



# Application for Public Hearing SPECIAL USE PERMITS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

**Name of Business (If applicable):** McDonald's USA, LLC

**Address/Location of Property in Question:** 111 West Madison Street

**Property Identification Number(s)(PIN):** 16-17-105-001; 002; 003; 004; 005; 006

**Name of Property Owner(s):** McDonald's Corporation

**Address of Property Owner(s):** 711 Jorie Boulevard, Oak Brook , IL

**E-Mail of Property Owner(s):** [Al.daniels@us.mcd.com](mailto:Al.daniels@us.mcd.com) **Phone:** 630-750-4371

**If Land Trust, name(s) of all beneficial owners:** (A Certificate of Trust must be filed.) See attached corporate resolutions.

**Name of Applicant(s):** McDonald's Corporation-Al Daniels

Applicant's Address: 711 Jorie Boulevard, Oak Brook, IL 60523

Applicant's Phone Number: Office 630-750-4371 E-Mail [Al.daniels@us.mcd.com](mailto:Al.daniels@us.mcd.com)

Other: N/A

**Project Contact:** (if Different than Applicant) Kenneth Sack

Contact's Address: 2631 Ginger Woods Pkwy Aurora, IL 60502

Contact's Phone Number: Office 630-375-1800 Ext. 125 E-Mail [Al.daniels@us.mcd.com](mailto:Al.daniels@us.mcd.com)

Other: Project Manage

**Property Interest of Applicant:** X Owner \_\_\_\_ Legal Representative \_\_\_\_ Contract Purchaser \_\_\_\_ Other

(If Other - Describe): N/A

**Existing Zoning:** MS Madison Street **Describe Proposal:** Converting existing single drive-through system to dual drive-through system to increase drive-through capacity, efficiency and customer satisfaction. Maintain existing landscaping and add new landscