 LAMICH, THOMAS P  
1606 PROS, MILES  
1609 VOKATY, EDWARD C  
1614 ALONZO, FRANK J  
1615 GAST, CHARLES H  
1617 ZUMMO, JAMES  
1620 LUKAC, RUDOLPH A  
VUJICA, JOHN  
1623 GUIDO, RICKY  
1624 SKALA, JOHN G  
1628 WOLFF, THOMAS E  
1629 MEYER, RICHARD  
1630 DRENTH, MARY E JR  
GILBERT, DALE  
1631 PELAFAS, THOMAS  
1632 PINEDA, CARMEN  
1633 VESSELY, JUDITH N  
1634 HOPWOOD, DENISE S  
WOODS, JOHN M  
1636 KORINEK, JOSEPH  
1638 SCHLUETER, ROBERT  
1639 MUSIL, EMMA  
1648 KRATOVIL, L J  
1807 ZAJAC, VICTOR  
1811 PALKOVIC, JOHN  
1813 GORT, HARRY S  
1816 MOLITOR, MARY



EAST AVE

1992

(Cont'd)

1816	NEMECEK, L F
1817	HODOR, HARRY H
1819	SCATASSI, J
1820	KARKUT, FRANK S
1821	ANDERSON, JANE K
1824	GUSHES, THOMAS H
1827	BRODZINSKI, CLARA
1828	FERRAYE, ELIAS
1831	SORIANO, ANTONIO
1832	RENTNER, WILLIAM
1834	BURIC, FRANK J
1840	KREJCA, FRANK
1841	CABRERA, FRANK J
1842	SCOTT, JOHN A
1845	FREY, ROBERT J
1846	PRASIL, J
1849	RITA, MICHAEL P
1901	TODRO, JOSEPH M
1902	SARICH, JOAN N
1903	KIESKOWSKI, B
1906	KRIBALES, E P
1907	VALVODA, RITA M
1909	GUIDO, A
	HOLMES, LAVERNE
1912	BURES, JOHN J
1913	KUST, JAMES J
1914	NOVAK, JERRY
1915	PEKSA, EMIL
1917	PISHA, LOUIS H
1918	GIANNINI, ALBERT
1923	ISACSON, HOWARD C
1925	HAVRANEK, STANLEY B
1926	MENZIK, JOHN J
1928	HARAMIJA, ANTON
1931	PIFFL, RONALD
1934	COLBY, ANTHONY
1938	VICIK, STEPHEN
1939	BURRELL, MICHAEL
1941	REYES, LEN
1942	FITZNER, ROBERT
2101	RAINCHART, WILLIAM A SR
2105	PECINA, WALTER
2106	DILIBERTO, STEVEN
2113	SANTANGELO, ALFONSO
2117	LEGAN, M
2119	MESTOUSIS, C
2120	FIKEJS, GEORGE
	KALODIMOS, R
2123	LIMANDRI, SAM
2124	PIHA, DONALD G

EAST AVE

1992

(Cont'd)

2126 BRIGAN, JOHN P  
2218 LOMASNEY, RICHARD P  
MILFORD, RONALD L  
NU WAY ORTHODONTIA  
2223 GILPIN, AMELIA  
2225 WILLIAMS, NANCY P  
2226 ENRIGHT, JERRY S JR  
2227 MCGINLEY, NOREEN M  
2228 SCHMALZ, MARION S  
2229 LAFIN, EARL A  
2233 BECKER, B J  
2235 MADAY, ALBERT E  
2236 ANDERSON, J  
2237 JINDRICH, ROBERT E  
2239 TRAVIS, DIANE M  
2244 SKACH, CHARLES J  
ST ODILO CH  
2301 SHUTAY, STANLEY J  
2307 KRATOCHVIL, FRANK  
2320 GUSZCZA, ANDREW  
2321 NEFSTEAD, OLAF  
2323 WICHER, AUGUST R  
2326 SVOBODA, MILTON R  
2327 BUKOVSKY, JOSEPH E  
2328 MOZIS, JOHN A  
2329 COMBER, DONALD E  
2333 PAGURKO, GEORGE JR  
2334 ZAHRADNIK, FRANK J  
2335 PITTAN, R  
SCHOBERT, HENRY J  
2338 VRONA, FRANK J  
2346 LORENZ, RONALD  
2348 SAFUS, JOSEF  
2402 MILOVANOVIC, BLAGOJE  
2403 MCCURRIE, MICHAEL  
2406 CHABA, SY  
2407 MAREK, EDWARD  
2409 SIMA, FRANK  
2410 POCIUS, MICHAEL  
2414 UYEDA, DAN  
2424 KASPER, GEORGE J  
2427 ROSECKY, FRANK J  
2428 JOCKL, PAUL  
2429 BORELLI, RAY L  
SPROVIERI, FRANCIS E  
2430 MORAVEC, WILLIAM J  
2433 PALAITIS, EDWARD  
2434 YURKOVIC, CAROL A  
2435 HAGEMAN, ESTELLE R  
2439 POELLET, JUDITH

**EAST AVE****1992****(Cont'd)**

2445 PRANIS, ARTHUR  
2447 PALERMO, LOUIS  
2501 FADZE, LYDIA W  
KRYGOWSKI, ROBERT J  
2503 KRAFT, WILLIAM F  
2508 CACERES, FELIX M  
2510 KUNZ, ROBERT J  
2511 MORELLI, ALEX J JR  
2512 ZALOKAR, VICTOR  
2517 FENCL, ROBERT E SR  
2520 CLARK, HAROLD S  
2523 SCOTT, ADAM J  
2526 KALENSKY, CHARLES J  
2530 KUCINSKI, NANCY  
2532 GEORGE, ERICH A  
2534 VARGAS, ADRIAN  
2612 BLAZIC, V P  
2616 PASSARELLI, JOSEPH E  
2618 CONIDI, ROBERT J  
2626 EDDINGTON, MARY  
2628 SCHAUER, WILLIAM R JR  
2630 GRANDOWSKI, GARY  
2634 WOODROW, JAMES  
2636 ZIEGLER, RICHARD  
2644 ZIENKIEWCIZ, C  
2648 DUSEK, JOHN B  
2704 NOVAK, JOSEPH  
2708 PRZYBYLSKI, MARTIN J  
2710 OCONNELL, JOHN P  
2712 FENCL, ELMER F  
KY BLUE CORP  
2714 HUGHES, PATRICK  
2715 HOLDEN, P L  
2716 PECK, RAYMOND S  
2718 LANE, JERRI  
2720 ANGUIANO, B  
2730 MUCHA, FRANK J  
2738 GUZDZIOL, LORETTA  
2740 SPEVACEK, EDWARD J  
2746 OHLER, FELIX J JR  
3012 WOODS, WALTER S  
3020 RICCARDO, MARTIN  
3107 MICKENBECKER, C  
3109 SCUREK, JACOB M  
3110 WITTMANN, RALPH C  
3111 LUNARDON, JOHN J  
3116 BICEK, CHARLES J  
3118 BOWER, ROBERT W  
3119 SURA, L  
3122 HODGES, JOSEPH A

**EAST AVE 1992 (Cont'd)**

3208 CELOVSKY, TILLIE  
3217 OCONNELL, TIMOTHY  
3218 PRANCIK, RAYMOND R  
3220 RITZMA, WARREN H  
3221 JACHINSKI, STEPHEN A  
3232 BARRETT, RICHARD C  
3236 MANNARELLI, HERMANN F  
3240 DAVIS, CHESTER A  
3246 KALINA, PAUL  
3300 RICE, EDWARD R  
3304 SCHUMACHER, JOHN  
3308 CAMMERS, CULLEN J  
3312 PARNOCK, ROBERT J  
3314 BARNETT, DAVE  
SELK, WILLIAM  
3318 DJORDJEVIC, MILUTIN  
3322 PINTA, GEORGE E  
3328 FEIFAR, T S  
3330 VERDE MKTG&ADVRTSG  
3334 HUBKA, JOHN J  
3415 DAVIDSON, ROBERT  
3417 MEEKS, SCOTT J  
3420 GRAHAM, MARILEE  
3422 KOPEK, ANDREW  
3428 LEWANDOWSKI, CASIMIR  
3507 SAMEL, MICHAEL  
3509 LUKES, DALE A  
3512 MARCKESS, BARBARA A  
3515 MONDIKE, FRANCES B  
3518 WYRICK, TIM  
3520 HOWARD, CYNTHIA  
SMITH, R J  
3524 ZUNCIC, EDWARD V  
3528 ERICKSON, THOR  
KODL, MILTON J  
3529 FAGAN, CYNTHIA  
3530 HUGHES, MARSILE J  
3532 SLADEK, GEORGE  
3535 HAJJAR, NAGI S  
3537 DAVIS, MICHAEL  
3540 NORRIS, MICHAEL P  
3542 TAZELAAR, MARK E  
3545 LISZKA, EDWARD  
3546 RUS, RANDALL J  
3547 ODEHNAL, MARY  
3601 FEENEY, JOSEPH T  
3602 LOIACONO, K  
3603 GREGORY, DOUGLAS  
3607 TORIBIO, YOLANDA  
3609 KRAMER, JEFF



EAST AVE

1992

(Cont'd)

3610	HAWES, KEVIN
3613	LOGLI, ALBERT A
3614	BONAGUIDI, WILBUR
3622	STROYECK, ANITA M
3623	KLOTZ, J A
3625	ANGUIANO, G
	KNOPF, DAVID
3630	ODENBACH, EDWARD H JR
3640	HRESIL, LUDMILA M
3644	GONZALEZ, BLANCA
3648	DANIEL, GENE D
3703	BRKAN, FRANK F
3704	MACHOTKA, V
3707	BIDUS, CHESTER A
	SODEN, HERSHEL H
3708	MYTYS, JOSEPH J
3712	SWARTZFLORES, RITA
3715	SINKENBERG, WILLIAM G
3716	BIRCH, L D
3717	NOWACKI, MARIAN
	ZAREMBA, WACLAW
3722	BONAVOLANTE, J
3725	JEWGIENIEW, ZOPHIA
3728	MURPHY, DANIEL J
3731	RICE, JAMES
3735	GRIFFIN, EARL R
3740	SZYMANSKI, RICHARD
3741	BURNETTE, AARON C
3744	ZMRHAL, LADDIE R
3745	LAMPHIER, DONALD G
3746	GARAY, CHARLES J
	MUELLER, CHARLES G
3748	SHOEMAKER, CHARLES
3802	NYZNYK, N
3805	PIECHOWIAK, FRANK JR
3806	MERENKOV, RAY
3807	FILAS, LOUIS F JR
	MERENKOV, ROGER J
3810	HYMAN, ALLEN
	REDA, WILLIAM J SR
3811	LOPEZ, R
3814	WELLWERTS, ANTHONY J
3815	HENKEL, E
	OLSON, D
3825	ATHERTON, GAIL
	HEALY, ROMAIN D JR
	VETTER, DARRELL
3826	CAPPETTA, A
	MENCHETTI, L K
3829	SHERRY, RAY

EAST AVE

1992

(Cont'd)

3831 KOSATKA, VIOLET  
NARANCIC, AMALIA  
3832 KOLBA, WINSLOW  
3834 OCZKO, RONALD J  
3836 MARTIN, JAMES W  
3839 KRONQUIST, CHARLES  
3846 SINCULA, G  
3848 BOLGER, BARNEY O  
3915 KOLBUCK, DORIS E  
3916 STEFA, DONALD  
3917 SUKUP, JOHN  
3918 ZEDNIK, THOMAS J  
3919 MIHALJEVICH, P  
3923 CAITHAMER, MARK  
3929 JAMROS, ANTON  
3930 SULLIVAN, C C  
3936 BIELAK, HENRY  
3940 CHRISTENSEN, ERIC  
4001 PLIML, JOHN J  
4002 JANOVSKY, IRVIN  
4003 MORAVEK, JOSEPH  
4006 WOLF, JOHN A  
4010 GAEGER, KARL E  
4014 POZDOLSKI, WALTER H  
4016 KOSTELANCIK, JOHN P  
4018 HINRICHSEN, ROBERT  
4019 CHALABALA, MILES H  
JOHNSON, MELBA  
4021 VASCIK, JOSEPH S  
4027 FEEHAN, THOMAS D  
4030 KOLODZIEJ, JOSEPH JR  
4033 WAGNER, JOHN C  
4201 BARAN, CHARLES R  
4203 GILLMAN, PAULA D  
4205 TYRANOWSKI, JANET  
4207 MARTZ, STEPHEN R  
4209 COLONNA, ARLENE Y  
4217 SIWEK, MARIE R  
4219 JANOWICK, M S  
4221 JORDAN, MARK  
4229 JORDAN, JOSEPH JR  
4231 EWING, WARREN H  
4235 LAMBERSON, HAROLD C  
4237 KYRK, CARL  
13041 LEONARD, JOHN L SR  
13152 HUA, NGOC  
13271 KOWALSKI, CRAIG K  
13272 WOODS, J  
13471 ROBESON, STACY  
14422 REINHARDT, JESSIE M

Target Street

Cross Street

Source

Cole Information Services

**EAST AVE**

**1992**

**(Cont'd)**

15121 SUDNIK, STEVEN  
16482 LUGAI, EDWARD J  
27151 SANCHEZ, JAVIER  
30143 BROWN, J  
HEALY, JAMES  
32008 BENISCHEK, DONALD L  
32085 RIFFKIND, ELLA  
35122 KRASENSKY, ELEANOR  
37331 ZARYCZNY, PAUL  
37441 DAUM, JAMES H  
40171 DICARLO, ROBERT  
42373 RADZIENDA, TOM



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## ROOSEVELT RD 1992

6222	HAPPINESS RSTRNT
6226	FAIR SHARE FNR FDS
6300	MEHTA MUKUDINI MD
6303	D JS CIGARETTE OTLT
6305	LITTLE, TED
6309	HAGEL, CHARLES
	PREMIER PORCELAIN
6311	MACKS SPORTS LTD
6312	KAYRON
	MEDIA INTL INC
6313	HUMMEL, ROY
6319	BAILEYS PUB
	WACKOS COMEDY SHOP
6320	ANWAR, HAMID
	NORTHN WATERPROOFNG
6321	RAYS AUTO REPAIR
6332	ABRASIVE DSTRBTRS
	BULL SHARPENING SRV
	DANTONIO LARRY
6335	SELIMOS, CHRIS T
6337	BARTOLOTTA, DENNIS
	BYRNE, HOLLY
	DORCHACK, JOSEPH P
	FAILLA, ROBERT P
	FISTER, E
	GOLDMAN, M
	GREGORY, ROGER W
	HARACZ, PAUL W
	LATKOWSKI, GREGORY
	STAUFFER, S A
	SUTTLE, STEVE
	TETZLAFF, THOMAS G
	UHRIN, JEFFREY L
	VICK, DAVID A
	ZDARSKY, L
6340	ALLSTATE INS
	HILL, BRIAN H
6346	PETES RED HOTS
6347	GO TANE SERV STA
6400	BALIAN AUTO SALES
6401	FAMILY SHELL
6412	WALGREEN DRUG STORE
6415	EVANS, TERRY N
	LONG, JOHN
6421	WEINKILLER BAR&LQR
6431	BOEGEN ALMA E
	BOEGEN, ALMA E
6433	BASSO, H
	MICHALEK, C
6435	THEODORE, LOUIS F





## EAST AVE 1988

## EAST AV 60402 BERWYN

X	ROOSEVELT RD		
1212	PALERMO John	749-0706	6
1213	FASULLO Louis	484-8532	7
1214	GLEESON Paul F	788-3996	6
1215	CECI Richard	749-0915	
1216	XXXX	00	
1217	RENCHEN A W	788-9597	
1219	CELESTINO Frank	795-6788	5
1220	MUSLEH Nader	788-6860	6
1221	MANGIARULO Edw	788-0709	7
1222	ANDREWS Wm H	749-1003	
1223	BRENDE V	749-1521	2
	TUHACEK Kenneth J	795-1963	+8
	WUETHRICH Doug	484-6495	5
1226	SMEJKAL Pavel	788-4820	
	VOGT A E	484-3626	
1227	STANICEK V	788-3107	
1230	CHRISTOFFER Arthur	484-7624	
1232	BLAHA Wm F	788-9377	
	GUST L C	795-5389	
1233	WETTSTAEDT Ralph C	788-7585	
1235	CIRRINGIONE Vincent	788-6625	
1236	KUKLA Steven	484-6374	1
1239	MASHEIMER Fredrick	484-1074	
1240	SIWAK John S	484-6083	
1242	VIGNOLA Kirk J	795-6291	+8
1244	DOMROSE Dallas F	795-7028	7
1245	XXXX	00	
1246	HENSEL Bruce	795-4397	2
	HENSEL Lawrence B	795-4791	3
1247	XXXX	00	
X	13TH		
1302	XXXX	00	

## EAST AVE 1988

9	1150	COMEFORD Lawrence	383-1469	6
6	1151	PATTERSON Jas B	386-5869	1
	1152	NOLAN Bill	386-7178	+8
5		NOLAN J	386-7178	+8
	1153	NIELSEN Jorgen	383-3508	
0	1154	XXXX	00	
3	1155	GROSS R V	386-2803	0
	1156	YEOH Hock C	383-8158	9
0	1159	BLACYKI J	386-6513	2
	1160	OLAN Ben	848-9079	5
		OLAN Roseann	848-9079	
	1161	VANCE Wm L	383-1617	2
	1162	LAPER Jos F	386-8617	
	1163	WOODS John R Jr	386-9080	
	1164	CAPPA Sam N	848-3680	0
8	1165	SMITH L R	848-7491	
8	1166	DOBBS H Ray Jr	848-6785	
7	1169	RICCIO Jas	848-8875	3
6	1170	XXXX	00	
2	1171	BOGDA Geo	383-1589	
	1172	HORVATH Michael J	524-9186	7
	1173	TAMMELING R	848-9138	+8
	1174	★ SUCCESS COMMNCTNS	383-5757	+8
	1176	BYRNE Brian	848-1901	+8
	1177	NEMEC Jas Frank	848-8469	
2	1178	XXXX	00	
	1179	MILLER R	848-2946	
7	1181	PLATT Paul T Rev	386-5102	5
6	1183	GREER Andrew	383-2017	
5	1184	XXXX	00	
1		★ 12 BUS	380 RES	76 NEW
5				



## ROOSEVELT RD 1988

Target Street	Cross Street	Source
6401	*SCOTT SHELL	484-1220 7
6405	XXXX	00
6415	EVANS Terry N	795-0138 7
	LONG John	795-0138 7
6417	XXXX	00
6421	*WEINKILLER BAR&LOR	749-2276
	*WINE CABINET THE	749-2276
<b>X ELMWOOD AV</b>		
6425	*ANDREWS AUTO REPAIR	795-6700
	*ANDREWS AUTO SALES	795-6700
	*RYDER TRUCK RENTAL	749-7007 2
6429	XXXX	00
6431	*BER OAK FOOD SHOP	788-0172
	*BOEGEN ALMA E	788-0172
6433	BASSO H	795-9528 4
	CARLISI Eleanor	484-1785 9
6435	THEODORE Loula F	749-2063
<b>X GUNDERSON AV</b>		
6501	*CAMPAGNA TURANO INC	788-9220 1
	*GOLDBERG RYE BREAD	788-9220 4
	*TURANO BAKING CO	788-9220 3
	*TURANO PASTRY SHOP	788-5320 2
6505	XXXX	00
6507	XXXX	00
6509	XXXX	00
6511	XXXX	00
6517	*CHUCKS BERWYN LORS	484-9781 2
6519	*KUBIKS AUTO SERVICE	788-8113
<b>X SCOVILLE AV</b>		
6527	*HOUSE OF VINYL LTD	484-7500 0
6531	XXXX	00
6537	MURPHY Kenneth C	788-0337 +8
6539	*SURE START STARTER	788-0120 7
	*TRANS MOUNTS	788-0120 7
	*WERCO AUTOMTV SPLY	788-7533 7
	*WERCO AUTOMTV SPLY	788-0120 7
6541	XXXX	00
6545	ALREESH Aisar	795-4329 +8
	*MICHAELS EMPORIUM	484-0080 +8
6547	*LYLES RADIO&TV	484-4838
	WIEMERS R	788-3536 +8
6549	*MR SUBMARINE	788-1703 +8
<b>X EAST AV</b>		
6601	*GOLDEN FMLY DRUG CT	795-8000 9



## ROOSEVELT RD 1988

Target Street	Cross Street	Source
6300	*CHEN JACKSON RD	386-0000 7
6400	*BALIAN ARCO GAS STA	386-0999 3
	*UNITD AUTO SLS&SERV	386-0730 +8
6406	XXXX	00
6410	XXXX	00
6412	*WALGREEN DRG	386-6616 4
6440	*BENNETT MOTOR SALES	848-6100
6500	XXXX	00
6504	KONDLA Thom A	386-4864
6506	ENGELMAN Dave L	383-3108 +8
6510	*HARLEY DAVIDSON	848-6365
	*IL HARLEY DAVIDSON	848-6365 3
6520	XXXX	00
6532	KOWALESKI Chas	848-2066
	*RELIANCE PRESS	848-0600
6536	*SALVATION ARMY STRE	848-1181 3
6538	XXXX	00
6540	XXXX	00
6600	*CAIRO SAUSAGE HSE	386-0015
	LAZOPOULOS Mary S	383-2852
6600	XXXX	00

## EAST AVE 1982

1150	GOLZ KIRK	383-9668	6
1151	PATTERSON JAS B	386-5869	1
1152	WEBSTER LEE	524-1289	0
1153	NIELSEN JORGEN	383-3508	
1154	XXXX	00	
1155	GROSS R V	386-2803	0
1156	YEOH HOCK C	383-8158	9
1159	BLACYKI J	386-6513	+2
1160	JENKE JOHN	383-8604	+2
1161	VANCE WM L	383-1617	+2
1162	LAPER JOS F	386-8617	
1163	WOODS JOHN ROBT JR	386-9080	6
1164	CAPPA SAM N	848-3680	0
1165	SMITH WALTER	848-7491	
1166	DOBBS H RAY JR	848-6785	
1169	XXXX	00	
1171	BOGDA GEO	383-1589	
1172	YONKE JAS J	848-8872	
1173	CARROLL H P	386-3103	6
	MCCORMICK JOS B	386-3119	
1174	AUWERDA RICHARD A	848-1612	
1176	XXXX	00	
1177	NEMEC JAS FRANK	848-8469	
1178	MUCCIANTI JAS V	848-6629	
1179	MILLER HAZEL J	848-2946	3
1181	KUPFERER MARK	524-0521	0
1183	GREER JOHN A	383-2017	
1184	XXXX	00	

★ 7 BUS 345 RES 45 NEW

## EAST AVE 1982

## EAST AV 60402 BERWYN

1212	BRYKE EDWARD	484-1657	+2
1213	MASCETTI SUE	748-4158	
1214	XXXX	00	
1215	CECI RICHARD	748-0915	
1216	CARTER HERTA	788-4280	1
	KLONOWSKI ANTHONY	484-5031	9
1217	RENCHEN A W	788-9597	
1219	XXXX	00	
1220	CICCHETTI FRANK A	788-2529	+2
1221	PRZYBYLO BETTY	788-0480	9
1222	ANDREWS WM H	748-1003	7
1223	BARROWS TERRY	788-1432	0
	BRENDE V	748-1521	+2
	PAVY JOHN	484-8232	+2
1226	NOMAYA JOS	788-8636	
	SMELKAL PAVEL	788-4820	
	VOGT A E	484-2628	
1227	STANCEK V	788-3107	3
1230	CHRISTOFFER ARTHUR	484-7824	
1232	BLAHA WM F	788-9377	
	GUST L C	788-5389	5
1233	WETTSTAEDT RALPH C	788-7585	
1236	CIRRINGIONE VINCENT	788-8825	1
1238	KUKLA D	788-9439	+2
	KUKLA STEVEN	484-8374	1
1239	MASHEIMER FREDRICK	484-1074	8
1240	BIWAK JOHN S	484-6083	
1242	SCHUTTER FRITS	788-9221	0
1244	BAYLIFF JOHN	484-0501	4
1245	ALANIS RAUL C	788-8268	9
1246	HENSEL BRADLEY	748-2042	+2
	HENSEL BRUCE	788-4387	+2
1247	XXXX	00	
1300	TOM'S CORNER TAP	484-9515	1



## ROOSEVELT RD 1982

Target Street	Cross Street	Source
6400	B&M ARCO GAS	386-0999 +2
6406	XXXX	00
6410	XXXX	00
6440	BENNETT MOTOR SALES	848-6100
6500	XXXX	00
6504	KONDLA THOS A	386-4664
6506	KIESOW DAVID	383-4719 0
6510	HARLEY DAVIDSON ILL	848-6365 8
	ILL HARLEY DAVIDSON	848-6365 9
6520	SUBRBN AUTO IMPORTS	848-1150 5
6532	KOWALESKI CHAS	848-2066 5
	RELIANCE PRESS	848-0600
6538	XXXX	00
6540	GOLDEN REXALL DRUG	848-8437 8
6600	CAIRO SAUSAGE HSE	386-0015
	COBUNR S J	386-6745 +2
	LAZOPOULOS MARY S	383-2852 3



## ROOSEVELT RD 1982

6401	VUOLOS SHELL SV STA	484-1220	3
6405	XXXX	00	
6415	ANDYS SNACK SHOP	484-9512	+2
	JARVIS WM F	788-2363	1
	MASSEY PAUL V	484-4776	+2
6417	WEINKELLER	484-9522	8
6421	FOREMOST LIQUOR STR	749-2276	8
	WINE CABINET THE	749-2276	6
6425	ANDREWS AUTO REPAIR	795-6700	9
	RYDER TRUCK RNTL	749-7007	+2
6429	XXXX	00	
6431	BER OAK FOOD SHOP	788-0172	
	BOEGEN ALMA E	788-0172	
6433	CARLISI ELEANOR	484-1785	9
	CONWAY P	484-9027	8
6435	DANNYS	795-9454	+2
	THEODORE LOUIS	749-2053	
6441	XXXX	00	
6443	XXXX	00	
6501	CAMPAGNA TURANO INC	788-9220	1
	HOLT DAVID C	795-6095	+2
	TURANO PASTRY SHOP	788-5320	+2
6505	XXXX	00	
6507	XXXX	00	
6509	XXXX	00	
6511	ISOE C	749-3908	9
	WALLACE DOLL HOSP	788-8977	
6513	AMVETS MEMORIAL	484-9543	1
6517	CHUCKS BERWYN LORS	484-9781	+2
6519	KUBIKS AUTO SERVICE	788-8113	
6527	HOUSE OF VINYL LTD	484-7500	0
6531	WERCO AUTOMTV SPPLY	788-0120	0
6537	XXXX	00	
6539	JASONS LOUNGE	484-9702	1
6541	XXXX	00	
6545	LOPEZ FRANCISCO	749-7835	+2
6547	LYLES RADIO&TELVSN	484-4838	
6549	HUSKIE DOG 7	484-1222	0
6601	GOLDEN REXALL DRUGS	795-8000	9

## EAST AVE 1977

EAST AV 60402 BERWYN

MAP29 19

1212	XXXX	00
1213	MASCETTI SUE	749-4158 2
1214	SLAGA WALTER E	749-2733 5
1215	CECI RICHARD	749-0915
1216	ODIERNO PATK	788-4232+7
1217	RENCHEN A W	788-9597
1219	CELESTINO FRANK	795-5291 6
1221	SCHMIDT RONALD M	788-1622 5
1222	ANDREWS WM H	749-1003+7
1223	MOFFATT FRANK E	484-7347 3
1226	NOHAVA JOS	788-9636
	SMEJKAL PAVEL	788-4820 1
	VOGT A E	484-3626 9
1227	STANICEK V	788-3107 3
1230	CHRISTOFFER ARTHUR	484-7624
1232	BLAHA WM F	788-9377
	GUST L C	795-5389 5
1233	WETTSTAEDT RALPH C	788-7585
1235	CIRRINGIONE VINCENT	788-6625
1236	FISHER RALPH J	788-7680+7
1239	XXXX	00
1240	SIWAK JOHN S	484-6083 9
1242	MAURO JOHN	788-8385
1244	BAYLIFF JOHN	484-0501 4
	CARDENAS ANTHONY M	749-3866 5
1245	MARCINIAK LAWRENCE	788-7376
1246	XXXX	00
1247	BALLA WM J	749-5407 6
1300*	KINGS INN	484-9781 3

## EAST AVE 1977

1150	GOLZ KIRK	383-9668	6
	MARTIN E H	383-5354	3
1151	LANGER ROBT	386-3912	
1152	ALLABASTRO RUSSELL	383-1896	9
1153	NIELSEN JORGEN	383-3508	
1154	XXXX	00	
1155	LAWRENCE ROY E	383-8699	4
1159	XXXX	00	
1160	FITZGERALD TOM H	386-7977	
1161	HULL GLENN A	848-1363	
1162	LAPER JOS F	386-8617	
1163	WOODS JOHN ROBT JR	386-9080	6
1164	GAPPA SAM N	848-3680	
1165	SMITH WALTER	848-7491	



## EAST AVE 1977

Target Street	Cross Street	Source
✓		
EAST AVE 1977		
..EAST AV S		60304 CONT..
1166 DOBBS H RAY JR		848-6785
1169 SKRINE EVERETT C		848-8875 2
1171 BOGDA GEO		383-1589
1172 YONKE JAS J		848-8872
1173 CARROLL H P		386-3103 6
	MCCORMICK JOS B	386-3119
1174 AUWERDA RICHARD A		848-1612 1
1176 VENABLE JOHN H		383-4909
1177 NEMEC JAS FRANK		848-8469
1178 MUCCIANTI JAS V		848-6629
1179 MILLER HAZEL J		848-2946 3
1181 DELISLE MILTON L		848-0448
1183 GREER JOHN A		383-2017
1184 XXXX		00
	* 6 BUS 352 RES	57 NEW



## ROOSEVELT RD 1977

6400*	JOHNSON ARCO SERV	386-9430	2
6406	XXXX	00	
6410*	ELGRECO RESTAURANT	383-9757	+7
6440*	BENNETT MOTOR SALES	848-6100	1
6500*	HARLEY DAVIDSON INC	848-6365	+7
	*ILL HARLEY DAVIDSON	848-6365	2
6504	KONDLA THOS A	386-4664	2
6506	XXXX	00	
6520*	SUBRBN AUTO IMPORTS	848-1150	5
6532	KOWALESKI CHAS	848-2066	5
	*RELIANCE PRESS	848-0600	
6538*	ECK&SONS INC	386-6800	
6540/	*GOLDEN REXALL DRUGS	848-8437	6



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ROOSEVELT RD 1977

..ROOSEVELT RD	60304 CO
6600*CAIRO SAUSAGE HSE	386-0
LAZDPOULOS MARY S	383-2

## ROOSEVELT RD 1977

Target Street	Cross Street	Source
6401*VUDLOS SHELL SV	STA484-1220	3
6405 XXXX		00
6415*ANDYS SNACK SHOP	484-7137	
DUFF B	484-6119+7	
JONES JOHN L	484-2579	6
6417*EVCO GRPHC DECALS	788-6265+7	
6421*WINE CABINET THE	749-2276	6
6425*LAAR SERVICE INC	484-6811	6
6429*ANTONIOS PIZZERIA	788-6994+7	
6431*BER OAK FOOD SHOP	788-0172	
BOEGEN ALMA E	788-0172	9
6433 CARLISI ELEANOR	484-1785	4
6435 THEODORE LOUIS	749-2063	

## ROOSEVELT RD 1977

..ROOSEVELT RD	60402 CONT..
6441*CAMPAGNA TURANO	BKY788-6800 9
*TURANO CAMPGNA	BKRY788-6800 1
6443 XXXX	00
6501 TURANO GERARDO	484-5097+7
6505 XXXX	00
6507 FINNIGAN BERNARD L	749-4846 5
6509 POTUCEK JOHN	788-9077 5
6511*WALLACE DOLL HOSP	788-8977
6513*AMVETS MMRL POST	97484-9543
6517 SMIRA ANTON	788-4931
*TONYS LIQR STORE	788-4931
6519*KUBIKS AUTO SERV	788-8113
6527*HOUSE OF VINYL LTD	484-0031 1
*VINYL SEAL OF ILL	484-9221
6531*WERC0 ATMTV SPLY	788-7533 5
6537 XXXX	00
6539*SONNYS HAPPY DAZE	795-9491 5
6541*TEMDS PIZZA	484-9015+7
6545 XXXX	00
6547*LYLES RADIO&TELVSN	484-4838
6549 XXXX	00
6601*GOLDEN REKALL DRUGS	749-5000



## EAST AVE 1970

Target Street	Cross Street	Source
EAST AV	60402	BERWYN
1212	SIRINEK FRANK E JR	788-7569
1213	CALE FRANK J	788-1177
1215	CECI RICHARD	749-0915
1216	LOHNDORF MINNA	788-5052
	LUCKEY EDW J	749-5518
	ROHMANN HOWARD R	484-6428
1217	RENCHEN A W	788-9597
1222	HEINTZ CHAS H	788-1871+0
1223	ECK DONALD B	788-4815+0
	OLSEN EDW C JR	484-3440
1226	FISCHER HERBERT A	484-5675
	NOHAVA JOS	788-9636
	VOGT A E	484-3626+0
1227	STANICEK VIOLA	788-3107
1230	CHRISTOFFER ARTHUR	484-7624
1232	BLAHA WM F	788-9377
	ROBERTSON ALEX	788-0540
1233	WETTSTAEDT RALPH C	788-7585
1235	CIRRINGIONE VINCENT	788-6625
1236	VACEK FRANCES MRS	484-1981
1239	GLOWACKI ANDREW	788-0908
1240	SIWAK JOHN S	484-6083+0
1242	MAURO JOHN	788-8385
1244	WENDT GEO	788-3515
	WENDT STUART W	788-9638+0
1245	MARCINIAK LAWRENCE	788-7376
1301	WASZ THAD W	788-8777

## EAST AVE 1970

1146	VANHORN DONALD L	386-7863
1150	MARTIN ESTHER	383-5354
1151	LANGER ROBT	386-3912
1152	ALLABASTRO RUSSELL	383-1896+0
1153	NIELSEN JORGEN	383-3508
1154	BRICHTA NORMAN C	848-1395
1159	SNODGRASS DONALD L	848-2119
1160	FITZGERALD TOM H	386-7977
1161	HULL GLENN A	848-1363
1162	LAPER JOS F	386-8617
1163	LOMBARDI FRANK	848-1736
1164	CAPPA SAM N	848-3680
1165	SMITH WALTER	848-7491
1166	DOBBS H RAY JR	848-6785
1169	NORMAN B M	386-4595
	NORMAN BEULAH M	386-4595
	NORMAN WEBBS	386-4595
1171	BOGDA GEO	383-1589
1172	YONKE JAS J	848-8872
1173	MCCORMICK JOS B	386-3119
1174	COX HOWARD E	386-2865
1176	VENABLE JOHN H	383-4909
1177	NEMEC JAS FRANK	848-8469
1178	MUCCIANTI JAS V	848-6629
1179	ROSS EDW W	383-5282
1181	DELISLE MILTON L	848-0448
1183	GREER JOHN A	383-2017
	* 6 BUS 339 RES	44 NEW



## ROOSEVELT RD 1970

6405*	STANDARD MAINTNCE	749-5011
6409*	IDEAL BRBR SHP THE	484-9828
	*JORGENSENSONS	749-6757
6415*	ANDYS SNACK SHOP	484-7137
	FERGUSON LUCILLE	484-4809
6417	DUFF BEATRICE MRS	484-6119
	*WEST END BEER SALES	484-7035
6421*	MEH LIORS INC	788-0909
6425*	BODS AUTOCTCK REPR	484-9819
6429	ZIEGLER GREGORY SR	788-1826+0
6431*	BER OAK FOOD SHOP	788-0172
	BOEGEN ALMA F	788-0172+0
6433	KAUFFELDT EUGENE L	749-2380+0
6435*	LITTLE DEW DROP INN	484-9832
	THEODORE LOUIS	749-2063
6437*	POWER CITY SALES SV	749-4066
	FILICE SALVATORE	749-4213
6451*	CAMPAGNA TURANO BKY	788-6800+0
6453	MARSICO MICHAEL	749-1811+0
6501*	ROYAL LEAGUE	788-2725
6505	PITRA JOS G	788-6507
6507	PITRA GFD	788-2372
6509*	JACKS PHOTO SHOP	788-9077+0
6511*	WALLACE DOLL HOSP	788-8977
6513*	AMVETS MMRL POST 97	484-9543
6517	SMIRA ANTON	788-4931
	*TONYS LIQR STORE	788-4931
6519*	KUBIKS AUTO SERV	788-8113
6527*	VINYL SEAL OF ILL	484-9221
6537*	RFED WILLIS E CO	788-7533
6539*	EAST OF EAST	484-9417+0
6541*	JONES MEAT MKT	788-4151
	*QUALITY MEAT MKT	788-4151
6547*	LYLES RADIO TELVSN	484-4838
	MAPECEK BOHUMIL	788-4448
6549*	CHEFS RESTRNT	484-9635
	DENOFRID PHILLIP	484-8157+0
6601*	GOLDEN REXALL DRUGS	749-5000

## ROOSEVELT RD 1970

6400*	JOHNSON SINCLAIR	SV386-9430
6410*	J&R CLNRS	848-3302
6440*	BARROW BRDS INC	848-6100
6500*	ABCO DOOR MFG CO	383-5021
6504*	KISSANE BUSNS MACHS	383-5777
6506	GOGGIN JOHN	848-4137
6510*	HARLEY DAVIDSON SLS	386-0966
	*ILL HARLEY DAVIDSON	386-0966
	MAXANT ROBT E	386-0966
6520*	OAK PK FORD	848-1700
	*SUBURBAN AUTO IMP	848-1150
6532	KOWALESKI JULIA MRS	848-2066
	*RELIANCE PRESS	848-0600
6538*	ECKESONS INC	386-6800
	*ECKESONS INC	484-1717
6600*	CAIRD SAUSAGE HSF	386-0015
	SIMMS MARY	383-2844
	SMINOTE STEVE	383-2852





**APPENDIX E**

**EPS ENVIRONMENTAL QUALIFICATIONS**



**SAMUEL T. BODINE**

### **AREAS OF EXPERTISE**

- Phase I Environmental Property Assessments
- Phase II Subsurface Soil and Groundwater Investigations
- Underground Storage Tank (UST) Assessments, Removals and Closures
- Contaminant Characterization and Delineation – Remedial Options Evaluation
- Remedial Design Pilot Studies – Remediation System Design and Installation
- Asbestos Inspection and Assessment
- Mold Inspection and Assessment

### **PROFESSIONAL REGISTRATIONS & CERTIFICATIONS**

- 40-Hour OSHA 29CFR1910.120 HAZWOPER
- 8 Hour OSHA 29CFR1910.120(E) Site Supervisor
- Licensed Asbestos Inspector, State of Illinois Department of Health License #: 100-08066

### **EDUCATION**

- B.A., Environmental Studies and Biology, Lake Forest College, Lake Forest, Illinois

### **PROFESSIONAL EXPERIENCE**

#### EPS Environmental Services, Inc.

*February 2001-Present*

#### **Senior Project Manager & Managing Partner**

Performs or directly supervises Phase I Environmental Assessments, Environmental Transaction Screen Assessments, and Phase II Subsurface Soil and Groundwater Investigations. Manages and oversees Leaking Underground Storage Tank (LUST) sites, UST assessments and removals, and Illinois Environmental Protection Agency (IEPA) Site Remediation Program (SRP) projects. Conducts mold and asbestos sampling and assessments.

#### Bank One Corporation

*May 1999-February 2001*

#### **Environmental Risk Officer**

Developed strategies and solutions to assess and mitigate the environmental risks for the bank. Quantified the environmental risks to provide lenders with accurate remediation costs. Maintained the list of approved environmental consulting firms and contracted with firms for assessments and investigations on behalf of the bank. Responsible for integrating and advancing the bank's environmental policies and procedures and for managing environmental credit risks for all lending activities. Reviewed and evaluated environmental assessment reports; provided technical expertise, advice and recommendations to relationship managers to support the credit review process.

#### Carlson Environmental, Inc.

*July 1994-May 1999*

#### **Senior Project Manager**

Managed and conducted large-scale field investigations and remediations, and prepared associated reports for heavy industrial facilities. Prepared project proposals and budgets, designed field investigation work plans, and conducted comprehensive soil and groundwater investigations. Prepared and submitted documentation and reports for clients and/or regulatory agencies. Conducted RCRA facility investigations; also managed, navigated and achieved the closure of LUST and SRP sites through the IEPA. Conducted Phase I Environmental Assessments throughout the U.S. and Canada. Prepared applications for wastewater/storm water discharges and air pollution control applications. Acted as the Health and Safety Coordinator and as the equipment manager.



**LARA M. CRAWFORD**

**AREAS OF EXPERTISE**

- Phase I Environmental Property Assessments
- Mini-Phase I Environmental Property Assessments
- Transaction Screen Property Assessments
- Limited Environmental Assessments
- Database Reviews
- Asbestos Inspection and Assessment

**PROFESSIONAL REGISTRATIONS & CERTIFICATIONS**

- Asbestos Operations and Maintenance #OM0605171326
- Licensed Asbestos Inspector, State of Illinois Department of Health License #: 13880

**EDUCATION**

- UCLA Los Angeles California, Public Policy
- Illinois State University, Normal, Illinois

**PROFESSIONAL EXPERIENCE**

EPS Environmental Services, Inc.

*February 2007- Present*

**Project Manager**

Performs or supervises Phase I Environmental Assessments, Environmental Transaction Screen Assessments, Mini-Phase I Environmental Assessments, Limited Environmental Assessments. Conduct asbestos sampling and assessments.

CenterPoint Properties Trust

*April 2000 – October 2006*

**Environmental Coordinator**

Manage and/or oversight Phase I and Phase II Environmental Assessments, UST removals and Site Remediation Projects. Conduct environmental risk management review with various acquisitions and dispositions to include insurance requirements, operations asbestos removal, O&M Plans and mold. Collaborate with tenants throughout the leasing process concerning environmental regulations, practices and procedure.





# Berwyn Properties, LLC

## Village Services Impacts

### **Real Estate Taxes**

The Proposed Development involves a business currently located along Roosevelt Road and will not materially increase traffic, visitors, residents, or other required Village Services from Oak Park than currently exist. The proposed improvements to be made will increase the value of the subject property by approximately \$5,000,000. Based on current real estate tax rates of approximately 2.00% of property value, the proposed development will contribute in excess of \$100,000 per year in real estate taxes. This is compared with 2016 real estate taxes paid of \$20,943 on the existing properties.



The Village of Oak Park  
Village Hall  
123 Madison Street  
Oak Park, Illinois 60302-4272

708.383.6400  
Fax 708.383.6692  
[www.oak-park.us](http://www.oak-park.us)  
[village@oak-park.us](mailto:village@oak-park.us)

May 16, 2018

Anthony Turano  
BERWYN PROPERTIES, LLC  
6501 Roosevelt Road  
Berwyn, IL 60402

Re: Impact to Village of Oak Park Water and Sewer Utilities  
Planned Development Application 6500 Roosevelt Road

Dear Mr. Turano:

The Engineering Division has reviewed the proposed development at 6500 Roosevelt Road approximately between Scoville and Gunderson Avenues for impacts to the Village's water distribution network and the combined sewer system. The proposed development does not create any adverse impacts to the water distribution system or the sewer collection systems.

The water distribution system has adequate capacity to supply drinking water and fire protection to the proposed development.

The existing site historically has been virtually 100% impervious surfaces and the proposed development will be required to comply with the MWRD's Watershed Management Ordinance (WMO) for storm water management and includes a proposed underground detention vault system which will provide more than MWRD's required detention and volume control. The detention and volume control being proposed with this development will reduce the rate and volume of storm water entering the Village's sewer system as compared to the current conditions and will provide an overall improvement from the existing conditions.

The proposed development also includes vacating and closing Scoville Avenue from Roosevelt Road to the alley north of Roosevelt Road and the installation of a cul de sac on Scoville Avenue north of the alley. The Department of Public Works supports the requested vacation, road closure, and cul de sac. Currently Scoville Ave has low average daily traffic with approximately 425 vehicles per day, most of which is cut through traffic avoiding the signals or backups on Roosevelt Road. Since the adjacent local streets of Gunderson and Elmwood are also closed to traffic north of Roosevelt Road, these roughly 425 vehicles will be distributed to East Avenue and Ridgeland Avenue both of which are intended to convey more traffic. These additional vehicles on East and Ridgeland Avenues will not significantly alter the character or traffic delays on these streets. The proposed cul de sac will be designed to the Village's standards and landscaped to provide screening of the proposed development.

Sincerely,

Bill McKenna, PE  
Village Engineer  
[mckenna@oak-park.us](mailto:mckenna@oak-park.us)  
708.358.5722



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Members of the Plan Commission  
Village of Oak Park

May 14, 2018

**RE: Village Impact Review**

Dear Members of the Plan Commission:

I have reviewed the proposed office building development to be located at 6500 Roosevelt Road by Turano Baking Company. Pursuant to my review on Monday, May 14, 2018, I have determined that the development proposal will not have a negative impact on the Police Department.

Sincerely,

LaDon Reynolds  
Acting Police Chief, Village of Oak Park



The Village of Oak Park  
Village Hall  
123 Madison Street  
Oak Park, Illinois 60302

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Fax 708.383.6692  
village@oak-park.us  
www.oak-park.us

Members of the Plan Commission  
Village of Oak Park

May 14, 2018

**RE: Village Impact Review**

Dear Members of the Plan Commission:

I have reviewed the proposed office building development to be located at 6500 Roosevelt Road by Turano Baking Company. Pursuant to my review on Tuesday, May 1, 2018, I have determined that the development proposal will not have a negative impact on the Fire Department.

Sincerely,

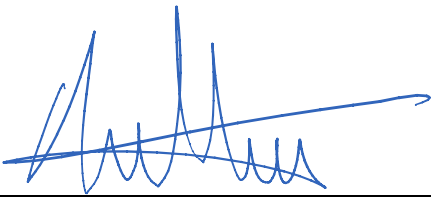
Thomas Ebsen,  
Fire Chief, Village of Oak Park



# Berwyn Properties, LLC

## Market Feasibility Report

Berwyn Properties, LLC, is an affiliate of Turano Baking Company. The subject property will be owner-occupied. Due to proximity to existing operations, proposed use, and owner-occupancy, as well as the historical ownership of this property by Berwyn Properties, LLC, a market feasibility report would be unnecessary to determine marketability of this property. We request that the requirement for a consultant's report be waived.

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke extending to the right.

---

Berwyn Properties, LLC

Single-Tenant Corporate Office Building

**Berwyn Properties, LLC**

May 2, 2018

Tab #7

Traffic and Parking Study

Contents:

- a. Traffic Impact Study\*
- b. Parking Impact Study\* (Not included / letter of request for waiver attached)

# Traffic Impact Study Proposed Turano Office Development

Oak Park, Illinois



Prepared For:

## Turano Baking Company

Prepared By:



May 24, 2018

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# 1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed corporate office building for the Turano Baking Company to be located in Oak Park, Illinois. The site, which is currently occupied by a fleet parking lot for Turano Baking Company (Turano) and a vacant building, is located on the north side of Roosevelt Road between Gunderson Avenue and East Avenue and is bounded by the east-west alley on the north. As proposed, the site will be developed with an approximately 25,000 square-foot office building and a parking lot with 95 parking spaces to accommodate the relocation of Turano from the south side of Roosevelt Road. As part of the proposed development, the segment of Scoville Avenue between the east-west alley and Roosevelt Road will be vacated. Access to the site will be provided off Gunderson Avenue via a full movement access drive.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

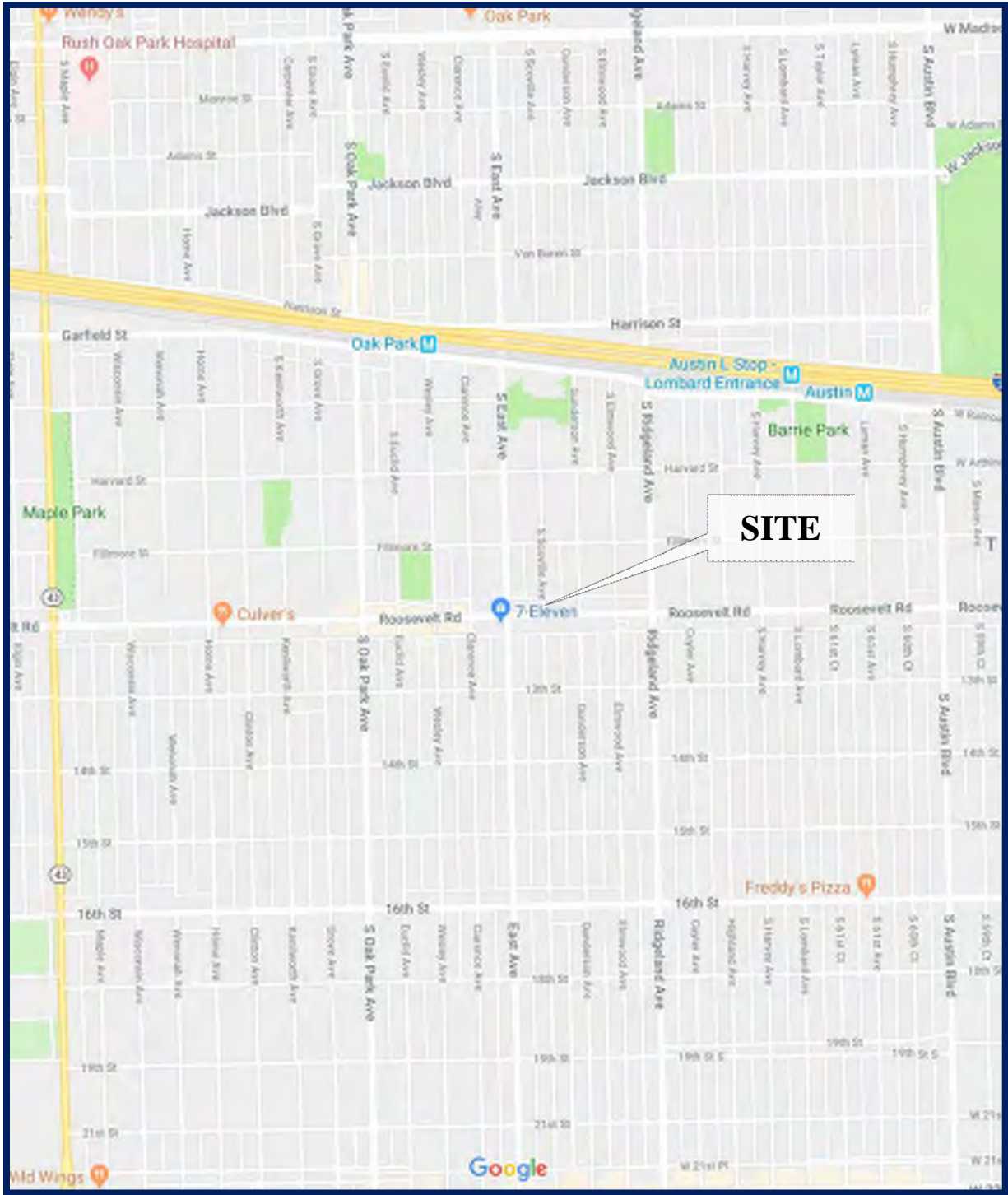
**Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

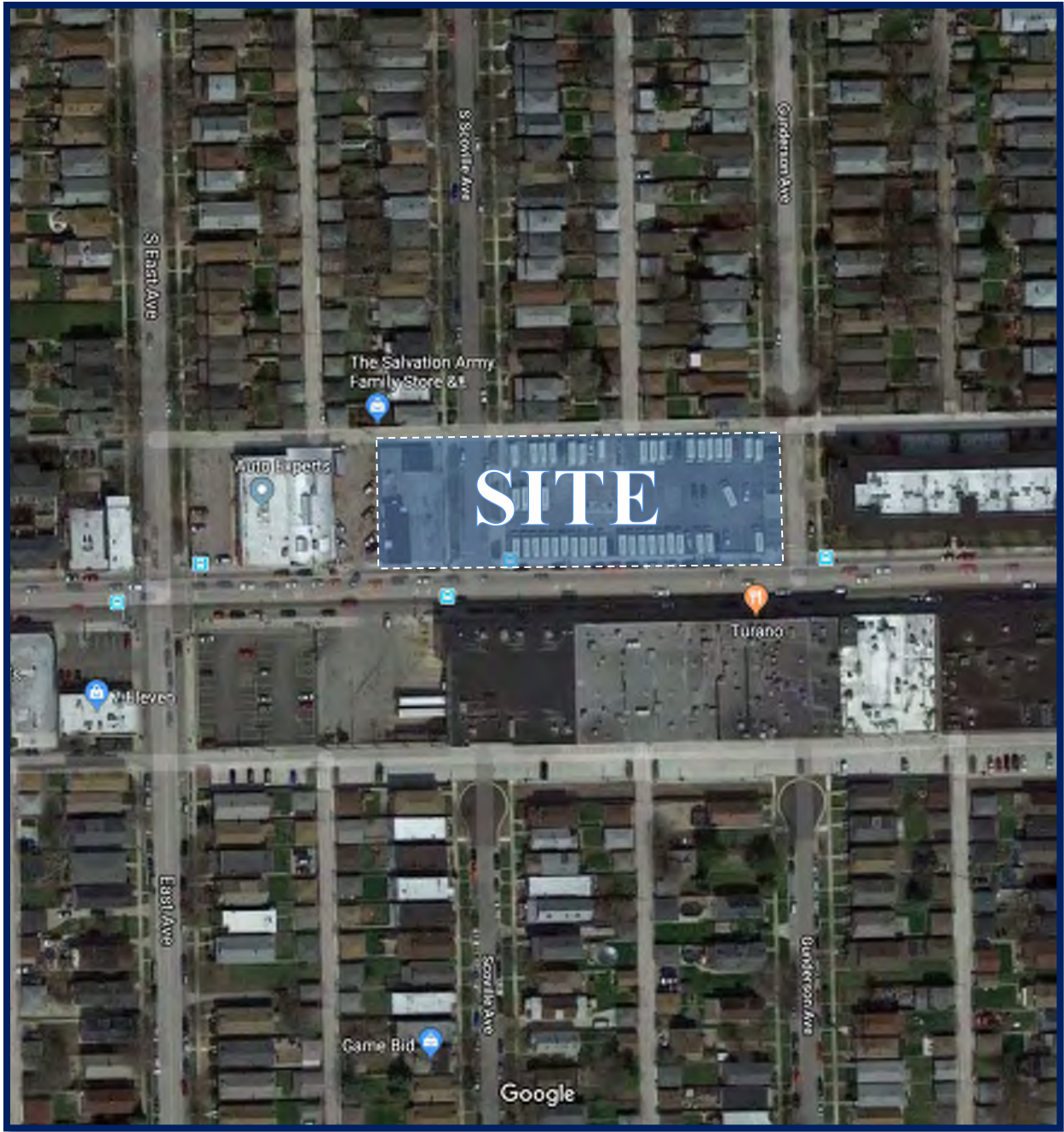
Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

1. Existing Conditions – Analyze the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. Projected Conditions – Analyze the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, ambient area growth not attributable to any particular development, and the traffic estimated to be generated by the proposed development.



Site Location

Figure 1



Aerial View of Site Location

Figure 2



## 2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

### Site Location

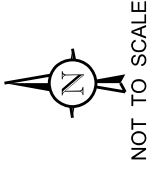
The site, which is currently occupied by a fleet parking lot for Turano Baking Company and a vacant building, is located on the north side of Roosevelt Road and is bounded by Gunderson Avenue on the east and the east-west alley on the north. Land uses in the vicinity of the site are primarily residential to the north and east and commercial to the south and west and include the following; Prairie Plaza to the east, existing Turano to the south and 7-Eleven, Shelby's Auto Experts and the Salvation Army Thrift Store to the west.

### Existing Roadway System Characteristics

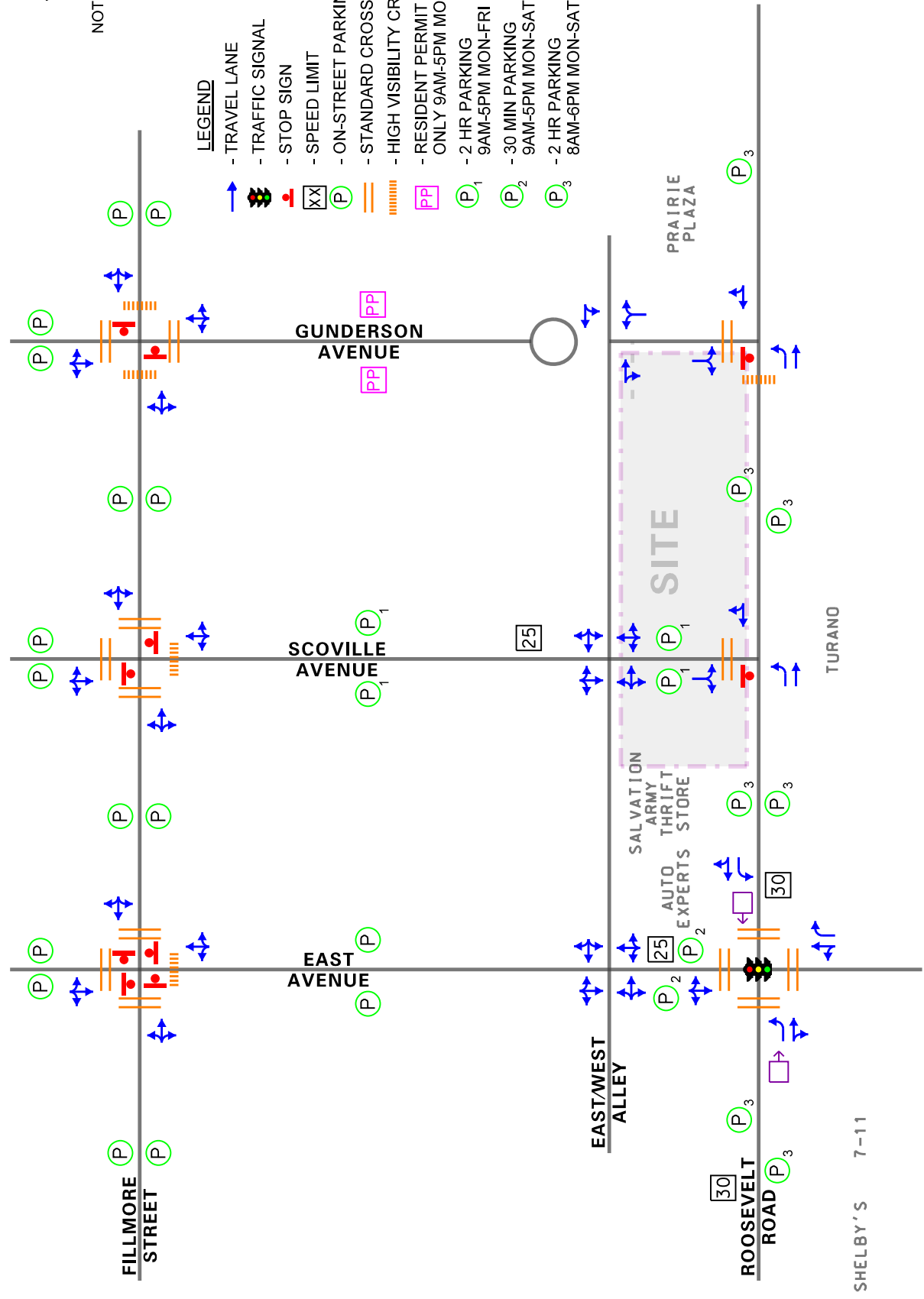
The characteristics of the existing roadways near the development are described below and illustrated in **Figure 3**.

*Roosevelt Road* is an east-west arterial roadway that in the vicinity of the site provides one through lane in each direction separated by a two-way left-turn lane. At its signalized intersection with East Avenue, Roosevelt Road provides an exclusive left-turn lane and a shared through/right-turn lane on the eastbound and westbound approaches. Both approaches provide standard crosswalks and pedestrian countdown signals. At its unsignalized intersection with Scoville Avenue, Roosevelt Road provides a shared through/right-turn lane on the westbound approach and an exclusive left-turn lane and a through lane on the eastbound approach. At its unsignalized intersection with Gunderson Avenue, Roosevelt Road provides a shared through/right-turn lane on the westbound approach and an exclusive left-turn lane and a through lane on the eastbound approach. The west leg of this intersection provides a high visibility pedestrian crosswalk that provides push buttons and flashing beacons. On-street parking is provided on both sides of Roosevelt Road and is time restricted to two-hour parking Monday through Saturday between 8:00 A.M. and 6:00 P.M. Roosevelt Road is under the jurisdiction of the Illinois Department of Transportation (IDOT), carries an annual average daily traffic (AADT) volume of 19,600 vehicles and has a posted speed limit of 30 miles per hour.

*East Avenue* is a north-south collector roadway that in the vicinity of the site provides one through lane in each direction. At its signalized intersection with Roosevelt Road, East Avenue provides a shared left-turn/through lane and an exclusive right-turn lane on the northbound approach and a shared left/through/right-turn lane on the southbound approach. Both approaches provide standard style crosswalks with pedestrian countdown signals. At its all-way stop sign controlled intersection with Fillmore Street, East Avenue provides a shared left/through/right-turn lane and a high visibility crosswalk on the northbound approach and a shared left/through/right-turn lane and a standard style crosswalk on the southbound approach.



- LEGEND**
- TRAVEL LANE
  - TRAFFIC SIGNAL
  - STOP SIGN
  - SPEED LIMIT
  - ON-STREET PARKING
  - STANDARD CROSSWALK
  - HIGH VISIBILITY CROSSWALK
  - RESIDENT PERMIT PARKING ONLY 9AM-5PM MON-SAT
  - 2 HR PARKING 9AM-5PM MON-FRI
  - 30 MIN PARKING 9AM-5PM MON-SAT
  - 2 HR PARKING 8AM-6PM MON-SAT



Existing Roadway Characteristics

Turano Office Building  
Oak Park, Illinois

SHELBY'S 7-11

At its unsignalized intersection with the east-west alley, East Avenue provides a shared left/through/right-turn lane on both approaches. On-street parking is generally permitted on East Avenue. However, between Roosevelt Road and the east-west alley, parking is time restricted to 30 minutes between 9:00 A.M. and 5:00 P.M. Monday through Saturday. East Avenue is under the jurisdiction of the Village of Oak Park, carries an AADT volume of 2,500 vehicles (IDOT AADT 2014) and has a posted speed limit of 25 miles per hour.

*Scoville Avenue* is a north-south local roadway that provides one through lane in each direction and extends from Roosevelt Road approximately 1,800 feet north to its terminus at Rehm Park. At its unsignalized intersection with Roosevelt Road, Scoville Avenue provides a shared left/right-turn lane under stop-sign control and a standard style crosswalk. At its unsignalized intersection with Fillmore Street, Scoville Avenue provides a shared left/through/right-turn lane on both approaches. The south leg of the intersection provides a high visibility crosswalk and the north leg of the intersection provides a standard style crosswalk. At its unsignalized intersection with the east-west alley, Scoville Avenue provides a shared left/through/right-turn lane on both approaches. On-street parking is generally permitted on Scoville Avenue. However, between Roosevelt Road and Fillmore Street, parking is time restricted to two hours between 9:00 A.M. and 5:00 P.M. Monday through Friday. Scoville Avenue is under the jurisdiction of the Village of Oak Park, has a posted speed limit of 25 miles per hour and based on counts conducted by KLOA, Inc. carries a daily traffic volume of approximately 425 vehicles.

*Gunderson Avenue* is an east-west local roadway that provides one through lane in each direction and is broken into two roadway segments via a cul-de-sac just north of the east-west alley. The south segment of Gunderson Avenue provides access to Prairie Plaza, the Turano fleet parking lot and the east-west alley. The north segment of Gunderson Avenue serves the residential neighborhood north of the east-west alley and terminates at Garfield Street approximately 2,000 feet to the north of the cul-de-sac. At its unsignalized intersection with Roosevelt Road, Gunderson Avenue provides a shared left/right-turn lane under stop sign control and a standard crosswalk. At its unsignalized intersection with the east-west alley, Gunderson Avenue provides a shared left/right-turn lane. At its unsignalized intersection with Fillmore Street, Gunderson Avenue provides a shared left/through/right-turn lane and standard crosswalks on both approaches. On-street parking is generally permitted on both sides of Gunderson Avenue. North of Fillmore Street, on-street parking does not have any restrictions. Between Fillmore Street and the east-west alley, parking is restricted to resident permit parking only between 9:00 A.M. and 5:00 P.M. Monday through Saturday. Between the east-west alley and Roosevelt Road, parking on the east side of the roadway is reserved for Prairie Plaza residents and parking on the west side of the roadway are reserved for Turano. Gunderson Avenue is under the jurisdiction of the Village of Oak Park.

*Fillmore Street* is an east-west local roadway that in the vicinity of the site provides one through lane in each direction. At its all-way stop sign controlled intersection with East Avenue, Fillmore Street provides a shared left/through/right-turn lane and a standard crosswalk on both approaches. At its unsignalized intersection with Scoville Avenue, Fillmore Street provides a shared left/through/right-turn lane and a standard crosswalk on both approaches. At its unsignalized intersection with Gunderson Avenue, Fillmore Street provides a shared left/through/right-turn lane under stop-sign control and a high visibility crosswalk on both approaches. On-street parking is generally permitted on both sides of the roadway. Fillmore Street is under the jurisdiction of the Village of Oak Park.

Approximately 160 feet north of Roosevelt Road is an east-west public alley. This alley allows two-way movements, is approximately 14 feet wide and serves the commercial developments bound by Roosevelt Road on the south and the east-west alley on the north. Additionally, the east-west alley connects to the north-south alleys that serve the garages for the residential developments north of the east-west alley.

## Existing Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, KLOA, Inc. conducted peak period traffic counts utilizing Miovision Scout Video Collection Units on Tuesday, April 28, 2018 and on Tuesday May 1, 2018 during the weekday morning (7:00 to 9:00 A.M.) and evening (4:00 to 6:00 P.M.) peak periods at the following intersections:

- Roosevelt Road with East Avenue
- Roosevelt Road with Scoville Avenue
- Roosevelt Road with Gunderson Avenue
- Fillmore Street with East Avenue
- Fillmore Street with Scoville Avenue
- Fillmore Street with Gunderson Avenue
- East-West Alley with East Avenue
- East-West Alley with Scoville Avenue
- East-West Alley with Gunderson Avenue

The results of the traffic counts indicated that the weekday morning peak hour of traffic occurs from 7:00 A.M. to 8:00 A.M. and the weekday evening peak hour of traffic occurs from 4:30 P.M. to 5:30 P.M. Additionally, 24-hour two-way counts were conducted along Scoville Avenue just north of the east-west alley to determine the daily traffic volume along the roadway. **Figure 4** illustrates the existing peak hour traffic volumes and the 24-hour two-way traffic volume along Scoville avenue. Copies of the traffic count summary sheets are included in the Appendix.

## Crash Analysis

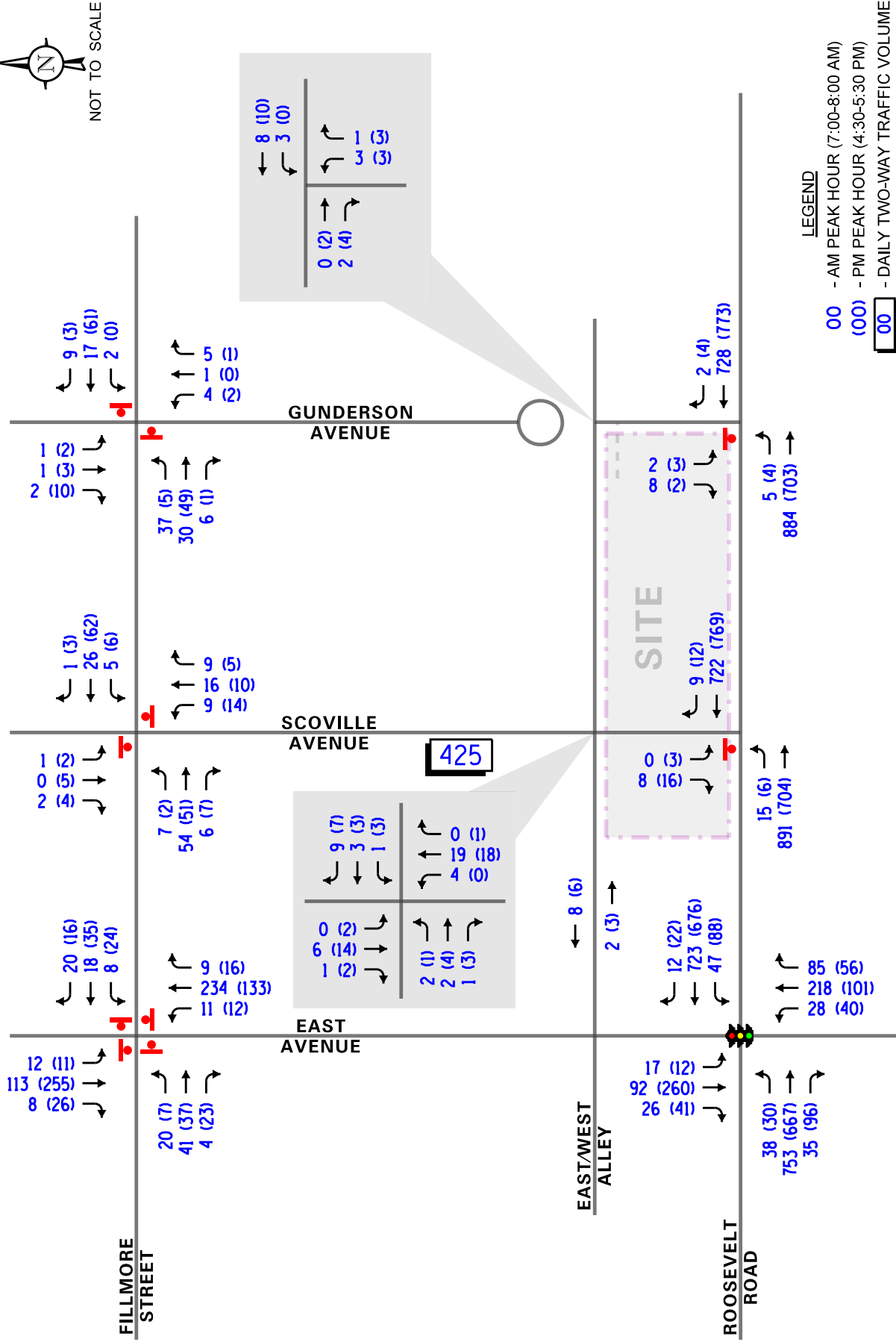
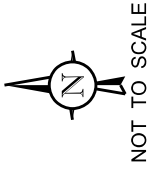
KLOA, Inc. obtained crash data from IDOT for the most recent available five years (2012 to 2016) for Roosevelt Road and Fillmore Street and their respective intersections with East Avenue, Scoville Avenue and Gunderson Avenue. **Tables 1** through **3** summarize the crash data for the intersections along Roosevelt Road. A review of the crash data<sup>1</sup> indicated the following:

- The intersection of Fillmore Street with East Avenue experienced two crashes in 2014 and one crash in 2016
- The intersections of Fillmore Street with Scoville Avenue and Gunderson Avenue experienced zero crashes between 2012 and 2016.
- No fatalities were reported at any of the study area intersections.

---

<sup>1</sup> IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).





**LEGEND**

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)
- 00 - DAILY TWO-WAY TRAFFIC VOLUME

Existing Traffic Volumes

Turano Office Building  
Oak Park, Illinois

Table 1  
ROOSEVELT ROAD WITH EAST AVENUE – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2012	1	0	0	3	1	1	1	7
2013	2	0	1	9	0	0	3	15
2014	2	0	0	3	0	1	2	8
2015	1	0	0	2	2	1	0	6
2016	<u>0</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>2</u>	<u>5</u>
<b>Total</b>	<b>6</b>	<b>0</b>	<b>2</b>	<b>17</b>	<b>4</b>	<b>4</b>	<b>8</b>	<b>41</b>
<b>Average</b>	<b>1.2</b>	<b>0</b>	<b>&lt;1</b>	<b>3.4</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>1.6</b>	<b>8.2</b>

Table 2  
ROOSEVELT ROAD WITH SCOVILLE AVENUE – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2012	0	0	1	0	0	0	1	2
2013	0	0	0	1	0	0	2	3
2014	0	0	0	0	0	0	1	1
2015	0	0	0	1	0	0	0	1
2016	<u>2</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>0</u>	<u>0</u>	<u>4</u>
<b>Total</b>	<b>2</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>1</b>	<b>0</b>	<b>4</b>	<b>11</b>
<b>Average</b>	<b>&lt;1</b>	<b>0</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>0</b>	<b>&lt;1</b>	<b>2.2</b>

Table 3  
ROOSEVELT ROAD WITH GUNDERSON AVENUE – CRASH SUMMARY

Year	Type of Crash Frequency							Total
	Angle	Head On	Object	Rear End	Sideswipe	Turning	Other	
2012	0	0	0	0	0	1	0	1
2013	0	0	0	0	0	0	2	2
2014	0	0	1	1	0	0	1	3
2015	1	0	1	2	0	1	0	5
2016	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>1</u>
<b>Total</b>	<b>1</b>	<b>0</b>	<b>2</b>	<b>4</b>	<b>0</b>	<b>2</b>	<b>3</b>	<b>12</b>
<b>Average</b>	<b>&lt;1</b>	<b>0</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>0</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>2.4</b>

### 3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

#### Proposed Site and Development Plan

As proposed, the site will be developed with a two-story, approximately 24,928 square-foot office building for use by Turano and a gated parking lot with 95 parking spaces. As part of the proposed development the roadway segment of Scoville Avenue between Roosevelt Road and the east-west alley will be vacated and a cul-de-sac will be developed on Scoville Avenue just north of the east-west alley. It should be noted that Turano will relocate from its existing location on the south side of Roosevelt Road and that the fleet parking currently accommodated on site will be relocated to the south side of Roosevelt Road. Access to the development will be provided off Gunderson Avenue via a full movement access drive located adjacent to the east-west public alley. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop-sign control. Inbound movements at the proposed access drive will be regulated via key card access. A site plan depicting the proposed development layout and access is included in the Appendix.

#### Directional Distribution

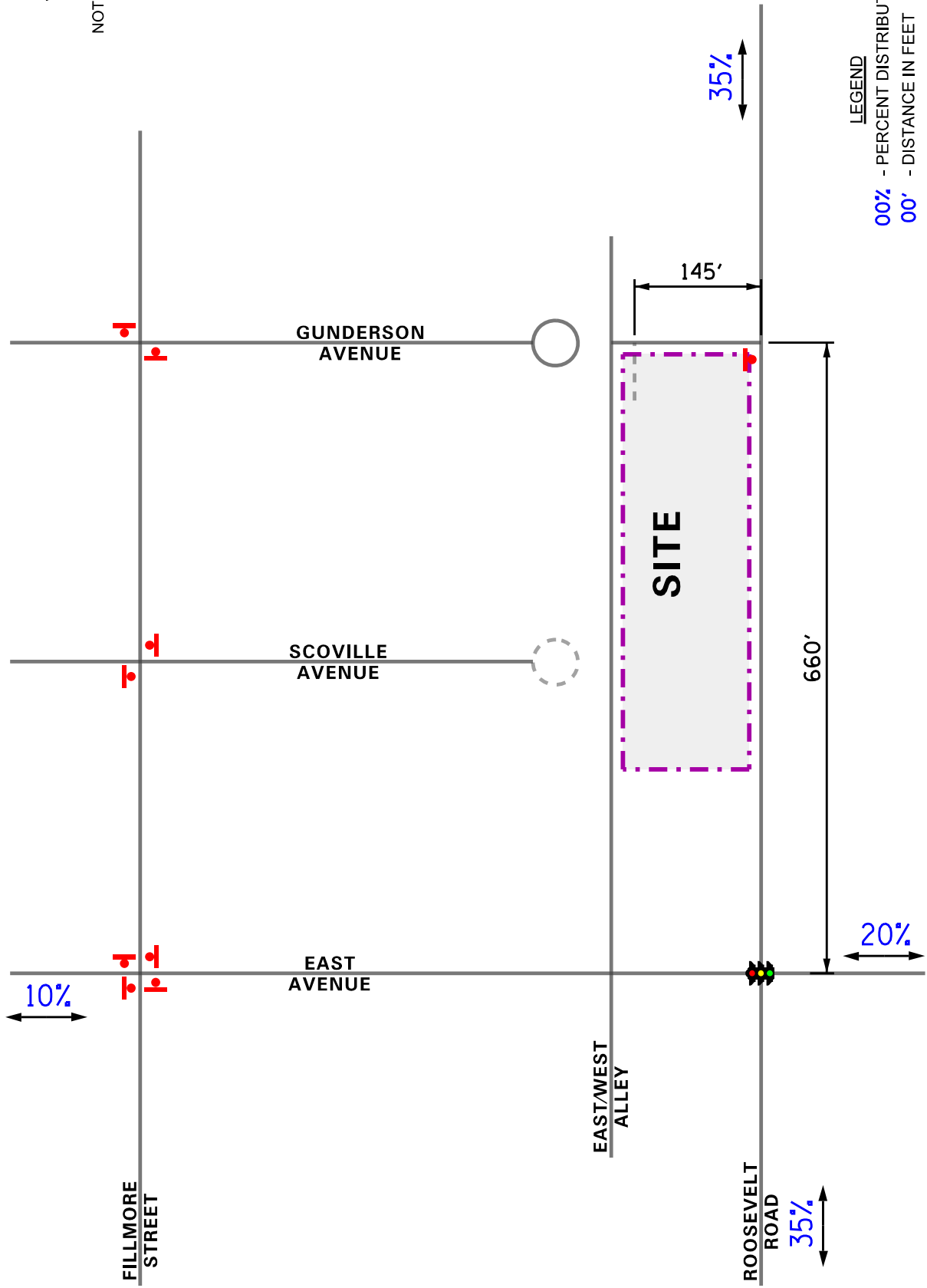
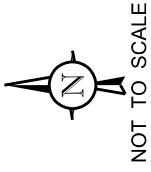
The directions from which employees of the proposed office development will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of the development-generated traffic.

#### Peak Hour Traffic Volumes

The number of peak hour trips estimated to be generated by the proposed single-tenant office building based on vehicle trip generation rates contained in *Trip Generation Manual*, 10<sup>th</sup> Edition, published by the Institute of Transportation Engineers (ITE). The “Single Tenant Office Building” (Land-Use Code 715) was used. **Table 2** summarizes the trips projected to be generated by the proposed development.

Table 4  
PROJECTED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
		In	Out	Total	In	Out	Total	
715	Office Building (24,932 s.f.)	53	6	59	10	56	66	280



**LEGEND**  
00% - PERCENT DISTRIBUTION  
00' - DISTANCE IN FEET

Estimated Directional Distribution

Turano Office Building  
Oak Park, Illinois



## 4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

### Development Traffic Assignment

The estimated weekday morning and weekday evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). **Figure 6** illustrates the traffic assignment of the trips projected to be generated by the proposed development. It should be noted that the traffic currently generated by Turano at its existing location on the south side of Roosevelt Road was not removed from the existing traffic volumes. As such, the analyses conducted in the report represent worst-case conditions.

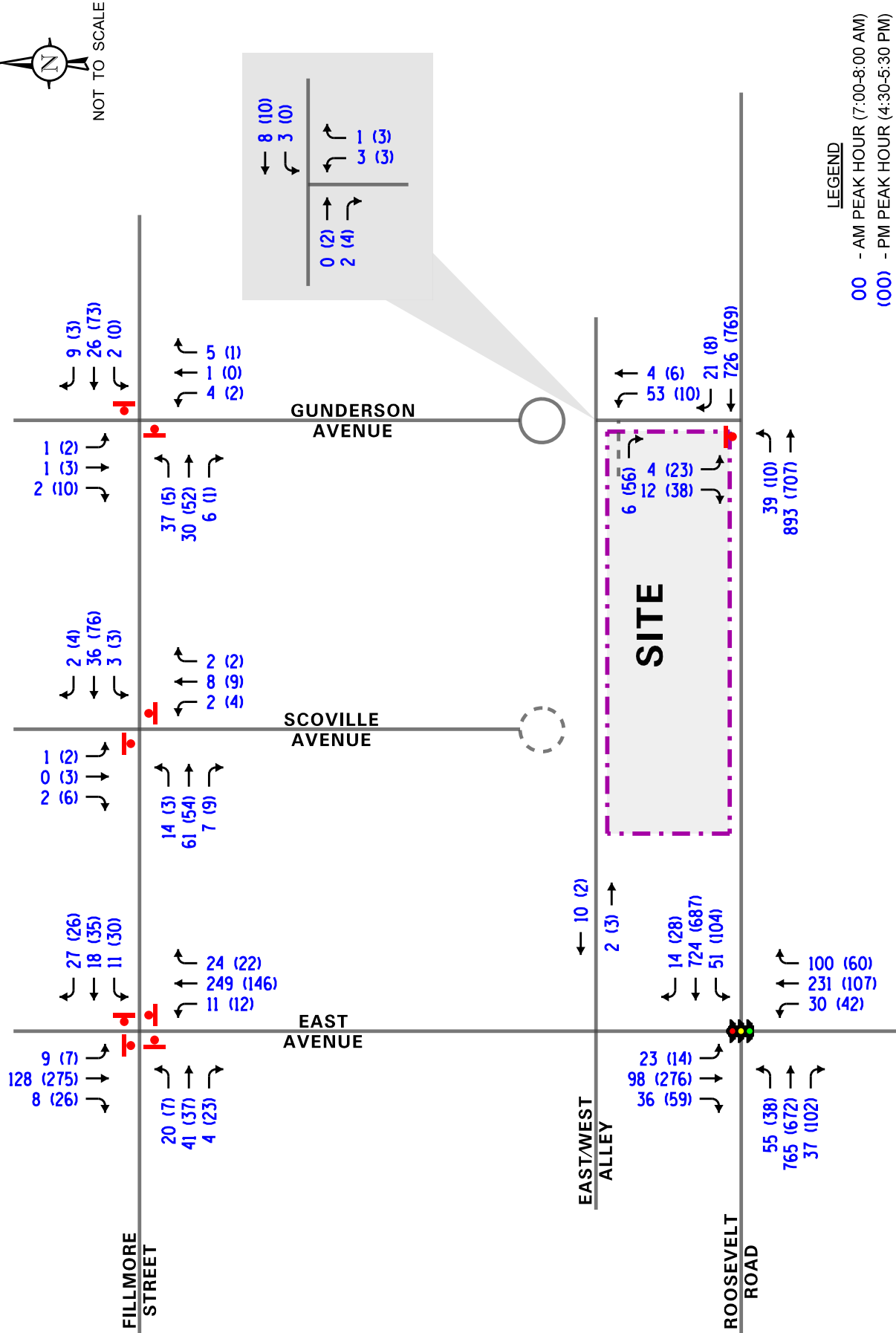
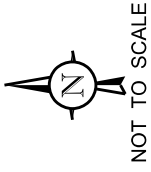
### Background (No-Build) Traffic Conditions

The existing traffic volumes (Figure 4) were increased regional growth factors to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on ADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated May 2, 2018, the traffic volumes along Roosevelt Road were increased by approximately 0.15 percent per year and the traffic volumes along East Avenue were increased by approximately one percent per year. These background growth factors were applied over six years (buildout year plus five years) to project Year 2024 conditions. Additionally, due to the proposed vacation of Scoville Avenue between Roosevelt Road and East Avenue, the existing traffic volumes utilizing this segment of Scoville Avenue were reassigned to the roadway network. A copy of the CMAP 2040 projections letter and a figure showing the reassignment of the existing traffic volumes is included in the Appendix.

### Total Projected Traffic Volumes

The development-generated traffic (Figure 6) was added to the existing traffic volumes increased by a regional growth factor to determine the Year 2024 total projected traffic volumes as illustrated in **Figure 7**.





Year 2024 Total Projected Conditions

## 5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

### Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the existing (Year 2018) and Year 2024 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using the Synchro/SimTraffic 9 software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service. Synchro/SimTraffic 9 software was utilized to accurately represent the operation of the existing and proposed unsignalized intersections due to their proximity to the signalized intersection of Roosevelt Road with East Avenue.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2024 total projected conditions are presented in **Tables 5** through **7**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.



Table 5  
CAPACITY ANALYSIS RESULTS – ROOSEVELT ROAD WITH EAST AVENUE – SIGNALIZED

Peak Hour	Eastbound			Westbound			Northbound			Southbound			Overall	
	L	T	R	L	T	R	L	T	R	L	T	R		
Year 2018 Existing Conditions	Weekday Morning Peak Hour	A 4.5	C 21.5	A 4.8	B 17.4	B 11.1	E 79.6	D 53.5	B 11.1	D 53.5	A 1.2	A 1.2	C – 27.2	
	Weekday Evening Peak Hour	A 4.4	C 25.7	A 6.4	B 17.6	B 10.8	E 66.7	E 62.0	B 10.8	E 62.0	A 5.7	A 5.7		C – 28.6
			C – 20.7		B – 16.7		E – 61.9		D – 50.7		D – 54.6			
Year 2024 Projected Conditions	Weekday Morning Peak Hour	A 4.8	C 22.6	A 4.9	B 19.3	B 10.6	F 87.5	E 65.3	B 10.6	E 65.3	A 4.9	A 4.9	C – 29.9	
	Weekday Evening Peak Hour	A 4.6	C 25.3	A 6.6	B 17.4	B 11.7	F 123.4	E 76.1	B 11.7	E 76.1	B 11.8	B 11.8		C – 34.1
			C – 21.4		B – 18.3		E – 66.2		F – 91.2		E – 65.2			
Letter denotes Level of Service													L – Left-Turns	R – Right-Turns
Delay is measured in seconds.													T – Through	

Table 6

CAPACITY ANALYSIS RESULTS – EXISTING CONDITIONS – UNSIGNALIZED

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Roosevelt Road with Scoville Avenue<sup>1</sup></b>				
• Southbound Approach	B	14.1	C	16.2
• Eastbound Left Turn	A	9.4	A	9.5
<b>Roosevelt Road with Gunderson Avenue<sup>1</sup></b>				
• Southbound Approach	C	16.3	C	17.6
• Eastbound Left Turn	A	9.7	A	9.5
<b>Fillmore Street with East Avenue<sup>2</sup></b>				
• Overall	A	9.4	B	10.2
• Eastbound Approach	A	8.7	A	9.1
• Westbound Approach	A	8.3	A	9.1
• Northbound Approach	B	10.1	A	9.4
• Southbound Approach	A	8.8	B	11.1
<b>Fillmore Street with Scoville Avenue<sup>1</sup></b>				
• Northbound Approach	A	9.7	B	10.5
• Southbound Approach	A	9.4	B	10.0
• Eastbound Left Turn	A	7.3	A	7.4
• Westbound Left Turn	A	7.4	A	7.4
<b>Fillmore Street with Gunderson Avenue<sup>1</sup></b>				
• Eastbound Approach	A	9.6	A	9.6
• Westbound Approach	A	9.2	A	9.7
• Northbound Left Turn	A	7.2	A	7.3
• Southbound Left Turn	A	8.2	A	7.2
<b>Gunderson Avenue with East-West Alley<sup>1</sup></b>				
• Eastbound Approach	A	8.3	A	8.6
• Westbound Approach	A	9.1	A	9.2
• Northbound Approach	A	5.4	A	3.6
LOS = Level of Service Delay is measured in seconds. 1 – Two-Way Stop Sign Control 2 – All-Way Stop Sign Control				

Table 7  
 CAPACITY ANALYSIS RESULTS  
 YEAR 2024 PROJECTED CONDITIONS – UNSIGNALIZED

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Roosevelt Road with Gunderson Avenue<sup>1</sup></b>				
• Southbound Approach	C	17.3	C	19.5
• Eastbound Left Turn	A	10.0	A	9.5
<b>Fillmore Street with East Avenue<sup>2</sup></b>				
• Overall	A	9.8	B	10.6
• Eastbound Approach	A	8.9	A	9.3
• Westbound Approach	A	8.5	A	9.4
• Northbound Approach	B	10.7	A	9.8
• Southbound Approach	A	9.1	B	11.8
<b>Fillmore Street with Scoville Avenue<sup>1</sup></b>				
• Northbound Approach	B	10.0	B	10.7
• Southbound Approach	A	9.5	A	9.9
• Eastbound Left Turn	A	7.3	A	7.5
• Westbound Left Turn	A	7.4	A	7.4
<b>Fillmore Street with Gunderson Avenue<sup>1</sup></b>				
• Eastbound Approach	A	9.6	A	9.7
• Westbound Approach	A	9.3	A	9.8
• Northbound Left Turn	A	7.2	A	7.3
• Southbound Left Turn	A	8.2	A	7.2
<b>Gunderson Avenue with East-West Alley<sup>1</sup></b>				
• Eastbound Approach	A	8.3	A	8.6
• Westbound Approach	A	9.1	A	9.2
• Northbound Approach	A	5.4	A	3.6
<b>Gunderson Avenue with Proposed Access Drive<sup>1</sup></b>				
• Eastbound Approach	A	8.3	A	8.5
• Northbound Left Turn	A	7.3	A	7.2
LOS = Level of Service Delay is measured in seconds. 1 – Two-Way Stop Sign Control 2 – All-Way Stop Sign Control				

## Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development-generated traffic.

### *Roosevelt Road with East Avenue*

The results of the capacity analysis indicate that overall this intersection currently operates at level of service (LOS) C during the weekday morning and weekday evening peak hours. It should be noted that the northbound approach currently operates at LOS E during the weekday morning peak hour. This LOS is due to the minimal volume of green time allocated to the northbound and southbound approaches during the peak hours.

Under Year 2024 conditions, this intersection overall is projected to continue operating at LOS C during the weekday morning and weekday evening peak hours with increases in delay of approximately three and six seconds, respectively. It should be noted that the northbound approach is projected to operate at LOS E during the weekday morning peak hour and at LOS F during the weekday evening peak hour and the southbound approach is projected to operate at LOS E during the weekday evening peak hour. However, this level of service is due to the limited amount of green time allocated to the northbound and southbound green phase and the existing traffic volumes increased by the regional growth factor. As proposed, the office building is only projected to increase the volume of traffic traversing this intersection by less than two percent during the peak hours.

Furthermore, the 95<sup>th</sup> percentile queues for the westbound approach are projected to be approximately 550 feet during the weekday morning peak hour and approximately 500 feet during the weekday evening peak hour. These queues are an increase of only one to two car lengths over existing conditions.

Overall, this intersection has sufficient reserve capacity to accommodate the traffic projected to be generated by the proposed development.

### *Roosevelt Road with Gunderson Avenue*

The results of the capacity analysis indicate that the southbound approach currently operates at LOS B during the weekday morning peak hour and at LOS C during the weekday evening peak hour. Under Year 2024 conditions, the southbound approach is projected to continue operating at LOS C during both peak hours with increases in delay of approximately three seconds during both peak hours. Furthermore, eastbound left-turn movements from Roosevelt Road onto Gunderson Avenue are projected to continue operating at LOS A during both peak hours with increases in delay of less than one second and 95<sup>th</sup> percentile queues of one to two vehicles which will continue to be contained within the two-way left-turn lane. As such, the proposed development generated traffic will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be required.



### *Fillmore Street with East Avenue*

The results of the capacity analysis indicate that overall this intersection currently operates at LOS A during the weekday morning peak hour and at LOS B during the weekday evening peak hour. Under Year 2024 conditions, this intersection is projected to continue operating at existing levels of service with increases in delay of less than one second. Furthermore, all of the approaches are projected to continue operating at LOS B or better during the peak hours with increases in delay of less than one second and 95<sup>th</sup> percentile queues of one to two vehicles. As such, the proposed development generated traffic and reassignment of traffic due to the vacation of Scoville Avenue will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be required.

### *Fillmore Street with Scoville Avenue*

The results of the capacity analysis indicate that the northbound and southbound approaches currently operate at LOS B or better during the peak hours. Under Year 2024 conditions with the conduction of the cul-de-sac along Scoville Avenue and the reassignment of existing traffic volumes, the northbound and southbound approaches are projected to continue operating at LOS B or better during the peak hours with increases in delay of less than one second. Furthermore, eastbound and westbound left-turn movements from Fillmore Street onto Scoville Avenue are projected to continue operating at LOS A during both peak hours with increases in delay of less than one second. As such, the reassignment of traffic due to the vacation of Scoville Avenue will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be required.

### *Fillmore Street with Gunderson Avenue*

The results of the capacity analysis indicate that the eastbound and westbound approaches currently operate at LOS A and are projected to continue operating at LOS A during the peak hours with increases in delay of less than one second. Furthermore, northbound and southbound left-turn movements from Gunderson Avenue onto Fillmore Street are projected to continue operating at LOS A during both peak hours. As such, the reassignment of traffic due to the vacation of Scoville Avenue will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be required.

### *Evaluation of Proposed Access System*

The results of the capacity analysis indicate that outbound movements from the proposed access drive onto Gunderson Avenue are projected to operate at LOS A during the weekday morning and evening peak hours. Furthermore, northbound left-turn movements are projected to operate at LOS A during both peak hours with 95<sup>th</sup> percentile queues of one to two vehicles which can be accommodated along Gunderson Avenue without extending to Roosevelt Road. As such, the proposed access system will be adequate in accommodating the traffic projected to be generated by the proposed development and will ensure efficient access is provided.

### *Vacation of Scoville Avenue*

As previously indicated, as part of the proposed development Scoville Avenue will be vacated between Roosevelt Road and the east-west alley and a cul-de-sac will be constructed just north of the east-west alley. The results of the capacity analysis indicate that the vacation of this segment of Scoville Avenue will have a minimal impact on the operations of roadway network, particularly Fillmore Street and its intersections with East Avenue, Scoville Avenue and Gunderson Avenue. The vacation of Scoville Avenue will eliminate any existing/potential cut-through traffic for westbound Roosevelt Road to northbound East Avenue traffic. Lastly, the results of the traffic count indicated that Scoville Avenue carries a low volume of daily traffic. As such, the vacation of Scoville Avenue between Roosevelt Road and the east-west alley will have a limited impact on the adjacent roadway network.

### *East-West Alley Operations*

The results of the capacity analysis indicate turning movements to/from the east-west alley from Gunderson Avenue are projected to continue operating at LOS A during the weekday morning and weekday evening peak hours with increases in delay of less than one second. Furthermore, the results of the traffic counts indicate that the east-west alley currently carries a low volume of traffic. With the construction of a cul-de-sac on Scoville Avenue just north of the public alley, the elimination of the intersection of Scoville Avenue with the east-west alley will not have a negative impact on the operations of the alley. As such, the east-west alley is projected to continue operating at acceptable levels of service and will be adequate in serving the commercial and residential developments adjacent to the alley.

## 6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The results of the capacity analysis show that the traffic projected to be generated by the proposed development will have a limited impact on the roadway network and adjacent intersections and no roadway improvements or signal modifications will be required.
- The reassignment of traffic resulting from vacating the roadway segment of Scoville Avenue between Roosevelt Road and the east-west alley will have a limited impact on the roadway network.
- The vacation of Scoville Avenue will eliminate any existing/potential cut-through traffic for westbound Roosevelt Road to northbound East Avenue traffic.
- The proposed access drive off Gunderson Avenue will be adequate in accommodating the traffic projected to be generated by the proposed development and will ensure efficient access is provided.

# Appendix

Traffic Count Summary Sheets

Site Plan

CMAP 2040 Projections Letter

Reassignment of Existing Traffic Volumes

Level of Service Criteria

Capacity Analysis Summary Sheets



# Traffic Count Summary Sheets



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Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Roosevelt Road with East Avenue  
Site Code:  
Start Date: 05/01/2018  
Page No: 1

### Turning Movement Data

Start Time	Roosevelt Road Eastbound					Roosevelt Road Westbound					East Avenue Northbound					East Avenue Southbound									
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	6	193	9	4	208	0	9	171	2	0	182	0	12	52	27	3	91	0	4	18	6	0	28	509
7:15 AM	0	7	189	9	2	205	0	13	180	1	2	194	0	5	51	21	1	77	0	1	19	7	0	27	503
7:30 AM	0	12	194	7	3	213	0	9	194	4	4	207	0	4	60	16	2	80	0	9	25	6	2	40	540
7:45 AM	0	13	177	10	2	200	0	16	178	5	1	199	0	7	55	21	4	83	0	3	30	7	1	40	522
Hourly Total	0	38	753	35	11	826	0	47	723	12	7	782	0	28	218	85	10	331	0	17	92	26	3	135	2074
8:00 AM	0	9	175	9	1	193	0	10	134	14	3	158	0	9	38	21	1	68	0	4	50	12	0	66	485
8:15 AM	0	10	166	15	0	191	0	31	166	5	1	202	0	12	41	30	1	83	0	8	18	5	0	31	507
8:30 AM	0	8	146	10	0	164	0	22	179	7	1	208	0	11	49	20	3	80	0	4	26	9	1	39	491
8:45 AM	0	8	131	7	1	146	0	16	167	6	1	189	0	8	28	28	0	64	0	5	25	6	3	36	435
Hourly Total	0	35	618	41	2	694	0	79	646	32	6	757	0	40	156	99	5	295	0	21	119	32	4	172	1918
*** BREAK ***																									
4:00 PM	0	12	169	22	3	203	0	26	180	10	0	216	0	9	21	9	1	39	0	7	44	12	3	63	521
4:15 PM	0	3	170	24	0	197	0	14	168	6	0	188	0	7	38	17	5	62	0	8	56	7	2	71	518
4:30 PM	0	8	176	21	2	205	0	24	171	6	2	201	0	9	22	12	0	43	0	1	63	7	0	71	520
4:45 PM	0	9	160	24	10	193	0	19	168	8	0	195	0	11	23	17	5	51	0	3	53	15	3	71	510
Hourly Total	0	32	675	91	15	798	0	83	687	30	2	800	0	36	104	55	11	195	0	19	216	41	8	276	2069
5:00 PM	0	6	158	29	0	193	0	18	174	5	1	197	0	11	25	11	10	47	0	5	68	11	0	84	521
5:15 PM	0	7	173	22	4	202	0	27	163	3	6	193	0	9	31	16	1	56	0	3	76	8	3	87	538
5:30 PM	0	9	162	23	2	194	0	17	177	4	2	198	0	6	32	17	2	55	0	5	71	17	5	93	540
5:45 PM	0	10	171	28	5	209	0	22	169	6	5	197	0	6	35	11	0	52	0	4	62	17	5	83	541
Hourly Total	0	32	664	102	11	798	0	84	683	18	14	785	0	32	123	55	13	210	0	17	277	53	13	347	2140
Grand Total	0	137	2710	269	39	3116	0	293	2739	92	29	3124	0	136	601	294	39	1031	0	74	704	152	28	930	8201
Approach %	0.0	4.4	87.0	8.6	-	-	0.0	9.4	87.7	2.9	-	-	0.0	13.2	58.3	28.5	-	-	0.0	8.0	75.7	16.3	-	-	-
Total %	0.0	1.7	33.0	3.3	-	38.0	0.0	3.6	33.4	1.1	-	38.1	0.0	1.7	7.3	3.6	-	12.6	0.0	0.9	8.6	1.9	-	11.3	-
Lights	0	135	2809	260	-	3004	0	288	2650	89	-	3027	0	135	579	289	-	1003	0	72	694	147	-	913	7947
% Lights	-	98.5	96.3	96.7	-	96.4	-	98.3	96.8	96.7	-	96.9	-	99.3	96.3	98.3	-	97.3	-	97.3	98.6	96.7	-	98.2	96.9
Buses	0	0	14	3	-	17	0	0	20	1	-	21	0	0	6	1	-	7	0	0	4	2	-	6	51
% Buses	-	0.0	0.5	1.1	-	0.5	-	0.0	0.7	1.1	-	0.7	-	0.0	1.0	0.3	-	0.7	-	0.0	0.6	1.3	-	0.6	0.6
Single-Unit Trucks	0	1	61	5	-	67	0	5	38	2	-	45	0	1	1	4	-	6	0	2	0	2	-	4	122
% Single-Unit Trucks	-	0.7	2.3	1.9	-	2.2	-	1.7	1.4	2.2	-	1.4	-	0.7	0.2	1.4	-	0.6	-	2.7	0.0	1.3	-	0.4	1.5
Articulated Trucks	0	0	25	1	-	26	0	0	28	0	-	28	0	0	0	0	-	0	0	0	0	0	-	0	54
% Articulated Trucks	-	0.0	0.9	0.4	-	0.8	-	0.0	1.0	0.0	-	0.9	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.7
Bicycles on Road	0	1	1	0	-	2	0	0	3	0	-	3	0	0	15	0	-	15	0	0	6	1	-	7	27
% Bicycles on Road	-	0.7	0.0	0.0	-	0.1	-	0.0	0.1	0.0	-	0.1	-	0.0	2.5	0.0	-	1.5	-	0.0	0.9	0.7	-	0.8	0.3
Pedestrians	-	-	-	-	-	39	-	-	-	-	-	29	-	-	-	-	-	39	-	-	-	-	-	28	-



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Count Name: Roosevelt Road with East Avenue  
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Start Date: 05/01/2018  
Page No: 3

### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Roosevelt Road Eastbound					Roosevelt Road Westbound					East Avenue Northbound					East Avenue Southbound									
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	6	193	9	4	208	0	9	171	2	0	182	0	12	52	27	3	91	0	4	18	6	0	28	509
7:15 AM	0	7	189	9	2	205	0	13	180	1	2	194	0	5	51	21	1	77	0	1	19	7	0	27	503
7:30 AM	0	12	194	7	3	213	0	9	194	4	4	207	0	4	60	16	2	80	0	9	25	6	2	40	540
7:45 AM	0	13	177	10	2	200	0	16	178	5	1	199	0	7	55	21	4	83	0	3	30	7	1	40	522
Total	0	38	753	35	11	826	0	47	723	12	7	782	0	28	218	85	10	331	0	17	92	26	3	135	2074
Approach %	0.0	4.6	91.2	4.2	-	-	0.0	6.0	92.5	1.5	-	-	0.0	8.5	65.9	25.7	-	-	0.0	12.6	68.1	19.3	-	-	-
Total %	0.0	1.8	36.3	1.7	-	39.8	0.0	2.3	34.9	0.6	-	37.7	0.0	1.4	10.5	4.1	-	16.0	0.0	0.8	4.4	1.3	-	6.5	-
PHF	0.000	0.731	0.970	0.875	-	0.969	0.000	0.734	0.932	0.600	-	0.944	0.000	0.583	0.908	0.787	-	0.909	0.000	0.472	0.767	0.929	-	0.844	0.960
Lights	0	36	722	31	-	789	0	46	696	11	-	753	0	28	206	84	-	318	0	17	91	26	-	134	1994
% Lights	-	94.7	95.9	88.6	-	95.5	-	97.9	96.3	91.7	-	96.3	-	100.0	94.5	98.8	-	96.1	-	100.0	98.9	100.0	-	99.3	96.1
Buses	0	0	3	3	-	6	0	0	6	1	-	7	0	0	1	1	-	2	0	0	1	0	-	1	16
% Buses	-	0.0	0.4	8.6	-	0.7	-	0.0	0.8	8.3	-	0.9	-	0.0	0.5	1.2	-	0.6	-	0.0	1.1	0.0	-	0.7	0.8
Single-Unit Trucks	0	1	19	1	-	21	0	1	11	0	-	12	0	0	0	0	-	0	0	0	0	0	-	0	33
% Single-Unit Trucks	-	2.6	2.5	2.9	-	2.5	-	2.1	1.5	0.0	-	1.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.6
Articulated Trucks	0	0	9	0	-	9	0	0	10	0	-	10	0	0	0	0	-	0	0	0	0	0	-	0	19
% Articulated Trucks	-	0.0	1.2	0.0	-	1.1	-	0.0	1.4	0.0	-	1.3	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.9
Bicycles on Road	0	1	0	0	-	1	0	0	0	0	-	0	0	0	11	0	-	11	0	0	0	0	-	0	12
% Bicycles on Road	-	2.6	0.0	0.0	-	0.1	-	0.0	0.0	0.0	-	0.0	-	0.0	5.0	0.0	-	3.3	-	0.0	0.0	0.0	-	0.0	0.6
Pedestrians	-	-	-	-	11	-	-	-	-	-	7	-	-	-	-	-	-	10	-	-	-	-	3	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-



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Count Name: Roosevelt Road with East Avenue  
Site Code:  
Start Date: 05/01/2018  
Page No: 4

### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Roosevelt Road Eastbound					Roosevelt Road Westbound					East Avenue Northbound					East Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
4:30 PM	0	8	176	21	2	205	0	24	171	6	2	201	0	9	22	12	0	43	0	1	63	7	0	71	520	
4:45 PM	0	9	160	24	10	193	0	19	168	8	0	195	0	11	23	17	5	51	0	3	53	15	3	71	510	
5:00 PM	0	6	158	29	0	193	0	18	174	5	1	197	0	11	25	11	10	47	0	5	68	11	0	84	521	
5:15 PM	0	7	173	22	4	202	0	27	163	3	6	193	0	9	31	16	1	56	0	3	76	8	3	87	538	
Total	0	30	667	96	16	793	0	88	676	22	9	786	0	40	101	56	16	197	0	12	260	41	6	313	2089	
Approach %	0.0	3.8	84.1	12.1	-	-	0.0	11.2	86.0	2.8	-	-	0.0	20.3	51.3	28.4	-	-	0.0	3.8	83.1	13.1	-	-	-	
Total %	0.0	1.4	31.9	4.6	-	38.0	0.0	4.2	32.4	1.1	-	37.6	0.0	1.9	4.8	2.7	-	9.4	0.0	0.6	12.4	2.0	-	15.0	-	
PHF	0.000	0.833	0.947	0.828	-	0.967	0.000	0.815	0.971	0.688	-	0.978	0.000	0.909	0.815	0.824	-	0.879	0.000	0.600	0.855	0.683	-	0.899	0.971	
% Lights	0	30	647	93	-	770	0	88	662	21	-	771	0	40	99	55	-	194	0	12	258	38	-	308	2043	
% Lights	-	100.0	97.0	96.9	-	97.1	-	100.0	97.9	95.5	-	98.1	-	100.0	98.0	98.2	-	98.5	-	100.0	99.2	92.7	-	98.4	97.8	
Buses	0	0	3	0	-	3	0	0	3	0	0	3	0	0	2	0	0	2	0	0	0	2	0	0	2	10
% Buses	-	0.0	0.4	0.0	-	0.4	-	0.0	0.4	0.0	-	0.4	-	0.0	2.0	0.0	-	1.0	-	0.0	0.0	4.9	-	0.6	0.5	
Single-Unit Trucks	0	0	11	3	-	14	0	0	7	1	-	8	0	0	0	1	-	1	0	0	0	1	-	1	24	
% Single-Unit Trucks	-	0.0	1.6	3.1	-	1.8	-	0.0	1.0	4.5	-	1.0	-	0.0	0.0	1.8	-	0.5	-	0.0	0.0	2.4	-	0.3	1.1	
Articulated Trucks	0	0	5	0	-	5	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	9	
% Articulated Trucks	-	0.0	0.7	0.0	-	0.6	-	0.0	0.6	0.0	-	0.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.4	
Bicycles on Road	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	3	
% Bicycles on Road	-	0.0	0.1	0.0	-	0.1	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.8	0.0	-	0.6	0.1	
Pedestrians	-	-	-	-	16	-	-	-	-	-	9	-	-	-	-	-	-	16	-	-	-	-	6	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-	





Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

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Site Code:  
Start Date: 04/24/2018  
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### Turning Movement Data

Start Time	Roosevelt Road Eastbound				Roosevelt Road Westbound				Scoville Avenue Southbound							
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Right	Thru	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	7	247	0	254	0	171	0	0	171	0	0	3	1	3	428
7:15 AM	0	4	215	0	219	0	187	2	0	189	0	0	3	3	3	411
7:30 AM	0	1	221	1	222	0	185	5	0	190	0	0	1	0	1	413
7:45 AM	0	3	208	0	211	0	179	2	0	181	0	0	1	0	1	393
Hourly Total	0	15	891	1	906	0	722	9	0	731	0	0	8	4	8	1645
8:00 AM	0	0	169	0	169	0	187	2	0	189	0	1	2	0	3	361
8:15 AM	0	0	190	0	190	0	203	3	2	206	0	0	2	3	2	398
8:30 AM	0	1	151	0	152	0	187	0	0	187	0	0	4	1	4	343
8:45 AM	0	1	160	0	161	0	162	0	0	162	0	0	2	1	2	325
Hourly Total	0	2	670	0	672	0	739	5	2	744	0	1	10	5	11	1427
*** BREAK ***																
4:00 PM	0	2	165	0	167	0	198	5	0	203	0	0	4	1	4	374
4:15 PM	0	1	177	0	178	0	198	2	1	200	0	0	5	1	5	383
4:30 PM	0	1	174	0	175	0	200	3	0	203	0	0	0	1	0	378
4:45 PM	0	0	172	0	172	0	175	3	0	178	0	0	5	2	5	355
Hourly Total	0	4	688	0	692	0	771	13	1	784	0	0	14	5	14	1490
5:00 PM	0	4	166	0	170	0	201	5	1	206	0	2	7	7	9	385
5:15 PM	0	1	192	0	193	0	193	1	0	194	1	1	4	16	6	393
5:30 PM	0	3	192	0	195	0	176	1	1	177	0	0	2	5	2	374
5:45 PM	0	1	174	0	175	0	169	2	0	171	0	1	5	1	6	352
Hourly Total	0	9	724	0	733	0	739	9	2	748	1	4	18	29	23	1504
Grand Total	0	30	2973	1	3003	0	2971	36	5	3007	1	5	50	43	56	6066
Approach %	0.0	1.0	99.0	-	-	0.0	98.8	1.2	-	-	1.8	8.9	89.3	-	-	-
Total %	0.0	0.5	49.0	-	49.5	0.0	49.0	0.6	-	49.6	0.0	0.1	0.8	-	0.9	-
Lights	0	29	2863	-	2892	0	2845	36	-	2881	1	5	50	-	56	5829
% Lights	-	96.7	96.3	-	96.3	-	95.8	100.0	-	95.8	100.0	100.0	100.0	-	100.0	96.1
Buses	0	1	9	-	10	0	15	0	-	15	0	0	0	-	0	25
% Buses	-	3.3	0.3	-	0.3	-	0.5	0.0	-	0.5	0.0	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	0	66	-	66	0	57	0	-	57	0	0	0	-	0	123
% Single-Unit Trucks	-	0.0	2.2	-	2.2	-	1.9	0.0	-	1.9	0.0	0.0	0.0	-	0.0	2.0
Articulated Trucks	0	0	33	-	33	0	52	0	-	52	0	0	0	-	0	85
% Articulated Trucks	-	0.0	1.1	-	1.1	-	1.8	0.0	-	1.7	0.0	0.0	0.0	-	0.0	1.4
Bicycles on Road	0	0	2	-	2	0	2	0	-	2	0	0	0	-	0	4
% Bicycles on Road	-	0.0	0.1	-	0.1	-	0.1	0.0	-	0.1	0.0	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
				100.0					100.0					100.0		



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### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Roosevelt Road Eastbound					Roosevelt Road Westbound					Scoville Avenue Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	7	247	0	254	0	171	0	0	171	0	0	3	1	3	428
7:15 AM	0	4	215	0	219	0	187	2	0	189	0	0	3	3	3	411
7:30 AM	0	1	221	1	222	0	185	5	0	190	0	0	1	0	1	413
7:45 AM	0	3	208	0	211	0	179	2	0	181	0	0	1	0	1	393
Total	0	15	891	1	906	0	722	9	0	731	0	0	8	4	8	1645
Approach %	0.0	1.7	98.3	-	-	0.0	98.8	1.2	-	-	0.0	0.0	100.0	-	-	-
Total %	0.0	0.9	54.2	-	55.1	0.0	43.9	0.5	-	44.4	0.0	0.0	0.5	-	0.5	-
PHF	0.000	0.536	0.902	-	0.892	0.000	0.965	0.450	-	0.962	0.000	0.000	0.667	-	0.667	0.961
Lights	0	14	855	-	869	0	671	9	-	680	0	0	8	-	8	1557
% Lights	-	93.3	96.0	-	95.9	-	92.9	100.0	-	93.0	-	-	100.0	-	100.0	94.7
Buses	0	1	2	-	3	0	5	0	-	5	0	0	0	-	0	8
% Buses	-	6.7	0.2	-	0.3	-	0.7	0.0	-	0.7	-	-	0.0	-	0.0	0.5
Single-Unit Trucks	0	0	24	-	24	0	19	0	-	19	0	0	0	-	0	43
% Single-Unit Trucks	-	0.0	2.7	-	2.6	-	2.6	0.0	-	2.6	-	-	0.0	-	0.0	2.6
Articulated Trucks	0	0	9	-	9	0	27	0	-	27	0	0	0	-	0	36
% Articulated Trucks	-	0.0	1.0	-	1.0	-	3.7	0.0	-	3.7	-	-	0.0	-	0.0	2.2
Bicycles on Road	0	0	1	-	1	0	0	0	-	0	0	0	0	-	0	1
% Bicycles on Road	-	0.0	0.1	-	0.1	-	0.0	0.0	-	0.0	-	-	0.0	-	0.0	0.1
Pedestrians	-	-	-	1	-	-	-	-	0	-	-	-	-	4	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	100.0	-	-



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### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Roosevelt Road Eastbound					Roosevelt Road Westbound					Scoville Avenue Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
4:30 PM	0	1	174	0	175	0	200	3	0	203	0	0	0	1	0	378
4:45 PM	0	0	172	0	172	0	175	3	0	178	0	0	5	2	5	355
5:00 PM	0	4	166	0	170	0	201	5	1	206	0	2	7	7	9	385
5:15 PM	0	1	192	0	193	0	193	1	0	194	1	1	4	16	6	393
Total	0	6	704	0	710	0	769	12	1	781	1	3	16	26	20	1511
Approach %	0.0	0.8	99.2	-	-	0.0	98.5	1.5	-	-	5.0	15.0	80.0	-	-	-
Total %	0.0	0.4	46.6	-	47.0	0.0	50.9	0.8	-	51.7	0.1	0.2	1.1	-	1.3	-
PHF	0.000	0.375	0.917	-	0.920	0.000	0.956	0.600	-	0.948	0.250	0.375	0.571	-	0.556	0.961
Lights	0	6	689	-	695	0	748	12	-	760	1	3	16	-	20	1475
% Lights	-	100.0	97.9	-	97.9	-	97.3	100.0	-	97.3	100.0	100.0	100.0	-	100.0	97.6
Buses	0	0	3	-	3	0	3	0	-	3	0	0	0	-	0	6
% Buses	-	0.0	0.4	-	0.4	-	0.4	0.0	-	0.4	0.0	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	0	6	-	6	0	8	0	-	8	0	0	0	-	0	14
% Single-Unit Trucks	-	0.0	0.9	-	0.8	-	1.0	0.0	-	1.0	0.0	0.0	0.0	-	0.0	0.9
Articulated Trucks	0	0	6	-	6	0	8	0	-	8	0	0	0	-	0	14
% Articulated Trucks	-	0.0	0.9	-	0.8	-	1.0	0.0	-	1.0	0.0	0.0	0.0	-	0.0	0.9
Bicycles on Road	0	0	0	-	0	0	2	0	-	2	0	0	0	-	0	2
% Bicycles on Road	-	0.0	0.0	-	0.0	-	0.3	0.0	-	0.3	0.0	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	0	-	-	-	-	1	-	-	-	-	26	-	-
% Pedestrians	-	-	-	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-



Kenig Lindgren O'Hara Aboona, Inc.  
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### Turning Movement Data

Start Time	Fillmore Street Eastbound					Roosevelt Road Westbound					Gunderson Avenue Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	2	249	3	251	0	165	0	0	165	0	0	1	0	1	417
7:15 AM	0	0	217	3	217	0	190	0	0	190	0	1	1	3	2	409
7:30 AM	0	1	218	4	219	0	190	1	0	191	0	0	3	2	3	413
7:45 AM	0	2	200	2	202	0	183	1	0	184	0	1	3	2	4	390
Hourly Total	0	5	884	12	889	0	728	2	0	730	0	2	8	7	10	1629
8:00 AM	0	1	166	5	167	0	183	0	0	183	0	0	2	1	2	352
8:15 AM	0	1	197	5	198	0	205	2	0	207	0	0	1	1	1	406
8:30 AM	0	3	149	2	152	0	175	1	0	176	0	0	4	1	4	332
8:45 AM	0	2	154	0	156	0	162	0	0	162	0	0	0	1	0	318
Hourly Total	0	7	666	12	673	0	725	3	0	728	0	0	7	4	7	1408
*** BREAK ***																
4:00 PM	0	1	163	4	164	0	193	1	0	194	0	1	2	1	3	361
4:15 PM	0	3	173	2	176	0	199	0	0	199	0	0	3	1	3	378
4:30 PM	0	1	172	4	173	0	206	1	0	207	0	0	1	3	1	381
4:45 PM	0	1	174	1	175	0	185	0	0	185	0	0	0	3	0	360
Hourly Total	0	6	682	11	688	0	783	2	0	785	0	1	6	8	7	1480
5:00 PM	0	0	169	8	169	0	192	3	0	195	0	2	0	5	2	366
5:15 PM	0	2	188	2	190	0	190	0	0	190	0	1	1	12	2	382
5:30 PM	0	0	187	4	187	1	176	0	3	177	0	0	1	5	1	365
5:45 PM	0	0	171	4	171	0	169	2	0	171	0	0	2	1	2	344
Hourly Total	0	2	715	18	717	1	727	5	3	733	0	3	4	23	7	1457
Grand Total	0	20	2947	53	2967	1	2963	12	3	2976	0	6	25	42	31	5974
Approach %	0.0	0.7	99.3	-	-	0.0	99.6	0.4	-	-	0.0	19.4	80.6	-	-	-
Total %	0.0	0.3	49.3	-	49.7	0.0	49.6	0.2	-	49.8	0.0	0.1	0.4	-	0.5	-
Lights	0	19	2848	-	2867	1	2838	12	-	2851	0	6	23	-	29	5747
% Lights	-	95.0	96.6	-	96.6	100.0	95.8	100.0	-	95.8	-	100.0	92.0	-	93.5	96.2
Buses	0	0	9	-	9	0	13	0	-	13	0	0	0	-	0	22
% Buses	-	0.0	0.3	-	0.3	0.0	0.4	0.0	-	0.4	-	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	1	40	-	41	0	64	0	-	64	0	0	2	-	2	107
% Single-Unit Trucks	-	5.0	1.4	-	1.4	0.0	2.2	0.0	-	2.2	-	0.0	8.0	-	6.5	1.8
Articulated Trucks	0	0	48	-	48	0	46	0	-	46	0	0	0	-	0	94
% Articulated Trucks	-	0.0	1.6	-	1.6	0.0	1.6	0.0	-	1.5	-	0.0	0.0	-	0.0	1.6
Bicycles on Road	0	0	2	-	2	0	2	0	-	2	0	0	0	-	0	4
% Bicycles on Road	-	0.0	0.1	-	0.1	0.0	0.1	0.0	-	0.1	-	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
				100.0					100.0					100.0		





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### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Fillmore Street Eastbound					Roosevelt Road Westbound					Gunderson Avenue Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	2	249	3	251	0	165	0	0	165	0	0	1	0	1	417
7:15 AM	0	0	217	3	217	0	190	0	0	190	0	1	1	3	2	409
7:30 AM	0	1	218	4	219	0	190	1	0	191	0	0	3	2	3	413
7:45 AM	0	2	200	2	202	0	183	1	0	184	0	1	3	2	4	390
Total	0	5	884	12	889	0	728	2	0	730	0	2	8	7	10	1629
Approach %	0.0	0.6	99.4	-	-	0.0	99.7	0.3	-	-	0.0	20.0	80.0	-	-	-
Total %	0.0	0.3	54.3	-	54.6	0.0	44.7	0.1	-	44.8	0.0	0.1	0.5	-	0.6	-
PHF	0.000	0.625	0.888	-	0.885	0.000	0.958	0.500	-	0.955	0.000	0.500	0.667	-	0.625	0.977
Lights	0	4	856	-	860	0	678	2	-	680	0	2	6	-	8	1548
% Lights	-	80.0	96.8	-	96.7	-	93.1	100.0	-	93.2	-	100.0	75.0	-	80.0	95.0
Buses	0	0	2	-	2	0	5	0	-	5	0	0	0	-	0	7
% Buses	-	0.0	0.2	-	0.2	-	0.7	0.0	-	0.7	-	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	1	14	-	15	0	23	0	-	23	0	0	2	-	2	40
% Single-Unit Trucks	-	20.0	1.6	-	1.7	-	3.2	0.0	-	3.2	-	0.0	25.0	-	20.0	2.5
Articulated Trucks	0	0	11	-	11	0	22	0	-	22	0	0	0	-	0	33
% Articulated Trucks	-	0.0	1.2	-	1.2	-	3.0	0.0	-	3.0	-	0.0	0.0	-	0.0	2.0
Bicycles on Road	0	0	1	-	1	0	0	0	-	0	0	0	0	-	0	1
% Bicycles on Road	-	0.0	0.1	-	0.1	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	12	-	-	-	-	0	-	-	-	-	7	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	100.0	-	-



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### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Fillmore Street Eastbound					Roosevelt Road Westbound					Gunderson Avenue Southbound					
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
4:30 PM	0	1	172	4	173	0	206	1	0	207	0	0	1	3	1	381
4:45 PM	0	1	174	1	175	0	185	0	0	185	0	0	0	3	0	360
5:00 PM	0	0	169	8	169	0	192	3	0	195	0	2	0	5	2	366
5:15 PM	0	2	188	2	190	0	190	0	0	190	0	1	1	12	2	382
Total	0	4	703	15	707	0	773	4	0	777	0	3	2	23	5	1489
Approach %	0.0	0.6	99.4	-	-	0.0	99.5	0.5	-	-	0.0	60.0	40.0	-	-	-
Total %	0.0	0.3	47.2	-	47.5	0.0	51.9	0.3	-	52.2	0.0	0.2	0.1	-	0.3	-
PHF	0.000	0.500	0.935	-	0.930	0.000	0.938	0.333	-	0.938	0.000	0.375	0.500	-	0.625	0.974
Lights	0	4	688	-	692	0	752	4	-	756	0	3	2	-	5	1453
% Lights	-	100.0	97.9	-	97.9	-	97.3	100.0	-	97.3	-	100.0	100.0	-	100.0	97.6
Buses	0	0	3	-	3	0	3	0	-	3	0	0	0	-	0	6
% Buses	-	0.0	0.4	-	0.4	-	0.4	0.0	-	0.4	-	0.0	0.0	-	0.0	0.4
Single-Unit Trucks	0	0	5	-	5	0	7	0	-	7	0	0	0	-	0	12
% Single-Unit Trucks	-	0.0	0.7	-	0.7	-	0.9	0.0	-	0.9	-	0.0	0.0	-	0.0	0.8
Articulated Trucks	0	0	7	-	7	0	9	0	-	9	0	0	0	-	0	16
% Articulated Trucks	-	0.0	1.0	-	1.0	-	1.2	0.0	-	1.2	-	0.0	0.0	-	0.0	1.1
Bicycles on Road	0	0	0	-	0	0	2	0	-	2	0	0	0	-	0	2
% Bicycles on Road	-	0.0	0.0	-	0.0	-	0.3	0.0	-	0.3	-	0.0	0.0	-	0.0	0.1
Pedestrians	-	-	-	15	-	-	-	-	0	-	-	-	-	23	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	0	-	-	-	-	100.0	-	-





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Count Name: East and Fillmore  
Site Code:  
Start Date: 04/24/2018  
Page No: 3

### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Fillmore Street Eastbound					Fillmore Street Westbound					East Avenue Northbound					East Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	2	14	0	3	16	0	2	2	4	0	8	0	0	35	3	0	0	38	0	5	13	0	1	18	80
7:15 AM	0	6	12	1	2	19	0	1	3	4	2	8	0	2	56	1	1	59	0	3	26	2	2	31	117	
7:30 AM	0	8	4	1	3	13	0	4	8	10	5	22	0	6	71	2	2	79	0	2	29	4	2	35	149	
7:45 AM	0	4	11	2	8	17	0	1	5	2	4	8	0	3	72	3	4	78	0	2	45	2	1	49	152	
Total	0	20	41	4	16	65	0	8	18	20	11	46	0	11	234	9	7	254	0	12	113	8	6	133	498	
Approach %	0.0	30.8	63.1	6.2	-	-	0.0	17.4	39.1	43.5	-	-	0.0	4.3	92.1	3.5	-	-	0.0	9.0	85.0	6.0	-	-	-	
Total %	0.0	4.0	8.2	0.8	-	13.1	0.0	1.6	3.6	4.0	-	9.2	0.0	2.2	47.0	1.8	-	51.0	0.0	2.4	22.7	1.6	-	26.7	-	
PHF	0.000	0.625	0.732	0.500	-	0.855	0.000	0.500	0.563	0.500	-	0.523	0.000	0.458	0.813	0.750	-	0.804	0.000	0.600	0.628	0.500	-	0.679	0.819	
% Lights	0	20	41	4	-	65	0	8	18	20	-	46	0	11	226	9	-	246	0	12	109	8	-	129	486	
% Lights	-	100.0	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	-	100.0	96.6	100.0	-	96.9	-	100.0	96.5	100.0	-	97.0	97.6	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	3	0	-	3	0	0	1	0	-	1	4	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	1.3	0.0	-	1.2	-	0.0	0.9	0.0	-	0.8	0.8	
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	4	0	-	4	0	0	0	0	-	0	4	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	1.7	0.0	-	1.6	-	0.0	0.0	0.0	-	0.0	0.8	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	3	0	-	3	4	
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.4	0.0	-	0.4	-	0.0	2.7	0.0	-	2.3	0.8	
Pedestrians	-	-	-	-	16	-	-	-	-	-	11	-	-	-	-	-	7	-	-	-	-	-	6	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	





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Site Code:  
Start Date: 04/24/2018  
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### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Fillmore Street Eastbound					Fillmore Street Westbound					East Avenue Northbound					East Avenue Southbound									
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
4:30 PM	0	0	4	7	1	11	0	2	4	2	0	8	0	0	36	6	3	42	0	1	51	3	3	55	116
4:45 PM	0	0	12	3	3	15	0	6	7	5	0	18	0	7	34	1	2	42	0	3	66	9	6	78	153
5:00 PM	0	4	10	5	3	19	0	11	17	7	5	35	0	4	32	6	0	42	0	4	71	8	1	83	179
5:15 PM	0	3	11	8	2	22	0	5	7	2	5	14	0	1	31	3	5	35	0	3	67	6	5	76	147
Total	0	7	37	23	9	67	0	24	35	16	10	75	0	12	133	16	10	161	0	11	255	26	15	292	595
Approach %	0.0	10.4	55.2	34.3	-	-	0.0	32.0	46.7	21.3	-	-	0.0	7.5	82.6	9.9	-	-	0.0	3.8	87.3	8.9	-	-	-
Total %	0.0	1.2	6.2	3.9	-	11.3	0.0	4.0	5.9	2.7	-	12.6	0.0	2.0	22.4	2.7	-	27.1	0.0	1.8	42.9	4.4	-	49.1	-
PHF	0.000	0.438	0.771	0.719	-	0.761	0.000	0.545	0.515	0.571	-	0.536	0.000	0.429	0.924	0.667	-	0.958	0.000	0.688	0.898	0.722	-	0.880	0.831
% Lights	0	6	37	23	-	66	0	24	35	16	-	75	0	12	132	16	-	160	0	11	251	25	-	287	588
% Lights	-	85.7	100.0	100.0	-	98.5	-	100.0	100.0	100.0	-	100.0	-	100.0	99.2	100.0	-	99.4	-	100.0	98.4	96.2	-	98.3	98.8
Buses	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	1	-	2	3
% Buses	-	14.3	0.0	0.0	-	1.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.4	3.8	-	0.7	0.5
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	3	0	-	3	4
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.8	0.0	-	0.6	-	0.0	1.2	0.0	-	1.0	0.7
Pedestrians	-	-	-	-	9	-	-	-	-	-	10	-	-	-	-	-	-	10	-	-	-	-	15	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	-	100.0	-	-	-	-	100.0	-	-



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Start Date: 04/24/2018  
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### Turning Movement Data

Start Time	Fillmore Street Eastbound						Fillmore Street Westbound						Scoville Avenue Northbound						Scoville Avenue Southbound							
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	1	18	3	3	22	0	0	5	0	1	5	0	1	5	1	2	7	0	0	0	0	0	2	0	34
7:15 AM	0	2	14	2	3	18	0	2	3	0	2	5	0	3	3	3	0	9	0	0	0	0	0	3	0	32
7:30 AM	0	1	6	0	1	7	0	2	11	1	1	14	0	5	3	1	2	9	0	0	0	0	1	2	1	31
7:45 AM	0	3	16	1	0	20	0	1	7	0	2	8	0	0	5	4	4	9	0	1	0	1	7	2	39	
Hourly Total	0	7	54	6	7	67	0	5	26	1	6	32	0	9	16	9	8	34	0	1	0	2	14	3	136	
8:00 AM	0	1	15	2	1	18	0	0	5	1	0	6	0	0	3	1	1	4	0	4	3	1	5	8	36	
8:15 AM	0	1	8	0	1	9	0	0	5	0	0	5	0	3	1	2	3	6	0	0	1	0	5	1	21	
8:30 AM	0	0	7	1	0	8	0	1	8	0	2	9	0	4	1	1	0	6	0	0	1	1	0	2	25	
8:45 AM	0	1	8	1	0	10	0	0	4	0	0	4	0	0	0	1	1	1	0	1	0	2	0	3	18	
Hourly Total	0	3	38	4	2	45	0	1	22	1	2	24	0	7	5	5	5	17	0	5	5	4	10	14	100	
*** BREAK ***																										
4:00 PM	0	0	16	2	1	18	0	1	14	0	5	15	0	3	1	2	5	6	0	0	2	0	2	2	2	41
4:15 PM	0	1	13	1	2	15	0	1	16	0	4	17	0	3	2	0	2	5	0	1	1	2	2	4	41	
4:30 PM	0	1	8	1	4	10	0	0	8	1	1	9	0	1	3	2	1	6	0	1	0	1	6	2	27	
4:45 PM	0	0	13	2	3	15	0	1	14	1	0	16	0	3	0	1	3	4	0	1	2	2	2	5	40	
Hourly Total	0	2	50	6	10	58	0	3	52	2	10	57	0	10	6	5	11	21	0	3	5	5	12	13	149	
5:00 PM	1	1	18	0	0	20	0	3	25	0	1	28	0	8	5	1	0	14	0	0	2	1	0	3	65	
5:15 PM	0	0	12	4	0	16	0	2	15	1	2	18	0	2	2	1	5	5	0	0	1	0	11	1	40	
5:30 PM	0	0	12	2	1	14	0	1	12	0	1	13	0	7	0	3	3	10	0	1	1	2	10	4	41	
5:45 PM	0	2	18	1	3	21	0	3	19	0	2	22	0	1	0	1	12	2	0	0	1	2	3	3	48	
Hourly Total	1	3	60	7	4	71	0	9	71	1	6	81	0	18	7	6	20	31	0	1	5	5	24	11	194	
Grand Total	1	15	202	23	23	241	0	18	171	5	24	194	0	44	34	25	44	103	0	10	15	16	60	41	579	
Approach %	0.4	6.2	83.8	9.5	-	-	0.0	9.3	88.1	2.6	-	-	0.0	42.7	33.0	24.3	-	-	0.0	24.4	36.6	39.0	-	-	-	
Total %	0.2	2.6	34.9	4.0	-	41.6	0.0	3.1	29.5	0.9	-	33.5	0.0	7.6	5.9	4.3	-	17.8	0.0	1.7	2.6	2.8	-	7.1	-	
Lights	1	15	195	23	-	234	0	18	165	4	-	187	0	44	34	24	-	102	0	8	15	15	-	38	561	
% Lights	100.0	100.0	96.5	100.0	-	97.1	-	100.0	96.5	80.0	-	96.4	-	100.0	100.0	96.0	-	99.0	-	80.0	100.0	93.8	-	92.7	96.9	
Buses	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	1	-	1	0	2	0	0	-	2	4	
% Buses	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.6	0.0	-	0.5	-	0.0	0.0	4.0	-	1.0	-	20.0	0.0	0.0	-	4.9	0.7	
Single-Unit Trucks	0	0	2	0	-	2	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	1	-	1	4	
% Single-Unit Trucks	0.0	0.0	1.0	0.0	-	0.8	-	0.0	0.6	0.0	-	0.5	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	6.3	-	2.4	0.7	
Articulated Trucks	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1	
% Articulated Trucks	0.0	0.0	0.5	0.0	-	0.4	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.2	
Bicycles on Road	0	0	4	0	-	4	0	0	4	1	-	5	0	0	0	0	-	0	0	0	0	0	-	0	9	
% Bicycles on Road	0.0	0.0	2.0	0.0	-	1.7	-	0.0	2.3	20.0	-	2.6	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.6	
Pedestrians	-	-	-	-	-	23	-	-	-	-	-	24	-	-	-	-	-	44	-	-	-	-	-	60	-	



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Start Date: 04/24/2018  
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### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Fillmore Street Eastbound					Fillmore Street Westbound					Scoville Avenue Northbound					Scoville Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	1	18	3	3	22	0	0	5	0	1	5	0	1	5	1	1	2	7	0	0	0	0	2	0	34
7:15 AM	0	2	14	2	3	18	0	2	3	0	2	5	0	3	3	3	0	9	0	0	0	0	3	0	32	
7:30 AM	0	1	6	0	1	7	0	2	11	1	1	14	0	5	3	1	2	9	0	0	0	1	2	1	31	
7:45 AM	0	3	16	1	0	20	0	1	7	0	2	8	0	0	5	4	4	9	0	1	0	1	7	2	39	
Total	0	7	54	6	7	67	0	5	26	1	6	32	0	9	16	9	8	34	0	1	0	2	14	3	136	
Approach %	0.0	10.4	80.6	9.0	-	-	0.0	15.6	81.3	3.1	-	-	0.0	26.5	47.1	26.5	-	-	0.0	33.3	0.0	66.7	-	-	-	
Total %	0.0	5.1	39.7	4.4	-	49.3	0.0	3.7	19.1	0.7	-	23.5	0.0	6.6	11.8	6.6	-	25.0	0.0	0.7	0.0	1.5	-	-	-	
PHF	0.000	0.583	0.750	0.500	-	0.761	0.000	0.625	0.591	0.250	-	0.571	0.000	0.450	0.800	0.563	-	0.944	0.000	0.250	0.000	0.500	-	-	0.375	
Lights	0	7	54	6	-	67	0	5	26	0	-	31	0	9	16	8	-	33	0	0	0	2	-	2	133	
% Lights	-	100.0	100.0	100.0	-	100.0	-	100.0	100.0	0.0	-	96.9	-	100.0	100.0	88.9	-	97.1	-	-	0.0	100.0	-	-	-	97.8
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	1	-	1	0	1	0	0	-	1	2	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	11.1	-	2.9	-	100.0	-	0.0	-	-	33.3	1.5
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	1	
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	100.0	-	3.1	-	0.0	0.0	0.0	-	0.0	-	-	0.0	-	0.0	-	0.0	0.7
Pedestrians	-	-	-	-	7	-	-	-	-	-	6	-	-	-	-	-	8	-	-	-	-	-	14	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Fillmore and Scoville  
Site Code:  
Start Date: 04/24/2018  
Page No: 4

### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Fillmore Street Eastbound					Fillmore Street Westbound					Scoville Avenue Northbound					Scoville Avenue Southbound									
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
4:30 PM	0	1	8	1	4	10	0	0	8	1	1	9	0	1	3	2	1	6	0	1	0	1	6	2	27
4:45 PM	0	0	13	2	3	15	0	1	14	1	0	16	0	3	0	1	3	4	0	1	2	2	2	5	40
5:00 PM	1	1	18	0	0	20	0	3	25	0	1	28	0	8	5	1	0	14	0	0	2	1	0	3	65
5:15 PM	0	0	12	4	0	16	0	2	15	1	2	18	0	2	2	1	5	5	0	0	1	0	11	1	40
Total	1	2	51	7	7	61	0	6	62	3	4	71	0	14	10	5	9	29	0	2	5	4	19	11	172
Approach %	1.6	3.3	83.6	11.5	-	-	0.0	8.5	87.3	4.2	-	-	0.0	48.3	34.5	17.2	-	-	0.0	18.2	45.5	36.4	-	-	-
Total %	0.6	1.2	29.7	4.1	-	35.5	0.0	3.5	36.0	1.7	-	41.3	0.0	8.1	5.8	2.9	-	16.9	0.0	1.2	2.9	2.3	-	6.4	
PHF	0.250	0.500	0.708	0.438	-	0.763	0.000	0.500	0.620	0.750	-	0.634	0.000	0.438	0.500	0.625	-	0.518	0.000	0.500	0.625	0.500	-	0.550	0.662
% Lights	1	2	51	7	-	61	0	6	61	3	-	70	0	14	10	5	-	29	0	2	5	4	-	11	171
% Buses	100.0	100.0	100.0	100.0	-	100.0	-	100.0	98.4	100.0	-	98.6	-	100.0	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	99.4
% Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	1
Pedestrians	-	-	-	-	7	-	-	-	1.6	0.0	-	1.4	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.6
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	4	-	-	-	-	-	9	-	-	-	-	-	19	-	-
	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-





Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

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(847)518-9990

Count Name: Fillmore and Gunderson  
Site Code:  
Start Date: 04/24/2018  
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### Turning Movement Data

Start Time	Fillmore Street Eastbound						Fillmore Street Westbound						Gunderson Avenue Northbound						Gunderson Avenue Southbound												
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	3	15	2	2	20	0	1	2	1	1	4	0	0	0	0	2	2	2	0	0	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	14	4	0	0	18	0	0	3	1	0	4	0	0	0	0	0	1	0	1	0	1	1	1	3	1	0	1	1	1	3
7:30 AM	0	6	3	1	1	10	0	1	8	3	3	12	0	0	1	0	1	3	2	0	0	0	0	1	2	0	0	0	0	1	2
7:45 AM	0	14	8	3	1	25	0	0	4	4	0	8	0	3	1	2	4	6	0	1	0	0	9	1	0	1	0	0	9	1	
Hourly Total	0	37	30	6	4	73	0	2	17	9	4	28	0	4	1	5	10	10	1	1	1	2	12	5	1	1	1	2	12	5	
8:00 AM	0	11	10	0	1	21	1	1	4	5	1	11	0	0	0	0	1	0	2	0	0	2	4	4	2	0	0	2	4	4	
8:15 AM	0	4	6	0	1	10	0	0	3	1	2	4	0	0	0	0	3	0	0	0	1	1	3	2	0	0	1	1	3	2	
8:30 AM	0	7	4	0	0	11	0	0	5	0	0	5	0	0	1	0	0	1	0	0	0	2	1	2	0	0	0	2	1	2	
8:45 AM	0	6	3	0	0	9	0	0	1	2	0	3	1	1	0	0	0	1	0	0	0	3	0	3	0	0	0	3	0	3	
Hourly Total	0	28	23	0	2	51	1	1	13	8	3	23	1	0	1	0	4	2	2	0	1	8	8	11	2	0	1	8	8	11	
*** BREAK ***																															
4:00 PM	0	1	13	1	1	15	0	0	13	2	2	15	0	0	0	0	0	7	0	0	0	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	12	1	1	13	0	1	13	0	0	14	0	0	1	1	0	2	0	0	0	5	5	5	0	0	0	5	5	5	
4:30 PM	0	2	10	0	1	12	0	0	7	0	0	7	0	0	0	0	0	0	0	0	0	1	2	1	0	0	0	1	2	1	
4:45 PM	0	0	13	0	2	13	0	0	13	1	1	14	0	1	0	1	2	2	0	1	2	2	1	5	0	1	2	2	1	5	
Hourly Total	0	3	48	2	5	53	0	1	46	3	3	50	0	1	1	2	9	4	0	1	2	8	8	11	0	1	2	8	8	11	
5:00 PM	0	3	14	1	1	18	0	0	23	1	2	24	0	1	0	0	0	1	0	1	1	5	0	7	0	1	1	5	0	7	
5:15 PM	0	0	12	0	0	12	0	0	18	1	1	19	0	0	0	0	5	0	0	0	0	2	12	2	0	0	0	2	12	2	
5:30 PM	0	0	14	2	3	16	0	0	14	0	2	14	0	0	2	1	5	3	0	1	1	1	9	3	0	1	1	1	9	3	
5:45 PM	0	1	19	0	2	20	0	1	16	1	0	18	0	2	1	0	6	3	0	1	2	4	8	7	0	1	2	4	8	7	
Hourly Total	0	4	59	3	6	66	0	1	71	3	5	75	0	3	3	1	16	7	0	3	4	12	29	19	0	3	4	12	29	19	
Grand Total	0	72	160	11	17	243	1	5	147	23	15	176	1	8	6	8	39	23	3	5	8	30	57	46	3	5	8	30	57	46	
Approach %	0.0	29.6	65.8	4.5	-	-	0.6	2.8	83.5	13.1	-	-	4.3	34.8	26.1	34.8	-	-	6.5	10.9	17.4	65.2	-	-	6.5	10.9	17.4	65.2	-	-	
Total %	0.0	14.8	32.8	2.3	-	49.8	0.2	1.0	30.1	4.7	-	36.1	0.2	1.6	1.2	1.6	-	4.7	0.6	1.0	1.6	6.1	-	9.4	0.6	1.0	1.6	6.1	-	9.4	
Lights	0	69	152	11	-	232	0	5	141	20	-	166	1	8	5	8	-	22	2	4	7	28	-	41	2	4	7	28	-	41	
% Lights	-	95.8	95.0	100.0	-	95.5	0.0	100.0	95.9	87.0	-	94.3	100.0	100.0	83.3	100.0	-	95.7	66.7	80.0	87.5	93.3	-	89.1	66.7	80.0	87.5	93.3	-	89.1	
Buses	0	1	2	0	-	3	0	0	1	1	-	2	0	0	0	0	-	0	1	0	0	0	-	1	1	0	0	0	-	1	
% Buses	-	1.4	1.3	0.0	-	1.2	0.0	0.0	0.7	4.3	-	1.1	0.0	0.0	0.0	0.0	-	0.0	33.3	0.0	0.0	0.0	-	2.2	33.3	0.0	0.0	0.0	-	2.2	
Single-Unit Trucks	0	0	1	0	-	1	0	0	0	1	-	1	0	0	0	0	-	0	0	1	0	1	-	2	0	1	0	1	-	2	
% Single-Unit Trucks	-	0.0	0.6	0.0	-	0.4	0.0	0.0	0.0	4.3	-	0.6	0.0	0.0	0.0	0.0	-	0.0	0.0	20.0	0.0	3.3	-	4.3	0.0	20.0	0.0	3.3	-	4.3	
Articulated Trucks	0	1	1	0	-	2	1	0	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	
% Articulated Trucks	-	1.4	0.6	0.0	-	0.8	100.0	0.0	0.0	0.0	-	0.6	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	
Bicycles on Road	0	1	4	0	-	5	0	0	5	1	-	6	0	0	1	0	-	1	0	0	1	1	-	2	0	0	1	1	-	2	
% Bicycles on Road	-	1.4	2.5	0.0	-	2.1	0.0	0.0	3.4	4.3	-	3.4	0.0	0.0	16.7	0.0	-	4.3	0.0	0.0	12.5	3.3	-	4.3	0.0	0.0	12.5	3.3	-	4.3	
Pedestrians	-	-	-	-	-	17	-	-	-	-	-	15	-	-	-	-	-	39	-	-	-	-	-	57	-	-	-	-	-	57	



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9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Fillmore and Gunderson  
Site Code:  
Start Date: 04/24/2018  
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### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Fillmore Street Eastbound						Fillmore Street Westbound						Gunderson Avenue Northbound						Gunderson Avenue Southbound																		
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:00 AM	0	3	15	2	2	20	0	1	2	1	1	4	0	0	0	0	2	2	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	14	4	0	0	18	0	0	3	1	0	4	0	0	0	0	0	1	0	1	0	1	1	1	3	1	0	1	1	1	1	1	1	1	1	3	
7:30 AM	0	6	3	1	1	10	0	1	8	3	3	12	0	1	0	1	3	2	0	0	0	0	1	2	0	0	0	0	1	2	1	1	2	1	25		
7:45 AM	0	14	8	3	1	25	0	0	4	4	0	8	0	3	1	2	4	6	0	1	0	0	9	1	0	1	0	0	9	1	1	0	9	1	40		
Total	0	37	30	6	4	73	0	2	17	9	4	28	0	4	1	5	10	10	1	1	1	2	12	5	1	1	1	2	12	5	116						
Approach %	0.0	50.7	41.1	8.2	-	-	0.0	7.1	60.7	32.1	-	-	0.0	40.0	10.0	50.0	-	-	20.0	20.0	20.0	40.0	-	-	20.0	20.0	20.0	40.0	-	-	-	-	-	-	-		
Total %	0.0	31.9	25.9	5.2	-	62.9	0.0	1.7	14.7	7.8	-	24.1	0.0	3.4	0.9	4.3	-	8.6	0.9	0.9	0.9	1.7	-	4.3	0.9	0.9	0.9	1.7	-	4.3	-	-	-	-	-		
PHF	0.000	0.661	0.500	0.500	-	0.730	0.000	0.500	0.531	0.563	-	0.583	0.000	0.333	0.250	0.625	-	0.417	0.250	0.250	0.250	0.500	-	0.417	0.250	0.250	0.250	0.500	-	0.417	-	-	-	-	0.725		
Lights	0	36	29	6	-	71	0	2	16	6	-	24	0	4	0	5	-	9	1	0	1	2	-	4	1	0	1	2	-	4	108						
% Lights	-	97.3	96.7	100.0	-	97.3	-	100.0	94.1	66.7	-	85.7	-	100.0	0.0	100.0	-	90.0	100.0	0.0	100.0	100.0	-	80.0	100.0	0.0	100.0	100.0	-	80.0	93.1						
Buses	0	1	1	0	-	2	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	3						
% Buses	-	2.7	3.3	0.0	-	2.7	-	0.0	0.0	11.1	-	3.6	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	2.6						
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	1	-	1	0	0	0	0	-	0	0	1	0	0	-	1	0	1	0	0	-	1	2						
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	11.1	-	3.6	-	0.0	0.0	0.0	-	0.0	0.0	100.0	0.0	0.0	-	20.0	0.0	100.0	0.0	0.0	-	20.0	1.7						
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0						
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0						
Bicycles on Road	0	0	0	0	-	0	0	0	1	1	-	2	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	3						
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	5.9	11.1	-	7.1	-	0.0	100.0	0.0	-	10.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	2.6						
Pedestrians	-	-	-	-	4	-	-	-	-	-	4	-	-	-	-	-	10	-	-	-	-	-	12	-	-	-	-	-	12	-	-						
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-						



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### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Fillmore Street Eastbound						Fillmore Street Westbound						Gunderson Avenue Northbound						Gunderson Avenue Southbound													
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
4:30 PM	0	2	10	0	0	12	0	0	7	0	0	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	20
4:45 PM	0	0	13	0	2	13	0	0	13	1	1	14	0	1	0	1	2	2	0	1	2	2	1	5	0	1	2	2	1	5	34	
5:00 PM	0	3	14	1	1	18	0	0	23	1	2	24	0	1	0	0	0	1	0	1	1	5	0	7	0	0	1	1	5	0	50	
5:15 PM	0	0	12	0	0	12	0	0	18	1	1	19	0	0	0	0	5	0	0	0	0	2	12	2	0	0	0	2	12	2	33	
Total	0	5	49	1	4	55	0	0	61	3	4	64	0	2	0	1	7	3	0	2	3	10	15	15	0	2	3	10	15	15	137	
Approach %	0.0	9.1	89.1	1.8	-	-	0.0	0.0	95.3	4.7	-	-	0.0	66.7	0.0	33.3	-	-	0.0	13.3	20.0	66.7	-	-	0.0	1.5	2.2	7.3	-	-	-	
Total %	0.0	3.6	35.8	0.7	-	40.1	0.0	0.0	44.5	2.2	-	46.7	0.0	1.5	0.0	0.7	-	2.2	0.0	0.500	0.375	0.500	-	0.536	0.000	0.500	0.375	0.500	-	0.536	0.685	
PHF	0.000	0.417	0.875	0.250	-	0.764	0.000	0.000	0.663	0.750	-	0.667	0.000	0.500	0.000	0.250	-	0.375	0.000	0.500	0.375	0.500	-	0.536	0.000	0.500	0.375	0.500	-	0.536	0.685	
Lights	0	5	49	1	-	55	0	0	60	3	-	63	0	2	0	1	-	3	0	2	2	10	-	14	0	2	2	10	-	14	135	
% Lights	-	100.0	100.0	100.0	-	100.0	-	-	98.4	100.0	-	98.4	-	100.0	-	100.0	-	100.0	-	100.0	66.7	100.0	-	93.3	-	100.0	66.7	100.0	-	93.3	98.5	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Buses	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	0	0	1	0	-	1	0	0	1	0	-	1	2	
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	-	1.6	0.0	-	1.6	-	0.0	-	0.0	-	0.0	-	0.0	33.3	0.0	-	6.7	-	0.0	33.3	0.0	-	6.7	1.5	
Pedestrians	-	-	-	-	4	-	-	-	-	-	4	-	-	-	-	-	7	-	-	-	-	-	15	-	-	-	-	-	15	-	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Scoville and Alley  
Site Code:  
Start Date: 04/24/2018  
Page No: 1

### Turning Movement Data

Start Time	Alley Eastbound					Alley Westbound					Scoville Avenue Northbound					Scoville Avenue Southbound										
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:00 AM	0	0	2	0	0	2	0	1	0	3	0	4	1	3	3	0	0	7	0	0	1	0	0	1	1	14
7:15 AM	0	2	0	1	0	3	0	0	0	1	0	1	0	1	4	0	0	5	0	0	4	0	0	1	4	13
7:30 AM	0	0	0	0	0	0	0	0	1	2	0	3	0	0	6	0	1	6	0	0	0	0	0	0	0	9
7:45 AM	0	0	0	0	0	0	0	0	2	3	0	5	0	0	6	0	0	6	0	0	1	1	0	0	2	13
Hourly Total	0	2	2	1	0	5	0	1	3	9	0	13	1	4	19	0	1	24	0	0	6	1	2	7	7	49
8:00 AM	0	1	0	0	0	1	0	0	0	1	0	1	0	0	1	0	0	1	0	0	2	0	0	0	2	5
8:15 AM	0	1	0	1	0	2	0	1	1	2	0	4	0	0	3	0	1	3	1	0	1	2	0	0	4	13
8:30 AM	0	1	0	2	0	3	0	0	1	2	1	3	0	0	1	0	0	1	0	0	3	0	0	0	3	10
8:45 AM	0	0	0	1	0	1	0	0	0	1	0	1	1	0	0	0	0	1	0	1	0	0	0	1	1	4
Hourly Total	0	3	0	4	0	7	0	1	2	6	1	9	1	0	5	0	1	6	1	1	6	2	1	1	10	32
*** BREAK ***																										
4:00 PM	0	0	2	0	0	2	0	1	0	0	0	1	0	1	6	0	0	7	0	0	3	0	0	3	3	13
4:15 PM	0	0	0	4	0	4	0	0	0	3	1	3	0	0	2	1	0	3	0	0	1	0	0	1	1	11
4:30 PM	0	0	2	0	0	2	0	0	1	1	0	2	0	0	4	0	0	4	0	0	0	1	0	1	1	9
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	0	3	0	0	5	1	0	0	6	9
Hourly Total	0	0	4	4	0	8	0	1	1	4	1	6	0	1	15	1	0	17	0	0	9	2	3	11	42	
5:00 PM	0	1	0	3	1	4	0	2	2	5	0	9	0	0	8	1	0	9	0	1	4	0	1	5	27	
5:15 PM	0	0	2	0	0	2	0	1	0	1	0	2	0	0	3	0	0	3	0	1	5	0	2	6	13	
5:30 PM	0	0	0	1	1	1	0	0	1	3	0	4	0	0	5	0	0	5	1	1	2	0	2	4	14	
5:45 PM	0	0	0	1	0	1	0	0	0	0	0	0	0	0	2	1	0	3	0	0	5	0	1	5	9	
Hourly Total	0	1	2	5	2	8	0	3	3	9	0	15	0	0	18	2	0	20	1	3	16	0	6	20	63	
Grand Total	0	6	8	14	2	28	0	6	9	28	2	43	2	5	57	3	2	67	2	4	37	5	12	48	186	
Approach %	0.0	21.4	28.6	50.0	-	-	0.0	14.0	20.9	65.1	-	-	3.0	7.5	85.1	4.5	-	-	4.2	8.3	77.1	10.4	-	-	-	
Total %	0.0	3.2	4.3	7.5	-	15.1	0.0	3.2	4.8	15.1	-	23.1	1.1	2.7	30.6	1.6	-	36.0	1.1	2.2	19.9	2.7	-	25.8	-	
Lights	0	6	6	14	-	26	0	6	8	28	-	42	2	5	56	3	-	66	2	4	37	5	-	48	182	
% Lights	-	100.0	75.0	100.0	-	92.9	-	100.0	88.9	100.0	-	97.7	100.0	100.0	98.2	100.0	-	98.5	100.0	100.0	100.0	100.0	-	100.0	97.8	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	1	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	1.8	0.0	-	1.5	0.0	0.0	0.0	0.0	-	0.0	0.5	
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	0	2	0	-	2	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	3	
% Bicycles on Road	-	0.0	25.0	0.0	-	7.1	-	0.0	11.1	0.0	-	2.3	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	1.6	
Pedestrians	-	-	-	-	-	2	-	-	-	-	-	2	-	-	-	-	-	-	-	-	-	-	-	12	-	







Kenig Lindgren O'Hara Aboona, Inc.  
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Count Name: Scoville and Alley  
Site Code:  
Start Date: 04/24/2018  
Page No: 4

### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Alley Eastbound					Alley Westbound					Scoville Avenue Northbound					Scoville Avenue Southbound																	
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total								
4:30 PM	0	0	2	0	0	2	0	0	1	1	0	2	0	0	4	0	0	0	4	0	0	0	0	1	0	1	0	0	0	0	0	1	9
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	0	3	0	0	5	1	0	0	6	0	0	5	1	0	6	9	
5:00 PM	0	1	0	3	1	4	0	2	2	5	0	9	0	0	8	1	0	9	0	1	4	0	0	1	5	0	1	4	0	1	5	27	
5:15 PM	0	0	2	0	0	2	0	1	0	1	0	2	0	0	3	0	0	3	0	1	5	0	2	0	6	0	1	5	0	2	6	13	
Total	0	1	4	3	1	8	0	3	3	7	0	13	0	0	18	1	0	19	0	2	14	2	3	3	18	0	2	14	2	3	18	58	
Approach %	0.0	12.5	50.0	37.5	-	-	0.0	23.1	23.1	53.8	-	-	0.0	0.0	94.7	5.3	-	-	0.0	11.1	77.8	11.1	-	-	-	0.0	3.4	24.1	3.4	-	31.0	-	
Total %	0.0	1.7	6.9	5.2	-	13.8	0.0	5.2	5.2	12.1	-	22.4	0.0	0.0	31.0	1.7	-	32.8	0.0	0.500	0.700	0.500	-	-	0.750	0.000	0.500	0.700	0.500	-	0.537	0.537	
PHF	0.000	0.250	0.500	0.250	-	0.500	0.000	0.375	0.375	0.350	-	0.361	0.000	0.000	0.563	0.250	-	0.528	0.000	0.000	0.500	0.500	-	-	0.750	0.000	0.500	0.700	0.500	-	0.537	0.537	
Lights	0	1	2	3	-	6	0	3	3	7	-	13	0	0	18	1	-	19	0	2	14	2	-	-	18	0	2	14	2	-	18	56	
% Lights	-	100.0	50.0	100.0	-	75.0	-	100.0	100.0	100.0	-	100.0	-	-	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	-	100.0	-	100.0	100.0	100.0	-	96.6	96.6	
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	0	0	0	-	0	0	
% Buses	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	0	0	0	-	0	0	
% Single-Unit Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	0	0	0	-	0	0	
% Articulated Trucks	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	
Bicycles on Road	0	0	2	0	-	2	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	-	0	0	0	0	0	-	0	2	
% Bicycles on Road	-	0.0	50.0	0.0	-	25.0	-	0.0	0.0	0.0	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	-	0.0	-	0.0	0.0	0.0	-	0.0	3.4	
Pedestrians	-	-	-	-	1	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	3	-	-	-	-	-	3	-	-		
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-		



Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990

Count Name: Gunderson and Alley  
Site Code:  
Start Date: 04/24/2018  
Page No: 1

### Turning Movement Data

Start Time	Alley Eastbound				Alley Westbound				Gunderson Avenue Northbound							
	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Thru	Left	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	2	0	2	0	2	0	0	2	0	0	0	0	0	4
7:15 AM	0	0	0	1	0	0	1	1	0	0	0	0	0	1	0	2
7:30 AM	0	0	0	0	0	0	2	3	3	2	0	0	0	0	0	2
7:45 AM	0	0	0	1	0	0	2	3	1	5	0	3	1	0	4	9
Hourly Total	0	0	2	2	2	0	8	4	4	11	0	3	1	1	4	17
8:00 AM	0	0	0	0	0	0	3	1	1	4	0	0	1	0	1	5
8:15 AM	0	2	0	0	2	0	4	2	2	4	0	0	1	0	1	7
8:30 AM	0	0	0	0	0	0	2	0	0	2	1	0	0	0	1	3
8:45 AM	0	0	1	0	1	0	1	1	1	1	0	0	1	0	1	3
Hourly Total	0	2	1	0	3	0	8	4	4	11	1	0	3	0	4	18
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	1	1	0	2	0	0	0	0	0	0	2	0	0	2	4
4:15 PM	0	0	0	0	0	0	1	0	2	1	0	2	0	0	2	3
4:30 PM	0	2	0	0	2	0	2	0	0	2	0	0	1	0	1	5
4:45 PM	0	0	0	0	0	0	2	1	1	2	0	0	1	0	1	3
Hourly Total	0	3	1	0	4	0	4	3	3	5	0	4	2	0	6	15
5:00 PM	0	0	2	0	2	0	5	1	1	5	0	2	1	0	3	10
5:15 PM	0	0	2	0	2	0	1	2	2	1	0	1	0	0	1	4
5:30 PM	0	0	1	2	1	0	3	0	0	3	0	0	1	0	1	5
5:45 PM	0	0	0	0	0	0	0	2	2	0	0	0	2	0	2	2
Hourly Total	0	0	5	2	5	0	9	5	5	9	0	3	4	0	7	21
Grand Total	0	5	9	4	14	0	29	16	16	36	1	10	10	1	21	71
Approach %	0.0	35.7	64.3	-	-	0.0	19.4	80.6	-	-	4.8	47.6	47.6	-	-	-
Total %	0.0	7.0	12.7	-	19.7	0.0	9.9	40.8	-	50.7	1.4	14.1	14.1	-	29.6	-
Lights	0	3	9	-	12	0	7	28	-	35	1	10	10	-	21	68
% Lights	-	60.0	100.0	-	85.7	-	100.0	96.6	-	97.2	100.0	100.0	100.0	-	100.0	95.8
Buses	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Buses	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Single-Unit Trucks	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	2	0	-	2	0	0	1	-	1	0	0	0	-	0	3
% Bicycles on Road	-	40.0	0.0	-	14.3	-	0.0	3.4	-	2.8	0.0	0.0	0.0	-	0.0	4.2
Pedestrians	-	-	-	4	-	-	-	16	-	-	-	-	-	1	-	-
% Pedestrians	-	-	-	100.0	-	-	-	100.0	-	-	-	-	-	100.0	-	-



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Count Name: Gunderson and Alley  
Site Code:  
Start Date: 04/24/2018  
Page No: 2

### Turning Movement Peak Hour Data (7:00 AM)

Start Time	Alley Eastbound				Alley Westbound				Gunderson Avenue Northbound							
	U-Turn	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	2	0	2	0	0	2	0	2	0	0	0	0	0	4
7:15 AM	0	0	0	1	0	0	1	1	0	2	0	0	0	1	0	2
7:30 AM	0	0	0	0	0	0	2	2	3	2	0	0	0	0	0	2
7:45 AM	0	0	0	1	0	2	3	1	1	5	0	3	1	0	4	9
Total	0	0	2	2	2	0	3	8	4	11	0	3	1	1	4	17
Approach %	0.0	0.0	100.0	-	-	0.0	27.3	72.7	-	-	0.0	75.0	25.0	-	-	-
Total %	0.0	0.0	11.8	-	11.8	0.0	17.6	47.1	-	64.7	0.0	17.6	5.9	-	23.5	-
PHF	0.000	0.000	0.250	-	0.250	0.000	0.375	0.667	-	0.550	0.000	0.250	0.250	-	0.250	0.472
Lights	0	0	2	2	2	0	3	8	1	11	0	3	1	1	4	17
% Lights	-	-	100.0	-	100.0	-	100.0	100.0	-	100.0	-	100.0	100.0	-	100.0	100.0
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Buses	-	-	0.0	-	0.0	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Single-Unit Trucks	-	-	0.0	-	0.0	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Articulated Trucks	-	-	0.0	-	0.0	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Bicycles on Road	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Bicycles on Road	-	-	0.0	-	0.0	-	0.0	0.0	-	0.0	-	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	2	-	-	-	-	4	-	-	-	-	1	-	-
% Pedestrians	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	100.0	-	-





**Scoville Avenue - 24-Hour Count - ATR**

Tue May 1, 2018

Full Length (12AM-12AM (+1))

All Classes (Lights, Single-Unit Trucks, Articulated Trucks, Buses, Bicycles on Road)

All Channels

ID: 518766, Location: 41.865744, -87.787593



Provided by: Kenig Lindgren O'Hara Aboona, Inc.  
9575 W. Higgins Rd., Suite 400,  
Rosemont, IL, 60018, US

Leg Direction	South Northbound		North Southbound		Int
	T	App	T	App	
Time					
2018-05-01 12:00AM	1	1	0	0	1
12:15AM	1	1	0	0	1
12:30AM	0	0	0	0	0
12:45AM	0	0	0	0	0
Hourly Total	2	2	0	0	2
1:00AM	0	0	0	0	0
1:15AM	0	0	0	0	0
1:30AM	0	0	0	0	0
1:45AM	1	1	0	0	1
Hourly Total	1	1	0	0	1
2:00AM	0	0	0	0	0
2:15AM	0	0	0	0	0
2:30AM	0	0	0	0	0
2:45AM	0	0	0	0	0
Hourly Total	0	0	0	0	0
3:00AM	0	0	0	0	0
3:15AM	0	0	0	0	0
3:30AM	0	0	0	0	0
3:45AM	0	0	0	0	0
Hourly Total	0	0	0	0	0
4:00AM	0	0	1	1	1
4:15AM	1	1	0	0	1
4:30AM	1	1	1	1	2
4:45AM	0	0	1	1	1
Hourly Total	2	2	3	3	5
5:00AM	0	0	1	1	1
5:15AM	0	0	1	1	1
5:30AM	0	0	1	1	1
5:45AM	1	1	1	1	2
Hourly Total	1	1	4	4	5
6:00AM	0	0	1	1	1
6:15AM	4	4	1	1	5
6:30AM	2	2	0	0	2
6:45AM	3	3	0	0	3
Hourly Total	9	9	2	2	11
7:00AM	7	7	2	2	9
7:15AM	7	7	2	2	9
7:30AM	7	7	2	2	9
7:45AM	11	11	5	5	16
Hourly Total	32	32	11	11	43
8:00AM	6	6	3	3	9
8:15AM	7	7	4	4	11
8:30AM	5	5	0	0	5
8:45AM	10	10	4	4	14
Hourly Total	28	28	11	11	39
9:00AM	3	3	1	1	4
9:15AM	1	1	3	3	4
9:30AM	1	1	0	0	1
9:45AM	0	0	0	0	0
Hourly Total	5	5	4	4	9
10:00AM	0	0	2	2	2
10:15AM	4	4	1	1	5
10:30AM	4	4	0	0	4

Leg Direction	South Northbound		North Southbound		Int
	T	App	T	App	
10:45AM	3	3	1	1	4
Hourly Total	11	11	4	4	15
11:00AM	5	5	1	1	6
11:15AM	4	4	2	2	6
11:30AM	4	4	1	1	5
11:45AM	1	1	4	4	5
Hourly Total	14	14	8	8	22
12:00PM	1	1	2	2	3
12:15PM	3	3	4	4	7
12:30PM	4	4	3	3	7
12:45PM	1	1	3	3	4
Hourly Total	9	9	12	12	21
1:00PM	3	3	1	1	4
1:15PM	0	0	1	1	1
1:30PM	3	3	2	2	5
1:45PM	1	1	0	0	1
Hourly Total	7	7	4	4	11
2:00PM	5	5	3	3	8
2:15PM	3	3	2	2	5
2:30PM	6	6	1	1	7
2:45PM	5	5	3	3	8
Hourly Total	19	19	9	9	28
3:00PM	7	7	5	5	12
3:15PM	6	6	3	3	9
3:30PM	1	1	2	2	3
3:45PM	5	5	6	6	11
Hourly Total	19	19	16	16	35
4:00PM	4	4	4	4	8
4:15PM	6	6	2	2	8
4:30PM	7	7	4	4	11
4:45PM	3	3	4	4	7
Hourly Total	20	20	14	14	34
5:00PM	6	6	5	5	11
5:15PM	9	9	6	6	15
5:30PM	3	3	9	9	12
5:45PM	7	7	5	5	12
Hourly Total	25	25	25	25	50
6:00PM	4	4	5	5	9
6:15PM	12	12	6	6	18
6:30PM	8	8	6	6	14
6:45PM	3	3	3	3	6
Hourly Total	27	27	20	20	47
7:00PM	2	2	1	1	3
7:15PM	1	1	6	6	7
7:30PM	1	1	2	2	3
7:45PM	1	1	2	2	3
Hourly Total	5	5	11	11	16
8:00PM	2	2	3	3	5
8:15PM	0	0	2	2	2
8:30PM	3	3	1	1	4
8:45PM	2	2	0	0	2
Hourly Total	7	7	6	6	13
9:00PM	2	2	1	1	3
9:15PM	1	1	2	2	3
9:30PM	1	1	0	0	1
9:45PM	1	1	1	1	2
Hourly Total	5	5	4	4	9
10:00PM	1	1	2	2	3
10:15PM	1	1	2	2	3
10:30PM	0	0	1	1	1

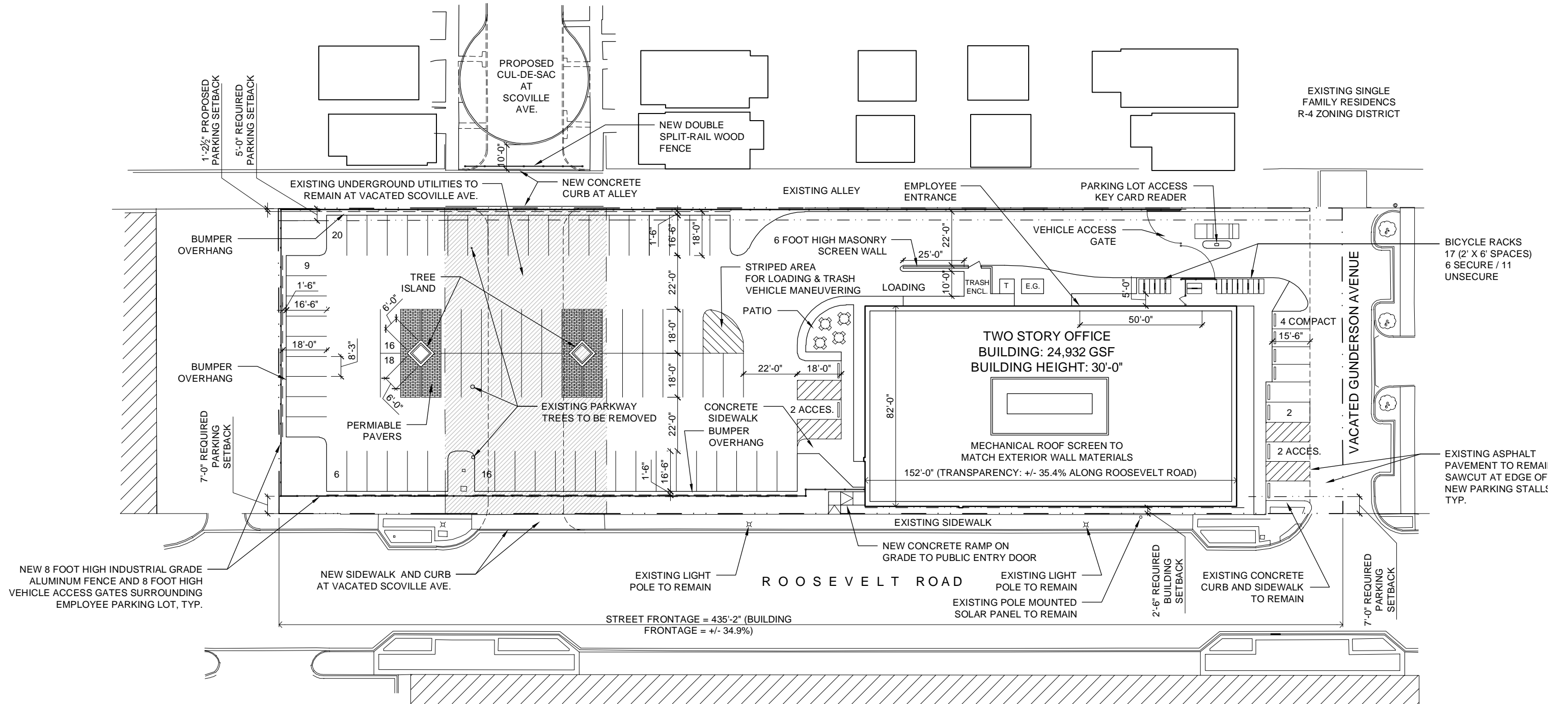
Leg Direction	South Northbound		North Southbound		
Time	T	App	T	App	Int
10:45PM	1	1	0	0	1
Hourly Total	3	3	5	5	8
11:00PM	0	0	0	0	0
11:15PM	1	1	0	0	1
11:30PM	0	0	0	0	0
11:45PM	0	0	0	0	0
Hourly Total	1	1	0	0	1
<b>Total</b>	252	252	173	173	425
<b>% Approach</b>	100%	-	100%	-	-
<b>% Total</b>	59.3%	59.3%	40.7%	40.7%	-
<b>Lights</b>	239	239	164	164	403
<b>% Lights</b>	94.8%	94.8%	94.8%	94.8%	94.8%
<b>Single-Unit Trucks</b>	4	4	4	4	8
<b>% Single-Unit Trucks</b>	1.6%	1.6%	2.3%	2.3%	1.9%
<b>Articulated Trucks</b>	2	2	1	1	3
<b>% Articulated Trucks</b>	0.8%	0.8%	0.6%	0.6%	0.7%
<b>Buses</b>	2	2	2	2	4
<b>% Buses</b>	0.8%	0.8%	1.2%	1.2%	0.9%
<b>Bicycles on Road</b>	5	5	2	2	7
<b>% Bicycles on Road</b>	2.0%	2.0%	1.2%	1.2%	1.6%

\*T: Thru

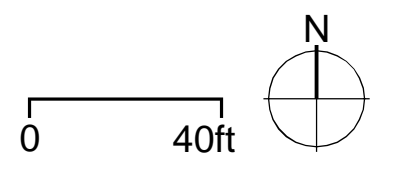


# Site Plan

# TURANO BAKING COMPANY



<b>SITE DATA:</b> SITE AREA: 54,406 SQ.FT. = +/- 1.25 ACRES BUILDING AREA: 24,932 GROSS SQ.FT. BUILDING COVERAGE: 22.9% (12,466 SQ.FT.) IMPERVIOUS SURFACE COVERAGE: 84.5% (45,962 SQ.FT.)	<b>PARKING DATA:</b> REQUIRED PARKING: 1 / 500 SQ.FT. GFA = 50 STALLS PROPOSED PARKING: 95 TOTAL (INCL. 4 ACCESS. STALLS) <b>PARKING LOT / LANDSCAPE DATA:</b> PARKING LOT AREA: +/- 36,778 SQ.FT.	<b>PARKING LOT / LANDSCAPE DATA (CONT.):</b> REQUIRED LANDSCAPED AREA (10%): 3,678 SQ.FT. PROPOSED: 3,700.3 SQ.FT. (+/- 10.1%)
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# Year 2040 Projections Letter



# Chicago Metropolitan Agency for Planning

233 South Wacker Drive  
Suite 800  
Chicago, Illinois 60606

312 454 0400  
www.cmap.illinois.gov

May 2, 2018

Brendan S. May  
Consultant  
Kenig, Lindgren, O'Hara and Aboona, Inc.  
9575 West Higgins Road  
Suite 400  
Rosemont, IL 60018

**Subject: Roosevelt Road @ East Avenue  
IDOT**

Dear Mr. May:

In response to a request made on your behalf and dated May 1, 2018, we have developed year 2040 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current ADT	Year 2040 ADT
Roosevelt Rd, @ East Ave	19,600	20,400
East Ave, @ Roosevelt Rd	2,500	3,200

Traffic projections are developed using existing ADT data provided in the request letter and the results from the March 2018 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2040 socioeconomic projections and assumes the implementation of the GO TO 2040 Comprehensive Regional Plan for the Northeastern Illinois area.

If you have any questions, please call me at (312) 386-8806.

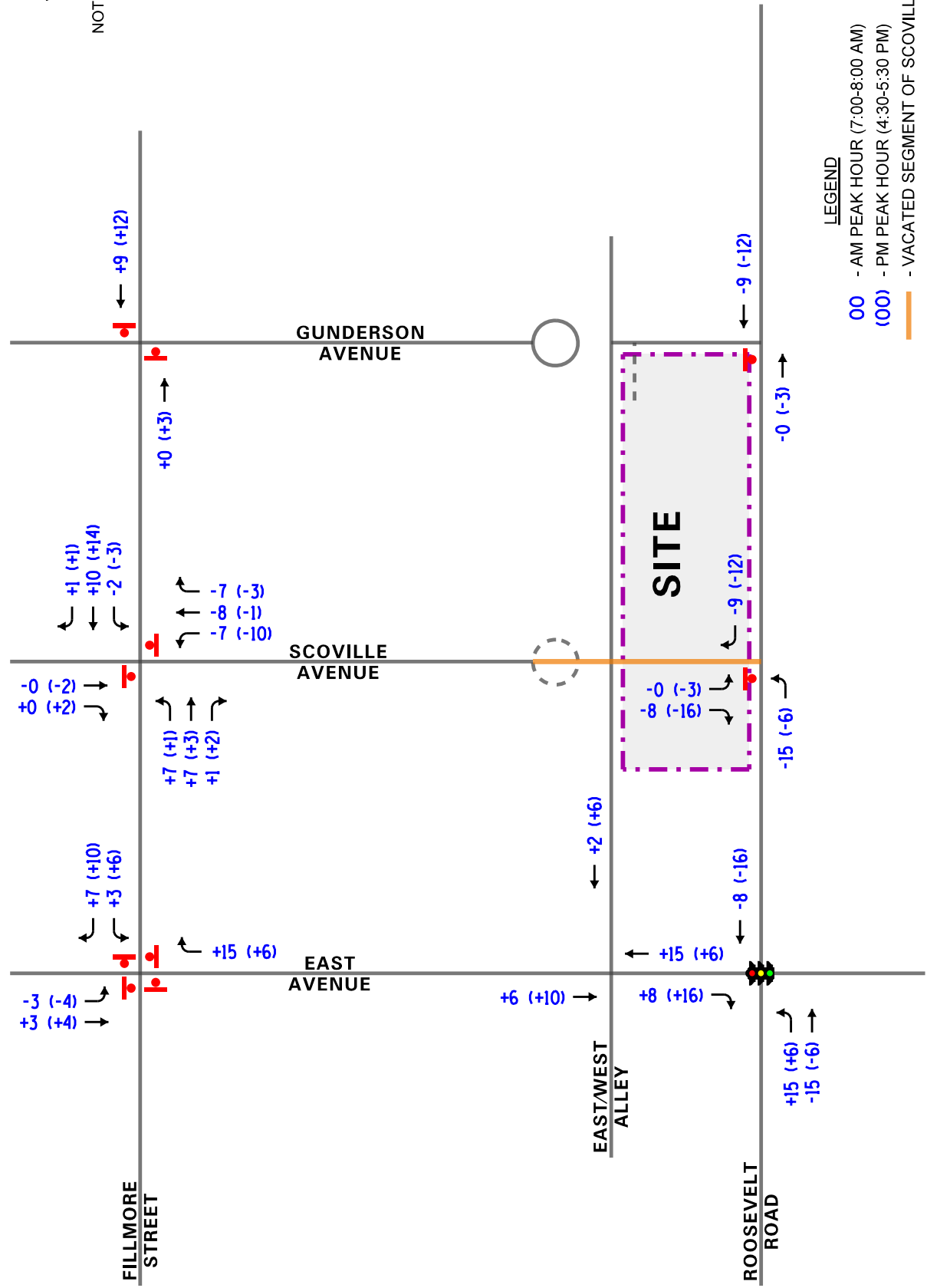
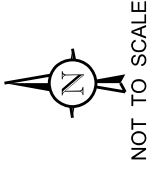
Sincerely,

Jose Rodriguez, PTP, AICP  
Senior Planner, Research & Analysis

cc: Quigley (IDOT)  
S:\AdminGroups\ResearchAnalysis\2018cy\_TrafficForecasts\OakPark\ck-41-18\ck-41-18.docx



## Reassignment of Existing Traffic Volumes



## Level of Service Criteria

LEVEL OF SERVICE CRITERIA

<b>Signalized Intersections</b>		
<b>Level of Service</b>	<b>Interpretation</b>	<b>Average Control Delay (seconds per vehicle)</b>
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	>80.0
<b>Unsignalized Intersections</b>		
<b>Level of Service</b>	<b>Average Total Delay (SEC/VEH)</b>	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	

Source: *Highway Capacity Manual*, 2010.



# Capacity Analysis Summary Sheets

Lanes, Volumes, Timings  
1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	38	753	35	47	723	12	28	218	85	17	92	26
Future Volume (vph)	38	753	35	47	723	12	28	218	85	17	92	26
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	140		0	120		0	0		175	0		25
Storage Lanes	1		0	1		0	0		1	0		1
Taper Length (ft)	75			70			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	1.00	1.00		1.00	1.00			1.00	0.96		1.00	0.95
Frt		0.993			0.997				0.850			0.850
Flt Protected	0.950			0.950				0.994			0.992	
Satd. Flow (prot)	1752	1626	0	1770	1638	0	0	1700	1439	0	1682	1454
Flt Permitted	0.263			0.216				0.950			0.713	
Satd. Flow (perm)	485	1626	0	402	1638	0	0	1620	1382	0	1207	1379
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		4			1				89			62
Link Speed (mph)		30			30			25			25	
Link Distance (ft)		327			332			259			166	
Travel Time (s)		7.4			7.5			7.1			4.5	
Confl. Peds. (#/hr)	3		10	10		3	11		7	7		11
Confl. Bikes (#/hr)	1							11				
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	3%	4%	11%	2%	4%	8%	0%	0%	1%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)		0	0		0	0		0	0		0	0
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	40	820	0	49	766	0	0	256	89	0	114	27
Turn Type	pm+pt	NA		pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2			6			8		8	4		4
Detector Phase	5	2		1	6		8	8	8	4	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0		3.0	15.0		8.0	8.0	8.0	8.0	8.0	8.0
Minimum Split (s)	6.5	21.0		6.5	21.0		14.0	14.0	14.0	14.0	14.0	14.0
Total Split (s)	13.0	76.0		13.0	76.0		26.0	26.0	26.0	26.0	26.0	26.0
Total Split (%)	11.3%	66.1%		11.3%	66.1%		22.6%	22.6%	22.6%	22.6%	22.6%	22.6%
Yellow Time (s)	3.5	4.5		3.5	4.5		4.5	4.5	4.5	4.5	4.5	4.5
All-Red Time (s)	0.0	1.5		0.0	1.5		1.5	1.5	1.5	1.5	1.5	1.5
Lost Time Adjust (s)	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Lost Time (s)	3.5	6.0		3.5	6.0			6.0	6.0		6.0	6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Min		None	C-Min		None	None	None	None	None	None
Act Effect Green (s)	82.2	74.7		83.2	76.7			20.3	20.3		20.3	20.3
Actuated g/C Ratio	0.71	0.65		0.72	0.67			0.18	0.18		0.18	0.18

Lanes, Volumes, Timings  
 1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.10	0.78		0.13	0.70			0.90	0.28		0.54	0.09
Control Delay	4.5	21.5		4.8	17.4			79.6	11.1		53.5	1.2
Queue Delay	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Delay	4.5	21.5		4.8	17.4			79.6	11.1		53.5	1.2
LOS	A	C		A	B			E	B		D	A
Approach Delay		20.7			16.7			61.9			43.5	
Approach LOS		C			B			E			D	
Queue Length 50th (ft)	7	410		8	355			188	0		78	0
Queue Length 95th (ft)	15	620		18	530			#343	45		140	4
Internal Link Dist (ft)		247			252			179			86	
Turn Bay Length (ft)	140			120					175			25
Base Capacity (vph)	462	1056		409	1092			288	318		214	296
Starvation Cap Reductn	0	0		0	0			0	0		0	0
Spillback Cap Reductn	0	0		0	0			0	0		0	0
Storage Cap Reductn	0	0		0	0			0	0		0	0
Reduced v/c Ratio	0.09	0.78		0.12	0.70			0.89	0.28		0.53	0.09

Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 115  
 Offset: 0 (0%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.90  
 Intersection Signal Delay: 27.2 Intersection LOS: C  
 Intersection Capacity Utilization 73.5% ICU Level of Service D  
 Analysis Period (min) 15  
 Description: Roosevelt Road with East Avenue  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: East Avenue & Roosevelt Road



Lanes, Volumes, Timings  
1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	30	667	96	88	676	22	40	101	56	12	260	41
Future Volume (vph)	30	667	96	88	676	22	40	101	56	12	260	41
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	140		0	120		0	0		175	0		25
Storage Lanes	1		0	1		0	0		1	0		1
Taper Length (ft)	75			70			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	1.00	1.00		1.00	1.00			0.99	0.95		1.00	0.93
Frt		0.981			0.995				0.850			0.850
Flt Protected	0.950			0.950				0.986			0.998	
Satd. Flow (prot)	1805	1624	0	1805	1665	0	0	1662	1425	0	1707	1358
Flt Permitted	0.278			0.194				0.566			0.984	
Satd. Flow (perm)	526	1624	0	368	1665	0	0	948	1360	0	1681	1270
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		12			3				62			62
Link Speed (mph)		30			30			25			25	
Link Distance (ft)		327			332			259			166	
Travel Time (s)		7.4			7.5			7.1			4.5	
Confl. Peds. (#/hr)	16		6	6		16	16		9	9		16
Confl. Bikes (#/hr)	1							11				
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	3%	3%	0%	2%	5%	0%	2%	2%	0%	0%	7%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)		0	0		0	0		0	0		0	0
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	31	787	0	91	720	0	0	145	58	0	280	42
Turn Type	pm+pt	NA		pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2			6			8		8	4		4
Detector Phase	5	2		1	6		8	8	8	4	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0		3.0	15.0		8.0	8.0	8.0	8.0	8.0	8.0
Minimum Split (s)	6.5	21.0		6.5	21.0		14.0	14.0	14.0	14.0	14.0	14.0
Total Split (s)	13.0	76.0		13.0	76.0		26.0	26.0	26.0	26.0	26.0	26.0
Total Split (%)	11.3%	66.1%		11.3%	66.1%		22.6%	22.6%	22.6%	22.6%	22.6%	22.6%
Yellow Time (s)	3.5	4.5		3.5	4.5		4.5	4.5	4.5	4.5	4.5	4.5
All-Red Time (s)	0.0	1.5		0.0	1.5		1.5	1.5	1.5	1.5	1.5	1.5
Lost Time Adjust (s)	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Lost Time (s)	3.5	6.0		3.5	6.0			6.0	6.0		6.0	6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Min		None	C-Min		None	None	None	None	None	None
Act Effect Green (s)	76.6	68.1		79.9	72.9			24.3	24.3		24.3	24.3
Actuated g/C Ratio	0.67	0.59		0.69	0.63			0.21	0.21		0.21	0.21



Lanes, Volumes, Timings  
 1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.07	0.81		0.26	0.68			0.73	0.17		0.79	0.13
Control Delay	4.4	25.7		6.4	17.6			66.7	10.8		62.0	5.7
Queue Delay	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Delay	4.4	25.7		6.4	17.6			66.7	10.8		62.0	5.7
LOS	A	C		A	B			E	B		E	A
Approach Delay		24.9			16.3			50.7			54.6	
Approach LOS		C			B			D			D	
Queue Length 50th (ft)	5	380		16	311			106	0		208	0
Queue Length 95th (ft)	13	579		29	457			#228	34		#378	19
Internal Link Dist (ft)		247			252			179			86	
Turn Bay Length (ft)	140			120					175			25
Base Capacity (vph)	472	1009		378	1069			199	335		354	316
Starvation Cap Reductn	0	0		0	0			0	0		0	0
Spillback Cap Reductn	0	0		0	0			0	0		0	0
Storage Cap Reductn	0	0		0	0			0	0		0	0
Reduced v/c Ratio	0.07	0.78		0.24	0.67			0.73	0.17		0.79	0.13

Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 115  
 Offset: 0 (0%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 70  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.81  
 Intersection Signal Delay: 28.6 Intersection LOS: C  
 Intersection Capacity Utilization 86.1% ICU Level of Service E  
 Analysis Period (min) 15  
 Description: Roosevelt Road with East Avenue  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: East Avenue & Roosevelt Road



Lanes, Volumes, Timings  
1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	55	765	37	51	724	14	30	231	100	23	98	36
Future Volume (vph)	55	765	37	51	724	14	30	231	100	23	98	36
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	140		0	120		0	0		175	0		25
Storage Lanes	1		0	1		0	0		1	0		1
Taper Length (ft)	75			70			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	1.00	1.00		1.00	1.00			1.00	0.96		1.00	0.95
Frt		0.993			0.997				0.850			0.850
Flt Protected	0.950			0.950				0.994			0.991	
Satd. Flow (prot)	1752	1625	0	1770	1637	0	0	1700	1439	0	1681	1454
Flt Permitted	0.248			0.209				0.947			0.602	
Satd. Flow (perm)	457	1625	0	389	1637	0	0	1615	1382	0	1019	1379
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		4			2				104			62
Link Speed (mph)		30			30			25			25	
Link Distance (ft)		327			332			259			166	
Travel Time (s)		7.4			7.5			7.1			4.5	
Confl. Peds. (#/hr)	3		10	10		3	11		7	7		11
Confl. Bikes (#/hr)	1							11				
Peak Hour Factor	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96	0.96
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	3%	4%	11%	2%	4%	8%	0%	0%	1%	0%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)		0	0		0	0		0	0		0	0
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	57	836	0	53	769	0	0	272	104	0	126	38
Turn Type	pm+pt	NA		pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2			6			8		8	4		4
Detector Phase	5	2		1	6		8	8	8	4	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0		3.0	15.0		8.0	8.0	8.0	8.0	8.0	8.0
Minimum Split (s)	6.5	21.0		6.5	21.0		14.0	14.0	14.0	14.0	14.0	14.0
Total Split (s)	13.0	76.0		13.0	76.0		26.0	26.0	26.0	26.0	26.0	26.0
Total Split (%)	11.3%	66.1%		11.3%	66.1%		22.6%	22.6%	22.6%	22.6%	22.6%	22.6%
Yellow Time (s)	3.5	4.5		3.5	4.5		4.5	4.5	4.5	4.5	4.5	4.5
All-Red Time (s)	0.0	1.5		0.0	1.5		1.5	1.5	1.5	1.5	1.5	1.5
Lost Time Adjust (s)	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Lost Time (s)	3.5	6.0		3.5	6.0			6.0	6.0		6.0	6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Min		None	C-Min		None	None	None	None	None	None
Act Effect Green (s)	82.1	74.3		82.0	74.2			20.6	20.6		20.6	20.6
Actuated g/C Ratio	0.71	0.65		0.71	0.65			0.18	0.18		0.18	0.18

Lanes, Volumes, Timings  
 1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.14	0.80		0.15	0.73			0.94	0.31		0.69	0.13
Control Delay	4.8	22.6		4.9	19.3			87.5	10.6		65.3	4.9
Queue Delay	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Delay	4.8	22.6		4.9	19.3			87.5	10.6		65.3	4.9
LOS	A	C		A	B			F	B		E	A
Approach Delay		21.4			18.3			66.2			51.3	
Approach LOS		C			B			E			D	
Queue Length 50th (ft)	10	427		9	361			202	0		89	0
Queue Length 95th (ft)	20	648		19	541			#373	48		#181	15
Internal Link Dist (ft)		247			252			179			86	
Turn Bay Length (ft)	140			120					175			25
Base Capacity (vph)	442	1051		399	1057			289	333		183	298
Starvation Cap Reductn	0	0		0	0			0	0		0	0
Spillback Cap Reductn	0	0		0	0			0	0		0	0
Storage Cap Reductn	0	0		0	0			0	0		0	0
Reduced v/c Ratio	0.13	0.80		0.13	0.73			0.94	0.31		0.69	0.13

Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 115  
 Offset: 0 (0%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.94  
 Intersection Signal Delay: 29.9 Intersection LOS: C  
 Intersection Capacity Utilization 80.7% ICU Level of Service D  
 Analysis Period (min) 15  
 Description: Roosevelt Road with East Avenue  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: East Avenue & Roosevelt Road



Lanes, Volumes, Timings  
1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	38	672	102	104	687	28	42	107	60	14	276	59
Future Volume (vph)	38	672	102	104	687	28	42	107	60	14	276	59
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	140		0	120		0	0		175	0		25
Storage Lanes	1		0	1		0	0		1	0		1
Taper Length (ft)	75			70			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped Bike Factor	1.00	1.00		1.00	1.00			0.99	0.95		1.00	0.93
Frt		0.980			0.994				0.850			0.850
Flt Protected	0.950			0.950				0.986			0.998	
Satd. Flow (prot)	1805	1622	0	1805	1662	0	0	1662	1425	0	1707	1358
Flt Permitted	0.275			0.194				0.457			0.981	
Satd. Flow (perm)	521	1622	0	368	1662	0	0	766	1360	0	1676	1270
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		12			3				62			62
Link Speed (mph)		30			30			25			25	
Link Distance (ft)		327			332			259			166	
Travel Time (s)		7.4			7.5			7.1			4.5	
Confl. Peds. (#/hr)	16		6	6		16	16		9	9		16
Confl. Bikes (#/hr)	1							11				
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	0%	3%	3%	0%	2%	5%	0%	2%	2%	0%	0%	7%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)		0	0		0	0		0	0		0	0
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	39	798	0	107	737	0	0	153	62	0	299	61
Turn Type	pm+pt	NA		pm+pt	NA		Perm	NA	Perm	Perm	NA	Perm
Protected Phases	5	2		1	6			8			4	
Permitted Phases	2			6			8		8	4		4
Detector Phase	5	2		1	6		8	8	8	4	4	4
Switch Phase												
Minimum Initial (s)	3.0	15.0		3.0	15.0		8.0	8.0	8.0	8.0	8.0	8.0
Minimum Split (s)	6.5	21.0		6.5	21.0		14.0	14.0	14.0	14.0	14.0	14.0
Total Split (s)	13.0	76.0		13.0	76.0		26.0	26.0	26.0	26.0	26.0	26.0
Total Split (%)	11.3%	66.1%		11.3%	66.1%		22.6%	22.6%	22.6%	22.6%	22.6%	22.6%
Yellow Time (s)	3.5	4.5		3.5	4.5		4.5	4.5	4.5	4.5	4.5	4.5
All-Red Time (s)	0.0	1.5		0.0	1.5		1.5	1.5	1.5	1.5	1.5	1.5
Lost Time Adjust (s)	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Lost Time (s)	3.5	6.0		3.5	6.0			6.0	6.0		6.0	6.0
Lead/Lag	Lead	Lag		Lead	Lag							
Lead-Lag Optimize?	Yes	Yes		Yes	Yes							
Recall Mode	None	C-Min		None	C-Min		None	None	None	None	None	None
Act Effect Green (s)	77.9	69.2		81.4	74.2			22.9	22.9		22.9	22.9
Actuated g/C Ratio	0.68	0.60		0.71	0.65			0.20	0.20		0.20	0.20

Lanes, Volumes, Timings  
 1: East Avenue & Roosevelt Road

05/04/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.09	0.81		0.30	0.69			1.01	0.19		0.90	0.20
Control Delay	4.6	25.3		6.6	17.4			123.4	11.7		76.1	11.8
Queue Delay	0.0	0.0		0.0	0.0			0.0	0.0		0.0	0.0
Total Delay	4.6	25.3		6.6	17.4			123.4	11.7		76.1	11.8
LOS	A	C		A	B			F	B		E	B
Approach Delay		24.4			16.0			91.2			65.2	
Approach LOS		C			B			F			E	
Queue Length 50th (ft)	7	395		19	326			~133	0		~236	0
Queue Length 95th (ft)	15	604		33	480			#268	38		#411	38
Internal Link Dist (ft)		247			252			179			86	
Turn Bay Length (ft)	140			120					175			25
Base Capacity (vph)	474	1005		382	1072			152	319		333	302
Starvation Cap Reductn	0	0		0	0			0	0		0	0
Spillback Cap Reductn	0	0		0	0			0	0		0	0
Storage Cap Reductn	0	0		0	0			0	0		0	0
Reduced v/c Ratio	0.08	0.79		0.28	0.69			1.01	0.19		0.90	0.20

Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 115  
 Offset: 0 (0%), Referenced to phase 2:EBTL and 6:WBTL, Start of Green  
 Natural Cycle: 75  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.01  
 Intersection Signal Delay: 34.1  
 Intersection Capacity Utilization 89.0%  
 Analysis Period (min) 15  
 Description: Roosevelt Road with East Avenue  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: East Avenue & Roosevelt Road





HCM 2010 AWSC  
4: East Avenue & Fillmore Street

05/04/2018

Intersection	
Intersection Delay, s/veh	9.4
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	20	41	4	8	18	20	11	234	9	12	113	8
Future Vol, veh/h	20	41	4	8	18	20	11	234	9	12	113	8
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Heavy Vehicles, %	0	0	0	0	0	0	0	3	0	0	1	0
Mvmt Flow	24	50	5	10	22	24	13	285	11	15	138	10
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	8.7	8.3	10.1	8.8
HCM LOS	A	A	B	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %		4%	31%	17%
Vol Thru, %		92%	63%	39%
Vol Right, %		4%	6%	43%
Sign Control		Stop	Stop	Stop
Traffic Vol by Lane		254	65	46
LT Vol		11	20	8
Through Vol		234	41	18
RT Vol		9	4	20
Lane Flow Rate		310	79	56
Geometry Grp		1	1	1
Degree of Util (X)		0.379	0.111	0.075
Departure Headway (Hd)		4.407	5.058	4.844
Convergence, Y/N		Yes	Yes	Yes
Cap		818	706	737
Service Time		2.435	3.103	2.891
HCM Lane V/C Ratio		0.379	0.112	0.076
HCM Control Delay		10.1	8.7	8.3
HCM Lane LOS		B	A	A
HCM 95th-tile Q		1.8	0.4	0.2

HCM 2010 TWSC  
 2: Roosevelt Road & Scoville Avenue

05/04/2018

**Intersection**

Int Delay, s/veh 0.2

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations						
Traffic Vol, veh/h	15	891	722	9	0	8
Future Vol, veh/h	15	891	722	9	0	8
Conflicting Peds, #/hr	4	0	0	4	0	1
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	96	96	96	96	96	96
Heavy Vehicles, %	7	4	7	0	0	0
Mvmt Flow	16	928	752	9	0	8

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	765	0	-	0	1720	762
Stage 1	-	-	-	-	761	-
Stage 2	-	-	-	-	959	-
Critical Hdwy	4.17	-	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.263	-	-	-	3.5	3.3
Pot Cap-1 Maneuver	826	-	-	-	100	408
Stage 1	-	-	-	-	465	-
Stage 2	-	-	-	-	375	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	825	-	-	-	97	406
Mov Cap-2 Maneuver	-	-	-	-	230	-
Stage 1	-	-	-	-	463	-
Stage 2	-	-	-	-	366	-

**Approach** EB WB SB

HCM Control Delay, s	0.2	0	14.1
HCM LOS			B

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	825	-	-	-	406
HCM Lane V/C Ratio	0.019	-	-	-	0.021
HCM Control Delay (s)	9.4	-	-	-	14.1
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0.1	-	-	-	0.1

HCM 2010 TWSC  
 3: Roosevelt Road & Gunderson Avenue

05/04/2018

**Intersection**

Int Delay, s/veh 0.2

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations						
Traffic Vol, veh/h	5	884	728	2	2	8
Future Vol, veh/h	5	884	728	2	2	8
Conflicting Peds, #/hr	7	0	0	7	0	12
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	98	98	98	98	98	98
Heavy Vehicles, %	20	3	7	0	0	25
Mvmt Flow	5	902	743	2	2	8

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	752	0	-	0	1663	763
Stage 1	-	-	-	-	751	-
Stage 2	-	-	-	-	912	-
Critical Hdwy	4.3	-	-	-	6.4	6.45
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.38	-	-	-	3.5	3.525
Pot Cap-1 Maneuver	782	-	-	-	108	370
Stage 1	-	-	-	-	470	-
Stage 2	-	-	-	-	395	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	773	-	-	-	106	363
Mov Cap-2 Maneuver	-	-	-	-	242	-
Stage 1	-	-	-	-	467	-
Stage 2	-	-	-	-	390	-

**Approach** EB WB SB

HCM Control Delay, s	0.1	0	16.3
HCM LOS			C

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	773	-	-	-	330
HCM Lane V/C Ratio	0.007	-	-	-	0.031
HCM Control Delay (s)	9.7	-	-	-	16.3
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.1

HCM 2010 TWSC  
5: Scoville Avenue & Fillmore Street

05/04/2018

Intersection												
Int Delay, s/veh	3.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	7	54	6	5	26	1	9	16	9	1	0	2
Future Vol, veh/h	7	54	6	5	26	1	9	16	9	1	0	2
Conflicting Peds, #/hr	14	0	8	8	0	14	7	0	6	6	0	7
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	0	0	0	0	0	11	100	0	0
Mvmt Flow	8	62	7	6	30	1	10	18	10	1	0	2

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	45	0	0	77	0	0	140	147	80	158	149	51
Stage 1	-	-	-	-	-	-	90	90	-	56	56	-
Stage 2	-	-	-	-	-	-	50	57	-	102	93	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.31	8.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	7.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	7.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.399	4.4	4	3.3
Pot Cap-1 Maneuver	1576	-	-	1535	-	-	835	748	956	631	746	1023
Stage 1	-	-	-	-	-	-	922	824	-	758	852	-
Stage 2	-	-	-	-	-	-	968	851	-	712	822	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1565	-	-	1526	-	-	816	726	943	596	724	1003
Mov Cap-2 Maneuver	-	-	-	-	-	-	816	726	-	596	724	-
Stage 1	-	-	-	-	-	-	910	814	-	744	837	-
Stage 2	-	-	-	-	-	-	956	836	-	681	812	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.8			1.2			9.7			9.4		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	798	1565	-	-	1526	-	-	817
HCM Lane V/C Ratio	0.049	0.005	-	-	0.004	-	-	0.004
HCM Control Delay (s)	9.7	7.3	0	-	7.4	0	-	9.4
HCM Lane LOS	A	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0

HCM 2010 TWSC  
6: Gunderson Avenue & Fillmore Street

05/04/2018

Intersection												
Int Delay, s/veh	8.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	37	30	6	2	17	9	4	1	5	1	1	2
Future Vol, veh/h	37	30	6	2	17	9	4	1	5	1	1	2
Conflicting Peds, #/hr	12	0	10	10	0	12	4	0	4	4	0	4
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	73	73	73	73	73	73	73	73	73	73	73	73
Heavy Vehicles, %	3	3	0	0	0	22	0	0	0	100	0	0
Mvmt Flow	51	41	8	3	23	12	5	1	7	1	1	3

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	55	32	17	60	31	21	8	0	0	12	0	0
Stage 1	9	9	-	20	20	-	-	-	-	-	-	-
Stage 2	46	23	-	40	11	-	-	-	-	-	-	-
Critical Hdwy	7.13	6.53	6.2	7.1	6.5	6.42	4.1	-	-	5.1	-	-
Critical Hdwy Stg 1	6.13	5.53	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.13	5.53	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.527	4.027	3.3	3.5	4	3.498	2.2	-	-	3.1	-	-
Pot Cap-1 Maneuver	940	859	1068	941	866	1001	1625	-	-	1148	-	-
Stage 1	1010	886	-	1004	883	-	-	-	-	-	-	-
Stage 2	965	874	-	980	890	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	892	849	1054	884	856	986	1610	-	-	1135	-	-
Mov Cap-2 Maneuver	892	849	-	884	856	-	-	-	-	-	-	-
Stage 1	1003	882	-	997	877	-	-	-	-	-	-	-
Stage 2	914	868	-	917	886	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	9.6		9.2		2.9		2	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1610	-	-	885	896	1135	-
HCM Lane V/C Ratio	0.003	-	-	0.113	0.043	0.001	-
HCM Control Delay (s)	7.2	0	-	9.6	9.2	8.2	0
HCM Lane LOS	A	A	-	A	A	A	A
HCM 95th %tile Q(veh)	0	-	-	0.4	0.1	0	-



# HCM Unsignalized Intersection Capacity Analysis

## 8: Gunderson Avenue & East-West Alley

05/04/2018



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	→			←	↔	↔
Traffic Volume (veh/h)	0	2	3	8	3	1
Future Volume (Veh/h)	0	2	3	8	3	1
Sign Control	Stop			Stop	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.47	0.47	0.47	0.47	0.47	0.47
Hourly flow rate (vph)	0	4	6	17	6	2
Pedestrians	2				1	
Lane Width (ft)	8.0				12.0	
Walking Speed (ft/s)	3.5				3.5	
Percent Blockage	0				0	
Right turn flare (veh)						
Median type	None					
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	16	3	18	15	2	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	16	3	18	15	2	
tC, single (s)	6.5	6.2	7.1	6.5	4.1	
tC, 2 stage (s)						
tF (s)	4.0	3.3	3.5	4.0	2.2	
p0 queue free %	100	100	99	98	100	
cM capacity (veh/h)	878	1084	993	879	1632	
<b>Direction, Lane #</b>	<b>EB 1</b>	<b>WB 1</b>	<b>NB 1</b>			
Volume Total	4	23	8			
Volume Left	0	6	6			
Volume Right	4	0	2			
cSH	1084	906	1632			
Volume to Capacity	0.00	0.03	0.00			
Queue Length 95th (ft)	0	2	0			
Control Delay (s)	8.3	9.1	5.4			
Lane LOS	A	A	A			
Approach Delay (s)	8.3	9.1	5.4			
Approach LOS	A	A				
<b>Intersection Summary</b>						
Average Delay			8.2			
Intersection Capacity Utilization			13.7%	ICU Level of Service	A	
Analysis Period (min)			15			

HCM 2010 AWSC  
4: East Avenue & Fillmore Street

05/04/2018

Intersection	
Intersection Delay, s/veh	10.2
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	7	37	23	24	35	16	12	133	16	11	255	26
Future Vol, veh/h	7	37	23	24	35	16	12	133	16	11	255	26
Peak Hour Factor	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83
Heavy Vehicles, %	14	0	0	0	0	0	0	0	0	0	0	4
Mvmt Flow	8	45	28	29	42	19	14	160	19	13	307	31
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	9.1	9.1	9.4	11.1
HCM LOS	A	A	A	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	7%	10%	32%	4%
Vol Thru, %	83%	55%	47%	87%
Vol Right, %	10%	34%	21%	9%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	161	67	75	292
LT Vol	12	7	24	11
Through Vol	133	37	35	255
RT Vol	16	23	16	26
Lane Flow Rate	194	81	90	352
Geometry Grp	1	1	1	1
Degree of Util (X)	0.253	0.119	0.13	0.442
Departure Headway (Hd)	4.699	5.325	5.194	4.526
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	760	668	685	792
Service Time	2.755	3.4	3.268	2.573
HCM Lane V/C Ratio	0.255	0.121	0.131	0.444
HCM Control Delay	9.4	9.1	9.1	11.1
HCM Lane LOS	A	A	A	B
HCM 95th-tile Q	1	0.4	0.4	2.3

HCM 2010 TWSC  
 2: Roosevelt Road & Scoville Avenue

05/04/2018

**Intersection**

Int Delay, s/veh 0.3

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations	↘	↑	↗		↘	
Traffic Vol, veh/h	6	704	769	12	3	16
Future Vol, veh/h	6	704	769	12	3	16
Conflicting Peds, #/hr	1	0	0	1	0	26
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	96	96	96	96	96	96
Heavy Vehicles, %	0	2	2	0	0	0
Mvmt Flow	6	733	801	13	3	17

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	815	0	-	0	1554	834
Stage 1	-	-	-	-	808	-
Stage 2	-	-	-	-	746	-
Critical Hdwy	4.1	-	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	-	3.5	3.3
Pot Cap-1 Maneuver	821	-	-	-	126	371
Stage 1	-	-	-	-	442	-
Stage 2	-	-	-	-	472	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	801	-	-	-	125	361
Mov Cap-2 Maneuver	-	-	-	-	264	-
Stage 1	-	-	-	-	442	-
Stage 2	-	-	-	-	468	-

**Approach** EB WB SB

HCM Control Delay, s	0.1	0	16.2
HCM LOS			C

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	801	-	-	-	341
HCM Lane V/C Ratio	0.008	-	-	-	0.058
HCM Control Delay (s)	9.5	-	-	-	16.2
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.2

HCM 2010 TWSC  
 3: Roosevelt Road & Gunderson Avenue

05/04/2018

**Intersection**

Int Delay, s/veh 0.1

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations						
Traffic Vol, veh/h	4	703	773	4	3	2
Future Vol, veh/h	4	703	773	4	3	2
Conflicting Peds, #/hr	23	0	0	23	0	15
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	0	2	2	0	0	0
Mvmt Flow	4	725	797	4	3	2

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	824	0	-	0	1555	837
Stage 1	-	-	-	-	822	-
Stage 2	-	-	-	-	733	-
Critical Hdwy	4.1	-	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	-	3.5	3.3
Pot Cap-1 Maneuver	815	-	-	-	126	370
Stage 1	-	-	-	-	435	-
Stage 2	-	-	-	-	479	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	803	-	-	-	120	357
Mov Cap-2 Maneuver	-	-	-	-	258	-
Stage 1	-	-	-	-	425	-
Stage 2	-	-	-	-	466	-

**Approach** EB WB SB

HCM Control Delay, s	0.1	0	17.6
HCM LOS			C

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	803	-	-	-	290
HCM Lane V/C Ratio	0.005	-	-	-	0.018
HCM Control Delay (s)	9.5	-	-	-	17.6
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.1

HCM 2010 TWSC  
5: Scoville Avenue & Fillmore Street

05/04/2018

Intersection												
Int Delay, s/veh	2.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	51	7	5	62	3	14	10	5	2	5	4
Future Vol, veh/h	2	51	7	5	62	3	14	10	5	2	5	4
Conflicting Peds, #/hr	9	0	19	19	0	9	7	0	4	4	0	7
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	66	66	66	66	66	66	66	66	66	66	66	66
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	9	77	11	8	94	5	21	15	8	3	8	6

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	107	0	0	107	0	0	245	243	106	236	245	112
Stage 1	-	-	-	-	-	-	120	120	-	120	120	-
Stage 2	-	-	-	-	-	-	125	123	-	116	125	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1497	-	-	1497	-	-	713	662	954	723	661	947
Stage 1	-	-	-	-	-	-	889	800	-	889	800	-
Stage 2	-	-	-	-	-	-	884	798	-	894	796	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1487	-	-	1491	-	-	678	637	933	689	636	933
Mov Cap-2 Maneuver	-	-	-	-	-	-	678	637	-	689	636	-
Stage 1	-	-	-	-	-	-	868	781	-	876	788	-
Stage 2	-	-	-	-	-	-	859	786	-	861	777	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.7			0.5			10.5			10		
HCM LOS							B			B		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	695	1487	-	-	1491	-	-	731
HCM Lane V/C Ratio	0.063	0.006	-	-	0.005	-	-	0.023
HCM Control Delay (s)	10.5	7.4	0	-	7.4	0	-	10
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.1



HCM 2010 TWSC  
6: Gunderson Avenue & Fillmore Street

05/04/2018

Intersection												
Int Delay, s/veh	8.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	49	1	0	61	3	2	0	1	2	3	10
Future Vol, veh/h	5	49	1	0	61	3	2	0	1	2	3	10
Conflicting Peds, #/hr	7	0	15	15	0	7	4	0	4	4	0	4
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	69	69	69	69	69	69	69	69	69	69	69	69
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	7	71	1	0	88	4	3	0	1	3	4	14

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	81	32	31	80	40	12	23	0	0	5	0	0
Stage 1	21	21	-	11	11	-	-	-	-	-	-	-
Stage 2	60	11	-	69	29	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.5	6.2	7.1	6.5	6.2	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	912	865	1049	913	856	1074	1605	-	-	1630	-	-
Stage 1	1003	882	-	1015	890	-	-	-	-	-	-	-
Stage 2	957	890	-	946	875	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	824	855	1030	836	846	1063	1582	-	-	1619	-	-
Mov Cap-2 Maneuver	824	855	-	836	846	-	-	-	-	-	-	-
Stage 1	997	877	-	1009	885	-	-	-	-	-	-	-
Stage 2	850	885	-	854	870	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	9.6		9.7		4.9		1	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1582	-	-	855	854	1619	-	-
HCM Lane V/C Ratio	0.002	-	-	0.093	0.109	0.002	-	-
HCM Control Delay (s)	7.3	0	-	9.6	9.7	7.2	0	-
HCM Lane LOS	A	A	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0.3	0.4	0	-	-

# HCM Unsignalized Intersection Capacity Analysis

## 8: Gunderson Avenue & East-West Alley

05/04/2018



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	→	↘	↙	←	↖	↗
Traffic Volume (veh/h)	2	4	0	10	3	3
Future Volume (Veh/h)	2	4	0	10	3	3
Sign Control	Stop			Stop	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.55	0.55	0.55	0.55	0.55	0.55
Hourly flow rate (vph)	4	7	0	18	5	5
Pedestrians				4		
Lane Width (ft)				8.0		
Walking Speed (ft/s)				3.5		
Percent Blockage				0		
Right turn flare (veh)						
Median type						None
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	19	0	26	16	0	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	19	0	26	16	0	
tC, single (s)	6.5	6.2	7.1	6.5	4.1	
tC, 2 stage (s)						
tF (s)	4.0	3.3	3.5	4.0	2.2	
p0 queue free %	100	99	100	98	100	
cM capacity (veh/h)	874	1091	974	877	1636	
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	11	18	10			
Volume Left	0	0	5			
Volume Right	7	0	5			
cSH	1001	877	1636			
Volume to Capacity	0.01	0.02	0.00			
Queue Length 95th (ft)	1	2	0			
Control Delay (s)	8.6	9.2	3.6			
Lane LOS	A	A	A			
Approach Delay (s)	8.6	9.2	3.6			
Approach LOS	A	A				
Intersection Summary						
Average Delay			7.6			
Intersection Capacity Utilization			14.6%	ICU Level of Service	A	
Analysis Period (min)			15			

HCM 2010 AWSC  
4: East Avenue & Fillmore Street

05/04/2018

Intersection	
Intersection Delay, s/veh	9.8
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	20	41	4	11	18	27	11	249	24	9	128	8
Future Vol, veh/h	20	41	4	11	18	27	11	249	24	9	128	8
Peak Hour Factor	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82	0.82
Heavy Vehicles, %	0	0	0	0	0	0	0	3	0	0	1	0
Mvmt Flow	24	50	5	13	22	33	13	304	29	11	156	10
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	8.9	8.5	10.7	9.1
HCM LOS	A	A	B	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	4%	31%	20%	6%
Vol Thru, %	88%	63%	32%	88%
Vol Right, %	8%	6%	48%	6%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	284	65	56	145
LT Vol	11	20	11	9
Through Vol	249	41	18	128
RT Vol	24	4	27	8
Lane Flow Rate	346	79	68	177
Geometry Grp	1	1	1	1
Degree of Util (X)	0.426	0.114	0.094	0.228
Departure Headway (Hd)	4.432	5.194	4.94	4.632
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	810	686	721	773
Service Time	2.47	3.254	3	2.677
HCM Lane V/C Ratio	0.427	0.115	0.094	0.229
HCM Control Delay	10.7	8.9	8.5	9.1
HCM Lane LOS	B	A	A	A
HCM 95th-tile Q	2.1	0.4	0.3	0.9

HCM 2010 TWSC  
3: Roosevelt Road & Gunderson Avenue

05/24/2018

**Intersection**

Int Delay, s/veh 0.4

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations						
Traffic Vol, veh/h	39	893	726	21	4	12
Future Vol, veh/h	39	893	726	21	4	12
Conflicting Peds, #/hr	7	0	0	7	0	12
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	98	98	98	98	98	98
Heavy Vehicles, %	20	3	7	0	0	25
Mvmt Flow	40	911	741	21	4	12

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	769	0	-	0	1750	771
Stage 1	-	-	-	-	759	-
Stage 2	-	-	-	-	991	-
Critical Hdwy	4.3	-	-	-	6.4	6.45
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.38	-	-	-	3.5	3.525
Pot Cap-1 Maneuver	770	-	-	-	95	366
Stage 1	-	-	-	-	466	-
Stage 2	-	-	-	-	362	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	761	-	-	-	89	359
Mov Cap-2 Maneuver	-	-	-	-	219	-
Stage 1	-	-	-	-	463	-
Stage 2	-	-	-	-	341	-

**Approach** EB WB SB

HCM Control Delay, s	0.4	0	17.3
HCM LOS			C

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	761	-	-	-	310
HCM Lane V/C Ratio	0.052	-	-	-	0.053
HCM Control Delay (s)	10	-	-	-	17.3
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0.2	-	-	-	0.2

HCM 2010 TWSC  
5: Scoville Avenue & Fillmore Street

05/24/2018

Intersection

Int Delay, s/veh 2

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	14	61	7	3	36	2	2	8	2	1	0	2
Future Vol, veh/h	14	61	7	3	36	2	2	8	2	1	0	2
Conflicting Peds, #/hr	14	0	8	8	0	14	7	0	6	6	0	7
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	0	0	0	0	0	11	100	0	0
Mvmt Flow	16	70	8	3	41	2	2	9	2	1	0	2

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	58	0	0	86
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.1	-	-	4.1
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.2	-	-	2.2
Pot Cap-1 Maneuver	1559	-	-	1523
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	1549	-	-	1514
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	1.3	0.5	10	9.5
HCM LOS			B	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	738	1549	-	-	1514	-	-	801
HCM Lane V/C Ratio	0.019	0.01	-	-	0.002	-	-	0.004
HCM Control Delay (s)	10	7.3	0	-	7.4	0	-	9.5
HCM Lane LOS	B	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	-	0



HCM 2010 TWSC  
6: Gunderson Avenue & Fillmore Street

05/24/2018

Intersection												
Int Delay, s/veh	8.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	37	30	6	2	26	9	4	1	5	1	1	2
Future Vol, veh/h	37	30	6	2	26	9	4	1	5	1	1	2
Conflicting Peds, #/hr	12	0	10	10	0	12	4	0	4	4	0	4
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	73	73	73	73	73	73	73	73	73	73	73	73
Heavy Vehicles, %	3	3	0	0	0	22	0	0	0	100	0	0
Mvmt Flow	51	41	8	3	36	12	5	1	7	1	1	3

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	61	32	17	60	31	21	8	0	0	12	0	0
Stage 1	9	9	-	20	20	-	-	-	-	-	-	-
Stage 2	52	23	-	40	11	-	-	-	-	-	-	-
Critical Hdwy	7.13	6.53	6.2	7.1	6.5	6.42	4.1	-	-	5.1	-	-
Critical Hdwy Stg 1	6.13	5.53	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.13	5.53	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.527	4.027	3.3	3.5	4	3.498	2.2	-	-	3.1	-	-
Pot Cap-1 Maneuver	932	859	1068	941	866	1001	1625	-	-	1148	-	-
Stage 1	1010	886	-	1004	883	-	-	-	-	-	-	-
Stage 2	958	874	-	980	890	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	875	849	1054	884	856	986	1610	-	-	1135	-	-
Mov Cap-2 Maneuver	875	849	-	884	856	-	-	-	-	-	-	-
Stage 1	1003	882	-	997	877	-	-	-	-	-	-	-
Stage 2	895	868	-	917	886	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	9.6		9.3		2.9		2	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1610	-	-	876	886	1135	-
HCM Lane V/C Ratio	0.003	-	-	0.114	0.057	0.001	-
HCM Control Delay (s)	7.2	0	-	9.6	9.3	8.2	0
HCM Lane LOS	A	A	-	A	A	A	A
HCM 95th %tile Q(veh)	0	-	-	0.4	0.2	0	-

# HCM Unsignalized Intersection Capacity Analysis

## 8: Gunderson Avenue & East-West Alley

05/24/2018



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↩			↩	↩	
Traffic Volume (veh/h)	0	2	3	8	3	1
Future Volume (Veh/h)	0	2	3	8	3	1
Sign Control	Stop			Stop	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.47	0.47	0.47	0.47	0.47	0.47
Hourly flow rate (vph)	0	4	6	17	6	2
Pedestrians	2				1	
Lane Width (ft)	8.0				12.0	
Walking Speed (ft/s)	3.5				3.5	
Percent Blockage	0				0	
Right turn flare (veh)						
Median type	None					
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	16	3	18	15	2	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	16	3	18	15	2	
tC, single (s)	6.5	6.2	7.1	6.5	4.1	
tC, 2 stage (s)						
tF (s)	4.0	3.3	3.5	4.0	2.2	
p0 queue free %	100	100	99	98	100	
cM capacity (veh/h)	878	1084	993	879	1632	
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	4	23	8			
Volume Left	0	6	6			
Volume Right	4	0	2			
cSH	1084	906	1632			
Volume to Capacity	0.00	0.03	0.00			
Queue Length 95th (ft)	0	2	0			
Control Delay (s)	8.3	9.1	5.4			
Lane LOS	A	A	A			
Approach Delay (s)	8.3	9.1	5.4			
Approach LOS	A	A				
Intersection Summary						
Average Delay			8.2			
Intersection Capacity Utilization			13.7%	ICU Level of Service	A	
Analysis Period (min)			15			




HCM 2010 TWSC  
 9: Gunderson Avenue & Proposed Access Drive

05/24/2018

**Intersection**

Int Delay, s/veh 6.4

**Movement** EBL EBR NBL NBT SBT SBR

Lane Configurations						
Traffic Vol, veh/h	0	6	53	4	5	0
Future Vol, veh/h	0	6	53	4	5	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	6	56	4	5	0

**Major/Minor** Minor2 Major1 Major2

Conflicting Flow All	121	5	5	0	-	0
Stage 1	5	-	-	-	-	-
Stage 2	116	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	879	1084	1630	-	-	-
Stage 1	1023	-	-	-	-	-
Stage 2	914	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	849	1084	1630	-	-	-
Mov Cap-2 Maneuver	849	-	-	-	-	-
Stage 1	1023	-	-	-	-	-
Stage 2	883	-	-	-	-	-

**Approach** EB NB SB

HCM Control Delay, s	8.3	6.8	0
HCM LOS	A		

**Minor Lane/Major Mvmt** NBL NBT EBLn1 SBT SBR

Capacity (veh/h)	1630	-	1084	-	-
HCM Lane V/C Ratio	0.034	-	0.006	-	-
HCM Control Delay (s)	7.3	0	8.3	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0.1	-	0	-	-

HCM 2010 AWSC  
4: East Avenue & Fillmore Street

05/04/2018

Intersection	
Intersection Delay, s/veh	10.6
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	7	37	23	30	35	26	12	146	22	7	275	26
Future Vol, veh/h	7	37	23	30	35	26	12	146	22	7	275	26
Peak Hour Factor	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83	0.83
Heavy Vehicles, %	14	0	0	0	0	0	0	0	0	0	0	4
Mvmt Flow	8	45	28	36	42	31	14	176	27	8	331	31
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	9.3	9.4	9.8	11.8
HCM LOS	A	A	A	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	7%	10%	33%	2%
Vol Thru, %	81%	55%	38%	89%
Vol Right, %	12%	34%	29%	8%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	180	67	91	308
LT Vol	12	7	30	7
Through Vol	146	37	35	275
RT Vol	22	23	26	26
Lane Flow Rate	217	81	110	371
Geometry Grp	1	1	1	1
Degree of Util (X)	0.287	0.123	0.16	0.475
Departure Headway (Hd)	4.772	5.464	5.26	4.612
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	746	649	674	776
Service Time	2.844	3.56	3.352	2.674
HCM Lane V/C Ratio	0.291	0.125	0.163	0.478
HCM Control Delay	9.8	9.3	9.4	11.8
HCM Lane LOS	A	A	A	B
HCM 95th-tile Q	1.2	0.4	0.6	2.6

HCM 2010 TWSC  
 3: Roosevelt Road & Gunderson Avenue

05/24/2018

**Intersection**

Int Delay, s/veh 0.8

**Movement** EBL EBT WBT WBR SBL SBR

Lane Configurations						
Traffic Vol, veh/h	10	707	769	8	23	38
Future Vol, veh/h	10	707	769	8	23	38
Conflicting Peds, #/hr	23	0	0	23	0	15
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	0	2	2	0	0	0
Mvmt Flow	10	729	793	8	24	39

**Major/Minor** Major1 Major2 Minor2

Conflicting Flow All	824	0	-	0	1569	835
Stage 1	-	-	-	-	820	-
Stage 2	-	-	-	-	749	-
Critical Hdwy	4.1	-	-	-	6.4	6.2
Critical Hdwy Stg 1	-	-	-	-	5.4	-
Critical Hdwy Stg 2	-	-	-	-	5.4	-
Follow-up Hdwy	2.2	-	-	-	3.5	3.3
Pot Cap-1 Maneuver	815	-	-	-	123	371
Stage 1	-	-	-	-	436	-
Stage 2	-	-	-	-	471	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	803	-	-	-	116	358
Mov Cap-2 Maneuver	-	-	-	-	254	-
Stage 1	-	-	-	-	426	-
Stage 2	-	-	-	-	455	-

**Approach** EB WB SB

HCM Control Delay, s	0.1	0	19.5
HCM LOS			C

**Minor Lane/Major Mvmt** EBL EBT WBT WBR SBLn1

Capacity (veh/h)	803	-	-	-	310
HCM Lane V/C Ratio	0.013	-	-	-	0.203
HCM Control Delay (s)	9.5	-	-	-	19.5
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.7



HCM 2010 TWSC  
5: Scoville Avenue & Fillmore Street

05/24/2018

Intersection												
Int Delay, s/veh	2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	3	54	9	3	76	4	4	9	2	2	3	6
Future Vol, veh/h	3	54	9	3	76	4	4	9	2	2	3	6
Conflicting Peds, #/hr	9	0	19	19	0	9	7	0	4	4	0	7
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	66	66	66	66	66	66	66	66	66	66	66	66
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	14	82	14	5	115	6	6	14	3	3	5	9

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	130	0	0	114	0	0	276	274	112	264	278	134
Stage 1	-	-	-	-	-	-	135	135	-	136	136	-
Stage 2	-	-	-	-	-	-	141	139	-	128	142	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.1	6.5	6.2	7.1	6.5	6.2
Critical Hdwy Stg 1	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.1	5.5	-	6.1	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	1468	-	-	1488	-	-	680	637	947	693	633	920
Stage 1	-	-	-	-	-	-	873	789	-	872	788	-
Stage 2	-	-	-	-	-	-	867	785	-	881	783	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1458	-	-	1482	-	-	646	611	926	663	608	906
Mov Cap-2 Maneuver	-	-	-	-	-	-	646	611	-	663	608	-
Stage 1	-	-	-	-	-	-	849	767	-	856	778	-
Stage 2	-	-	-	-	-	-	844	775	-	851	761	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.9			0.3			10.7			9.9		
HCM LOS							B			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	650	1458	-	-	1482	-	-	755
HCM Lane V/C Ratio	0.035	0.009	-	-	0.003	-	-	0.022
HCM Control Delay (s)	10.7	7.5	0	-	7.4	0	-	9.9
HCM Lane LOS	B	A	A	-	A	A	-	A
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	-	0.1

HCM 2010 TWSC  
6: Gunderson Avenue & Fillmore Street

05/24/2018

Intersection												
Int Delay, s/veh	8.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	52	1	0	73	3	2	0	1	2	3	10
Future Vol, veh/h	5	52	1	0	73	3	2	0	1	2	3	10
Conflicting Peds, #/hr	7	0	15	15	0	7	4	0	4	4	0	4
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	69	69	69	69	69	69	69	69	69	69	69	69
Heavy Vehicles, %	0	0	0	0	0	0	0	0	0	0	0	0
Mvmt Flow	7	75	1	0	106	4	3	0	1	3	4	14

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	90	32	31	82	40	12	23	0	0	5	0	0
Stage 1	21	21	-	11	11	-	-	-	-	-	-	-
Stage 2	69	11	-	71	29	-	-	-	-	-	-	-
Critical Hdwy	7.1	6.5	6.2	7.1	6.5	6.2	4.1	-	-	4.1	-	-
Critical Hdwy Stg 1	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.1	5.5	-	6.1	5.5	-	-	-	-	-	-	-
Follow-up Hdwy	3.5	4	3.3	3.5	4	3.3	2.2	-	-	2.2	-	-
Pot Cap-1 Maneuver	900	865	1049	910	856	1074	1605	-	-	1630	-	-
Stage 1	1003	882	-	1015	890	-	-	-	-	-	-	-
Stage 2	946	890	-	944	875	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	800	855	1030	830	846	1063	1582	-	-	1619	-	-
Mov Cap-2 Maneuver	800	855	-	830	846	-	-	-	-	-	-	-
Stage 1	997	877	-	1009	885	-	-	-	-	-	-	-
Stage 2	822	885	-	848	870	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	9.7		9.8		4.9		1	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1582	-	-	852	853	1619	-
HCM Lane V/C Ratio	0.002	-	-	0.099	0.129	0.002	-
HCM Control Delay (s)	7.3	0	-	9.7	9.8	7.2	0
HCM Lane LOS	A	A	-	A	A	A	A
HCM 95th %tile Q(veh)	0	-	-	0.3	0.4	0	-

# HCM Unsignalized Intersection Capacity Analysis

## 8: Gunderson Avenue & East-West Alley

05/24/2018



Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	→			←	←	↘
Traffic Volume (veh/h)	2	4	0	10	3	3
Future Volume (Veh/h)	2	4	0	10	3	3
Sign Control	Stop			Stop	Free	
Grade	0%			0%	0%	
Peak Hour Factor	0.55	0.55	0.55	0.55	0.55	0.55
Hourly flow rate (vph)	4	7	0	18	5	5
Pedestrians				4		
Lane Width (ft)				8.0		
Walking Speed (ft/s)				3.5		
Percent Blockage				0		
Right turn flare (veh)						
Median type						None
Median storage (veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	19	0	26	16	0	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	19	0	26	16	0	
tC, single (s)	6.5	6.2	7.1	6.5	4.1	
tC, 2 stage (s)						
tF (s)	4.0	3.3	3.5	4.0	2.2	
p0 queue free %	100	99	100	98	100	
cM capacity (veh/h)	874	1091	974	877	1636	
Direction, Lane #	EB 1	WB 1	NB 1			
Volume Total	11	18	10			
Volume Left	0	0	5			
Volume Right	7	0	5			
cSH	1001	877	1636			
Volume to Capacity	0.01	0.02	0.00			
Queue Length 95th (ft)	1	2	0			
Control Delay (s)	8.6	9.2	3.6			
Lane LOS	A	A	A			
Approach Delay (s)	8.6	9.2	3.6			
Approach LOS	A	A				
Intersection Summary						
Average Delay			7.6			
Intersection Capacity Utilization			14.6%	ICU Level of Service	A	
Analysis Period (min)			15			




HCM 2010 TWSC  
 9: Gunderson Avenue & Proposed Access Drive

05/24/2018

**Intersection**

Int Delay, s/veh 7.2

**Movement** EBL EBR NBL NBT SBT SBR

Lane Configurations						
Traffic Vol, veh/h	0	56	10	6	4	0
Future Vol, veh/h	0	56	10	6	4	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	0	0	0
Mvmt Flow	0	59	11	6	4	0

**Major/Minor** Minor2 Major1 Major2

Conflicting Flow All	31	4	4	0	-	0
Stage 1	4	-	-	-	-	-
Stage 2	27	-	-	-	-	-
Critical Hdwy	6.4	6.2	4.1	-	-	-
Critical Hdwy Stg 1	5.4	-	-	-	-	-
Critical Hdwy Stg 2	5.4	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	988	1085	1631	-	-	-
Stage 1	1024	-	-	-	-	-
Stage 2	1001	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	981	1085	1631	-	-	-
Mov Cap-2 Maneuver	981	-	-	-	-	-
Stage 1	1024	-	-	-	-	-
Stage 2	994	-	-	-	-	-

**Approach** EB NB SB

HCM Control Delay, s	8.5	4.5	0
HCM LOS	A		

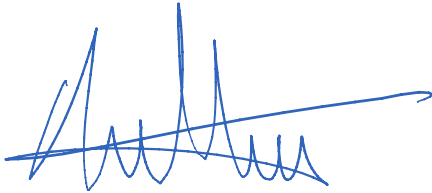
**Minor Lane/Major Mvmt** NBL NBT EBLn1 SBT SBR

Capacity (veh/h)	1631	-	1085	-	-
HCM Lane V/C Ratio	0.006	-	0.054	-	-
HCM Control Delay (s)	7.2	0	8.5	-	-
HCM Lane LOS	A	A	A	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

# Berwyn Properties, LLC

## Parking Impact Study

Berwyn Properties, LLC, is an affiliate of Turano Baking Company. The subject property will be owner-occupied. Currently, Turano Baking Company manages approximately 270 parking spaces across properties in Berwyn and Oak Park to support its operations. The proposed development includes over 100 parking spaces. In order to complete the project, Turano Baking Company will relocate approximately 50 delivery vehicles to its Berwyn parking lots, which currently accommodate 96 passenger vehicles. The proposed development will directly offset current parking needs of Turano Baking Company, and will not result in any additional parking needs for the area. We request that the requirement for a consultant's report be waived.

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke extending to the right.

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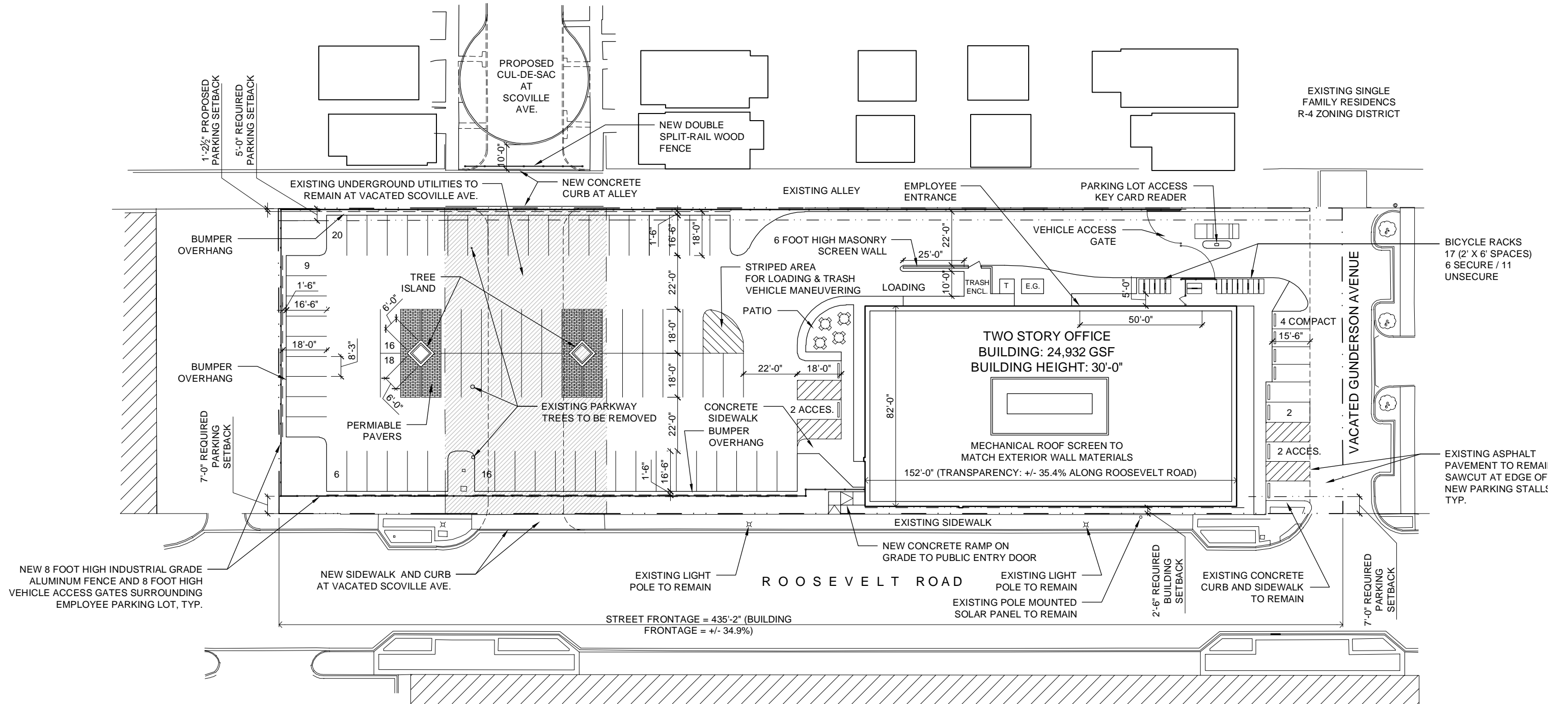
Berwyn Properties, LLC



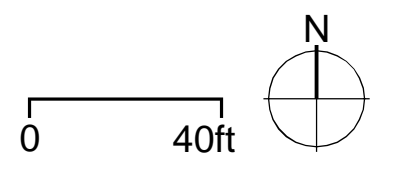
Contents:

- a. Site Plan\*
- b. Landscape Plan\*
  - i. Landscape Plan and Plant List
  - ii. Existing Tree Inventory
- c. Engineering Utility Plan\*
  - i. Preliminary Grading Plan
  - ii. Preliminary Utility Plan
  - iii. Preliminary Storm Water Management Report
- d. Exterior Lighting Plan\*
  - i. Site Lighting Photometric Plan
  - ii. Site Lighting Fixture Cut Sheets
- e. Floor Plans\*
  - i. First Floor Plan
  - ii. Second Floor Plan
- f. Building Elevations\*
  - i. South and West Elevation
  - ii. North and East Elevation
- g. Building Perspectives\*
  - i. Roosevelt Road View – Looking Northeast
  - ii. Roosevelt Road View – Looking Northwest
- h. Streetscape Elevations\*
  - i. Shadow Study\* (Not included / required for this project – no height relief requested)
- j. Sign Elevations
- k. Construction Logistics Plan\*
- l. Project Schedule\*

# TURANO BAKING COMPANY



<b>SITE DATA:</b> SITE AREA: 54,406 SQ.FT. = +/- 1.25 ACRES BUILDING AREA: 24,932 GROSS SQ.FT. BUILDING COVERAGE: 22.9% (12,466 SQ.FT.) IMPERVIOUS SURFACE COVERAGE: 84.5% (45,962 SQ.FT.)	<b>PARKING DATA:</b> REQUIRED PARKING: 1 / 500 SQ.FT. GFA = 50 STALLS PROPOSED PARKING: 95 TOTAL (INCL. 4 ACCESS. STALLS) <b>PARKING LOT / LANDSCAPE DATA:</b> PARKING LOT AREA: +/- 36,778 SQ.FT.	<b>PARKING LOT / LANDSCAPE DATA (CONT.):</b> REQUIRED LANDSCAPED AREA (10%): 3,678 SQ.FT. PROPOSED: 3,700.3 SQ.FT. (+/- 10.1%)
--	--	--





**Turano  
Baking Company**

Roosevelt Road  
Oak Park, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
300 N. Milwaukee Avenue | Libertyville, Illinois 60088  
T 847.382.0239 | F 847.382.0204

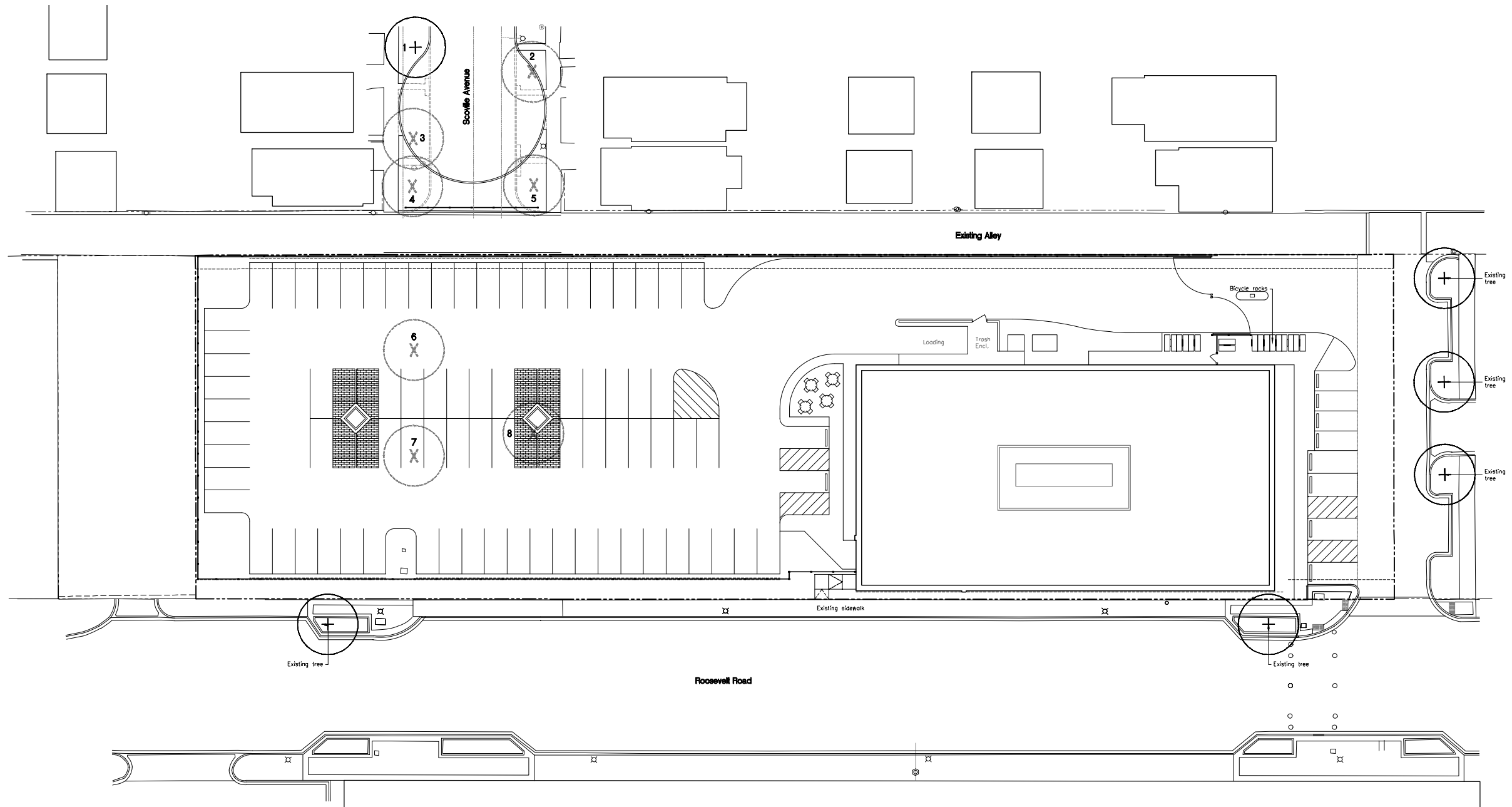


**Tree Key**



**Tree Inventory**

Tag	Size	Botanical Name	Common Name	Form/Condition	Action	Remarks
1	12"	Ginkgo biloba	Ginkgo	2/2	To remain	Significant Tree
2	4"	Quercus species	Oak	3/3	Remove	
3	4"	Gymnocladia dioica	Kentucky Coffeetree	3/3	Remove	
4	5"	Pyrus calleryana	Ornamental Pear	2/3	Remove	
5	13"	Acer x freemanii	Freeman Maple	3/3	Remove	Significant Tree
6	3"	Carpinus caroliniana	American Hornbeam	2/2	Remove	
7	22"	Tilia americana	American Linden	2/3	Remove	Significant Tree
8	2.5"	Platanus x acerifolia	London Planetree	2/2	Remove	



**Tree Inventory**

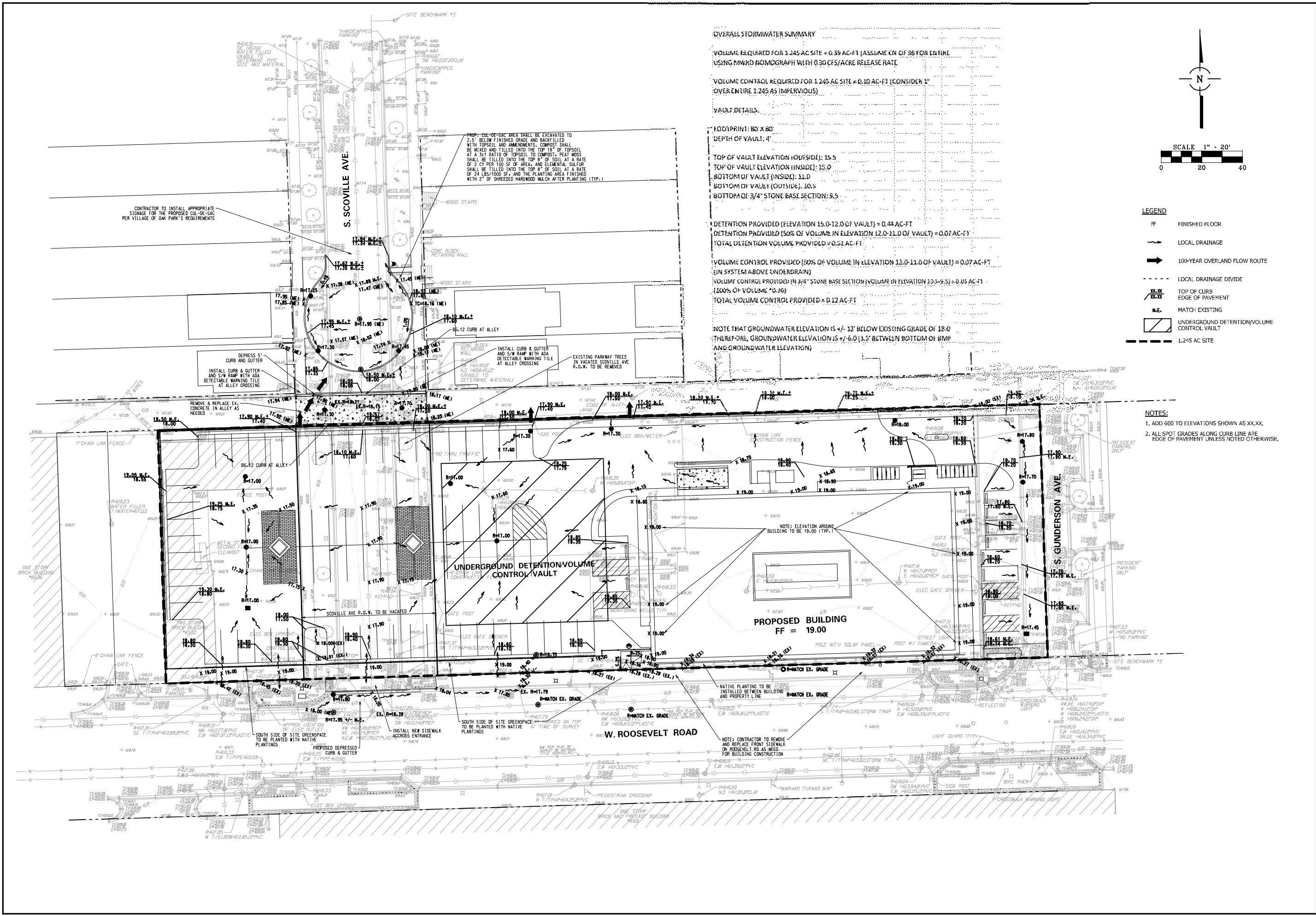
Mark	Description	Date
4	Per Village Comments	05/21/18
3	Planned Development Review	05/02/18
2	For Review	04/26/18
1	For Review	04/25/18

Number  
4787B

Scale  
1" = 20'

File  
4787TPSA

Sheet  
**L20**



**OVERALL STORMWATER SUMMARY**

VOLUME REQUIRED FOR 1.245 AC SITE = 0.39 AC-FT (ASSUME CN OF 98 FOR EXISTING USING MANNING NOMOGRAPH WITH 0.30 CFS/ACRE RELEASE RATE)

VOLUME CONTROL REQUIRED FOR 1.245 AC SITE = 0.10 AC-FT (CONSIDER 1" OVERENTIRE 1.245 AS IMPERVIOUS)

**VAULT DETAILS**

FOOTPRINT: 80' X 80'

DEPTH OF VAULT: 4'

TOP OF VAULT ELEVATION (OUTSIDE): 15.5

TOP OF VAULT ELEVATION (INSIDE): 15.0

BOTTOM OF VAULT (INSIDE): 11.0

BOTTOM OF VAULT (OUTSIDE): 10.5

BOTTOM OF 3/4" STONE BASE SECTION: 9.5

DETENTION PROVIDED (ELEVATION 15.0-12.0 OF VAULT) = 0.44 AC-FT

DETENTION PROVIDED (50% OF VOLUME IN ELEVATION 12.0-11.0 OF VAULT) = 0.07 AC-FT

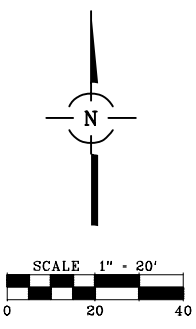
TOTAL DETENTION VOLUME PROVIDED = 0.51 AC-FT

VOLUME CONTROL PROVIDED (50% OF VOLUME IN ELEVATION 13.0-11.0 OF VAULT) = 0.07 AC-FT (IN SYSTEM ABOVE UNDERDRAIN)

VOLUME CONTROL PROVIDED IN 3/4" STONE BASE SECTION (VOLUME IN ELEVATION 13.0-9.5) = 0.05 AC-FT (100% OF VOLUME \* 0.36)

TOTAL VOLUME CONTROL PROVIDED = 0.12 AC-FT

NOTE THAT GROUNDWATER ELEVATION IS +/- 12' BELOW EXISTING GRADE OF 18.0 THEREFORE, GROUNDWATER ELEVATION IS +/- 6.0 (3.5' BETWEEN BOTTOM OF BMP AND GROUNDWATER ELEVATION)



- LEGEND**
- FF FINISHED FLOOR
  - LOCAL DRAINAGE
  - 100-YEAR OVERLAND FLOW ROUTE
  - LOCAL DRAINAGE DIVIDE
  - TOP OF CURB EDGE OF PAVEMENT
  - M.E. MATCH EXISTING
  - UNDERGROUND DETENTION/VOLUME CONTROL VAULT
  - 1.245 AC SITE

- NOTES:**
- ADD 600 TO ELEVATIONS SHOWN AS XX.XX
  - ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

PRELIMINARY GRADING/DRAINAGE PLAN

TURANO BAKERY OFFICE  
OAK PARK, ILLINOIS

CONSULTING ENGINEERS  
SITE DEVELOPMENT ENGINEERS  
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 694-4060 Fax: (847) 694-4065

FILENAME:  
8755P-GR

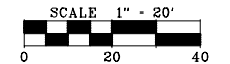
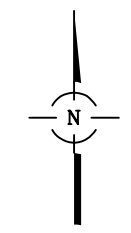
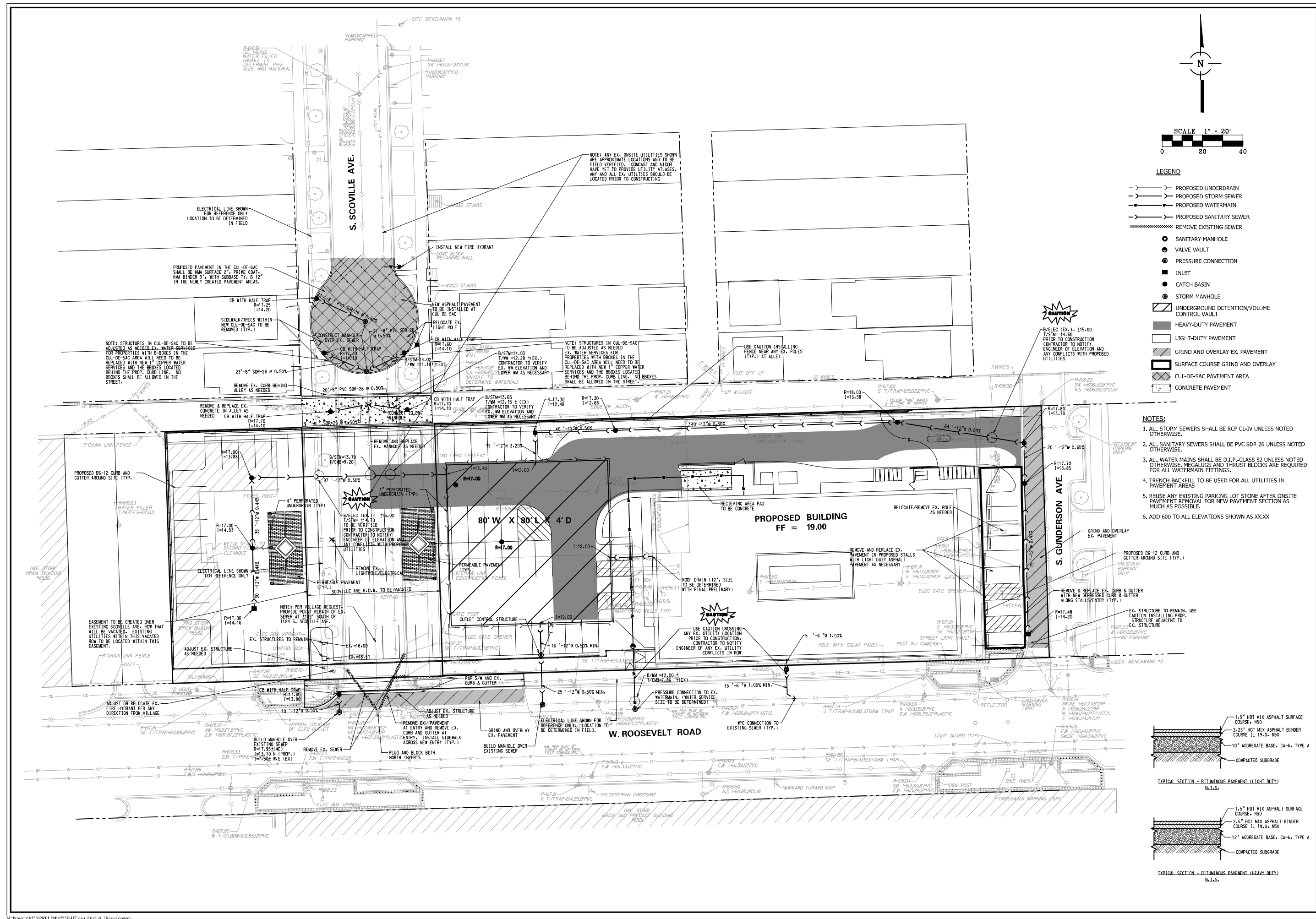
DATE:  
04/27/18

JOB NO.  
8755

SHEET  
P-GR  
1 OF 2

NO.	DATE	REMARKS
1	5/18/18	PER VILLAGE REVIEW



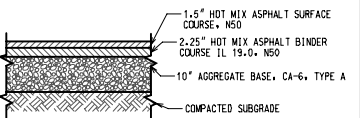


**LEGEND**

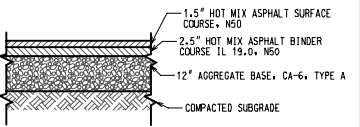
- PROPOSED UNDERDRAIN
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- ===== REMOVE EXISTING SEWER
- SANITARY MANHOLE
- VALVE VAULT
- PRESSURE CONNECTION
- INLET
- CATCH BASIN
- STORM MANHOLE
- ▨ UNDERGROUND DETENTION/VOLUME CONTROL VAULT
- ▨ HEAVY-DUTY PAVEMENT
- ▨ LIGHT-DUTY PAVEMENT
- ▨ SURFACE COURSE GRIND AND OVERLAY
- ▨ CUL-DE-SAC PAVEMENT AREA
- ▨ CONCRETE PAVEMENT

**NOTES:**

1. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
3. ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
4. TRENCH BACKFILL TO BE USED FOR ALL UTILITIES IN PAVEMENT AREAS
5. REUSE ANY EXISTING PARKING LOT STONE AFTER ONSITE PAVEMENT REMOVAL FOR NEW PAVEMENT SECTION AS MUCH AS POSSIBLE.
6. ADD 600 TO ALL ELEVATIONS SHOWN AS XX.XX



TYPICAL SECTION - BITUMINOUS PAVEMENT (LIGHT DUTY)  
N.I.S.



TYPICAL SECTION - BITUMINOUS PAVEMENT (HEAVY DUTY)  
N.I.S.

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	5/18/18	PER VILLAGE REVIEW

**PRELIMINARY UTILITY/SITE PLAN**  
**TURANO BAKERY OFFICE**  
OAK PARK, ILLINOIS

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 694-4060 Fax: (847) 694-4065



**SPACECO INC.**

FILENAME:  
8755P-UT

DATE:  
04/27/18

JOB NO.  
8755

SHEET  
**P-UT**  
2 OF 2



PRELIMINARY STORMWATER  
MANAGEMENT REPORT  
FOR

TURANO BAKERY OFFICE BUILDING  
OAK PARK, IL



Prepared For:

WRIGHT HEEREMA ARCHITECTS  
140 S. DEARBORN ST., SUITE 200, CHICAGO, IL 60628

Prepared By:  
SPACECO, Inc.  
9575 W. Higgins Road, Suite 700  
Rosemont, IL 60018  
PH: 847-696-4060  
Contact: Irene Wiczowski, P.E.

SPACECO PROJ #: 8755  
ORIGINAL DATE: 4/27/2018  
LAST REVISED:

## **TABLE OF CONTENTS**

TAB DESCRIPTION

**1 General Stormwater Information**

Project Narrative

**2 Retention and Volume Control Calculations**

- 1 Site Map
- 2 Detention Nomograph
- 3 Site Detention and Volume Control Characteristics
- 4 Preliminary Grading/Drainage Plan
- 5 Preliminary Utility/Site Plan

**3 Storm Sewer Calculations**

- 1 Storm Sewer Calculations
- 2 Inlet Area Map



**TAB 1**



## Narrative

The following stormwater narrative is for the Turano Bakery site improvements located at the northwest corner of Roosevelt Road and Gunderson Avenue in Oak Park, Illinois. This project consists of a proposed development of a new office building including utility improvements, stormwater detention and volume control, as well as proposed parking lot and Gunderson Avenue paving improvements. The existing portion of Scoville Avenue that runs thru the proposed site will be vacated.

This project area (approximately 1.245 acres) is governed by the Village of Oak Park and the Metropolitan Water Reclamation District of Greater Chicago (MWRDGC) and its Watershed Management Ordinance (WMO). The Watershed Development Ordinance, or WDO, regulates a project's needs for detention and water quality practices. The Illinois Department of Transportation (IDOT) also governs this project for any work done within the Roosevelt Road Right-Of-Way.

There will be some additional work north of the site where a proposed cul-de-sac will be installed at the southern of Scoville Avenue. This will not be considered part of the site detention area, as it is not part of the onsite project.

### Site Detention and Volume Control

Detention will be required based on the MWRDGC Detention Nomograph with a release rate of 0.30 cfs/ac. Considering the site to have a CN of 98, the site will require 0.39 ac-ft of detention storage. See Tab 1 for the Detention Nomograph. The stormwater detention will be provided by the use of a stormwater detention vault located within the proposed parking lot. Detention Volume will be provided within the upper 3 feet of the proposed stormwater detention vault. See Tab 2 for the Site Detention Characteristics and proposed Grading/Drainage Plan.

The MWRDGC WMO requires in Section 503.2 that one inch of stormwater runoff from all impervious surfaces of the development be treated using volume control practices. This equates to 0.10 ac-ft of volume control storage required. The volume control will be provided within the bottom foot of the proposed stormwater detention vault and the stone section that serves as the base for the proposed vault. See Tab 2 for the Site Volume Control calculations and proposed Grading/Drainage Plan.

### Proposed Conditions

Area of Project Disturbance	1.245 Acres
Site Conditions	
Proposed Detention Required	0.39 ac-ft
Proposed Volume Control Required	0.10 ac-ft
Post-Construction Conditions	
Assume CN of 98	
Proposed Detention Provided	0.51 ac-ft
Proposed Volume Control Provided	0.10 ac-ft

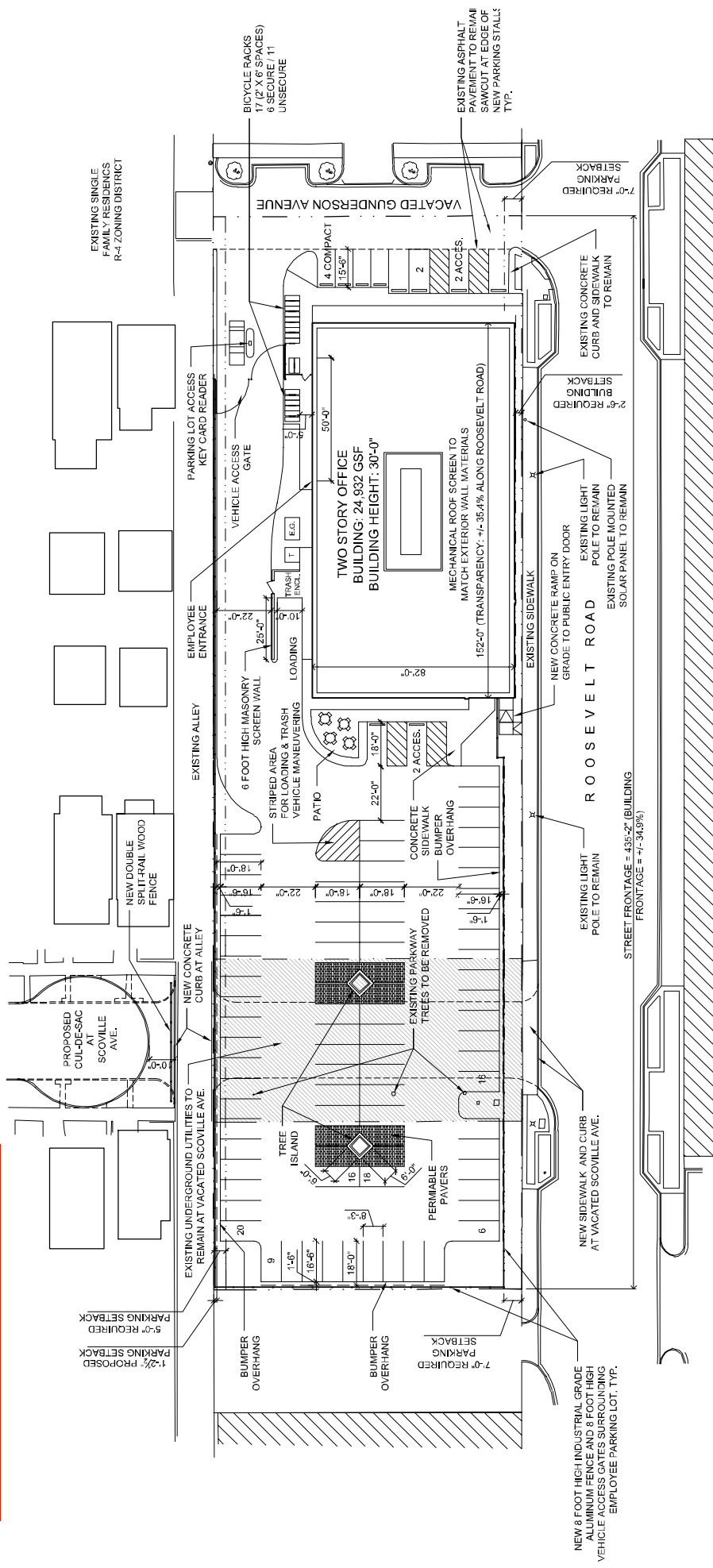
### Storm Sewers

New storm sewers are being added within the proposed development area and will connect to the proposed detention vault on the site. The outlet storm sewer from the detention vault will be restricted with an outlet control structure before connecting to the existing combined sewer within Roosevelt Road. Storm Sewer calculations and an inlet area map are found with Tab 3 of this report.

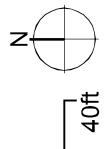


**TAB 2**

# TURANO BAKING COMPANY



SITE DATA	
SITE AREA: 54,406 SQ.FT. = +/- 1.25 ACRES	PARKING LOT / LANDSCAPE DATA (CONT.):
BUILDING AREA: 24,932 GROSS SQ.FT.	REQUIRED PARKING: 1,750 SQ.FT. GFA = 50 STALLS
BUILDING COVERAGE: 22.9% (12,466 SQ.FT.)	REQUIRED LANDSCAPED AREA (10%): 3,678 SQ.FT.
IMPERVIOUS SURFACE COVERAGE: 84.5% (45,992 SQ.FT.)	PROPOSED: 3,700.3 SQ.FT. (+/- 0.1%)
	PARKING LOT / LANDSCAPE DATA:
	PARKING LOT AREA: +/- 36,778 SQ.FT.





Enter Site Area:  acres

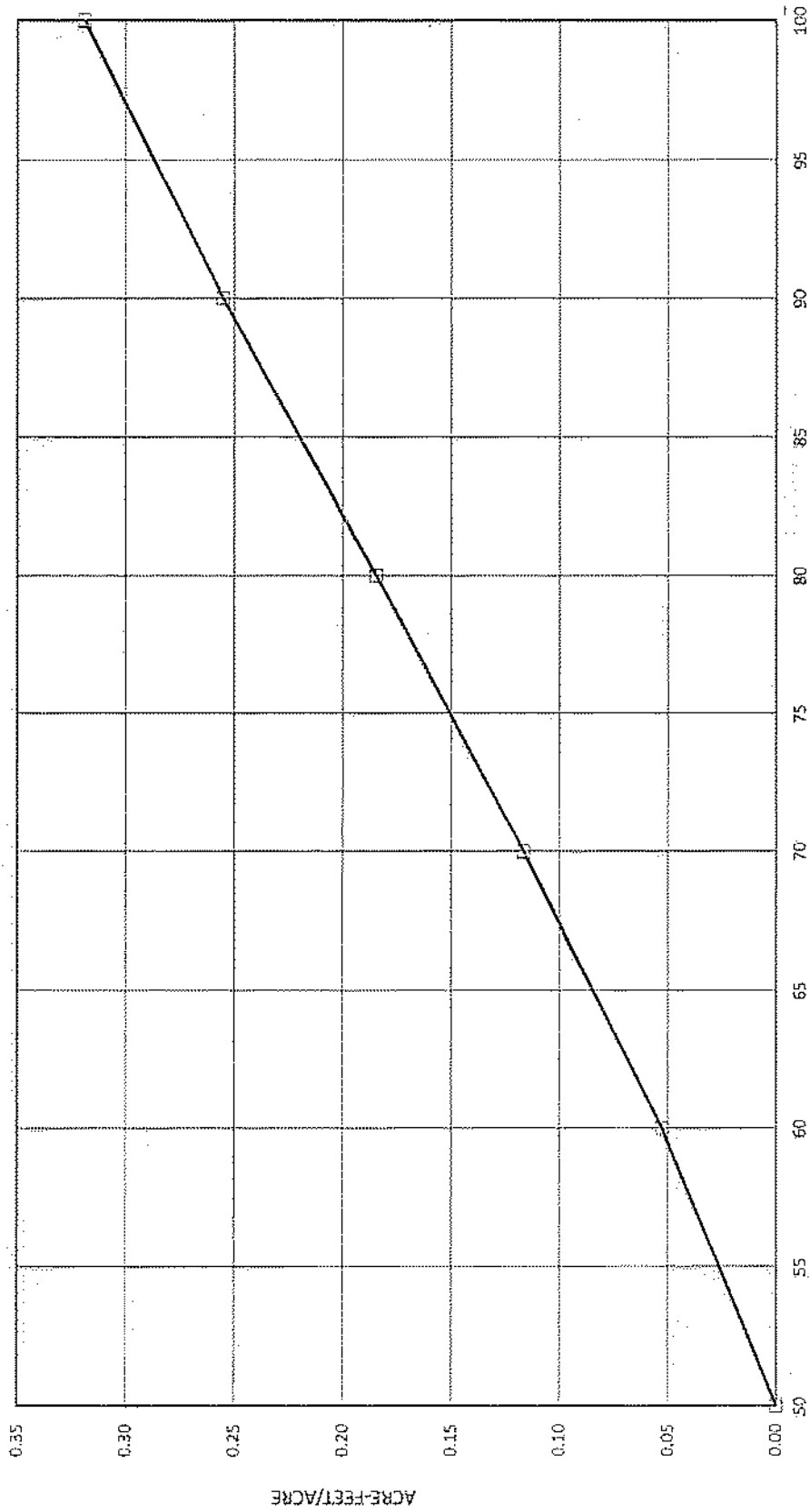
\* Blue Values are entered by user

Enter Reduced Curve Number for Site:

Estimated Required Detention Volume:  acre-feet

$$V.C. = 1.245 \text{ AC} \times 1'' = 0.10 \text{ AC-FT}$$

### DETENTION VOLUME VS REDUCED CURVE NUMBER\*



\* ADJUSTED FOR VOLUME CONTROL STORAGE PROVIDED, BASED ON RELEASE RATE OF 0.30 CFS/ACRE

## OVERALL STORMWATER SUMMARY

VOLUME REQUIRED FOR 1.245 AC SITE = 0.39 AC-FT (ASSUME CN OF 98 FOR ENTIRE USING MWRD NOMOGRAPH WITH 0.30 CFS/ACRE RELEASE RATE)

VOLUME CONTROL REQUIRED FOR 1.245 AC SITE = 0.10 AC-FT (CONSIDER 1" OVER ENTIRE 1.245 AS IMPERVIOUS)

### VAULT DETAILS:

FOOTPRINT: 80' X 80'

DEPTH OF VAULT: 4'

TOP OF VAULT ELEVATION (OUTSIDE): 15.5

TOP OF VAULT ELEVATION (INSIDE): 15.0

BOTTOM OF VAULT (INSIDE): 11.0

BOTTOM OF VAULT (OUTSIDE): 10.5

BOTTOM OF 3/4" STONE BASE SECTION: 9.5

DETENTION PROVIDED (ELEVATION 15.0-12.0 OF VAULT) = 0.44 AC-FT

DETENTION PROVIDED (50% OF VOLUME IN ELEVATION 12.0-11.0 OF VAULT) = 0.07 AC-FT

TOTAL DETENTION VOLUME PROVIDED = 0.51 AC-FT

VOLUME CONTROL PROVIDED (50% OF VOLUME IN ELEVATION 12.0-11.0 OF VAULT) = 0.07 AC-FT (IN SYSTEM ABOVE UNDERDRAIN)

VOLUME CONTROL PROVIDED IN 3/4" STONE BASE SECTION (VOLUME IN ELEVATION 10.5-9.5) = 0.05 AC-FT (100% OF VOLUME \*0.36)

TOTAL VOLUME CONTROL PROVIDED = 0.12 AC-FT

NOTE THAT GROUNDWATER ELEVATION IS +/- 12' BELOW EXISTING GRADE OF 18.0 THEREFORE, GROUNDWATER ELEVATION IS +/-6.0 (3.5' BETWEEN BOTTOM OF BMP AND GROUNDWATER ELEVATION)

## OVERALL STORMWATER SUMMARY

### DETENTION IN VAULT:

$$3' * (80' \times 80') = 19,200 \text{ cf} = 0.44 \text{ ac-ft}$$

$$0.5' * 1' * (80' * 80') = 3,200 \text{ c f} = 0.07 \text{ ac-ft}$$

Total: 0.51 ac-ft provided

### VOLUME CONTROL IN VAULT/STONE:

$$\text{VAULT: } 0.5' * 1' * (80' \times 80') = 3,200 \text{ CF} = 0.074 \text{ ac-ft}$$

$$\text{STONE: } 0.36' * 1' * (80' \times 80') = 2,304 \text{ CF} = 0.05 \text{ AC-FT}$$

Total: 0.12 ac-ft

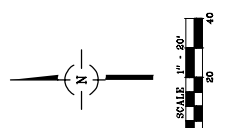


CONSULTING ENGINEERS  
LAND SURVEYORS  
7915 W. ROOSEVELT ROAD, SUITE 200  
MORTON, ILLINOIS 60451  
PHONE: (815) 943-8200 FAX: (815) 943-8205

PRELIMINARY GRADING/DRAINAGE PLAN  
TURANO BAKERY OFFICE  
OAK PARK, ILLINOIS

NO.	DATE	REMARKS
1	5/18/18	PER VILLAGE REVIEW

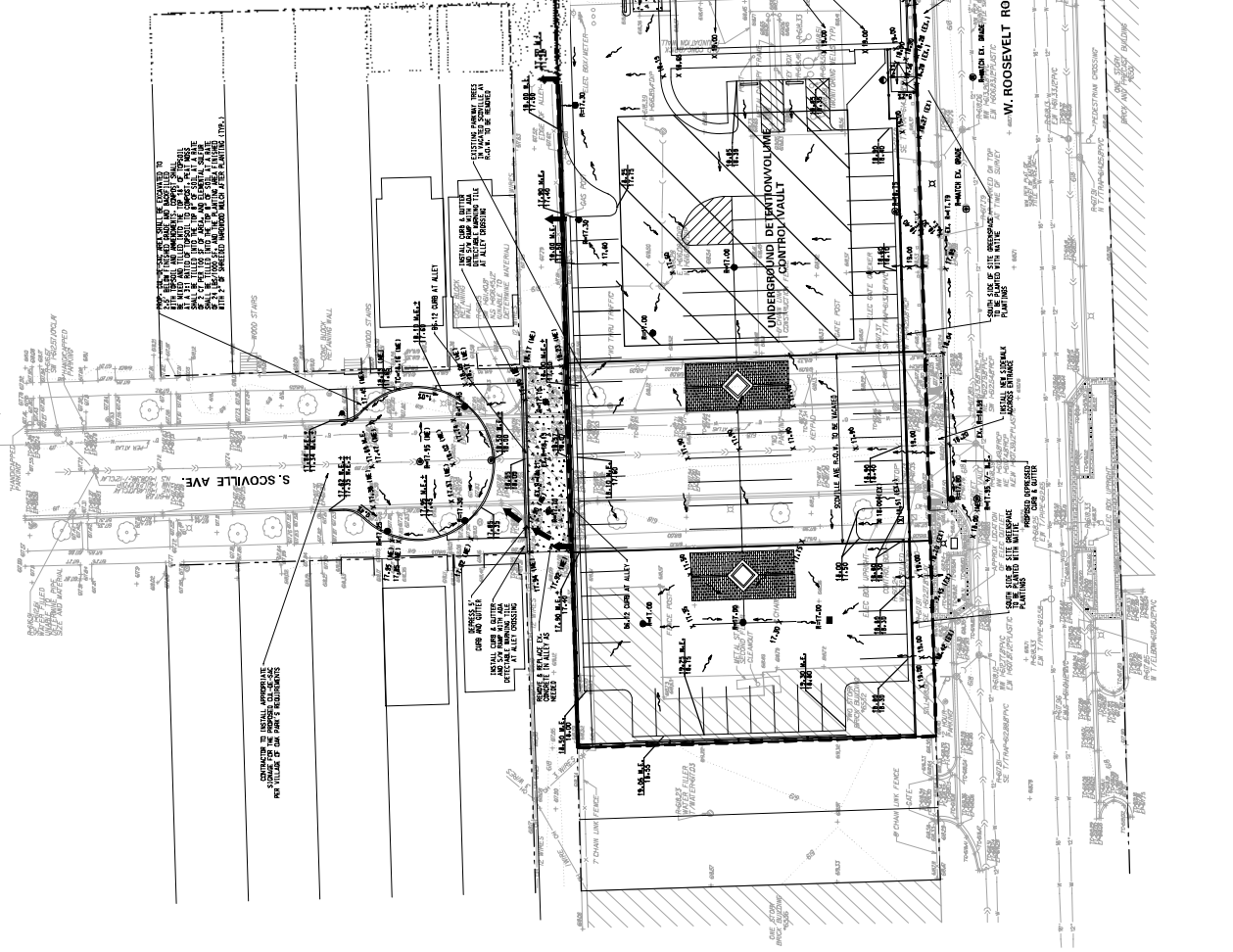
NO.	DATE	REMARKS



- LEGEND**
- FINISHED FLOOR
  - LOCAL DRAINAGE
  - 100-YEAR OVERLAND FLOW ROUTE
  - LOCAL DRAINAGE DIVIDE
  - TOP OF CURB
  - EDGE OF PAVEMENT
  - MATCH EXISTING
  - UNDERGROUND DETENTION VOLUME
  - CONTROL VAULT
  - 1.2% AC SITE

- NOTES:**
- REFER TO ELEVATIONS SHOWN AS X.X.X.
  - ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE VILLAGE OF OAK PARK AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO CONSTRUCTION.







the 1990s, the number of people with a diagnosis of schizophrenia has increased in many countries, including the United Kingdom (Murray & Lewis, 1994). The prevalence of schizophrenia is estimated to be 1% of the population (Murray & Lewis, 1994).

There is a growing awareness of the need to improve the lives of people with schizophrenia. The World Health Organization (1993) has identified the need for a 'recovery approach' to mental health care. This approach is based on the idea that people with schizophrenia can lead a meaningful and fulfilling life, despite their illness. The recovery approach is based on the following principles:

- (1) People with schizophrenia are individuals, not just patients.
- (2) People with schizophrenia have the right to be treated with respect and dignity.
- (3) People with schizophrenia have the right to be involved in decisions about their care.
- (4) People with schizophrenia have the right to live in a community.

The recovery approach is based on the idea that people with schizophrenia can lead a meaningful and fulfilling life, despite their illness. The recovery approach is based on the following principles:

- (5) People with schizophrenia have the right to be treated with respect and dignity.
- (6) People with schizophrenia have the right to be involved in decisions about their care.
- (7) People with schizophrenia have the right to live in a community.

The recovery approach is based on the idea that people with schizophrenia can lead a meaningful and fulfilling life, despite their illness. The recovery approach is based on the following principles:

- (8) People with schizophrenia have the right to be treated with respect and dignity.
- (9) People with schizophrenia have the right to be involved in decisions about their care.
- (10) People with schizophrenia have the right to live in a community.

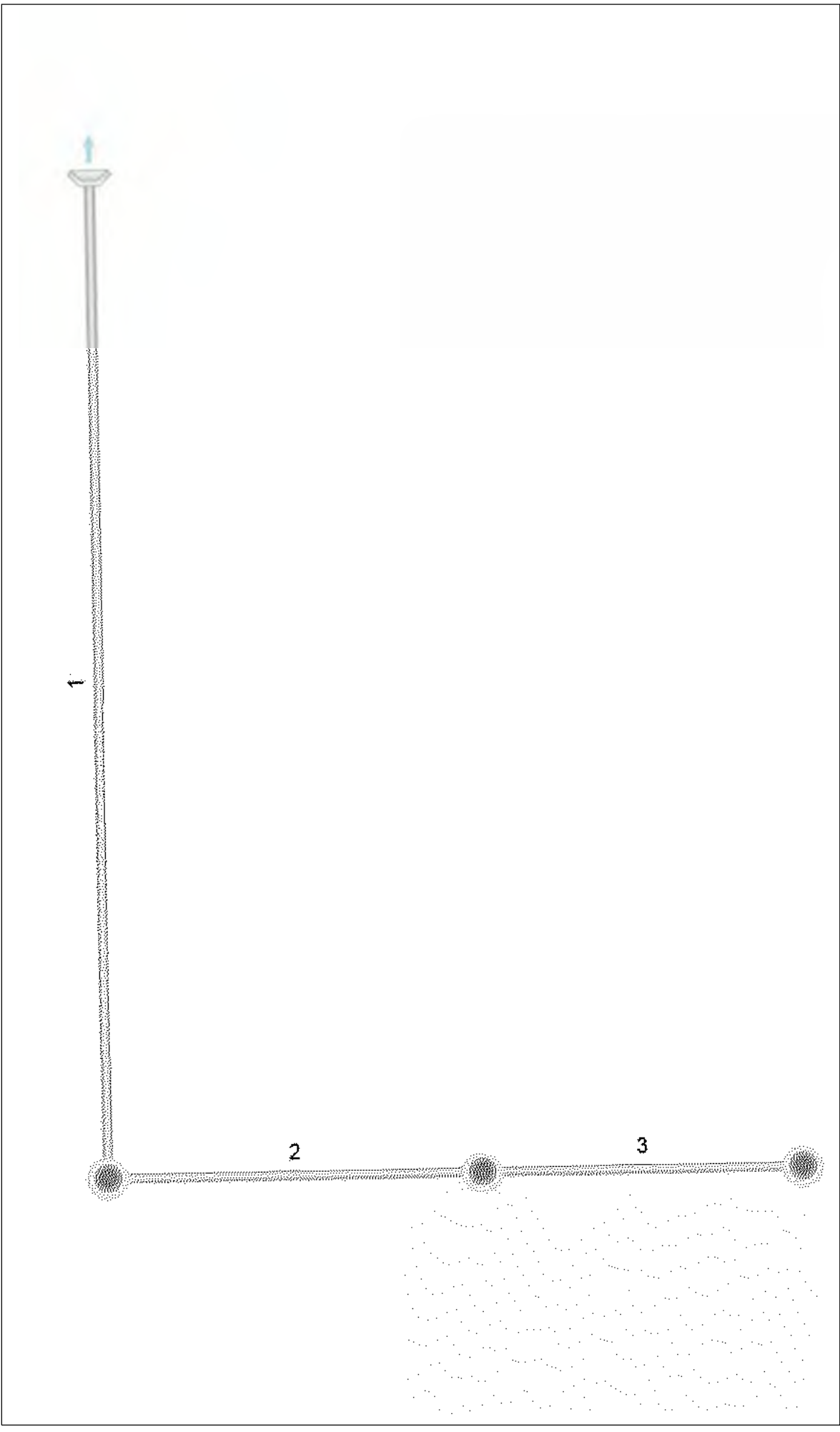
The recovery approach is based on the idea that people with schizophrenia can lead a meaningful and fulfilling life, despite their illness. The recovery approach is based on the following principles:

- (11) People with schizophrenia have the right to be treated with respect and dignity.
- (12) People with schizophrenia have the right to be involved in decisions about their care.
- (13) People with schizophrenia have the right to live in a community.

**TAB 3**

## Storm Sewer Design Criteria

- Rainfall Return Period: 10-Year
- Hydraulic Grade Line (H.G.L.): 10-year: conveyance in pipe
- Peak Discharge Method: Rational Formula,  $Q = C I A$
- Computer Software: Stormwater Studio by Hydrology Studio
- Rainfall Intensity: Use ISWS Bulletin 70, Table 13 for Northeast Zone
- Runoff Coefficient: Impervious area:  $C = 0.95$
- Inlet Time:  $T_c = 10$  Minutes
- Pipe Capacity: Use Manning's equation for full pipe flow capacity.  
Use  $n = 0.013$  for RCP.



# Storm Sewer Tabulation

Project Name: Enter Project Name...

Stormwater Studio 2017 v 2.0.0.55

05-18-2018

Line ID	Length (ft)	Drng Area		Rational	C x A		Tc		Intensity (in/hr)	Total Q (cfs)	Capacity (cfs)	Velocity (ft/s)	Line		Invert Elev		HGL Elev		Surface Elev		Line No
		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
Line 1	93.00	0.10	0.28	0.95	0.10	0.27	10.0	11.17	5.58	1.49	2.56	2.26	12	0.52	13.40	13.88	14.40	14.56	17.00	17.00	1
Line 2	35.00	0.08	0.18	0.95	0.08	0.17	10.0	10.71	5.69	0.97	2.33	1.72	12	0.43	13.88	14.03	14.63	14.65	17.00	17.00	2
Line 3	30.00	0.10	0.10	0.95	0.10	0.10	10.0	10.00	5.86	0.56	2.34	1.15	12	0.43	14.03	14.16	14.69	14.70	17.00	17.00	3

Notes: IDF File = BULL 70Modified(New).idf, Return Period = 10-yrs.

Project File: System 1.sws

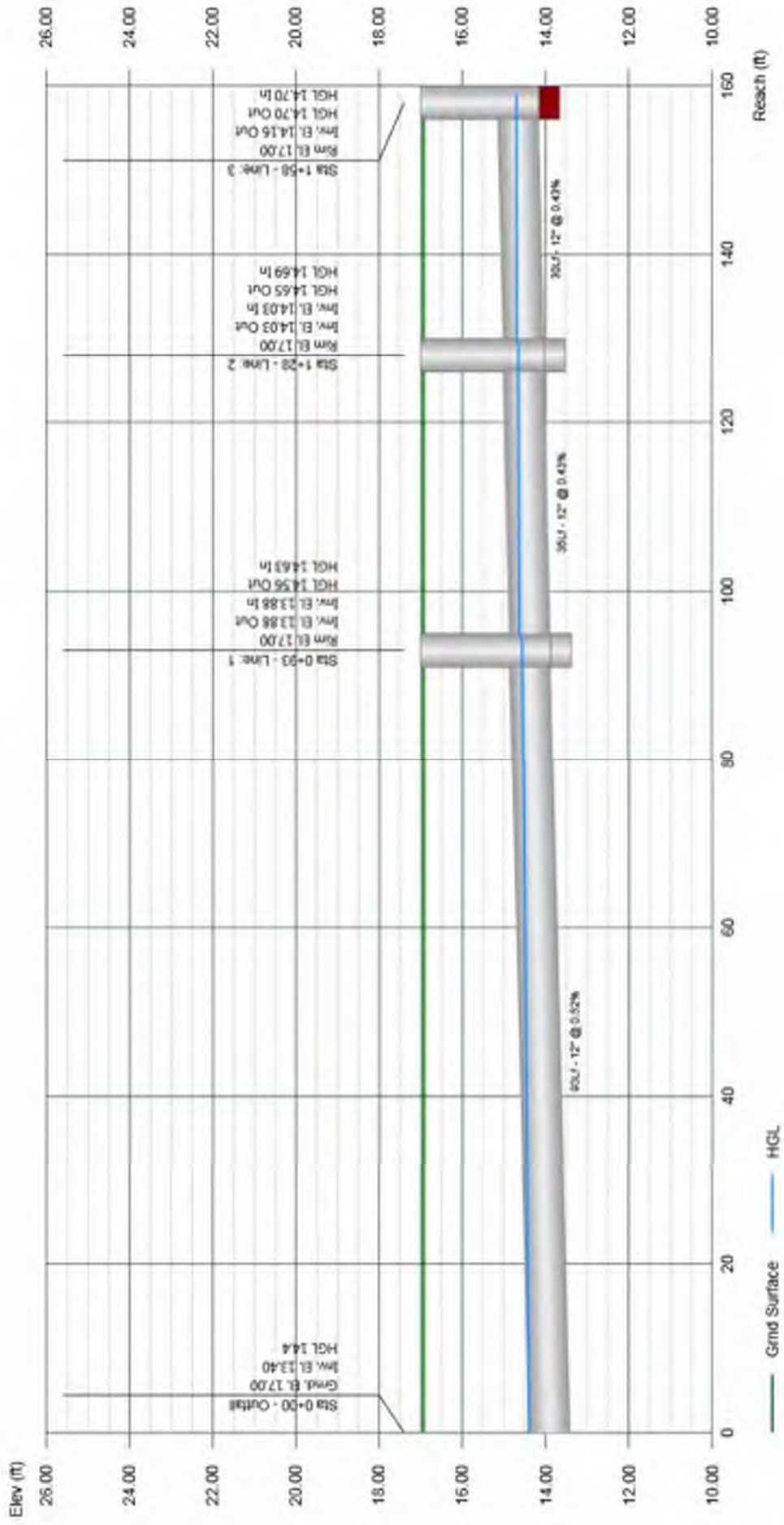


# Profile View

Stormwater Studio 2017 v. 2.0.0.55

Project Name: Enter Project Name...

05-16-2018

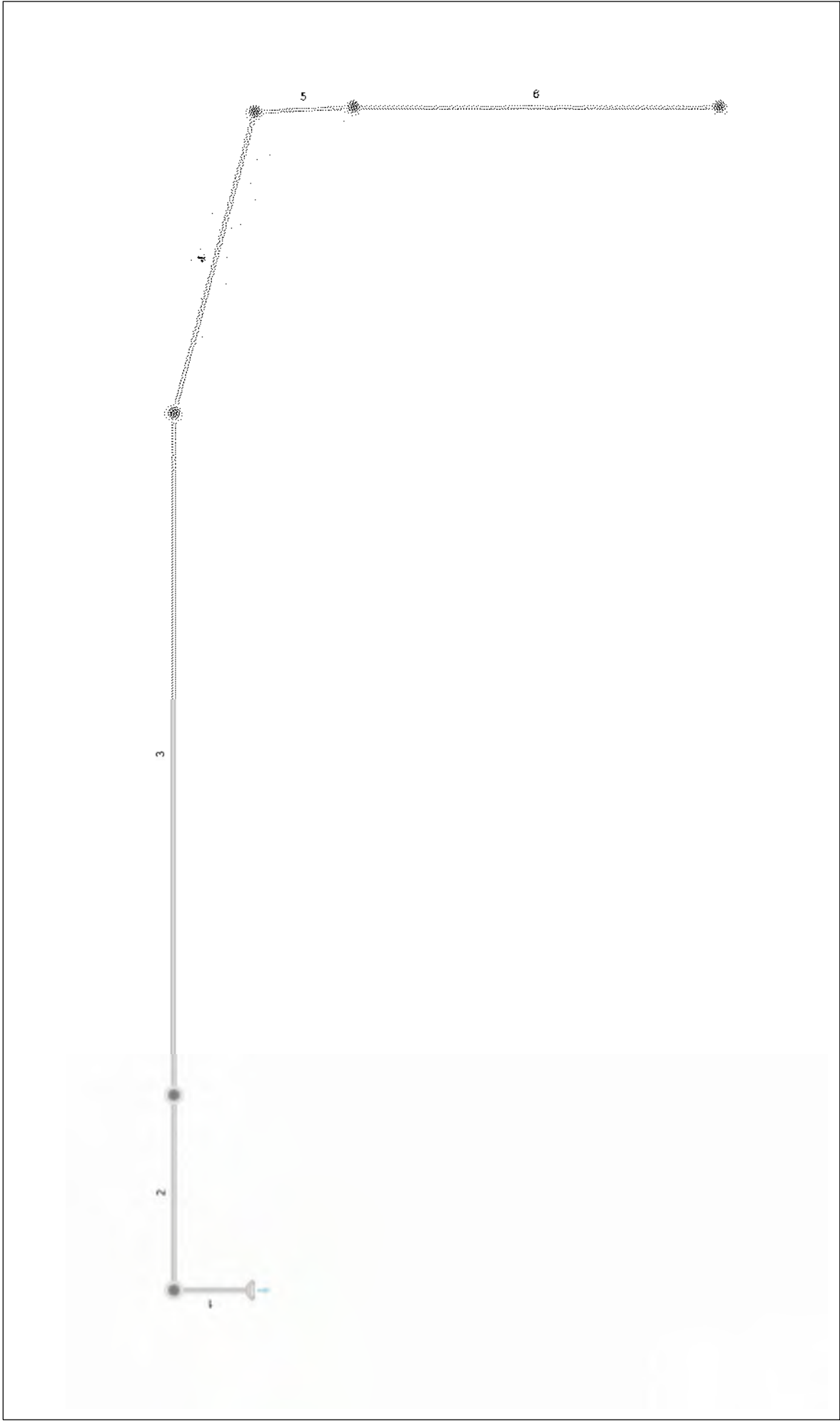


# Plan View

Stormwater Studio 2017 v 2.0.0.53

Project Name: Enter Project Name...

04-26-2018



Project File System 3.svs

# Storm Sewer Tabulation

Project Name: Enter Project Name...  
04-26-2018

Stormwater Studio 2017 v. 2.0.0.53

Line ID	Length (ft)	Drng Area (ac)		Rational (C)	C x A		Tc (min)		Intensity (in/hr)	Total Q (cfs)	Capacity (cfs)	Velocity (ft/s)	Line		Invert Elev (ft)		HGL Elev (ft)		Surface Elev (ft)		Line No
		Incr	Total		Incr	Total	Inlet	Syst					Size (in)	Slope (%)	Dn	Up	Dn	Up	Dn	Up	
Line 1	15.00	0.01	0.32	0.95	0.30	0.01	10.0	16.45	5.34	1.62	6.37	2.91	12	3.20	12.00	12.48	13.00	13.02	17.00	17.30	1
Line 2	40.00	0.14	0.31	0.95	0.29	0.13	10.0	16.16	5.38	1.59	2.52	2.97	12	0.50	12.48	12.68	13.18	13.28	17.30	17.30	2
Line 3	140.00	0.06	0.17	0.95	0.16	0.06	10.0	14.37	5.67	0.92	2.52	2.21	12	0.50	12.68	13.38	13.46	13.79	17.30	18.00	3
Line 4	64.00	0.02	0.11	0.95	0.10	0.02	10.0	13.12	5.89	0.62	2.50	1.90	12	0.49	13.38	13.70	13.96	14.05	18.00	17.80	4
Line 5	20.28	0.03	0.09	0.95	0.09	0.03	10.0	12.64	5.98	0.51	3.06	1.77	12	0.74	13.70	13.85	14.19	14.19	17.80	17.70	5
Line 6	75.00	0.06	0.06	0.95	0.06	0.06	10.0	10.00	6.53	0.37	2.43	1.74	12	0.47	13.85	14.20	14.27	14.46	17.70	17.45	6

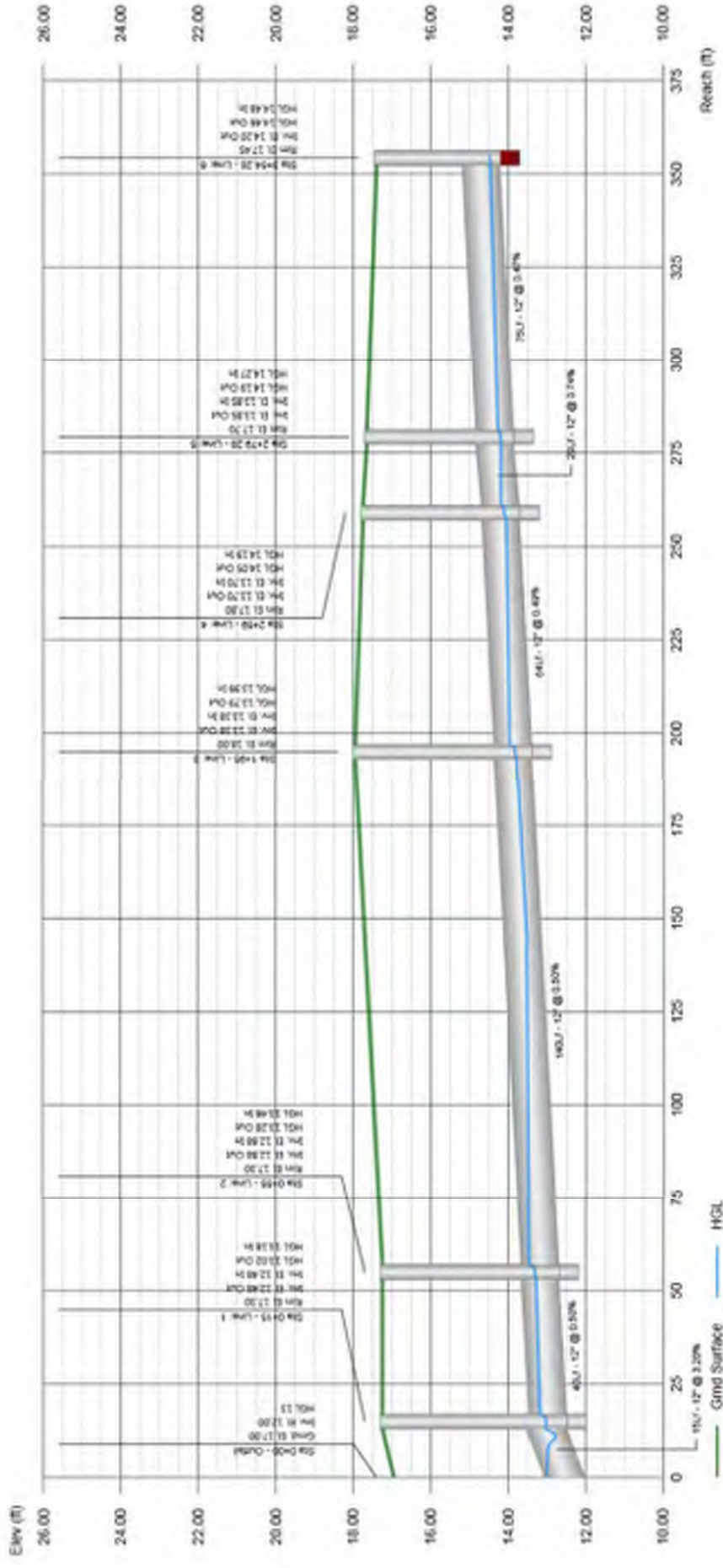
Notes: IDF File = SampleIDF.idf, Return Period = 10-yrs.

Project File: System 3.sus

# Profile View

Stormwater Studio 2017 v 2.0.0.53

Project Name: Enter Project Name...  
04-26-2018

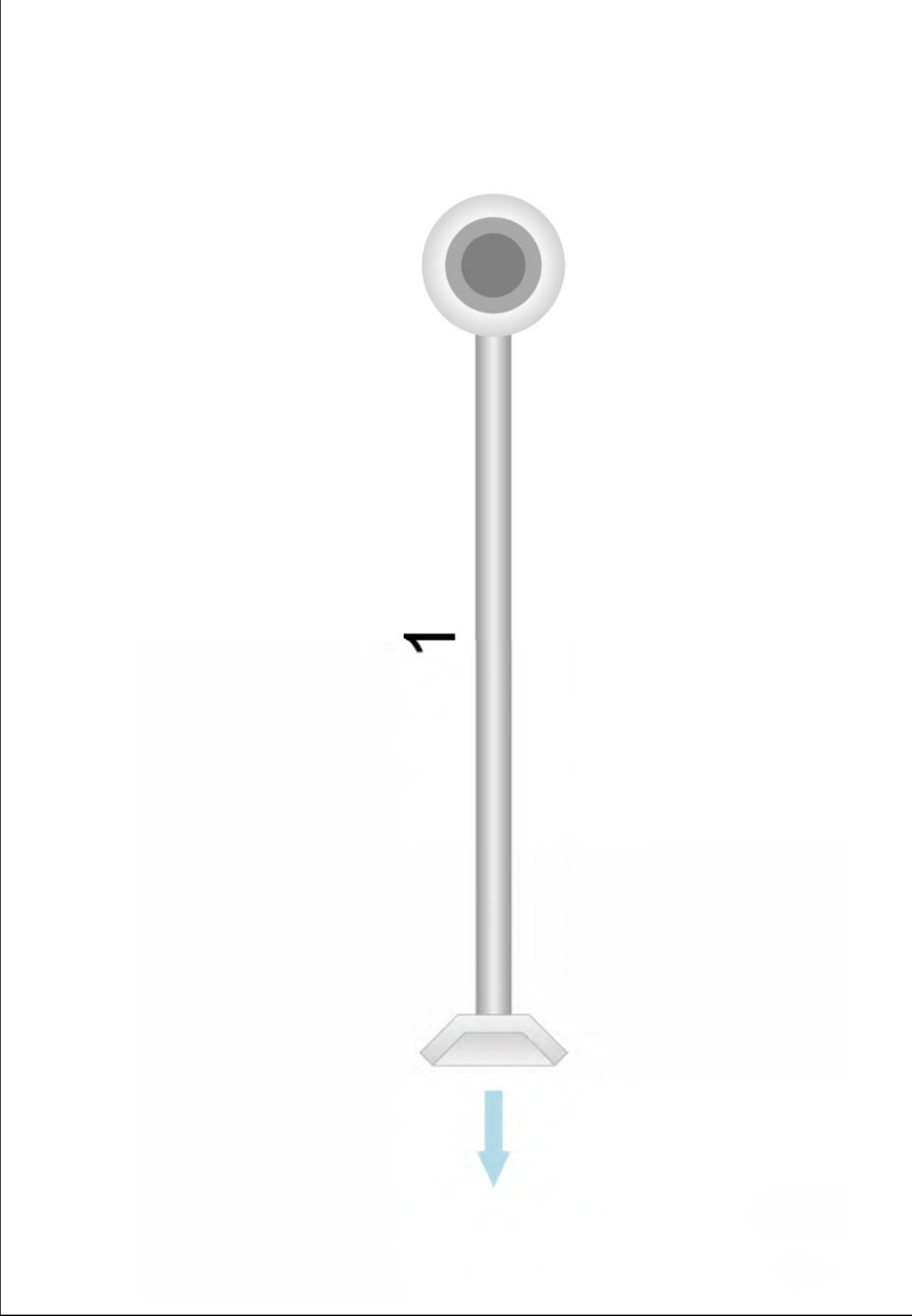


# Plan View

Stormwater Studio 2017 v 2.0.0.53

Project Name: 8755

04-25-2018





# Storm Sewer Tabulation

Project Name: 8755

Stormwater Studio 2017 v 2.0.0.53

04-25-2018

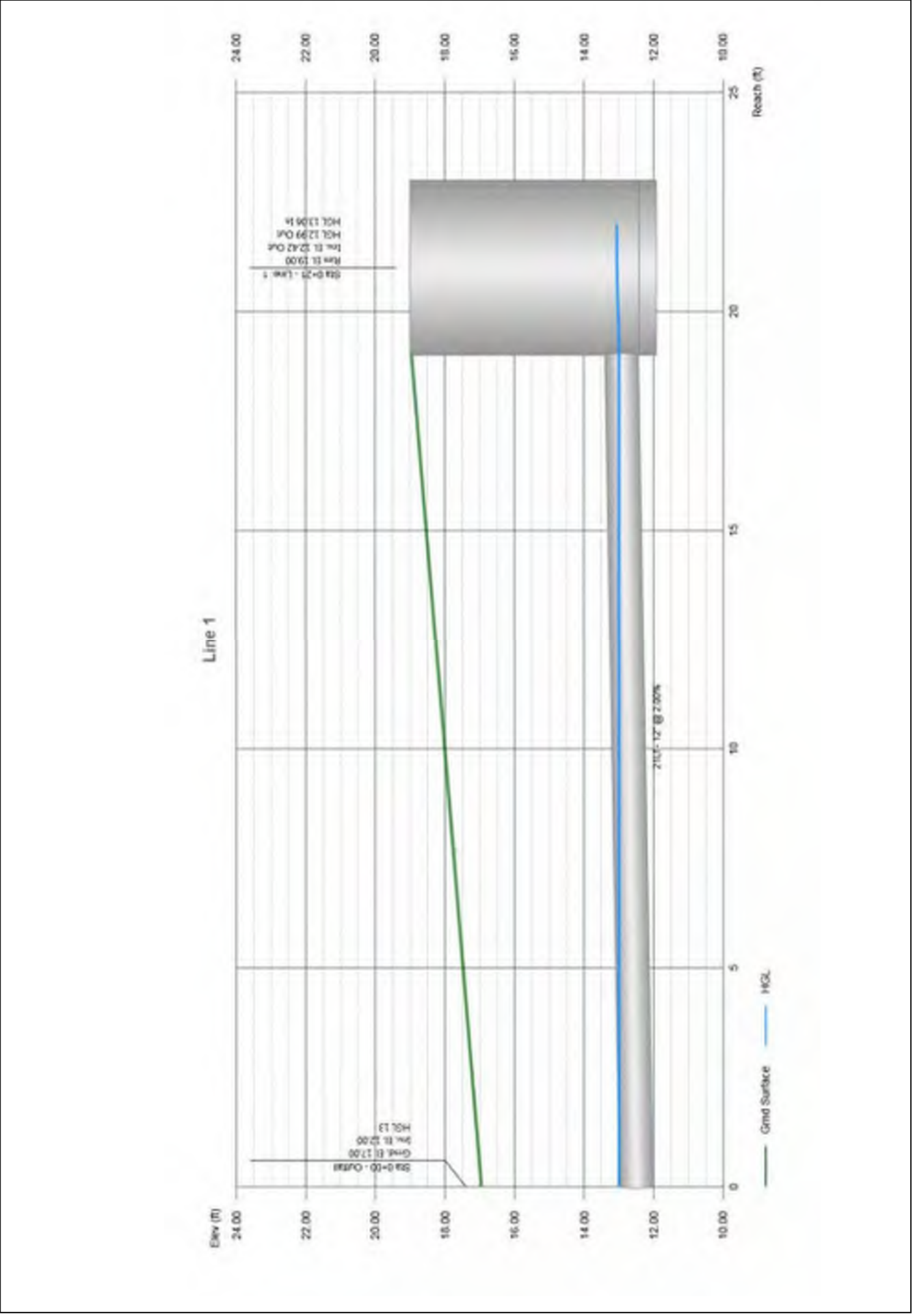
Line ID	Length (ft)	Drng Area		Rational	C x A		Tc		Intensity (in/hr)	Total Q (cfs)	Capacity (cfs)	Velocity (ft/s)	Line		Invert Elev		HGL Elev		Surface Elev		Line No
		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Incr	Total	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
Line 1	21.00	0.29	0.29	0.95	0.28	0.28	10.0	10.00	6.53	1.80	5.04	3.09	12	2.00	12.00	12.42	13.00	12.99	17.00	19.00	1

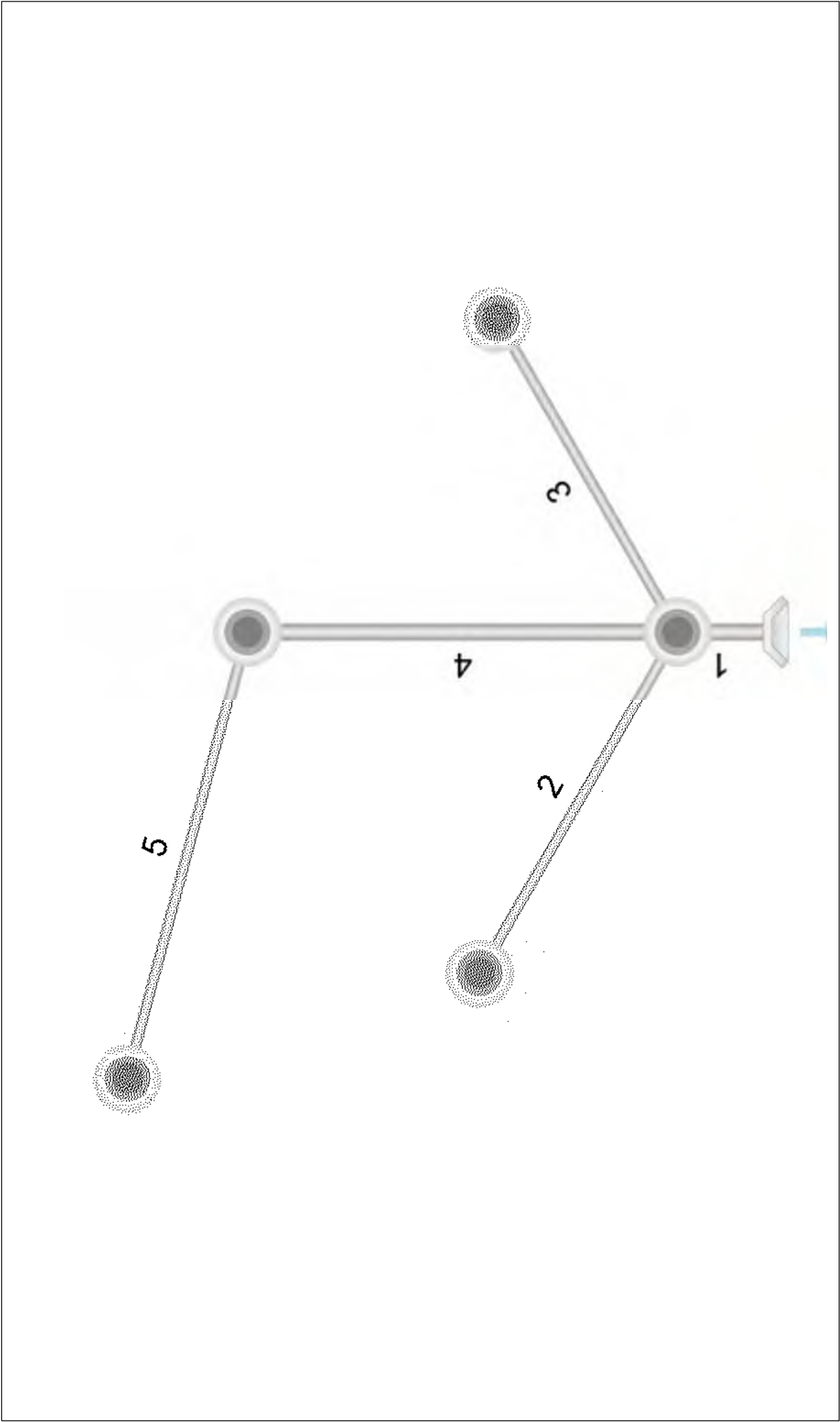
# Profile View

Stormwater Studio 2017 v 2.0.0.53

Project Name: 8755

04-25-2018





# Storm Sewer Tabulation

Project Name: 8755

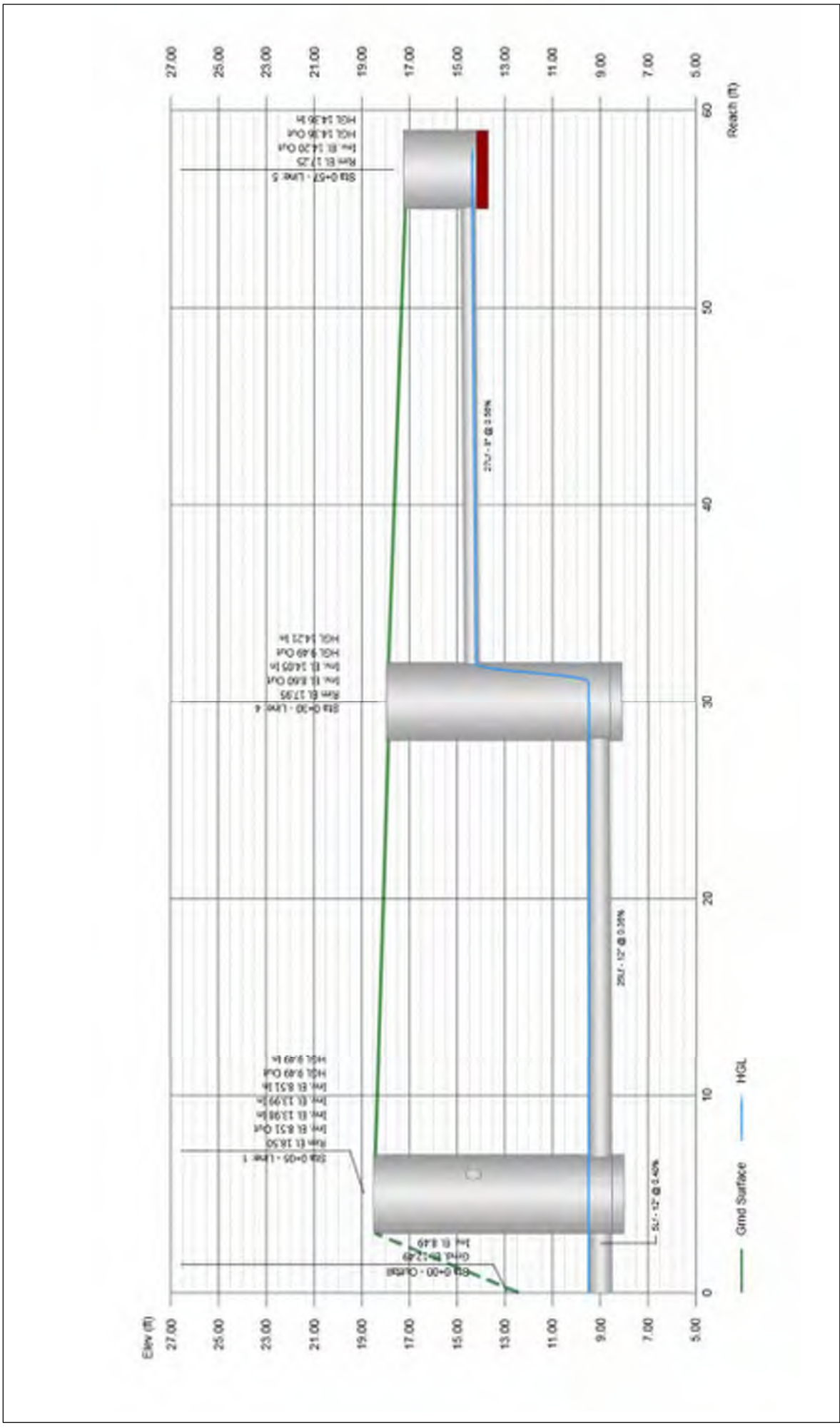
Stormwater Studio 2017 v 2.0.0.55

05-18-2018

Line ID	Length (ft)	Drng Area		Rational	C x A		Tc		Intensity (in/hr)	Total Q (cfs)	Capacity (cfs)	Velocity (ft/s)	Line		Invert Elev		HGL Elev		Surface Elev		Line No
		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
Line 1	5.00	0.00	0.04	0.00	0.00	0.04	0.0	14.37	4.96	0.19	2.25	0.24	12	0.40	8.49	8.51	9.49	9.49	0.00	18.50	1
Line 2	23.00	0.01	0.01	0.95	0.01	0.01	10.0	10.00	5.86	0.06	0.87	1.40	8	0.52	13.98	14.10	14.09	14.21	18.50	17.30	2
Line 3	21.00	0.01	0.01	0.95	0.01	0.01	10.0	10.00	5.86	0.06	0.87	1.40	8	0.52	13.99	14.10	14.10	14.21	18.50	17.60	3
Line 4	25.00	0.00	0.02	0.00	0.00	0.02	0.0	11.41	5.53	0.11	2.14	0.14	12	0.36	8.51	8.60	9.49	9.49	18.50	17.95	4
Line 5	27.00	0.02	0.02	0.95	0.02	0.02	10.0	10.00	5.86	0.11	0.90	1.75	8	0.56	14.05	14.20	14.21	14.36	17.95	17.25	5

Notes: IDF File = BULL 70Modified(New).idf, Return Period = 10-yrs.

Project File: System 5.sws



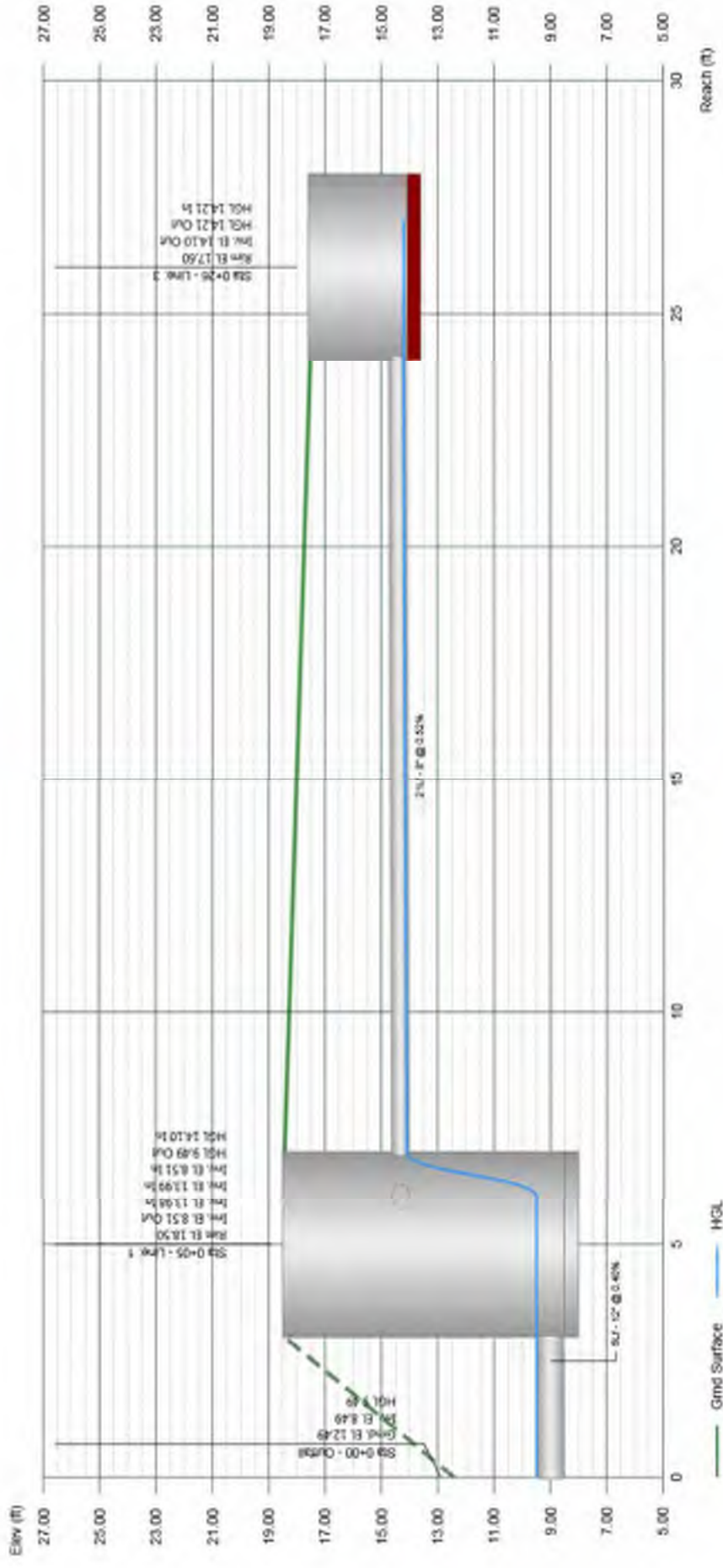




# Profile View

Stormwater Studio 2017 v. 2.0.0.55

Project Name: 8755  
05-16-2018



Project File System S.w.s

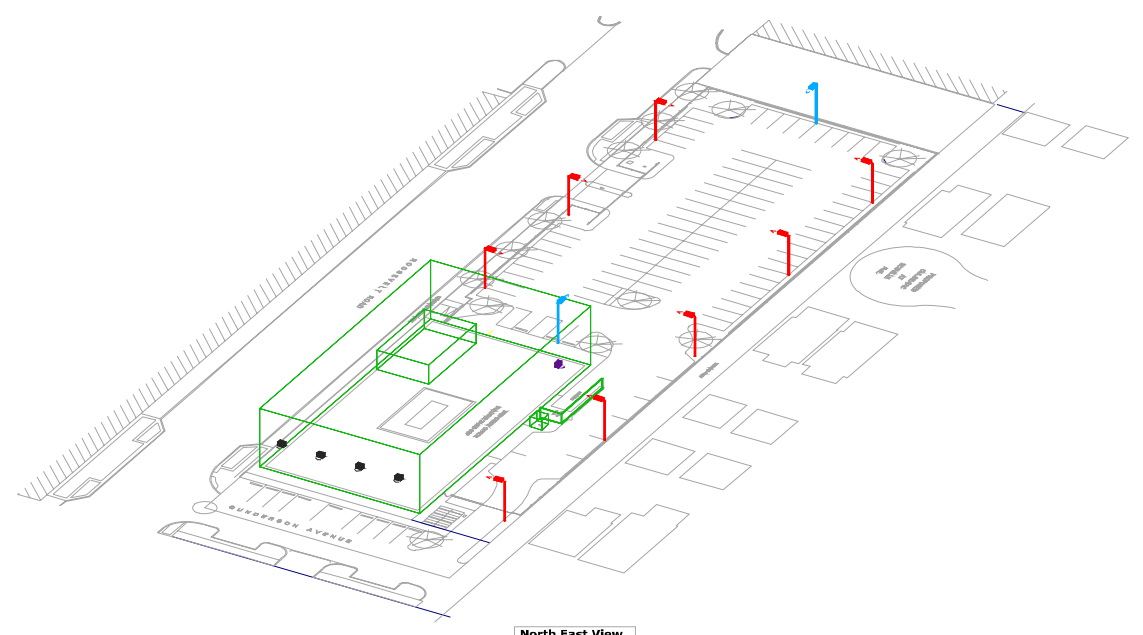


Statistics					
Description	Symbol	Avg	Max	Min	Count
01. Entire Site	+	2.4 ft	6.9 ft	0.0 ft	10
02. North Alley	+	0.6 ft	2.1 ft	0.0 ft	2
03. Roosevelt Road	+	0.3 ft	2.1 ft	0.0 ft	2
04. Turano Parking Only	X	3.0 ft	6.9 ft	0.2 ft	14

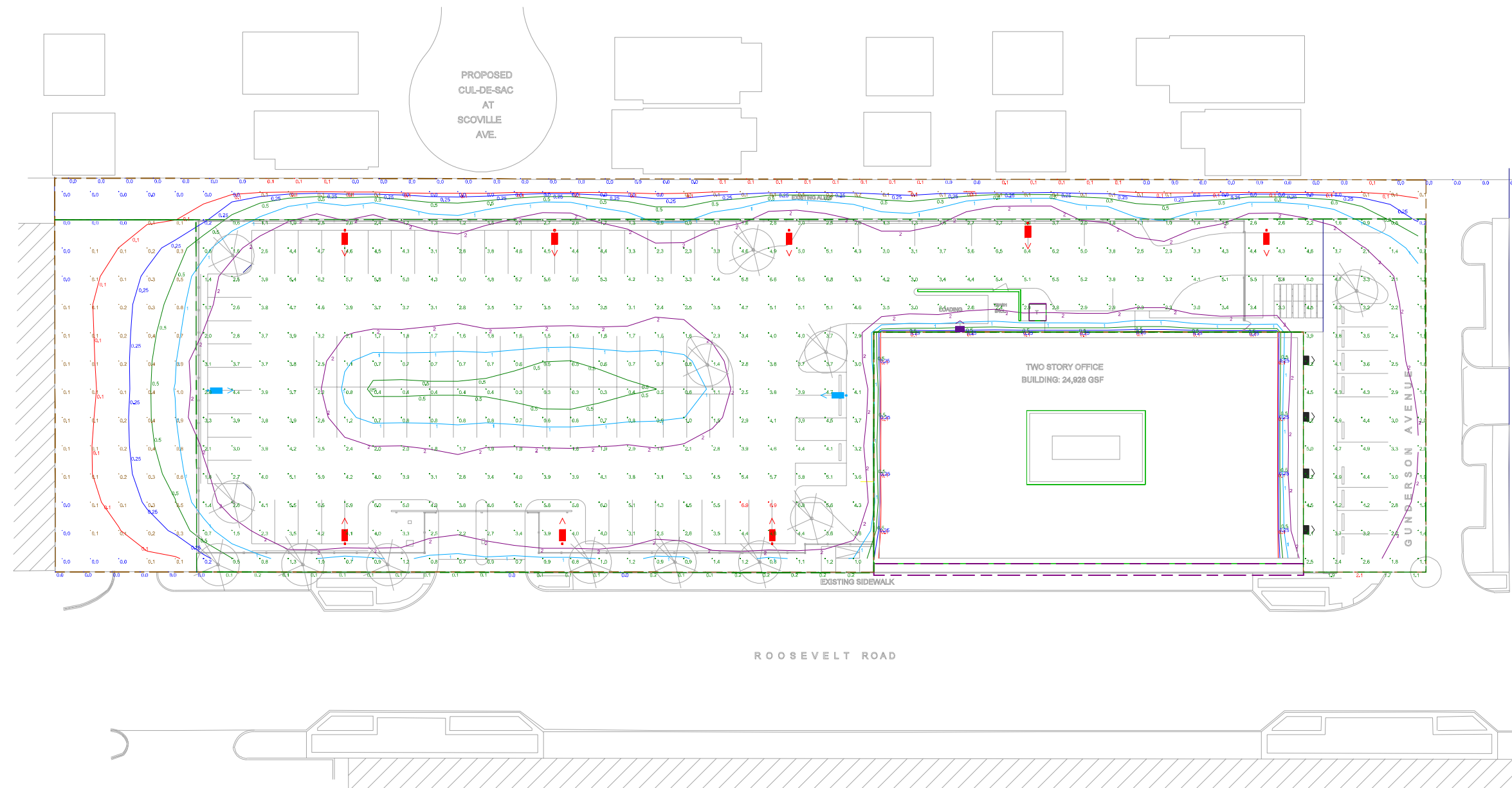
Schedule											
Symbol	Catalog Number	Label	QTY	Manufacturer	Description	Number Lamps	Filename	Lamp	LLF	Wattage	Footcandle
	DSX1 LED P5 40K BUC	F1	8	LITHONIA	DSX1 LED P5 40K BLC (BACK LIGHT CONTROL)	1	DSX1_LED_P5_40K_BLC_MV_OLT.ies	LED	0.95	138	1014
	DSX1 LED P5 40K TFFM HS	F2	2	LITHONIA	DSX1 LED P5 40K TFFM w/HOUSE SHIELD	1	DSX1_LED_P5_40K_TFFM_M_VOLT_HS.ies	LED	0.95	138	1014
	DSXW1 LED 20C 700 40K TFFM	F3	4	LITHONIA	DSXW1 LED 20C 700 40K TFFM (FORWARD THROW)	1	DSXW1_LED_20C_700_40K_TFFM_M_VOLT.ies	LED	0.95	42.7	554
	DSXW1 LED 20C 700 40K T3M	F4	1	LITHONIA	DSXW1 LED 20C 700 40K T3M	1	DSXW1_LED_20C_700_40K_T3M_M_VOLT.ies	LED	0.95	42.7	554

**NOTES**

- Drawing assumes 24" concrete base 2" above grade, with an 18" pole.
- Building fixtures are mounted @ ~15' above grade (to be aligned with architectural features).



North East View



Plan View  
 Scale = 1" = 20ft

TURANO BAKERY  
 ROOSEVELT ROAD  
 OAK PARK, IL

Designer: MFL  
 Date: 5/18/18  
 Scale: 1" = 20'-0"  
 Drawing No.: 051818PS1  
 Summary









### D-Series Size 1 LED Area Luminaire

**Specifications**

- Size: 12" x 12"
- Length: 12"
- Width: 12"
- Height: 11.5"
- Weight: 27 lbs

**Capable Luminaire**

This luminaire is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for photometric consistency.
- This luminaire is A+ Certified when ordered with DTL\* controls marked by a **White Background**. DTL, DALI equipped luminaires meet the A+ specification for luminaire-to-photometric interoperability.
- This luminaire is part of an A+ Certified solution for RDM or XPS™ wireless control networks, providing out-of-the-box control compatibility with simple commissioning when ordered with drivers and control options marked by a **White Background**.

To learn more about A+, visit [www.acuitybrands.com/a+](http://www.acuitybrands.com/a+)

- See ordering notes for details.
- A+ Certified Solutions for RDM require the order of one RDM module per luminaire. Sold Separately. Link to RDM module: [RDM Module](#).

**Ordering Information**

EXAMPLE: D6X1 LED P7 40K T2M MVCLT SPA D6X1D

Code	Qty	Color Temperature	Beam Spread	Mounting	Notes
D6X1D	1	40K	25°	Surface	Standard
P7	1	40K	25°	Surface	Photometric consistency
T2M	1	40K	25°	Surface	Photometric consistency
MVCLT	1	40K	25°	Surface	Photometric consistency
SPA	1	40K	25°	Surface	Photometric consistency
D6X1D	1	40K	25°	Surface	Photometric consistency

**Accessories**

Code	Description	Notes
D6X1D	Standard luminaire	
P7	Photometric consistency	
T2M	Photometric consistency	
MVCLT	Photometric consistency	
SPA	Photometric consistency	
D6X1D	Standard luminaire	

**Ordering Information**

EXAMPLE: D6X1 LED P7 40K T2M MVCLT SPA D6X1D

### Ordering Information

**Accessories**

**External Glare Shield**

**Drilling**

**Mounting Slitter\*\***

**Photometric Diagrams**

**Notes**

1. See ordering notes for details.

2. A+ Certified Solutions for RDM require the order of one RDM module per luminaire. Sold Separately. Link to RDM module: [RDM Module](#).

**Ordering Information**

EXAMPLE: D6X1 LED P7 40K T2M MVCLT SPA D6X1D

### WST LED Architectural Wall Sconce

**Specifications**

- Height: 6.12"
- Width: 4.75"
- Depth: 4.75"

**Optional Back Box (PBW)**

- Height: 4.75"
- Width: 5.12"
- Depth: 5.12"

**Optional Back Box (BBW)**

- Height: 4.75"
- Width: 5.12"
- Depth: 5.12"

**Capable Luminaire**

This luminaire is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for photometric consistency.
- This luminaire is A+ Certified when ordered with DTL\* controls marked by a **White Background**. DTL, DALI equipped luminaires meet the A+ specification for luminaire-to-photometric interoperability.
- This luminaire is part of an A+ Certified solution for RDM or XPS™ wireless control networks, providing out-of-the-box control compatibility with simple commissioning when ordered with drivers and control options marked by a **White Background**.

To learn more about A+, visit [www.acuitybrands.com/a+](http://www.acuitybrands.com/a+)

See ordering notes for details.

A+ Certified Solutions for RDM require the order of one RDM module per luminaire. Sold Separately. Link to RDM module: [RDM Module](#).

**Ordering Information**

EXAMPLE: WST LED P7 40K T2M MVCLT SPA D6X1D



# WST LED

## Architectural Wall Sconce



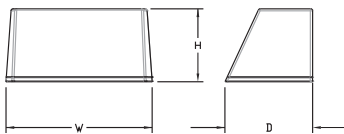
Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

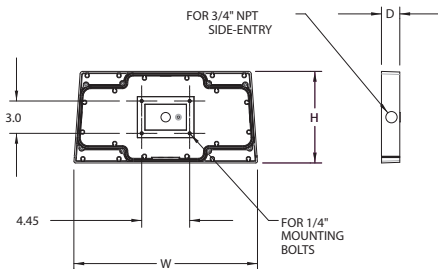
#### Luminaire

- Height:** 8-1/2" (21.59 cm)
- Width:** 17" (43.18 cm)
- Depth:** 10-3/16" (25.9 cm)
- Weight:** 20 lbs (9.1 kg)



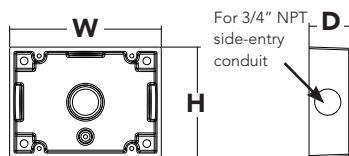
#### Optional Back Box (PBBW)

- Height:** 4" (10.2 cm)
- Width:** 5-1/2" (14.0 cm)
- Depth:** 1-1/2" (3.8 cm)



#### Optional Back Box (BBW)

- Height:** 4" (10.2 cm)
- Width:** 5-1/2" (14.0 cm)
- Depth:** 1-1/2" (3.8 cm)



### A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability<sup>1</sup>
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

## Ordering Information

**EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD**

WST LED						
Series	Performance Package	Color temperature	Distribution	Voltage		Mounting
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700 K 30K 3000 K 40K 4000 K 50K 5000 K	VF Visual comfort forward throw VV Visual comfort wide	MVOLT <sup>1</sup> 120 <sup>2</sup> 208 <sup>2</sup> 240 <sup>2</sup>	277 <sup>2</sup> 347 <sup>2</sup> 480 <sup>2</sup>	<b>Shipped included</b> (blank) Surface mounting bracket <b>Shipped separately</b> BBW Surface-mounted back box <sup>3</sup> PBBW Premium surface-mounted back box <sup>3,4</sup>

Options		Finish (required)
PE	Photoelectric cell, button type <sup>5</sup>	DDBXD Dark bronze
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>6</sup>	DBLXD Black
PER5	Five-wire receptacle only (controls ordered separate) <sup>6</sup>	DNAXD Natural aluminum
PER7	Seven-wire receptacle only (controls ordered separate) <sup>6</sup>	DWHXD White
PIR	Motion/Ambient Light Sensor, 8-15' mounting height <sup>7,8</sup>	DSSXD Sandstone
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>7,8</sup>	DDBTXD Textured dark bronze
PIRH	180° motion/ambient light sensor, 15-30' mounting height <sup>7,8</sup>	DBLBXD Textured black
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>7,8</sup>	DNATXD Textured natural aluminum
SF	Single fuse (120, 277, 347V) <sup>2</sup>	DWHGXD Textured white
DF	Double fuse (208, 240, 480V) <sup>2</sup>	DSSTXD Textured sandstone
DS	Dual switching <sup>9</sup>	
E7WH	Emergency battery backup, Non CEC compliant (7W) <sup>10</sup>	
E7WC	Emergency battery backup, Non CEC compliant (cold, 7W) <sup>10,11</sup>	
E7WHR	Remote emergency battery backup, Non CEC compliant (remote 7W) <sup>10,12</sup>	
E20WH	Emergency battery pack 18W constant power, CEC compliant <sup>10</sup>	
E20WC	Emergency battery pack -20°C 18W constant power, CEC compliant <sup>10,11</sup>	
E23WHR	Remote emergency battery backup, Non CEC compliant (remote 20W) <sup>10,11,13</sup>	
LCE	Left side conduit entry <sup>14</sup>	
RCE	Right side conduit entry <sup>14</sup>	
<b>Shipped separately</b>		
RBPW	Retrofit back plate <sup>3</sup>	
VG	Vandal guard <sup>15</sup>	
WG	Wire guard <sup>15</sup>	

### Accessories

Ordered and shipped separately.

WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WSBBW DDBTX U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate

### NOTES

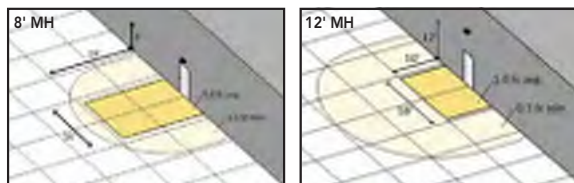
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Need to specify 120, 208, 240 or 277 voltage.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with VG or WG. See PER Table.

- Reference Motion Sensor table.
- Not available with Emergency options, PE or PER options.
- Not available with 347/480V.
- Battery pack rated for -20° to 40°C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture; not an accessory.

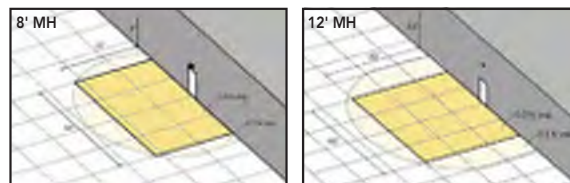
## Emergency Battery Operation

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#). The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines  
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	0.99
40°C	104°F	0.98

### Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
	P2	25	0.21	0.13	0.11	0.1	---
30		---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
	P3	50	0.42	0.24	0.21	0.19	---
56		---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

### Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

\*for use with centralize Dusk to Dawn

### PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

\*Futureproof means: Ability to change controls in the future.

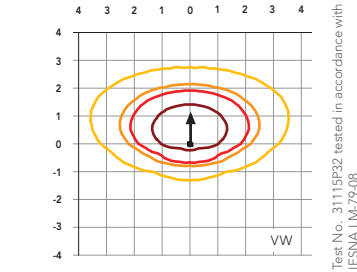
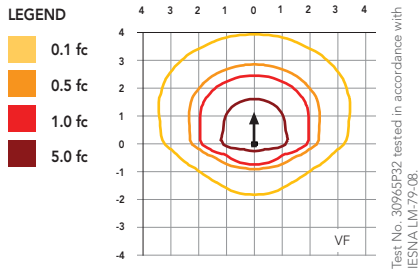
### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

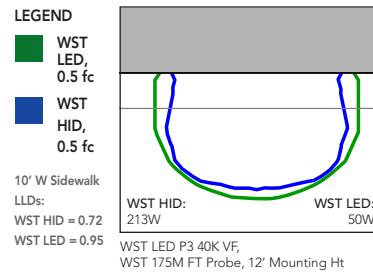
Performance Package	System Watts (MVOLT*)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0	0	0	137
		VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').



Distribution overlay comparison to 175W metal halide.



## FEATURES & SPECIFICATIONS

### INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# D-Series Size 1 LED Wall Luminaire



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

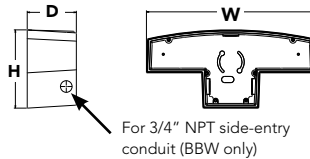
d#series

## Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

## Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		



## Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

## Ordering Information

**EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DBBTD**

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) <sup>1</sup>	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	<b>Shipped included</b> (blank) Surface mounting bracket <b>BBW</b> Surface-mounted back box (for conduit entry) <sup>5</sup>	<b>Shipped installed</b> PE Photoelectric cell, button type <sup>6</sup> DMG 0-10V dimming driver (no controls; wires pulled outside fixture) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), non CEC compliant <sup>8</sup>

Other Options	Finish (required)
<b>Shipped installed</b> SF Single fuse (120, 277 or 347V) <sup>3,9</sup> DF Double fuse (208, 240 or 480V) <sup>3,9</sup> HS House-side shield <sup>10</sup> SPD Separate surge protection	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

## Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

## NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
(10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	ASDF	1,262	1	0	1	97	1,354	1	0	1	104	1,363	1	0	1	105	797	0	0	1	61		
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	ASDF	1,831	1	0	1	96	1,966	1	0	1	103	1,978	1	0	1	104	1,127	0	0	1	59		
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	ASDF	2,337	1	0	1	90	2,510	1	0	1	97	2,525	1	0	1	97	1,376	1	0	1	53		
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
T3M			3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56	
T4M			3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55	
TFTM			3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57	
ASDF	3,284	1	0	2	84	3,527	1	0	2	90	3,549	1	0	2	91	1,992	1	0	1	51			
(20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	ASDF	2,514	1	0	1	109	2,699	1	0	1	117	2,716	1	0	1	118	1,584	1	0	1	69		
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	ASDF	3,636	1	0	2	104	3,904	1	0	2	112	3,928	1	0	2	112	2,232	1	0	1	64		
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	ASDF	4,624	1	0	2	101	4,965	1	0	2	108	4,996	1	0	2	109	2,732	1	0	1	59		
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
T3M			7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59	
T4M			6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58	
TFTM			7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60	
ASDF	6,421	2	0	2	88	6,896	2	0	3	94	6,938	2	0	3	95	3,947	1	0	2	54			

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXW1 LED 20C 1000 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

### Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

### Motion Sensor Default Settings

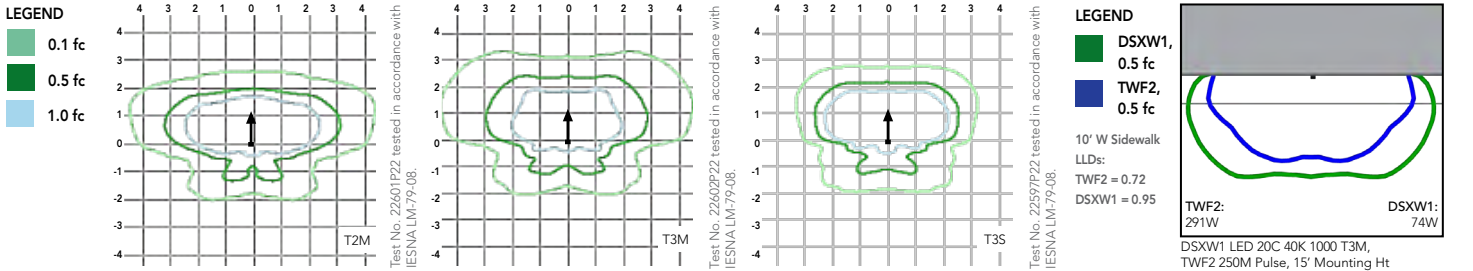
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*for use with Inline Dusk to Dawn or timer

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Wall Size 1 homepage](#).

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



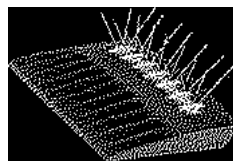
## Options and Accessories



T3M (left), ASYDF (right) lenses



HS - House-side shields



BSW - Bird-deterrent spikes



WG - Wire guard



VG - Vandal guard



DDL - Diffused drop lens

## FEATURES & SPECIFICATIONS

### INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

### CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a

power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

### LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

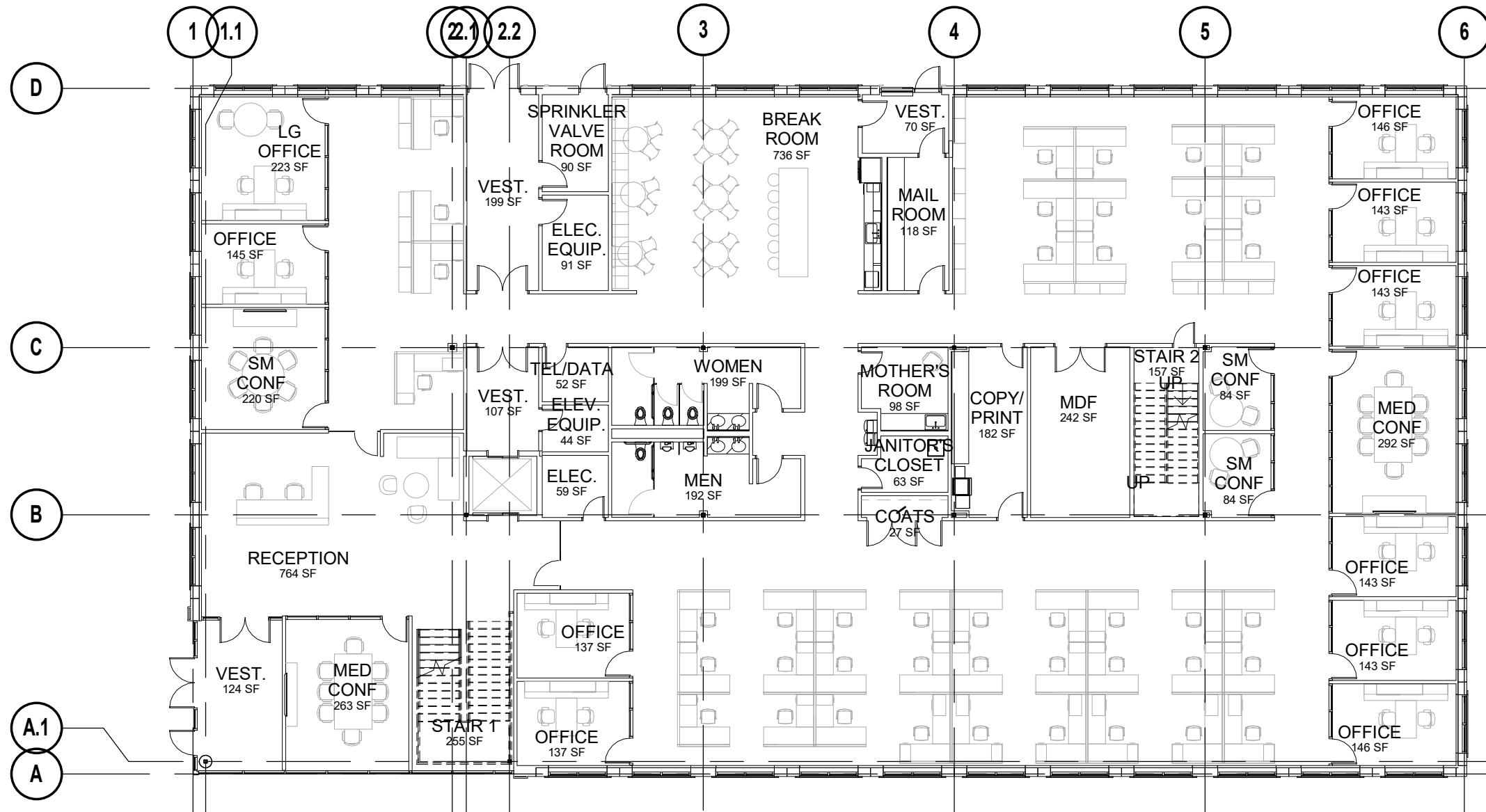
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

### WARRANTY

Five-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



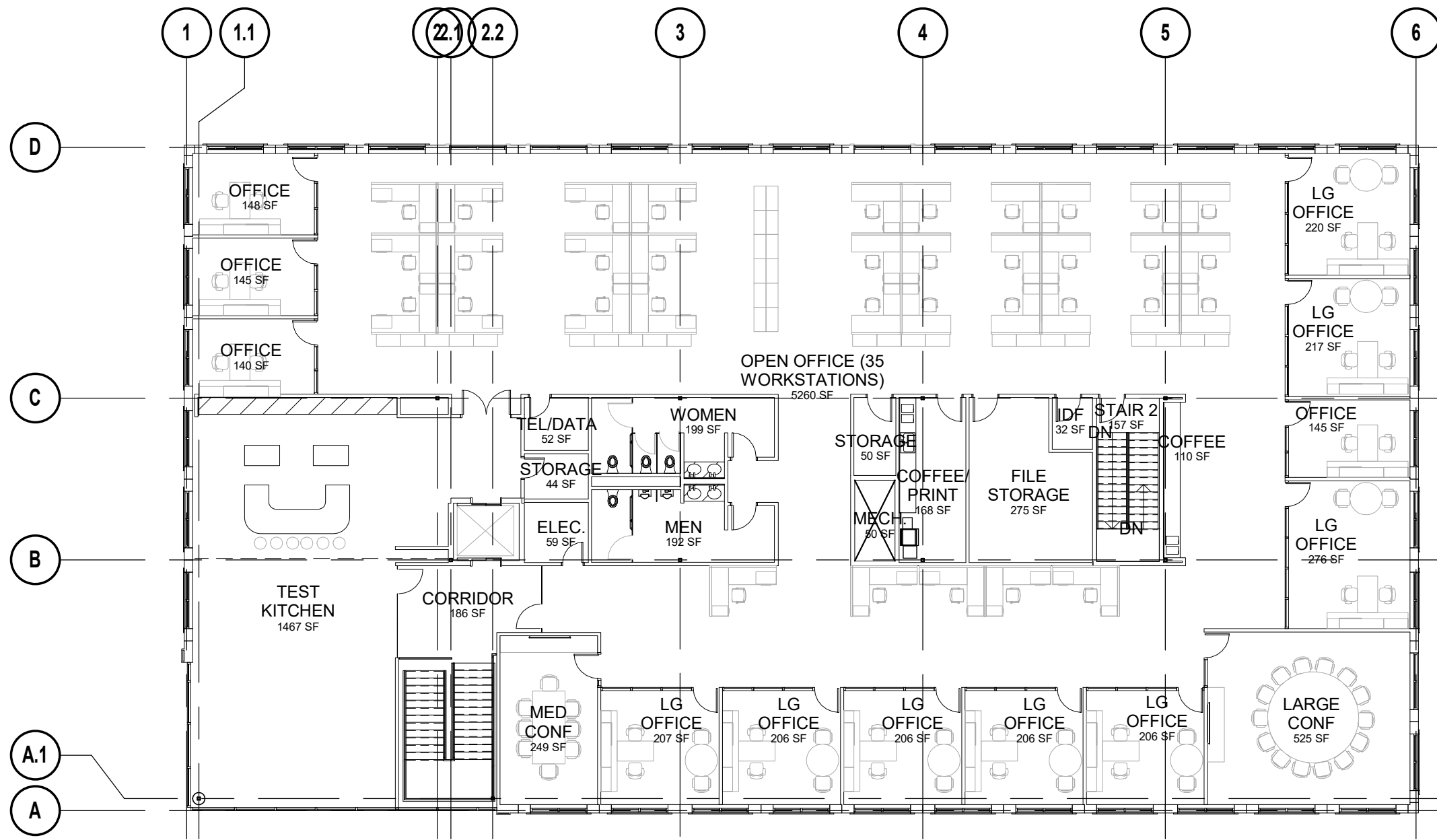


1 1ST FLOOR - 12,464 GROSS SF

Scale: 1/16" = 1'-0"

Room Type	Count	Area Totals
<b>LEVEL 1</b>		
<b>BLDG SUPPORT</b>		
STAIR 1	1	255 SF
STAIR 2	1	157 SF
MEN	1	192 SF
WOMEN	1	199 SF
ELEVATOR	1	58 SF
ELEV. EQUIP.	1	44 SF
TEL/DATA	1	52 SF
ELEC.	1	59 SF
ELEC. EQUIP.	1	91 SF
JANITOR'S CLOSET	1	63 SF
SPRINKLER VALVE ROOM	1	90 SF
VEST.	4	499 SF
<b>FLOOR SUPPORT</b>		
COPY/ PRINT	1	182 SF
MOTHER'S ROOM	1	98 SF
MDF	1	242 SF
COATS	1	27 SF
MAIL ROOM	1	118 SF
OFFICE		
LG OFFICE	1	223 SF
OFFICE	9	1282 SF
MED CONF	2	555 SF
SM CONF	3	388 SF
RECEPTION	1	764 SF
BREAK ROOM	1	736 SF
OPEN OFFICE (43 WORKSTATIONS)	1	5182 SF
<b>LEVEL 2</b>		
<b>BLDG SUPPORT</b>		
STAIR 1	1	223 SF
STAIR 2	1	157 SF
MEN	1	192 SF
WOMEN	1	199 SF
ELEVATOR	1	58 SF
ELEC.	1	59 SF
MECH.	1	50 SF
TEL/DATA	1	52 SF
<b>FLOOR SUPPORT</b>		
COFFEE/ PRINT	1	168 SF
STORAGE	2	94 SF
FILE STORAGE	1	275 SF
COFFEE	1	110 SF
IDF	1	32 SF
CORRIDOR	1	186 SF
OFFICE		
LG OFFICE	8	1746 SF
OFFICE	4	578 SF
LARGE CONF	1	525 SF
MED CONF	1	249 SF
TEST KITCHEN	1	1467 SF
OPEN OFFICE (35 WORKSTATIONS)	1	5260 SF

04.27.2018



1 2ND FLOOR - 12,464 GROSS SF

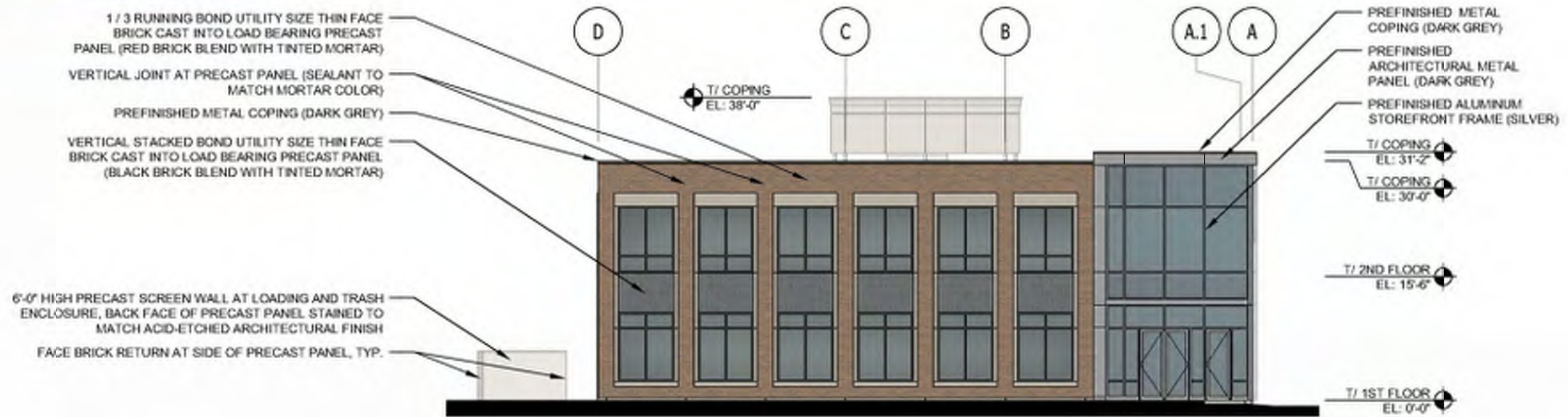
Scale: 1/16" = 1'-0"

Room Type	Count	Area Totals
<b>LEVEL 1</b>		
<b>BLDG SUPPORT</b>		
STAIR 1	1	255 SF
STAIR 2	1	157 SF
MEN	1	192 SF
WOMEN	1	199 SF
ELEVATOR	1	58 SF
ELEV. EQUIP.	1	44 SF
TEL/DATA	1	52 SF
ELEC.	1	59 SF
ELEC. EQUIP.	1	91 SF
JANITOR'S CLOSET	1	63 SF
SPRINKLER VALVE ROOM	1	90 SF
VEST.	4	499 SF
<b>FLOOR SUPPORT</b>		
COPY/ PRINT	1	182 SF
MOTHER'S ROOM	1	98 SF
MDF	1	242 SF
COATS	1	27 SF
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MED CONF	1	249 SF
TEST KITCHEN	1	1467 SF
OPEN OFFICE (35 WORKSTATIONS)	1	5260 SF

04.27.2018



# TURANO BAKING COMPANY



WEST ELEVATION

Scale: 1/16" = 1'-0"



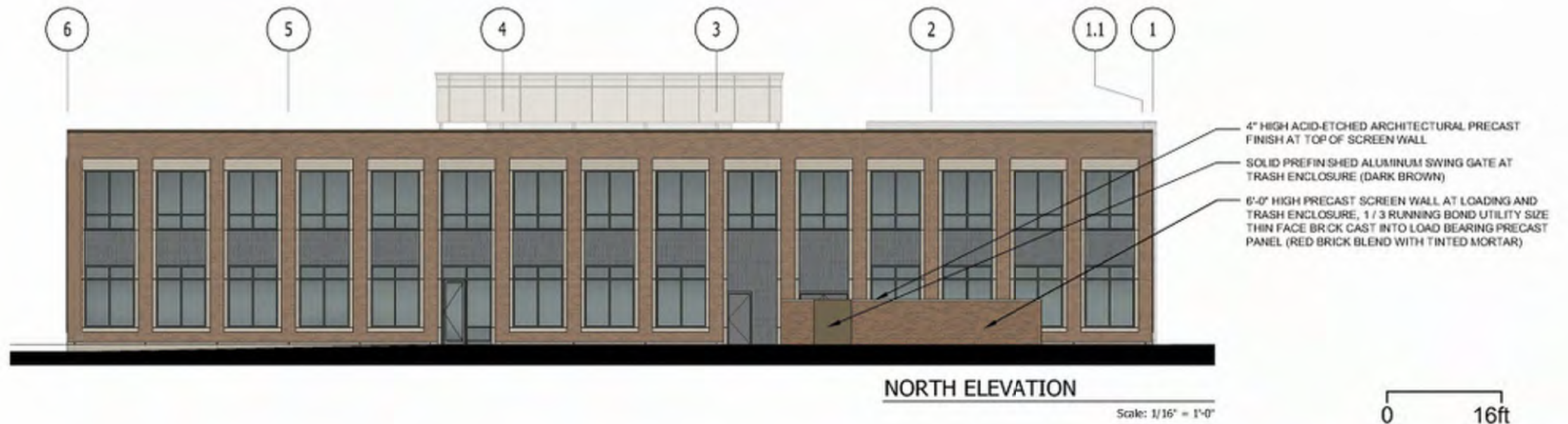
SOUTH ELEVATION

Scale: 1/16" = 1'-0"

0 16ft



# TURANO BAKING COMPANY





# TURANO BAKING COMPANY

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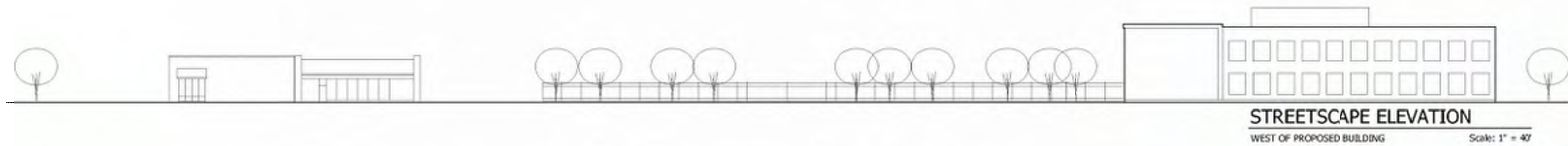
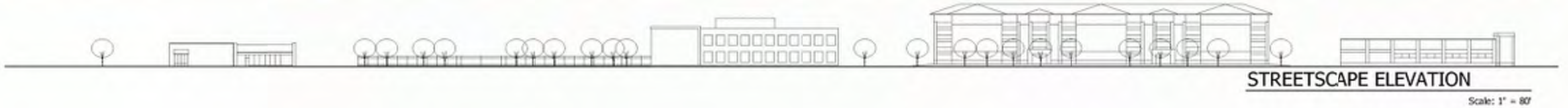
# TURANO BAKING COMPANY

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# TURANO BAKING COMPANY

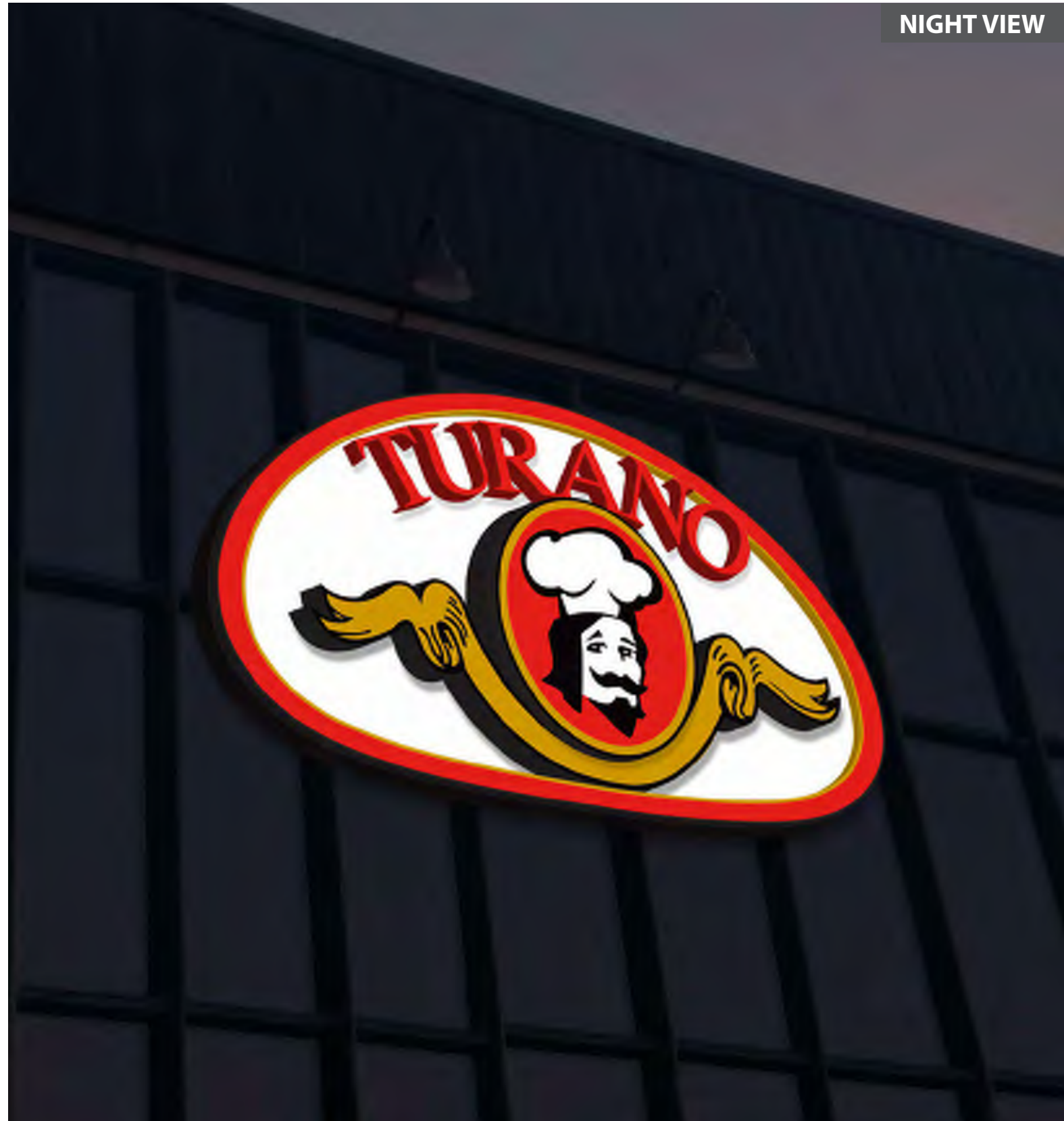




PROPOSED



NIGHT VIEW



**CORPORATE  
IDENTIFICATION  
SOLUTIONS**

**CUSTOMER**  
Turano

**SITE NUMBER**  
N/A

**LOCATION**  
Oak Park, IL

**ACCOUNT REP**  
Kevin Rodriguez

**DRAWN BY**  
KL

**DATE**  
04/19/18

**REVISION**  
01

**SCALE**  
NTS

**CORPORATE ID SOLUTIONS**  
5563 N Elston Ave.  
Chicago, IL 60630  
P: 773-763-9600 | F: 773-763-9606  
www.CorporateIDSolutions.com

**CUSTOMER ACCEPTANCE**

THIS DRAWING IS THE PROPERTY OF CORPORATE IDENTIFICATION SOLUTIONS, INC. CHICAGO, ILLINOIS, AND CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION. THIS DRAWING IS TRANSFERRED TO THE CUSTOMERS AND SUPPLIERS OF CORPORATE IDENTIFICATION SOLUTIONS, INC BY WAY OF LOAN. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, NOR MAY IT OR THE INFORMATION IT CONTAINS BE DISCLOSED OR TRANSFERRED TO ANY OTHER PARTY OR PERSONS WITHOUT THE PRIOR WRITTEN CONSENT OF CORPORATE IDENTIFICATION SOLUTIONS, INC.

**SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

**TURANO LOGO WALL SIGN**

- A) 6" DEEP BLACK CABINET
- B) 3" DEEP RED/GOLD BORDER
- C) 5" DEEP RED TURANO LETTERS
- D) 5" DEEP GOLD RIBBON
- E) 7" DEEP OVAL

**PMS Colors**

- Red 485
- Gold 117
- Black

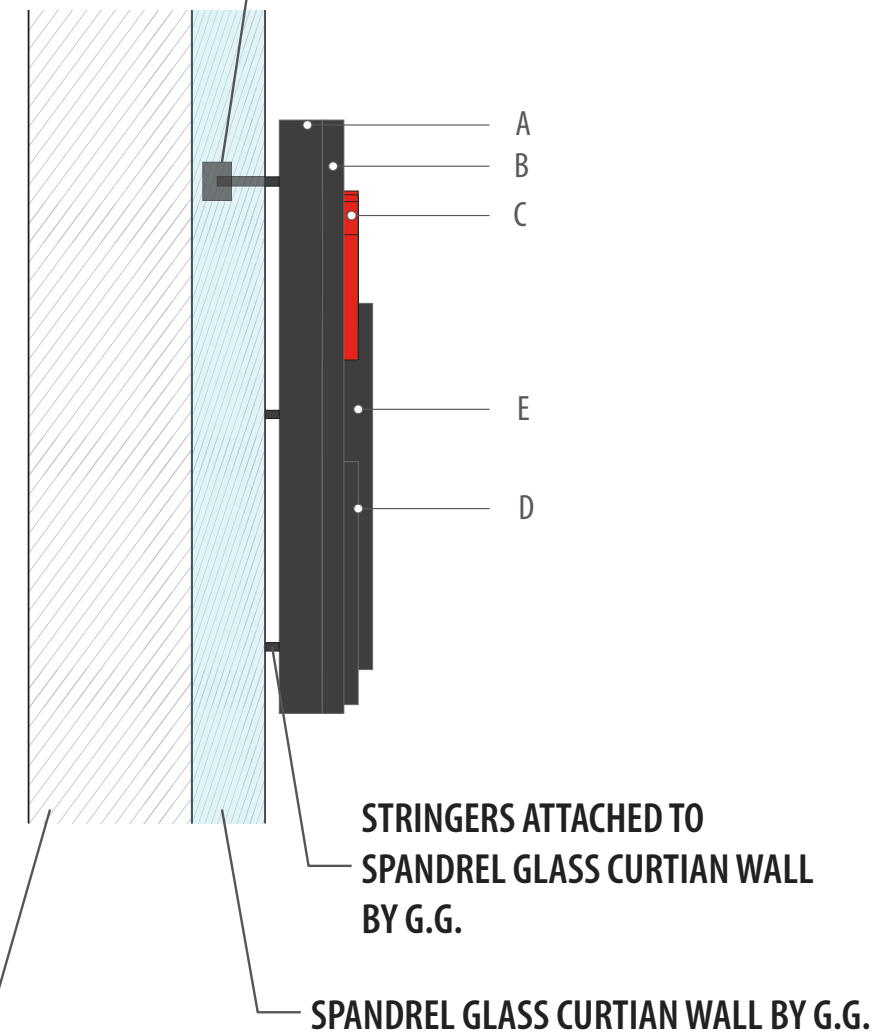


*\*NOTE: TECHNICAL SURVEY REQUIRED*

**SIDE WALL**

N.T.S.

PRIMARY ELECTRIC SERVICE BY G.G.



**CORPORATE IDENTIFICATION SOLUTIONS**

CUSTOMER  
Turano

SITE NUMBER  
N/A

LOCATION  
Oak Park, IL

ACCOUNT REP  
Kevin Rodriguez

DRAWN BY  
KL

DATE  
04/19/18

REVISION  
01

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_





# JS LED®

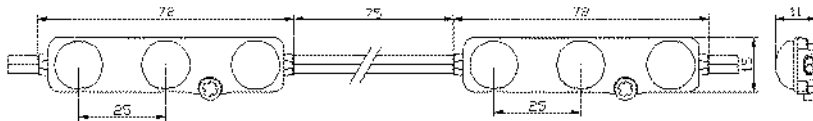
ECO Lighting Technology and Solutions



## LED Module

Model No. JE-004W-18LM(0.72W 6800K)

### Dimension



- Length.....72mm
- Width .....15mm
- Height .....11mm
- LEDs per module.....3
- Modules per foot.....2
- Packagaing.....50pcs x 2 rolls =100 Module per bag  
24.36 Feet x 2 rolls = 48.72 feet

### Specification

Model No.	JE-004W-18LM(0.72W 6800K)
Color	White
LED Size	2835
Protection	IP68
Viewing Angle	160°±5
Foward Voltage	12V
Foward Current	60mA
Wavelength	6800K
Luminous flux	65LM
Power consumption	0.72W
Operating Temperature	-25°C to 70°C

Electrical / Optical characteristics at TA=25°C

- \*1. All dimensions are in millimeters.
- 2. Tolerance is ±0.25 unless otherwise noted.
- 3. Lead spacing is measured where the lead emerge package.
- 4. Specifications are subject to change without notice.

Please visit [jsledpower.com](http://jsledpower.com) for more information

For support please call toll free number 1-800-909-5188

**Headquarter Office**

1318 Maine Ave.,  
Baldwin Park, CA 91706  
Tel: (626) 338 - 8291  
Fax: (626) 338 - 8391

**Texas Branch**

2307 Shaver St.,  
Pasadena, TX 77502  
Tel: (832) 270 - 1556

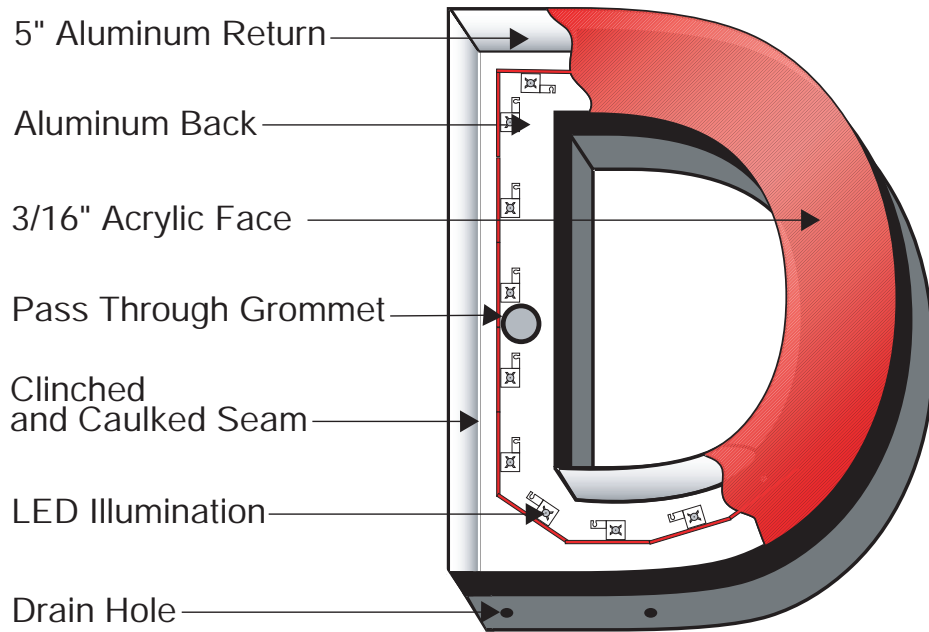
**New Jersey Branch**

600 Deer Rd., Suite #3  
Cherry Hill, NJ 08034  
Tel: (646) 287 - 5979

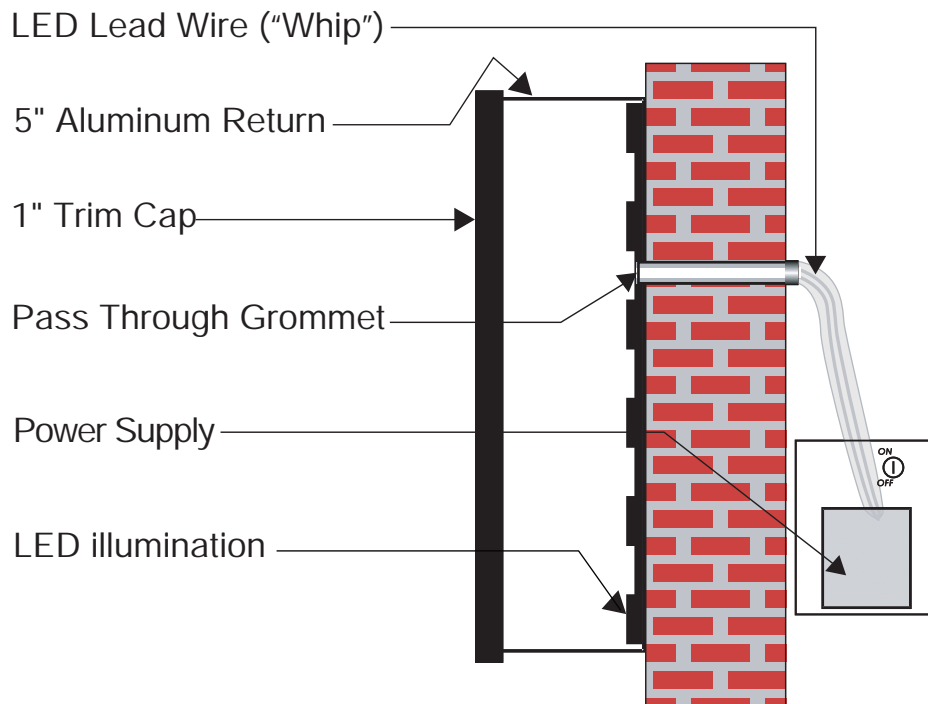
**Florida Branch**

4333 Silver Star Rd., Suite #170  
Orlando, FL 32808  
Tel: (407) 808 - 9768

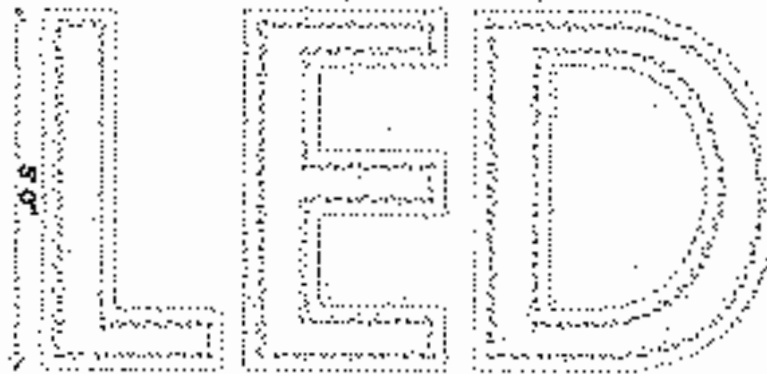
# Front Lit Channel Letters



**FRONT VIEW**



**SIDE VIEW FLUSH MOUNT**



**L**  
40 m  
40.0 w  
6.3 m/sf

**E**  
64 m  
64.0 w  
6.8 m/sf

**D**  
70 m  
76.0 w  
6.1 m/sf

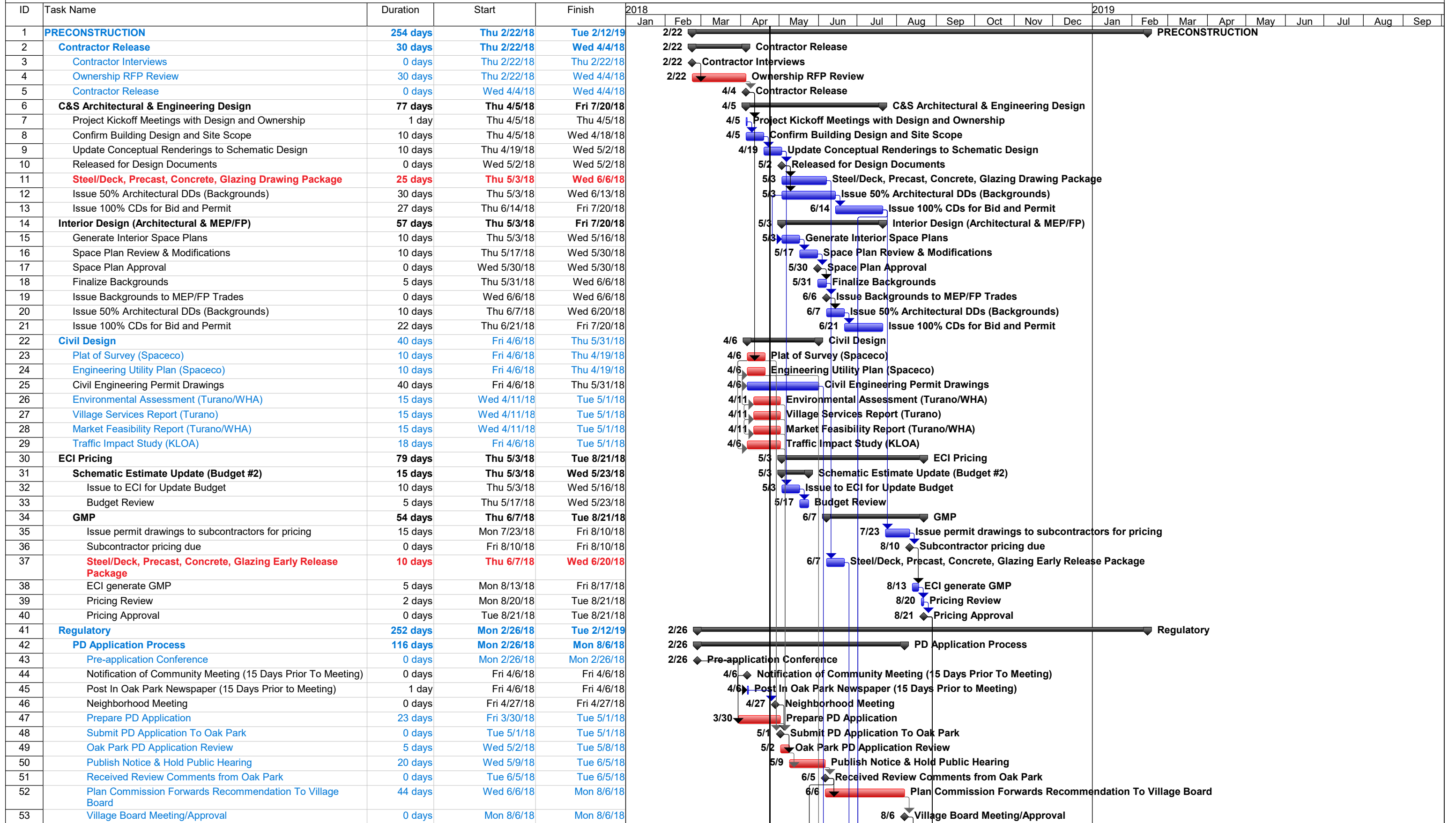


<b>W</b>	<b>I</b>	<b>Z</b>	<b>A</b>	<b>R</b>	<b>D</b>
23 m	8 m	13 m	15 m	15 m	16 m
23.0 w	6.0 w	13.0 w	15.0 w	15.0 w	16.0 w
3.3 m/sf	7.4 m/sf	9.3 m/sf	8.5 m/sf	9.1 m/sf	3.0 m/sf

180 Modules: XYZ - Standard Blue - Double - XYZ-STD-BLUE  
 93 Modules: XYZ - Standard Red - Double - XYZ-STD-RED  
 283 Total Modules  
 269.0 Watts  
 1 Power Supply: XYZ - XYZ 200  
 2 Power Supplies: XYZ - XYZ 60













Single-Tenant Corporate Office Building

# Berwyn Properties, LLC

May 2, 2018

Tab #9

Model

## Contents:

(Not included / required for this project)



Single-Tenant Corporate Office Building

**Berwyn Properties, LLC**

May 2, 2018

Tab #10

Responsibility to Record

Contents:

Responsibility to Record Letter

# Berwyn Properties, LLC

## Responsibility to Record

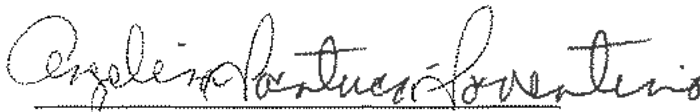
As part of the Planned Development Process in Oak Park, Berwyn Properties, LLC, acknowledges its responsibility to record a certified copy of the ordinance granting the planned development with the Cook County Recorder of Deeds and to provide evidence of such to the Village of Oak Park within thirty (30) days of passage in the event the proposed planned development is approved by the Village Board.



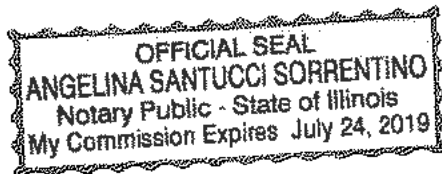
\_\_\_\_\_  
Berwyn Properties, LLC

SUBSCRIBED AND SWORN TO BEFORE ME THIS

27<sup>th</sup> DAY OF April 2018



(Notary Public)



Contents:

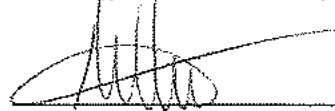
- i. Affidavit of Notice
- ii. Invoice - Title Company
- iii. Map – 300 foot boundary
- iv. List of Addresses
- v. Post Mark Date
- vi. Invoice from Wednesday Journal
- vii. Certificate of the Publisher
- viii. Notification Sign and Photos of Posted Sign
- ix. Neighborhood Meeting Agenda
- x. Neighborhood Meeting Presentation Boards
- xi. Neighborhood Meeting Sign-In Sheet
- xii. Neighborhood Meeting Summary

# Affidavit of Notice

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

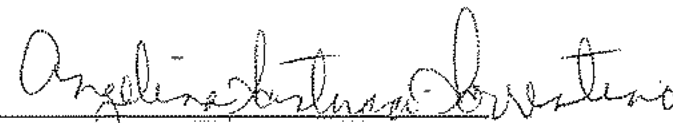
Berwyn Properties, LLC

\_\_\_\_\_  
(Printed Name of Applicant)

  
\_\_\_\_\_  
(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

24<sup>th</sup> DAY OF April, 2018

  
\_\_\_\_\_  
(Notary Public)



INVOICE: 13125.001

PAGE 1 OF 1

April 6, 2018



1 N LaSalle St., Suite 2010  
Chicago, IL 60602  
312.782.5900  
[david@lincolntitlecompany.com](mailto:david@lincolntitlecompany.com)

**Bill To:**  
Turano

**Attention:**  
Anthony Turano and Lisa Turano

DESCRIPTION	AMOUNT
Work Done Fee	\$400.00
<b>Total</b>	<b>\$400.00</b>

Thank you for your business!



16-18

FILLMORE ST

-ROOSEVELT R7

48	-003	1	-016
45	-002		
44	-003	3	-018
43	-004		
42	-005		
41	-005		
40	-006	7	-021
39	-007	6	-022
38	-008		
37	-009	10	-023
36	-010	11	-024
35	-011	12	-025
34	-012		
33	-013	14	-026
32	-014	15	-027
31	-015	16	-028
30	-016	17	-029
29	-017	18	-030
28	-018	19	-031
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26	-020		
25	-021		
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16	-030		
15	-031		

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16-18-425-021-0000  
DAVID G PAOLI  
1163 S EAST AV  
OAK PARK, IL 60304

16-18-425-022-0000  
STEVEN A MCCANLESS  
1165 S EAST AVE  
OAK PARK, IL 60304

16-18-425-023-0000  
DANIEL RASPATELLO  
1169 S EAST AVE  
OAK PARK, IL 60304

16-18-425-024-0000  
JAMESON BLATCHFORD  
1171 S EAST AV  
OAK PARK, IL 60304

16-18-425-028-0000  
JAMES J DRUMM III  
1179 S EAST AVE  
OAK PARK, IL 60304

16-18-425-029-0000  
ARTHUR LIFSHIN  
1181 S EAST AV  
OAK PARK, IL 60304

16-18-425-030-0000  
STEVEN KAROLYN TALBERT  
1183 S EAST AV  
OAK PARK, IL 60304

16-18-425-031-0000  
CLARA KEARLEY  
1185 S EAST AVE  
OAK PARK, IL 60304

16-18-425-039-0000  
WEN MIAO LLC  
3238 S STEWART AVE  
CHICAGO, IL 60616

16-18-425-040-0000  
SHOUKAT ALI  
1173 S EAST AV  
OAK PARK, IL 60304

16-18-425-041-0000  
JAMES J DRUMM III  
1179 S EAST AVE  
OAK PARK, IL 60304

16-18-426-006-0000  
PAUL ERICKSON  
1162 S EAST AV  
OAK PARK, IL 60304

16-18-426-007-0000  
STEFANIE KRAJEWSKI  
1164 S EAST AVE  
OAK PARK, IL 60304

16-18-426-008-0000  
MITCHELL THEYS  
1166 S EAST AV  
OAK PARK, IL 60304

16-18-426-009-0000  
ALESHA YOUNG  
1170 S EAST AVE  
OAK PARK, IL 60304

16-18-426-010-0000  
DIANA RUTH CLEM  
1172 S EAST AV  
OAK PARK, IL 60304

16-18-426-011-0000  
MICHAEL LEGGETT  
1174 EAST AV  
OAK PARK, IL 60304

16-18-426-012-0000  
HENRY J GUERRIERO  
1176 S EAST AV  
OAK PARK, IL 60304

16-18-426-013-0000  
KENT DEAN  
1178 S EAST AVE  
OAK PARK, IL 60304

16-18-426-014-0000  
Z S GILES  
1180 S EAST AVE  
OAK PARK, IL 60304

16-18-426-015-0000  
JEFFREY W RYCHLEWSKI  
1182 S EAST AVE  
OAK PARK, IL 60304

16-18-426-016-0000  
AGUEDA KIBIR  
1184 S EAST AV  
OAK PARK, IL 60304

16-18-426-023-0000  
DAVID P WIND  
1163 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-426-024-0000  
ROGER JAMIE APEL  
1165 S SCOVILLE  
OAK PK, IL 60304

16-18-426-025-0000  
CLAIRE RASMUSSEN  
1167 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-426-026-0000  
REGAN  
1169 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-426-027-0000  
MARIA KURTZ  
1171 S SCOVILLE  
OAK PARK, IL 60304

16-18-426-028-0000  
S KVAAL D NELSON  
1173 S SCOVILLE AV  
OAK PARK, IL 60304

16-18-426-029-0000  
ALEX VAL KASPEROVICH  
1177 S SCOVILLE AV  
OAK PK, IL 60304

16-18-426-030-0000  
GUGLIEIMO BERABEI  
1179 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-426-031-0000  
RONALD WHITE  
1181 S SCOVILLE  
OAK PARK, IL 60304

16-18-426-032-0000  
RAMESH C VASHI  
1183 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-426-033-0000  
THOMAS WHITE  
1185 S SCOVILLE  
OAK PARK, IL 60304

16-18-426-034-0000  
STEPHEN J MUDJER  
6540 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-426-035-0000  
STEPHEN J MUDJER  
6540 ROOSEVELT RD  
OAK PARK, IL 60304

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STEPHEN J MUDJER  
6540 ROOSEVELT RD  
OAK PARK, IL 60304

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EXEMPT

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EXEMPT

16-18-426-039-0000  
EXEMPT

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BERWYN PROPERTIES LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-18-426-041-0000  
BERWYN PROPERTIES LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-18-427-007-0000  
MARTHA MANN  
1162 S SCOVILLE  
OAK PARK, IL 60304

16-18-427-008-0000  
CHRISTINE A STILLSON  
1164 S SCOVILLE AV  
OAK PARK, IL 60304

16-18-427-009-0000  
MOLLY E MCNALLY  
1166 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-427-010-0000  
KORENICH CLAUSE  
1168 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-427-011-0000  
RUSSELL E SORBER  
1170 S SCOVILLE AV  
OAK PARK, IL 60304

16-18-427-012-0000  
JOHN R VICARS  
1172 S SCOVILLE  
OAK PARK, IL 60304

16-18-427-013-0000  
MARY L SMITH  
256 WASHINGTON BLVD  
OAK PARK, IL 60302

16-18-427-014-0000  
JOHN NOWIKOWSKI  
1176 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-427-015-0000  
RORY L VALENTINE  
1178 S SCOVILLE  
OAK PARK, IL 60304

16-18-427-016-0000  
MARGARETTE STOILJKOVIC  
1180 S SCOVILLE AV  
OAK PARK, IL 60304

16-18-427-017-0000  
AUGUSTINE MOSES  
1182 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-427-018-0000  
STEVEN D HALL  
1184 S SCOVILLE AVE  
OAK PARK, IL 60304

16-18-427-025-0000  
JOVITA MONARREZ  
1163 S GUNDERSON  
OAK PARK, IL 60304

16-18-427-026-0000  
MELICENT G DIX  
1165 GUNDERSON AVE  
OAK PARK, IL 60304

16-18-427-027-0000  
MARK SCHNEIDER  
1167 S GUNDERSON AVE  
OAK PARK, IL 60304

16-18-427-028-0000  
THEODORE KUYPER  
1171 GUNDERSON AVENUE  
OAK PARK, IL 60304

16-18-427-029-0000  
STEPHEN/DONNA MANDERS  
1173 GUNDERSON  
OAK PARK, IL 60304

16-18-427-030-0000  
GUY POLITO  
1175 GUNDERSON AV  
OAK PARK, IL 60304

16-18-427-031-0000  
MALHIOT  
1177 S GUNDERSON  
OAK PARK, IL 60304



16-18-427-032-0000  
EDMUNDO GARCIA SOLIS  
1179 S GUNDERSON AV  
OAK PARK, IL 60304

16-18-427-033-0000  
ALLYSON HUSTON  
1181 S GUNDERSON  
OAK PARK, IL 60304

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STEPHEN OGO  
1183 GUNDERSON AVE  
OAK PARK, IL 60304

16-18-427-035-0000  
HARALD ANONSEN  
1185 S GUNDERSON  
OAK PARK, IL 60304

16-18-427-036-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

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TURANO BAKERY  
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TURANO BAKERY  
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CAMPAGNA TURANO BAKERY  
6501 W ROOSEVELT ROAD  
BERWYN, IL 60402

16-18-428-005-0000  
SCOTT PETERS  
1160 S GUNDERSON  
OAK PARK, IL 60304

16-18-428-006-0000  
ELLEN ALFONSO ACEVEDO  
1164 S GUNDERSON AV  
OAK PARK, IL 60304

16-18-428-007-0000  
CHRISTINA L MARUSICH  
1166 S GUNDERSON AV  
OAK PARK, IL 60304

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FRANK E PINC  
1168 GUNDERSON AVE  
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HENRY SPEELMAN  
1172 GUNDERSON  
OAK PARK, IL 60304

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JESUS M GARCIA  
1174 S GUNDERSON AV  
OAK PARK, IL 60304

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RONALD J PINC  
1176 S GUNDERSON AV  
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ANDREW REED  
1180 GUNDERSON AVE  
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JOSEPH G HERMES  
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OAK PARK, IL 60304

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JANICE KIBIR  
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TOM ARNIERI  
1163 S ELMWOOD AV  
OAK PARK, IL 60304

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N DEMAMMER C CARDOZO  
1165 S ELMWOOD  
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RORILAINE DELEON  
1167 S ELMWOOD AV  
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CHAD SABRINA BLACKNEY  
1171 S ELMWOOD AVE  
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PAUL FOSTER  
1173 S ELMWOOD  
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ATHANASIOS VAGIAS  
1175 S ELMWOOD  
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JOHN M BOHAN  
1177 S ELMWOOD AVE  
OAK PARK, IL 60304

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CLAUDIA J BEGUIN  
1181 S ELMWOOD  
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16-18-428-028-0000  
T SHAWN MENDELL  
1183 S ELMWOOD AV  
OAK PARK, IL 60304

16-18-428-043-1001  
TYRONE ANDALCIO  
6436 ROOSEVELT 201  
OAK PARK, IL 60304

16-18-428-043-1002  
HIZBULLAH SHAIKH  
3900 YORK ROAD  
OAK BROOK, IL 60523

16-18-428-043-1003  
KEVIN B OBRIEN  
3 GOLF CENTER #270  
HOFFMAN EST, IL 60169

16-18-428-043-1004  
ROLAND A MANGAHIS  
6436 ROOSEVELT RD #207  
OAK PARK, IL 60304

16-18-428-043-1005  
IHAB M SHENOUDA  
6436 ROOSEVELT RD 208  
OAK PARK, IL 60304

16-18-428-043-1006  
CURTIS A START  
3062 BARCLAY WAY  
ANN ARBOR, MI 48105

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FILIPPO ROVITO  
6436 W ROOSEVELT #210  
OAK PARK, IL 60304

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ROWEHOUSE LLC  
706 HAVEN LN  
JOLIET, IL 60435

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GLKW PROPERTIES LLC  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1010  
TRIMO PEREZ  
6436 W ROOSEVELT RD213  
OAK PARK, IL 60304

16-18-428-043-1011  
BRUCE MITCHELL  
PO BOX 148  
CASTLE ROCK, CO 80104

16-18-428-043-1012  
YOLANDA YBARRA  
6436 W ROOSEVELT #216  
OAK PARK, IL 60304

16-18-428-043-1013  
HASANI STARKS  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1014  
L LUSCRI  
6436 ROOSEVELT RD 301  
OAK PARK, IL 60304

16-18-428-043-1015  
J L JAIME SR  
6436 ROOSEVELT 303  
OAK PARK, IL 60304

16-18-428-043-1016  
B CISELL MELENDI  
PO BOX 25279  
CHICAGO, IL 60625

16-18-428-043-1017  
ANTOINETTE S CALLOWAY  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1018  
DAVID FREILICH  
6436 ROOSEVELT RD#309  
OAK PARK, IL 60304

16-18-428-043-1019  
CHARLES GRANT  
817 S SCVILLE  
OAK PARK, IL 60304

16-18-428-043-1020  
KEVIN MCCUBBIN  
6436 ROOSEVELT RD #312  
OAK PARK, IL 60304

16-18-428-043-1021  
ERICA KNAPP  
6436 ROOSEVELT RD #314  
OAK PARK, IL 60304

16-18-428-043-1022  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103

16-18-428-043-1023  
YING SHI  
6909 ARBOR LN  
MCLEAN, VA 22101

16-18-428-043-1024  
KIMBERLY WEINER  
980 N MICHIGAN #1400  
CHICAGO, IL 60611

16-18-428-043-1025  
JOHNATHON HARBIN  
6436 ROOSEVELT RD#405  
OAK PARK, IL 60304

16-18-428-043-1026  
AARON THOMAS  
6436 ROOSEVELT RD #407  
OAK PARK, IL 60304

16-18-428-043-1027  
THOMAS INSERRA  
114 SENECA TRAIL  
BLOOMINGDALE, IL 60108

16-18-428-043-1028  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103



16-18-428-043-1029  
LISA RZESZUTEK  
6436 W ROOSEVELT #411  
OAK PARK, IL 60304

16-18-428-043-1030  
CHARLES GRANT  
817 S SCOVILLE  
OAK PARK, IL 60304

16-18-428-043-1031  
GLENN M COMPTON  
6436 ROOSEVELT RD #414  
OAK PARK, IL 60304

16-18-428-043-1032  
KARRI SPILLANE  
6436 ROOSEVELT RD 415  
OAK PARK, IL 60304

16-18-428-043-1033  
AMM HOLDINGS II LLC  
2385 HAMMOND DR#6  
SCHAUMBURG, IL 60173

16-18-428-043-1034  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103

16-18-428-043-1035  
YING SHI  
6909 ARBOR LN  
MCLEAN, VA 22101

16-18-428-043-1036  
M GOZA  
6436 ROOSEVELT RD #406  
OAK PARK, IL 60304

16-18-428-043-1037  
KEVIN OBRIEN  
3 GOLF CENTER #270  
HOFFMAN EST, IL 60169

16-18-428-043-1038  
AARON THOMAS  
6436 ROOSEVELT RD #407  
OAK PARK, IL 60304

16-18-428-043-1039  
TEDJITOU MARTIN  
6436 ROOSEVELT RD 307  
OAK PARK, IL 60304

16-18-428-043-1040  
ROLAND A MANGAHIS  
6436 ROOSEVELT RD #207  
OAK PARK, IL 60304

16-18-428-043-1041  
JOHNATHON HARBIN  
6436 ROOSEVELT RD#405  
OAK PARK, IL 60304

16-18-428-043-1042  
TERRENCE JANAS  
6436 ROOSEVELT RD#305  
OAK PARK, IL 60304

16-18-428-043-1043  
FELIPE P PEREZ  
6436 ROOSEVELT 205  
OAK PARK, IL 60304

16-18-428-043-1044  
DANA A YALA  
817 S GROVE AVE  
OAK PARK, IL 60304

16-18-428-043-1045  
DANA YALA  
817 S GROVE AVE  
OAK PARK, IL 60304

16-18-428-043-1046  
ERICA L COURTENAY  
6436 ROOSEVELT RD#318  
OAK PARK, IL 60304

16-18-428-043-1047  
BRUCE MITCHELL  
PO BOX 148  
CASTLE ROCK, CO 80104

16-18-428-043-1048  
GLENN M COMPTON  
6436 ROOSEVELT RD 414  
OAK PARK, IL 60304

16-18-428-043-1049  
GARY D OROURKE  
352 CAREY CT  
BLOOMINGDALE, IL 60108

16-18-428-043-1050  
RICHARDSON N LAMORENA  
6436 ROOSEVELT RD #315  
OAK PK, IL 60304

16-18-428-043-1051  
JOHN SPILLANE  
1035 S KENILWORTH  
OAK PARK, IL 60304

16-18-428-043-1052  
TRINO PEREZ  
6436 W ROOSEVELT RD213  
OAK PARK, IL 60304

16-18-428-043-1053  
JOSE GISELA SOBERON  
6870 BAMBOO STREET  
MIAMI LAKES, FL 33014

16-18-428-043-1054  
CHARLES GRANT  
817 S SCOVILLE  
OAK PARK, IL 60304

16-18-428-043-1055  
ERICA KNAPP  
6436 ROOSEVELT RD #314  
OAK PARK, IL 60304

16-18-428-043-1056  
LOURDES MARTINEZ  
4916 W 31ST ST  
CICERO, IL 60804

16-18-428-043-1057  
LOURDES MARTINEZ  
4916 W 31ST ST  
CICERO, IL 60804

16-18-428-043-1058  
THOMAS J INSERRA  
114 SENECA TRAIL  
BLOOMINGDALE, IL 60108

16-18-428-043-1059  
JOHN SPILLANE  
1035 S KENILWORTH  
OAK PARK, IL 60304

16-18-428-043-1062  
CURTIS A START  
3062 BARCLAY WAY  
ANN ARBOR, MI 48105

16-18-428-043-1065  
ROWEHOUSE LLC  
706 HAVEN LN  
JOLIET, IL 60435

16-18-428-043-1068  
GARY D OROURKE  
352 CAREY CT  
BLOOMINGDALE, IL 60108

16-18-428-043-1071  
STACY COBLENTZ  
6436 ROOSEVELT RD 410  
OAK PARK IL, IL 60304

16-18-428-043-1074  
TAXPAYER OF PK 40  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1077  
YOLANDA YBARRA  
6436 W ROOSEVELT #216  
OAK PARK, IL 60304

16-18-428-043-1080  
FELIPE P PEREZ  
6436 ROOSEVELT 205  
OAK PARK, IL 60304

16-18-428-043-1083  
AMM HOLDINGS II LLC  
2385 HAMMOND DR #6  
SCHAUMBURG, IL 60173

16-18-428-043-1086  
KIMBERLY WEINER  
980 N MICHIGAN #1400  
CHICAGO, IL 60611

16-18-428-043-1060  
CORINE MOODY  
6436 ROOSEVELT RD 302  
OAK PARK, IL 60304

16-18-428-043-1063  
LISA RZESZUTEK  
6436 W ROSSEVELT #411  
OAK PARK, IL 60304

16-18-428-043-1066  
M GOZA  
6436 ROOSEVELT RD #406  
OAK PARK, IL 60304

16-18-428-043-1069  
R SHETTY A SATYAPRAK  
6436 ROOSEVELT RD #215  
OAK PARK, IL 60304

16-18-428-043-1072  
KOKCHUNG LEOW  
6436 ROOSEVELT RD #310  
OAK PK, IL 60304

16-18-428-043-1075  
JOSE GISELA SOBERON  
6870 BAMBOO STREET  
MIAMI LAKES, FL 33014

16-18-428-043-1078  
PATRICK W MURPHY  
6011 SOUTH HILL DR  
MADISON, WI 53705

16-18-428-043-1081  
HIZBULLAH SHAIKH  
3900 YORK ROAD  
OAK BROOK, IL 60523

16-18-428-043-1084  
KEVIN O'BRIEN  
3 GOLF CENTER #270  
HOFFMAN EST, IL 60169

16-18-428-043-1087  
LORRY LUSCRI PK 53  
6436 ROOSEVELT RD #301  
OAK PARK, IL 60304

16-18-428-043-1061  
THOMAS INSERRA  
114 SENECA TRAIL  
BLOOMINGDALE, IL 60108

16-18-428-043-1064  
CHARLES GRANT  
817 S SCOVILLE  
OAK PARK, IL 60304

16-18-428-043-1067  
SUSAN HUERTA  
6436 ROOSEVELT RD#306  
OAK PARK, IL 60304

16-18-428-043-1070  
FILIPPO ROVITO  
6436 W ROOSEVELT #210  
OAK PARK, IL 60304

16-18-428-043-1073  
TYRONE ANDALCIO  
6436 W ROOSEVELT #201  
OAK PARK, IL 60304

16-18-428-043-1076  
BRUCE MITCHELL  
PO BOX 148  
CASTLE ROCK, CO 80104

16-18-428-043-1079  
PATRICIA D ROBERTS  
6436 ROOSEVELT RD 417  
OAK PARK, IL 60304

16-18-428-043-1082  
J L JAIME SR  
6436 ROOSEVELT 303  
OAK PARK, IL 60304

16-18-428-043-1085  
BARBARA MELENDI  
2608 W MONTROSE  
CHICAGO, IL 60618

16-18-428-043-1088  
CATHERINE A HAMILTON  
6436 ROOSEVELT RD #412  
OAK PARK, IL 60304

16-18-428-043-1089  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103

16-18-428-043-1092  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103

16-18-428-043-1095  
MEREDITH S DAVIS  
1177 S GROVE AVE  
OAK PARK, IL 60304

16-18-428-043-1098  
YOLANDA YBARRA  
6436 W ROOSEVELT #216  
OAK PARK, IL 60304

16-18-428-043-1101  
HASANI STARKS  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1104  
IHAB M SHENOUDA  
6436 ROOSEVELT RD 208  
OAK PARK, IL 60304

16-18-428-043-1107  
DANA A YALA  
817 S GROVE AVE  
OAK PARK, IL 60304

16-18-428-043-1110  
MEREDITH S DAVIS  
1177 S GROVE AVE  
OAK PARK, IL 60304

16-18-428-043-1113  
TEDJITOU MARTIN  
6436 ROOSEVELT RD 307  
OAK PARK, IL 60304

16-18-428-043-1116  
RICHARD LAMORENA  
6436 ROOSEVELT RD#315  
OAK PARK, IL 60304

16-18-428-043-1090  
CURTIS A START  
3062 BARCLAY WAY  
ANN ARBOR, MI 48105

16-18-428-043-1093  
LUCAN INV LLC  
438 POND VIEW LN  
BARTLETT, IL 60103

16-18-428-043-1096  
RICHARD LAMORENA  
6436 ROOSEVELT 315  
OAK PARK, IL 60304

16-18-428-043-1099  
TYRONE ANDALCIO  
6436 ROOSEVELT RD #201  
OAK PARK, IL 60304

16-18-428-043-1102  
CATHERINE A HAMILTON  
6436 ROOSEVELT RD #412  
OAK PARK, IL 60304

16-18-428-043-1105  
GLKW PROPERTIES LLC  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1108  
GARY D OROURKE  
352 CAREY CT  
BLOOMINGDALE, IL 60108

16-18-428-043-1111  
DELORES COLEMAN  
6436 ROOSEVELT RD #302  
OAK PARK, IL 60304

16-18-428-043-1114  
KOKCHUNG LEOW  
6436 ROOSEVELT RD #310  
OAK PARK, IL 60304

16-18-428-043-1117  
PATRICK W MURPHY  
6011 SOUTH HILL DR  
MADISON, WI 53705

16-18-428-043-1091  
DAVID FREILICH  
6436 ROOSEVELT RD#309  
OAK PARK, IL 60304

16-18-428-043-1094  
KARA J TROSPER  
176 JEFFERSON LANE  
BLOOMINGDALE, IL 60108

16-18-428-043-1097  
THOMAS J INSERRA  
114 SENECA TRAIL  
BLOOMINGDALE, IL 60108

16-18-428-043-1100  
RA A SHETTY  
6436 ROOSEVELT RD 215  
OAK PARK, IL 60304

16-18-428-043-1103  
ANTOINETTE S CALLOWAY  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1106  
KEVIN MCCUBBIN  
6436 ROOSEVELT RD #312  
OAK PARK, IL 60304

16-18-428-043-1109  
R SHETTY A SATYAPRAK  
6436 ROOSEVELT RD #215  
OAK PARK, IL 60304

16-18-428-043-1112  
TERRENCE JANAS  
6436 ROOSEVELT RD 305  
OAK PARK, IL 60304

16-18-428-043-1115  
LOURDES MARTINEZ  
1N376 PURNELLST  
CAROL STREAM, IL 60188

16-18-428-043-1118  
KARA J TROSPER  
176 JEFFERSON LANE  
BLOOMINGDALE, IL 60108

16-18-428-043-1119  
ERICA L COURTENAY  
6436 ROOSEVELT RD#318  
OAK PARK, IL 60304

16-18-428-043-1120  
CATHERINE A HAMILTON  
6436 ROOSEVELT RD #412  
OAK PARK, IL 60304

16-18-428-043-1121  
PATRICIA D ROBERTS  
6436 ROOSEVELT RD  
OAK PARK, IL 60304

16-18-428-043-1122  
FELIPE P PEREZ  
6436 ROOSEVELT 205  
OAK PARK, IL 60304

16-18-428-043-1123  
SUSAN HUERTA  
6436 ROOSEVELT RD#306  
OAK PARK, IL 60304

16-18-428-043-1124  
JOSE E GISELA SOBERON  
6870 BAMBOO STREET  
MIAMI LAKES, FL 33014

16-18-428-043-1125  
MICHAEL GOZA  
6436 ROOSEVELT RD 406  
OAK PARK, IL 60304

16-18-428-043-1126  
STACY COBLENTZ  
6436 ROOSEVELT RD #410  
OAK PARK, IL 60304

16-19-203-023-0000  
M CATALINA DIAZ  
1212 S EAST AVE  
BERWYN, IL 60402

16-19-203-024-0000  
PAUL F GLEESON  
1214 S EAST AV  
BERWYN, IL 60402

16-19-203-026-0000  
QUY MACH  
1220 S EAST AV  
BERWYN, IL 60402

16-19-203-027-0000  
VALEE KAMAR  
1222 S EAST AV  
BERWYN, IL 60402

16-19-203-028-0000  
VALEE KAMAR  
1222 S EAST AV  
BERWYN, IL 60402

16-19-203-039-0000  
BLANCA GUTIERREZ  
1216 S EAST AV  
BERWYN, IL 60402

16-19-203-040-0000  
QUY MACH  
1220 S EAST AV  
BERWYN, IL 60402

16-19-204-001-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-002-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-003-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-004-0000  
TURANO BAKERY CO INC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-005-0000  
TURANO BAKERY CO INC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-006-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-007-0000  
ALFRED HOLMAN  
1215 S EAST AVE  
BERWYN, IL 60402

16-19-204-008-0000  
TIMOTHY NESS  
1217 S EAST AVE  
BERWYN, IL 60402

16-19-204-009-0000  
RAJ K SONI  
1 PEMBURY WAY  
S BARRINGTON, IL 60010

16-19-204-010-0000  
ANTHONY QUINTANA  
1221 EAST AVE  
BERWYN, IL 60402

16-19-204-011-0000  
ROSALBO GUTIERREZ  
1223 S EAST AV  
BERWYN, IL 60402

16-19-204-021-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-204-022-0000  
DAVID MILKLOS  
2819 S WISCONSIN  
BERWYN, IL 60402

16-19-204-023-0000  
WIESLAWA CZARNOWSKA  
1216 S SCOVILLE AV  
BERWYN, IL 60402

16-19-204-024-0000  
J W KLOUDA  
1218 SCOVILLE AV  
BERWYN, IL 60402

16-19-204-025-0000  
EFREN ESTRADA  
1220 S SCOVILLE AVE  
BERWYN, IL 60402

16-19-204-026-0000  
MOISES MAGANA JR  
506 5TH ST APT H2  
WILMETTE, IL 60091

16-19-205-001-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-205-002-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-205-010-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-205-011-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT ROAD  
BERWYN, IL 60402

16-19-205-012-0000  
JORGE PEREZ  
1217 S SCOVILLE AVE  
BERWYN, IL 60402

16-19-205-013-0000  
JANET LEON  
1219 SCOVILLE  
BERWYN, IL 60402

16-19-205-014-0000  
JAMES C PAULUCCI  
1221 SCOVILLE  
BERWYN, IL 60402

16-19-205-015-0000  
MARIA D MANCILLA  
1223 SCOVILLE AV  
BERWYN, IL 60402

16-19-205-016-0000  
LYNETTE E REIDY  
1225 SCOVILLE AV  
BERWYN, IL 60402

16-19-205-025-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-205-026-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-205-027-0000  
MIGUEL A OCAMPO  
1216 S GUNDERSON AV  
BERWYN, IL 60402

16-19-205-028-0000  
MIGUEL A OCAMPO  
1216 S GUNDERSON AV  
BERWYN, IL 60402

16-19-205-029-0000  
BORIS ZRANTCHEV  
2245 S 13TH AVE  
N RIVERSIDE, IL 60546

16-19-205-030-0000  
BORIS ZRANTCHEV  
2245 S 13TH AVE  
N RIVERSIDE, IL 60546

16-19-205-031-0000  
DANIEL R BILY  
1224 GUNDERSON  
BERWYN, IL 60402

16-19-205-043-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-005-0000  
BERWYN PROPERTIES LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-006-0000  
BERWYN PROPERTIES LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-011-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-012-0000  
CARLOS A PAGUADA  
1215 GUNDERSON AVE  
BERWYN, IL 60402

16-19-206-013-0000  
FAVIAN ROMAN  
1219 S GUNDERSON  
BERWYN, IL 60402

16-19-206-014-0000  
NOE SANDOVAL  
1221 GUNDERSON  
BERWYN, IL 60402

16-19-206-015-0000  
JOHN TOMECEK  
1223 S GUNDERSON AV  
BERWYN, IL 60402

16-19-206-016-0000  
JEFFREY DOSS  
1227 S GUNDERSON  
BERWYN, IL 60402

16-19-206-026-0000  
DEI CUGINI LLC  
6501 W ROOSEVELT  
BERWYN, IL 60402

16-19-206-027-0000  
KATHERINE FEGAN  
1216 ELMWOOD AVE  
BERWYN, IL 60402

16-19-206-028-0000  
MIGUEL MELQUIADES  
1218 S ELMWOOD AV  
BERWYN, IL 60402



16-18-425-050-0000  
ANTHONY MAJDICH  
1192 CLARENCE AVE 8  
OAK PARK, IL 60304

16-18-425-051-0000  
MICHAEL LISA WIELAND  
1192 CLARENCE #9  
OAK PARK, IL 60304

16-18-425-059-0000  
NIMMI RAJAGOPAL  
1192 CLARENCE AVE#17  
OAK PARK, IL 60304

16-18-425-060-0000  
DEBORAH MORGAN  
1192 CLARENCE AVE #18  
OAK PARK, IL 60304

16-18-429-009-0000  
RACHEL BURGER  
1168 S ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-010-0000  
RENATE BURESS  
1172 S ELMWOOD  
OAK PARK, IL 60304

16-18-429-011-0000  
AUGUST W BERNAHL  
1174 S ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-012-0000  
WILLIAM CROWLEY  
1176 S ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-013-0000  
MEL KRUMDICK  
1178 S ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-014-0000  
KATHLEEN JAMES  
1180 SOUTH ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-015-0000  
SCOTT SPONSLER  
1184 S ELMWOOD AVE  
OAK PARK, IL 60304

16-18-429-041-0000  
6412 RSVELT RD PTNSHP  
1235 N DEARBORN  
CHICAGO, IL 60610

16-19-203-005-0000  
LA ROSITA FOODS  
6609 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-203-006-0000  
HEIDNER HOLDINGS LLC  
399 WALL STREET UNIT H  
GLENDALE HTS, IL 60139

16-19-203-007-0000  
HEIDNER HOLDINGS LLC  
5277 TRILLIUM BLVD  
HOFFMAN ESTS, IL 60192

16-19-203-008-0000  
HEIDNER HOLDINGS LLC  
5277 TRILLIUM BLVD  
HOFFMAN ESTS, IL 60192

16-19-206-007-0000  
BENATO G TUBANO  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-008-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-009-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-206-010-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-207-001-0000  
BERWYN PROPERTIES LLC  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-207-002-0000  
TURANO BAKERY  
6501 W ROOSEVELT RD  
BERWYN, IL 60402

16-19-207-011-0000  
LYNNE S STELLA  
1217 S ELMWOOD  
BERWYN, IL 60402

16-19-207-012-0000  
ABEL GARCIA  
1219 ELMWOOD AV  
BERWYN, IL 60402

16-19-207-046-0000  
MICHAEL FERGUSON  
8544 BROOKFIELD APT 1D  
BROOKFIELD, IL 60513

16-19-207-047-0000  
VICTOR TIETZ  
1215 ELMWOOD AV  
BERWYN, IL 60402

16-19-206-029-0000  
MARISOL SALAZAR  
1220 ELMWOOD AVE  
BERWYN, IL 60402

16-19-206-030-0000  
M SALAZAR  
1220 ELMWOOD  
BERWYN, IL 60402

16-19-206-031-0000  
JOSEPH RODRIGUEZ  
1226 ELMWOOD AVE  
BERWYN, IL 60402

16-19-206-042-0000  
TURANO BAKERY  
650U W ROOSEVELT RD  
BERWYN, IL 0

Berwyn Properties, LLC  
6501 W. Roosevelt Rd.  
Berwyn, IL 60402

NEOPOST  
04/11/2018  
FIRST-CLASS MAIL  
\$000.47  
ZIP 60402  
041M11280490

16-18-427-010-0000  
KORENICH CLAUSE  
1168 S SCOVILLE AVE  
OAK PARK, IL 60304



141 S. Oak Park Avenue  
Oak Park, Illinois 60302  
Phone: 708/524-8300  
Fax: 708/524-0447

ACCOUNT NO.	DATE
040918-00001	04/11/18

P.O. No.  
708- -

**REMITTANCE:**

Check enclosed: AMOUNT: \_\_\_\_\_

Please bill my credit card:  
 MasterCard  Visa  American Express

Card No. \_\_\_\_\_

Exp. Date \_\_\_\_\_ Signature \_\_\_\_\_

Berwyn Properties, LLC  
Attn: Anthony  
6501 W. Roosevelt Rd.  
Berwyn, IL 60402

Please detach & return upper portion with your payment.

CLASSIFIED ADVERTISING INVOICE

START DATE: 04/11/18

# Of Insertions: 1

Size: 21 Units

Rate: Legal-WJ

Classification: PUBLIC NOTICES

Editions: A

D = Oak Park, River Forest, Forest Park, Riverside, Brookfield

A = Austin Weekly News C = Chicago Journal

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PUBLIC NOTICE NOTICE

COST FOR THIS AD: \$ 70.00

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THANK YOU FOR YOUR BUSINESS!

Classified Ad Deadline Tuesday 9:30 A.M.

Tearsheets are available upon request for \$1

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Wednesday Journal • Forest Park Review  
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## Certificate of the Publisher

Wednesday Journal, Inc. certifies that it is the publisher of the Wednesday Journal. Wednesday Journal is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the City/Village of Oak Park, County of Cook, Township of Oak Park, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published one time(s) in Wednesday Journal, namely one time per week for one successive weeks. The first publication of the notice was made in the newspaper, dated and published on April 11, 2018, and the last publication of the notice was made in the newspaper dated and published on April 11, 2018. The notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, the Wednesday Journal, Inc. has signed this certificate by Dan Haley, its publisher, at Oak Park, Illinois, on April 11, 2018.

Wednesday Journal, Inc.

By: D. Haley

Dan Haley  
Publisher

708) 613-3333 • FAX: (708) 467-9066 • E-MAIL: CLASSIFIEDS@OAKPARKILLINOIS.COM

shine in...

# Notice: Your right to

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<h3>PUBLIC NOTICES</h3> <p><b>PUBLIC NOTICE</b> Notice is hereby given, pursuant to "An Act in relation to the use of an Assumed Business Name in the conduct or transaction of Business in the State," as amended, that a certification was registered by the undersigned with the County Clerk of Cook County. Registration Number: D18153934 on March 27, 2018. Under the Assumed Business Name of MOVEMASTERS with the business located at: 1533 HARLEM AVE, FOREST PARK, IL 60130. The Use and real full name(s) and residence address of the owner(s)/partner(s) is: SHAMAAH S ROSS, 1533 HARLEM AVE FOREST PARK, IL 60130</p> <p>Published in Forest Park Review 411, 418, 425/2018</p> <p><b>PUBLIC NOTICE</b> <b>NOTICE TO CONTRACTORS</b></p> <p>Notice is hereby given by the President and Board of Trustees of the Village of River Forest, Cook County, Illinois, that sealed bids will be accepted for:</p> <p><b>2018 Sewer Lining Improvements (Various Locations)</b></p> <p>This project consists of the installation of approximately 3,150 linear feet of Correl-In-Place Pipe.</p>	<h3>PUBLIC NOTICES</h3> <p><b>PUBLIC NOTICE</b> <b>NOTICE OF NEIGHBORHOOD MEETING</b></p> <p>Date: April 30, 2018 Time: 5:00 PM Location: Maze Branch Library 845 Gunderson Ave., Oak Park</p> <p>Subject Property Address: 6500-32 Roosevelt Rd Oak Park, IL 60304</p> <p>Proposed Development: Single-Tenant Office Building Purpose of Meeting: Pre-Planned Development Submittal Discussion</p> <p>Contact: Berwyn Properties, LLC (708) 317-3161 berwynproperties@gmail.com</p> <p>Published in Wednesday Journal 411/2018</p>	<h3>REAL ESTATE FOR SALE</h3> <p>of the unit at the other than a mortgage the assessments re Condominium Proj ILCS 605/18.5(g-1) IF YOU ARE THE (HOMEOWNER), (THE RIGHT TO POSSESSION FOR AFTER ENTRY OF POSSESSION, IN WITH SECTION OF THE ILLINOIS FORECLOSURE LA You will need a photo issued by a gover (driver's license, pa order to gain entry and the foreclosure Cook County and the callon for sales held venues where The Corporation condu sales.</p> <p>For information: V site at service at between the hours McCalla Raymer L.L.C. Plaintiff's At North Dearborn Stre Chicago, IL 60602. 416-5500. Please re ber 7999.</p> <p>THE JUDICIAL CORPORATION</p>
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IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT--CHANCERY DIVISION SUNTRUST MORTGAGE, INC. Plaintiff,



**NOTICE OF NEIGHBORHOOD MEETING**

Date: April 30, 2018

Time: 5:00 PM

Location: Maze Branch Library, 845 Gunderson Ave.  
Oak Park, IL 60304

Subject Property Address: 6500-32 Roosevelt Rd.  
Oak Park, IL 60304

Proposed Development: Single-Tenant Office Building  
Purpose of Meeting: Pre-Planned Development Submittal Discussion

Contact:

Berwyn Properties, LLC

(708) 317-3161

[berwynproperties@gmail.com](mailto:berwynproperties@gmail.com)







# Berwyn Properties, LLC

## **Neighborhood Meeting**

**April 30, 2018  
5:00 PM**

**Maze Branch Public Library  
845 Gunderson Avenue, Oak Park**

### **Agenda**

- 5:00 PM Welcome and Introductions  
About Turano Baking Company & Berwyn Properties  
Explanation of historical and current uses of both properties  
Growth of Turano Baking, Relocation of Garage, Parking Requirements  
Recent development along Roosevelt Road
- 5:15 PM Proposed Single-Tenant office Building  
Size, Use, Growth  
Design, Colors, Materials  
Vacating Scoville  
Parking Requirements & Reality
- 5:30 PM Compensating Benefits  
Cul de Sac  
Reduced Traffic on neighborhood streets  
Environmental remediation/cleanup  
GreenGlobes Standards  
Improved Use  
Safety and Security  
Economic Benefits (jobs and property taxes)  
Greenspace
- 5:45 PM Questions & Answers





NEW TWO STORY BUILDING - PLANNED DEVELOPMENT



NEIGHBORHOOD MEETING - APRIL 30, 2018





NEW TWO STORY BUILDING - PLANNED DEVELOPMENT

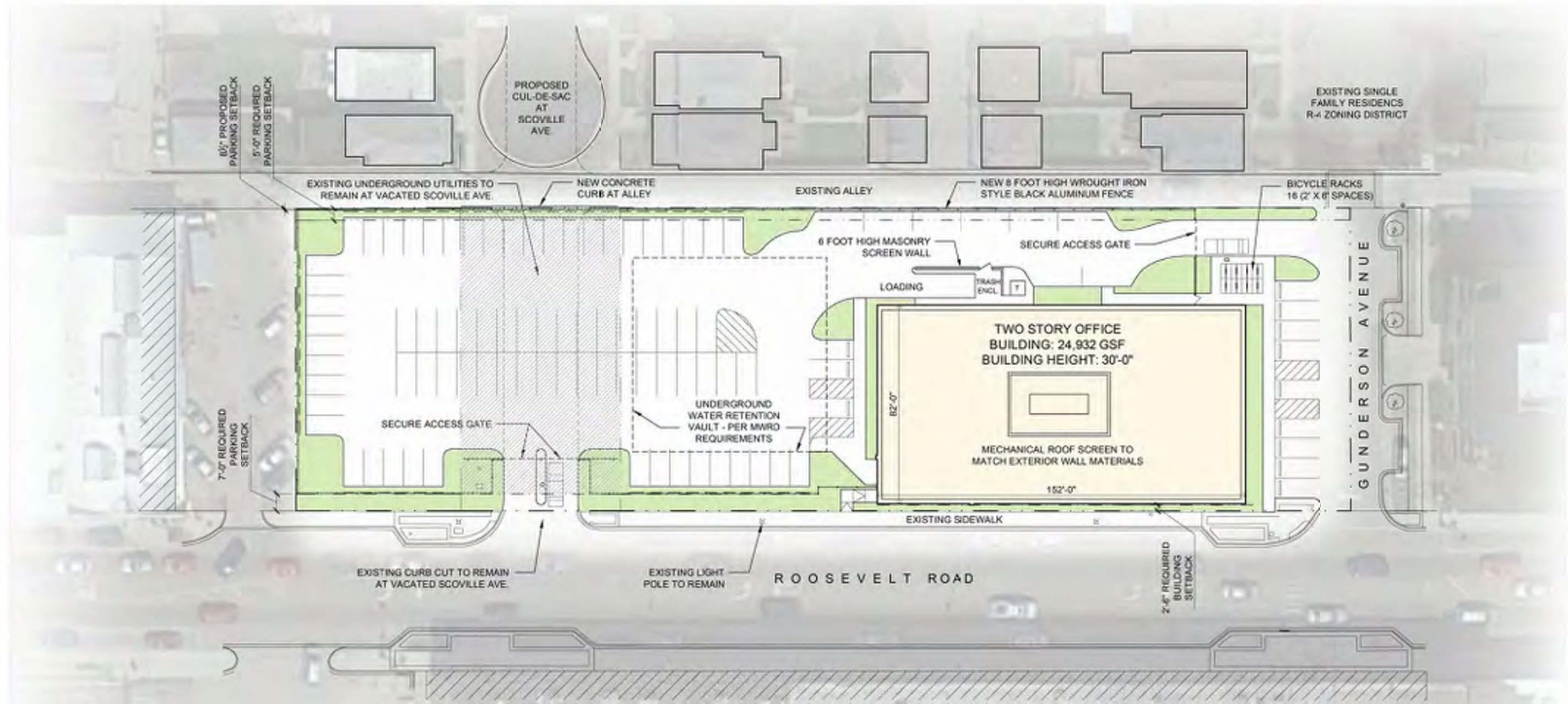


NEIGHBORHOOD MEETING - APRIL 30, 2018

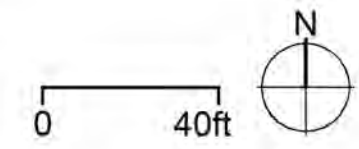








SITE DATA:	PARKING DATA:
SITE AREA: 54,408 SQ. FT. = +/- 1.25 ACRES	REQUIRED PARKING: 1 / 500 SQ. FT. GFA = 50 STALLS
BUILDING AREA: 24,932 GROSS SQ. FT.	PROPOSED PARKING: 97 TOTAL (INCL. 4 ACCESS. STALLS)
BUILDING COVERAGE: 22.9% (12,466 SQ. FT.)	
IMPERVIOUS SURFACE COVERAGE: 66.4% (47,006 SQ. FT.)	



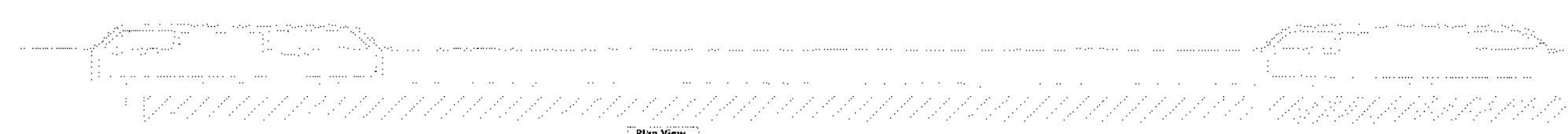
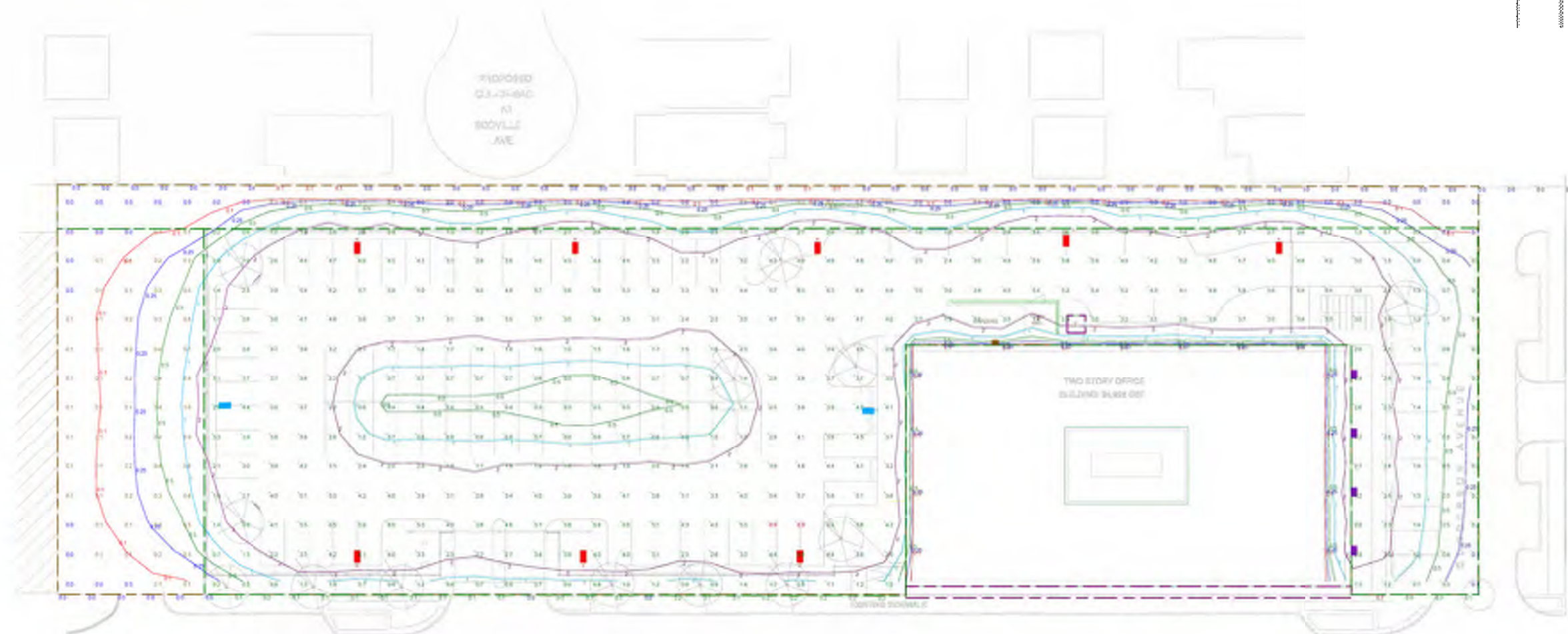
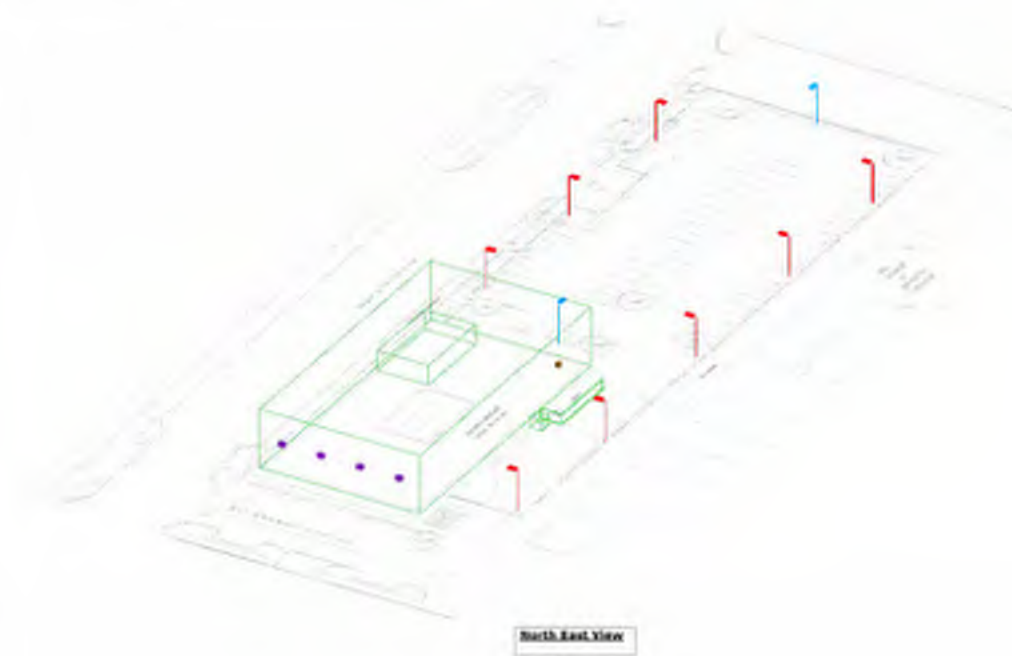




Item	Description	Symbol	Qty	Min	Max	Min	Max	Min	Max
01	2.2.2								
02	2.2.2								
03	2.2.2								
04	2.2.2								

Symbol	Label	QTY	Manufacturer	Category	Description	Number	Notes	Unit	Cost	Weight	Volume per 1 Amp
F1	LED	8	UTRONIX	LED	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	8	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	LED	5.25	400	10000
F2	LED	2	UTRONIX	LED	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	2	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	LED	5.25	120	10000
F3	LED	8	UTRONIX	LED	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	8	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	LED	5.25	120	10000
F4	LED	1	UTRONIX	LED	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	1	20W LED PS 40K BAC (BLACK LIGHT CONTROL)	LED	5.25	120	10000

**NOTES**  
 1. Drawing assumes 24" concrete base 2" above grade, with an 18" pole.  
 2. Building fixtures are mounted @ ~15' above grade (to be aligned with architectural features).



Designer	_____
Check	_____
Date	4/25/18
Scale	1" = 50'-0"
Drawing No.	181801
Summary	_____



# Sign-In Sheet

Pre-Planned Development Submittal  
Neighborhood Discussion

April 30, 2018

	<u>Name</u>	<u>Address</u>	<u>City</u>
1	ROGER JAMES AREL	1160 S SCOVILLE	OAK PARK
2	Clara Keanley	1185 S. EAST AVE	OAK PARK
3	DECLINED TO SIGN IN	- SCOVILLE RESI.	OAK PARK
4			
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22			
23			

# Berwyn Properties, LLC

## **Neighborhood Meeting**

**April 30, 2018  
5:00 PM**

**Maze Branch Public Library  
845 Gunderson Avenue, Oak Park**

### **Summary**

Present from Team:

- Anthony Turano, Turano Baking Company
- Roger Heerema, Wright Heerema Architects
- John Blacketor, Executive Construction

Present from Oak Park development group – Victor Schrader, Economic Development Manager  
Remaining attendees / neighbors – 3 total [signup sheet attached, one individual declined to sign in]

Anthony Turano (AT) opened the meeting thanking all for coming and provided a brief overview of Turano Baking Company, their commitment to Oak Park / Berwyn area and their ongoing growth necessitating the need for continued expansion.

AT further provided overview of a garage facility that burned down leaving what is presently the truck parking area use. Turano's desire is to construct a 25,000sf 2 story (30' high) office building to serve as their new corporate headquarters.

AT revealed and reviewed renderings, site plans and elevations of the proposed facility and highlighted the following:

- Façade of precast concrete panels with brick inlay to compliment the Bakery facility across the street.
- Lots of glass punch windows with storefront at the main entry corner to the southwest
- The most significant element of change will be the vacating of Scoville Avenue...creating a Cull-de-sack while rerouting and leaving utility services while the new parking area will extend to the east.
- The existing facility just east of Scoville will be demolished and serve as additional parking.
- Parking for the facility will have a capacity of 93 which will adequately satisfy all needs for employees
- The total designed capacity for the facility will be nearly 100...this allows for future growth as this will not be the requirement initially
- Sustainable construction practices will be employed. Green Globe guidelines will be followed to insure accountability and compliance with Oak Park standards
- Drainage and storm water detention will not be an issue on the site as an underground storage system will be installed to insure adequate drainage

# Berwyn Properties, LLC

Question: How long will construction take and when will you start?

Answer: 11 months and targeting to get approvals and permits in August. Start pending approvals but will be immediately upon receipt. Focus on sitework prior to winter weather conditions will be a priority.

Question: Will the site require any sort of environmental remediation?

Answer: Yes, but all is minor and contained within the site and involves a tank removal. This work has been contracted and will be completed will ahead of the start off general construction.

Question: Will the alley and Gunderson Avenue remain open during construction?

Answer: Yes, the site will be gated during construction however at times will require isolated areas to be closed for critical installations.

Question: Will you have landscaping?

Answer: Yes, AT reviewed the landscape plan which includes added trees along Roosevelt Road as well as green space in islands.

Question: What kind of site lighting will you have?

Answer: Light poles will surround the site at its perimeter along the north, south and west sides. Building wall packs will be on the east and partially north at the docs. A specific reflective fixture has been specified to insure perimeter lighting is generally shielded along the north elevation to minimize the light projection toward the residences to the north. All lighting meets the Oak Park ordinance; AT reviewed a photometric study prepared by the design team to insure compliance and yet meet the lighting desires of Turano.

Question: How will the Berwyn facility be reworked when staff move to the new office building?

Answer: AT indicated that no new staff will be coming from outside the area to be housed in the new building. Merely moving across the street. The vacated office area is in much need of updating and renovation. Many miscellaneous improvements will take place over time, yet none have yet been specifically identified. All will support production operations of the Bakery.

Meeting was adjourned at approximately 5:45pm. Attendees reviewed the renderings and plans as they exited...

Single-Tenant Corporate Office Building

**Berwyn Properties, LLC**

May 2, 2018

Tab #12

## Scoville Avenue Right-of-Way Vacation

### Contents:

- i. Application for Right-of-Way Vacation
- ii. Plat of Survey of all Abutting Properties to Vacated Right-of-Way
- iii. Photograph of Subject Right-of-Way
- iv. Written Description of Request and Proposed Use
- v. Written Authorization from Abutting Property Owners
- vi. Site Plan
- vii. DRAFT Plat of Vacated Right-of-Way and Easement for Existing Utilities



# APPLICATION FOR Right-of-Way Vacation

VILLAGE OF OAK PARK, ILLINOIS

Date Filed: \_\_\_\_\_

Accepted by: \_\_\_\_\_

Street or Alley \_\_\_\_\_

**YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE APPLICATION.**

**Applicant / Contact Information:** Berwyn Properties, LLC 6501 W. Roosevelt Rd., Berwyn, IL 60402  
Name Address

(708) 317-3161 berwynproperties@gmail.com  
Phone no. E-mail

**Street Name or Location of Alley in Question:** Scoville Avenue between Roosevelt Road and northern Alley

**Name of Adjacent Property Owner(s), Adjacent Property Addresses and (PIN):**

<u>Berwyn Properties, LLC</u> <small>Name</small>	<u>6530-32 Roosevelt Road</u> <small>Address</small>	<u>16-18-426-040 and 041</u> <small>Property Identification Number</small>
<u>Berwyn Properties, LLC</u> <small>Name</small>	<u>6500-28 Roosevelt Road</u> <small>Address</small>	<u>16-18-427-036 to 044</u> <small>Property Identification Number</small>

**Briefly Describe Request:** As the contiguous property owner of 6500 through 6532 Roosevelt Road in Oak Park, the requested vacated property would alleviate parking congestion along Roosevelt Road and provide a barrier to local residential neighborhoods from absorbing non-residential parking. Additionally, the request would significantly reduce through-traffic on Scoville and other nearby residential streets. This request is part of a Planned Development Application that would include construction of a Single-Tenant Office Building. The Vacation would allow for the Planned Development to meet required Parking standards.

**Is the property in question presently subject to a Special Use or Planned Development?** \_\_\_\_\_ Yes  No  
If Yes, how? \_\_\_\_\_

**Is the subject property located within any Historic District?** \_\_\_\_\_ Yes  No

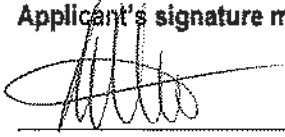
**Have the effected (abutting) property owners been contacted by the Applicant?**  Yes \_\_\_\_\_ No

If Yes, when? The Applicant is an affiliated entity to the abutting property owners to the South. Neighbors along Scoville were notified during a Pre-Planned Development Submittal Discussion held on April 30, 2018, at 5:00 PM at the Maze Branch Public Library, 845 Gunderson Ave., Oak Park.



I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

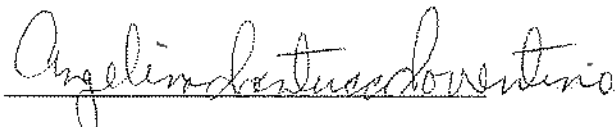
I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law. Applicant's signature must be notarized.

  
\_\_\_\_\_  
(Signature) Applicant

4/30/18.  
\_\_\_\_\_  
Date

SUBSCRIBED AND SWORN TO BEFORE ME THIS

30<sup>th</sup> DAY OF April, 2018

  
\_\_\_\_\_  
(Notary Public)



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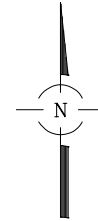
**THE FOLLOWING SHALL BE SUBMITTED AS PART OF THIS APPLICATION:**

1. Current Plat of Survey of all abutting properties to vacated right-of-way. (1 copy)
2. Photographs of subject right-of-way (1 set)
3. Written description of request and proposed use.
4. Written authorization from abutting property owners.
5. Drawing (s) of proposed modifications to right-of-way.

- 
1. Traffic Analysis (If applicable); **after** Village Board referral
  2. **Vacation Plat:** twelve (12) folded paper copies must be submitted **after** Village Board referral, and then one (1) original signed Mylar or velum **and** one (1) 11X17 reduced paper copy or an electronic version must be submitted **after** Plan Commission approval.
-

# PLAT OF SURVEY

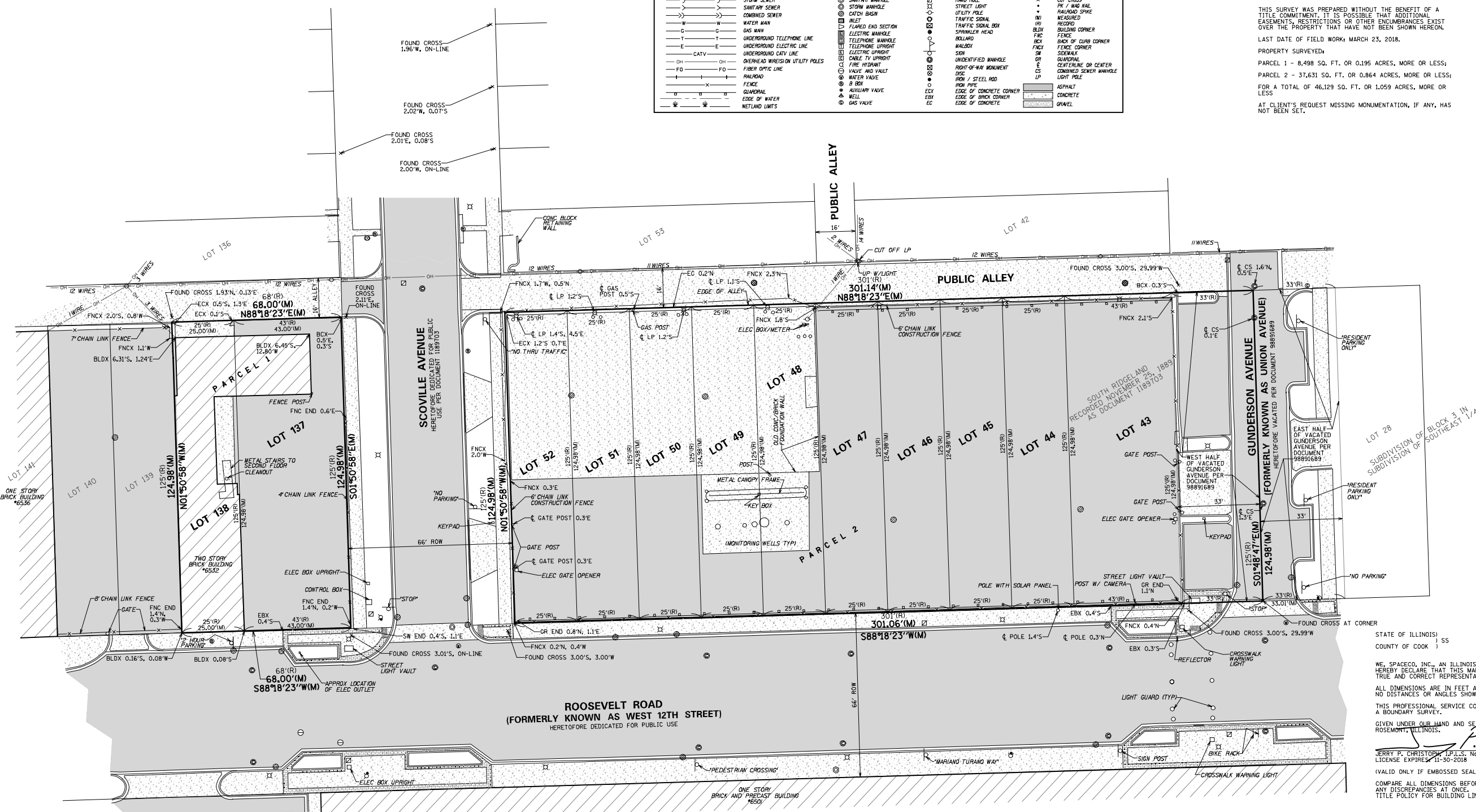
PROPERTY DESCRIPTION:  
 PARCEL 1:  
 LOTS 137 AND 138 IN SOUTH RIDGELAND, BEING A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
 AND  
 PARCEL 2:  
 LOTS 43 THROUGH 52, INCLUSIVE AND THAT PART OF THE WEST HALF OF VACATED GUNDERSON AVENUE LYING EAST OF AND ADJOINING SAID LOT 43 IN SOUTH RIDGELAND, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



BASIS OF BEARINGS:  
 TRUE NORTH BASED ON GEODETIC OBSERVATION 11 EAST ZONE

LEGEND			
	STORM SEWER		SANITARY MANHOLE
	COMBINED SEWER		STORM MANHOLE
	WATER MAIN		CATCH BASIN
	GAS MAIN		FLAMED END SECTION
	UNDERGROUND TELEPHONE LINE		TELEPHONE MANHOLE
	UNDERGROUND ELECTRIC LINE		TELEPHONE UPRIGHT
	UNDERGROUND CITY LINE		ELECTRIC UPRIGHT
	CATV		CABLE TV UPRIGHT
	OVERHEAD WIRES ON UTILITY POLES		FIRE HYDRANT
	FIBER OPTIC LINE		VALVE AND VAULT
	RAILROAD		WATER VALVE
	FENCE		B BOX
	GUARDRAIL		UTILITY VALVE
	EDGE OF WATER		WELL
	WETLAND LIMITS		GAS VALVE
	HAND HOLE		STREET LIGHT
	UTILITY POLE		UTILITY POLE
	TRAFFIC SIGNAL		TRAFFIC SIGNAL BOX
	SPRINKLER HEAD		BUILDING CORNER
	BUILDING CORNER		BACK OF CURVE CORNER
	FENCE CORNER		SIDEWALK
	GUARDRAIL		CENTERLINE OR CENTER
	COMBINED SEWER MANHOLE		ASPHALT
	LIGHT POLE		CONCRETE
	ASPHALT		GRAVEL

NOTES:  
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. IT IS POSSIBLE THAT ADDITIONAL EASEMENTS, RESTRICTIONS OR OTHER ENCUMBRANCES EXIST OVER THE PROPERTY THAT HAVE NOT BEEN SHOWN HEREON.  
 LAST DATE OF FIELD WORK: MARCH 23, 2018.  
 PROPERTY SURVEYED:  
 PARCEL 1 - 8,498 SQ. FT. OR 0.195 ACRES, MORE OR LESS;  
 PARCEL 2 - 37,631 SQ. FT. OR 0.864 ACRES, MORE OR LESS;  
 FOR A TOTAL OF 46,129 SQ. FT. OR 1.059 ACRES, MORE OR LESS.  
 AT CLIENT'S REQUEST MISSING MONUMENTATION, IF ANY, HAS NOT BEEN SET.



STATE OF ILLINOIS )  
 COUNTY OF COOK ) SS

WE, SPACCO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, DO HEREBY DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 6TH DAY OF APRIL, 2018 IN ROSEMONT, ILLINOIS.

*Jerry P. Christop*  
 JERRY P. CHRISTOP, L.P.L.S., No. 035-3540  
 LICENSE EXPIRES 11-30-2018

(INVALID ONLY IF EMBOSSED SEAL AFFIXED)

COMPARE ALL DIMENSIONS BEFORE BUILDING AND REPORT ANY DISCREPANCIES AT ONCE. REFER TO DEED OR TITLE POLICY FOR BUILDING LINES AND EASEMENTS.



PREPARED FOR:  
 TURANO BAKING COMPANY  
 6501 W. ROOSEVELT RD.  
 BERNWYN, IL 60402

FOR REVIEW  
 PURPOSES ONLY

REVISIONS:		CONSULTING ENGINEERS	DATE: 04/06/2018
		SITE DEVELOPING ENGINEERS	JOB NO: 8755.02
		LAND SURVEYORS	FILENAME: 8755.02SUR-01
			SHEET 1 OF 1

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018  
 Phone: (847) 696-4060 Fax: (847) 696-4065





Scoville St  
Roosevelt St

CITY OF CHICAGO  
OFFICE OF THE CHIEF OF POLICE

# Berwyn Properties, LLC

April 27, 2018

Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302-4272

**RE: Application for Right-of-Way Vacation at Scoville Avenue  
Description of request and proposed use**

Dear Sir or Madame:

Berwyn Properties, LLC, is requesting a vacation of Scoville Avenue between Roosevelt Road to the South and the public alley to the North. In the attached exhibits to the Application for Vacation, we have provided a proposed plan that details the planned use for the vacated street.

Berwyn Properties, LLC proposes the following uses with the vacated street:

1. Close off public access to the neighborhood along Scoville Avenue to the North of the public alley;
2. Create a cul-de-sac to the North of the public alley as turn-around space for vehicles traveling South along Scoville;
3. Utilize the vacated street as part of a Planned Development (under application) to accommodate parking requirements on a Single-Tenant Office Building.

These proposed modifications would provide the following benefits to the area and to Berwyn Properties, LLC:

- Eliminate commercial thru-traffic in the adjacent neighborhood(s);
- Reduce parking congestion in the adjacent neighborhoods;
- Increase available parking for nearby commercial uses; and
- Create an aesthetically appealing barrier for adjacent neighborhoods from commercial properties and Illinois State Route 38/Roosevelt Road.

We respectfully submit this application for Right-of-Way Vacation as proposed above for Scoville Avenue between Roosevelt Road and the public alley.

Sincerely,



Anthony M. Turano  
Berwyn Properties, LLC, Authorized Agent



# Berwyn Properties, LLC

April 27, 2018

Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302-4272

**RE: Application for Right-of-Way Vacation at Scoville Avenue  
6500-28 W. Roosevelt Rd.**

**PINs: 16-18-427-036, 16-18-427-037, 16-18-427-038,  
16-18-427-039, 16-18-427-040, 16-18-427-041,  
16-18-427-042, 16-18-427-043, 16-18-427-044**

Dear Sir or Madame:

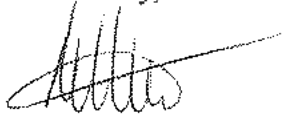
This letter shall serve as confirmation of our intent to apply for vacation of Scoville Avenue between Roosevelt Road to the South and the public alley to the North.

As the property owner of 6500-28 West Roosevelt Road, we authorize the above-mentioned application for Right-of-Way Vacation. This vacation and the proposed use for the vacated street would provide the following benefits to our property:

- Eliminate commercial thru-traffic in the adjacent neighborhood(s);
- Reduce parking congestion in the adjacent neighborhoods;
- Increase available parking for nearby commercial uses; and
- Create an aesthetically appealing barrier for adjacent neighborhoods from commercial properties and Illinois State Route 38/Roosevelt Road.

We fully support the proposed vacation.

Sincerely,



Anthony M. Turano  
Berwyn Properties, LLC, Authorized Agent



# Berwyn Properties, LLC

April 27, 2018

Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302-4272

**RE: Application for Right-of-Way Vacation at Scoville Avenue  
6530-32 W. Roosevelt Rd.  
PINs: 16-18-426-040 and 16-18-426-041**

Dear Sir or Madame:

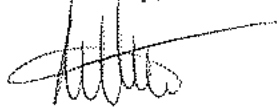
This letter shall serve as confirmation of our intent to apply for vacation of Scoville Avenue between Roosevelt Road to the South and the public alley to the North.

As the property owner of 6530-32 West Roosevelt Road, we authorize the above-mentioned application for Right-of-Way Vacation. This vacation and the proposed use for the vacated street would provide the following benefits to our property:

- Eliminate commercial thru-traffic in the adjacent neighborhood(s);
- Reduce parking congestion in the adjacent neighborhoods;
- Increase available parking for nearby commercial uses; and
- Create an aesthetically appealing barrier for adjacent neighborhoods from commercial properties and Illinois State Route 38/Roosevelt Road.

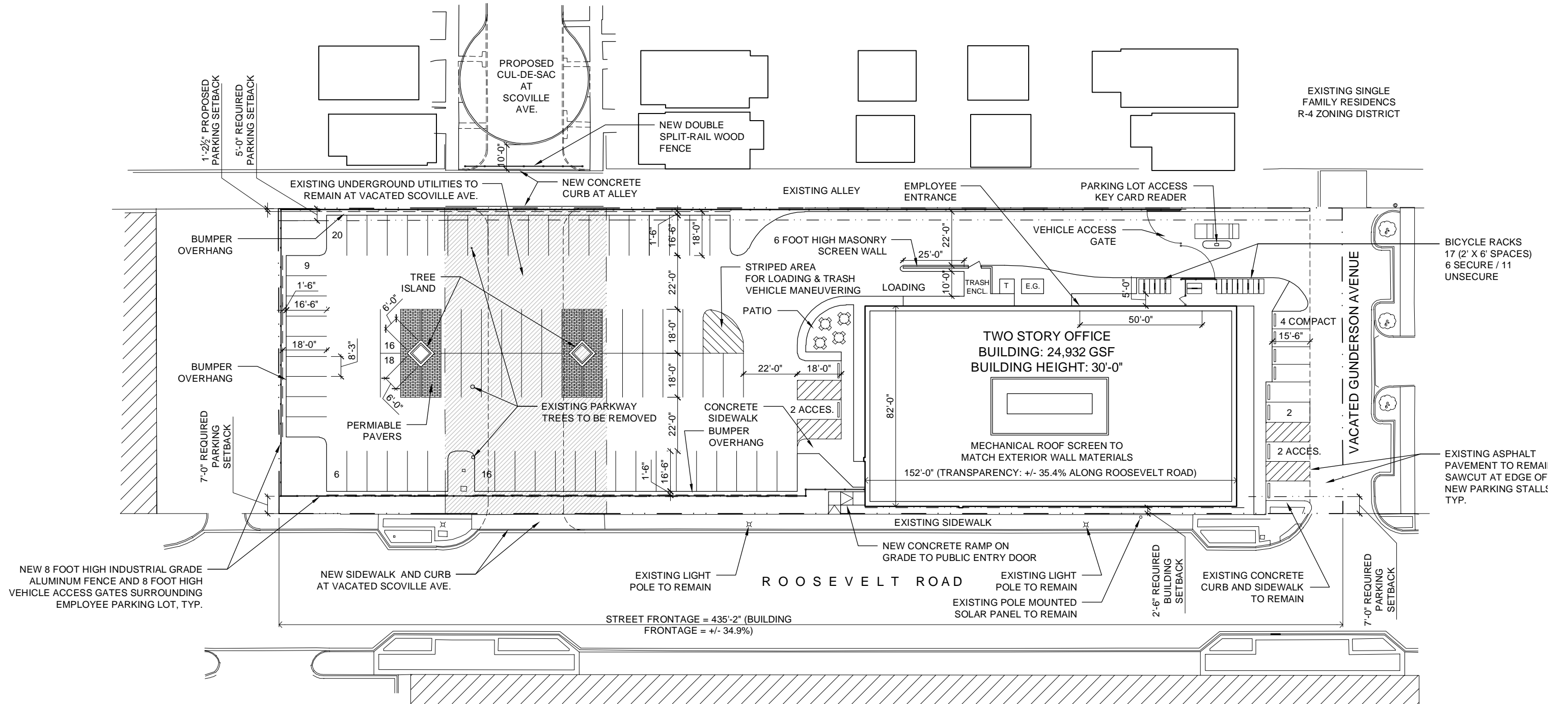
We fully support the proposed vacation.

Sincerely,

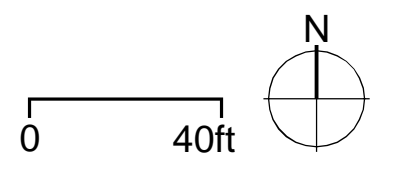


Anthony M. Turano  
Berwyn Properties, LLC, Authorized Agent

# TURANO BAKING COMPANY

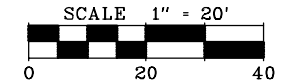
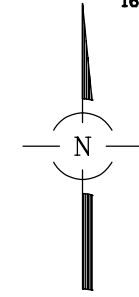


<p><b>SITE DATA:</b>                  SITE AREA: 54,406 SQ.FT. = +/- 1.25 ACRES                  BUILDING AREA: 24,932 GROSS SQ.FT.                  BUILDING COVERAGE: 22.9% (12,466 SQ.FT.)                  IMPERVIOUS SURFACE COVERAGE: 84.5% (45,962 SQ.FT.)</p>	<p><b>PARKING DATA:</b>                  REQUIRED PARKING: 1 / 500 SQ.FT. GFA = 50 STALLS                  PROPOSED PARKING: 95 TOTAL (INCL. 4 ACCESS. STALLS)                  PARKING LOT / LANDSCAPE DATA:                  PARKING LOT AREA: +/- 36,778 SQ.FT.</p>	<p><b>PARKING LOT / LANDSCAPE DATA (CONT.):</b>                  REQUIRED LANDSCAPED AREA (10%): 3,678 SQ.FT.                  PROPOSED: 3,700.3 SQ.FT. (+/- 10.1%)</p>
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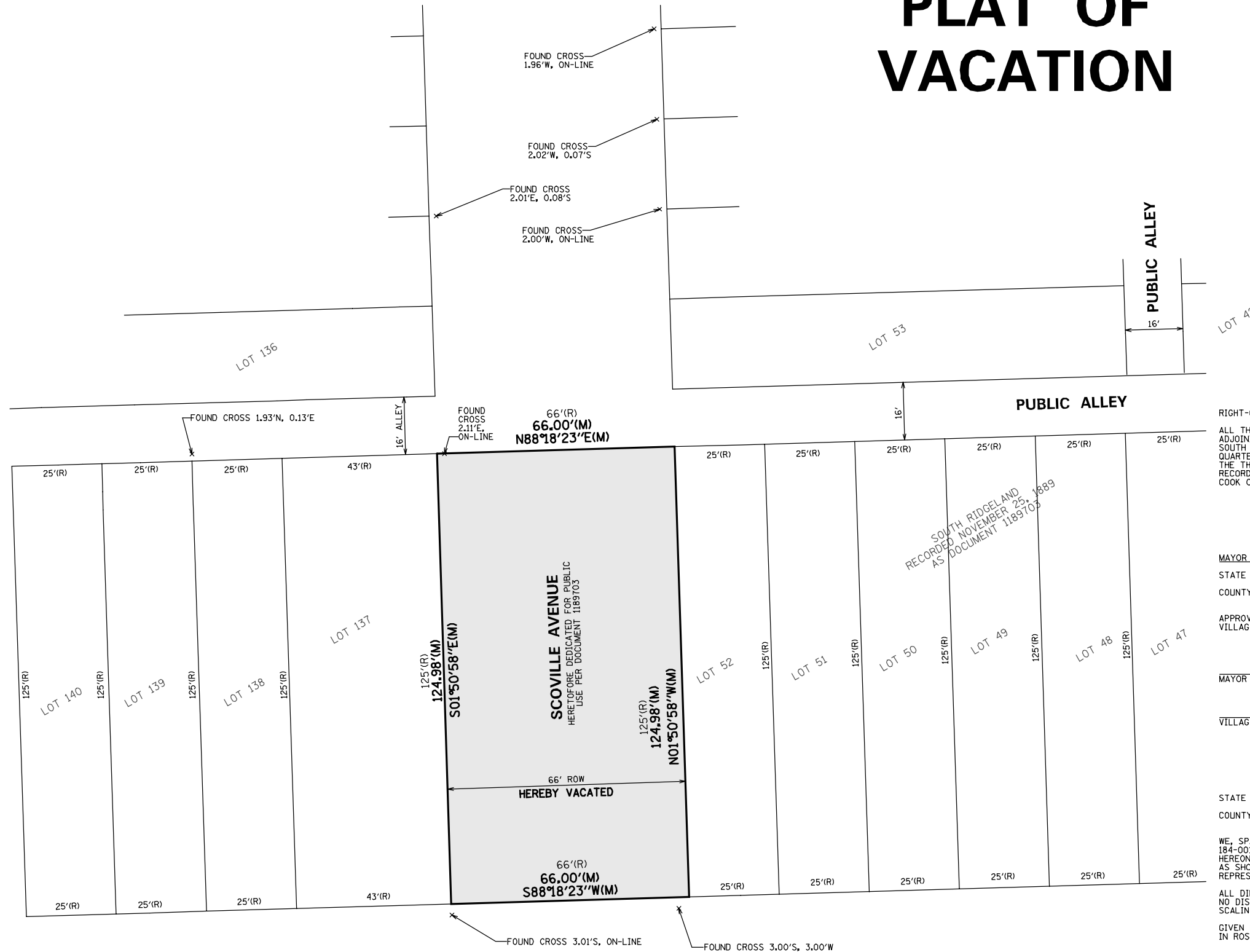
# PLAT OF VACATION

ADJACENT P.I.N.S:  
16-18-427-036  
16-18-426-041



BASIS OF BEARINGS:  
TRUE NORTH BASED ON GEODETIC  
OBSERVATION IL EAST ZONE

IR = IRON ROD  
IP = IRON PIPE  
(M) = MEASURED  
(R) = RECORD



RIGHT-OF-WAY TO BE VACATED:  
ALL THAT PART OF SCOVILLE AVENUE LYING WEST OF AND  
ADJOINING LOT 52, AND LYING EAST OF AND ADJOINING LOT 137 IN  
SOUTH RIDGELAND, BEING A SUBDIVISION IN THE SOUTHEAST  
QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13, EAST OF  
THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF  
RECORDED NOVEMBER 25, 1889 AS DOCUMENT NUMBER 1189703, IN  
COOK COUNTY, ILLINOIS.

**MAYOR AND BOARD OF TRUSTEES CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

APPROVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE  
VILLAGE OF OAK PARK, COOK COUNTY, ILLINOIS.

MAYOR \_\_\_\_\_

VILLAGE CLERK \_\_\_\_\_

STATE OF ILLINOIS )  
COUNTY OF COOK )

WE, SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER  
184-001157 DO HEREBY DECLARE THAT WE HAVE PREPARED THE PLAT  
HEREON DRAWN FOR THE PURPOSE OF VACATING AN EASEMENT AREA  
AS SHOWN, AND THAT THE PLAT IS A TRUE AND CORRECT  
REPRESENTATION OF SAID VACATION.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.  
NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY  
SCALING.

GIVEN UNDER OUR HAND AND SEAL THIS 16TH DAY OF MAY, 2018  
IN ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, I.P.L.S. No. 035-3540  
LICENSE EXPIRES: 11-30-2018

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

COMPARE ALL DIMENSIONS BEFORE BUILDING  
AND REPORT ANY DISCREPANCIES AT ONCE.  
REFER TO DEED OR TITLE POLICY FOR  
BUILDING LINES AND EASEMENTS NOT SHOWN.

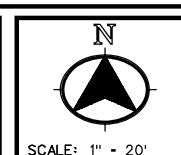


**ROOSEVELT ROAD**  
**(FORMERLY KNOWN AS WEST 12TH STREET)**  
66' RIGHT OF WAY  
HERETOFORE DEDICATED FOR PUBLIC USE

**FOR REVIEW  
PURPOSES ONLY**

PREPARED FOR:  
TURANO BAKING COMPANY  
6501 W. ROOSEVELT RD.  
BERWYN, IL 60402

REVISIONS:



**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE:	05/16/2018
JOB NO:	8755-02
FILENAME:	8755-02VAC-01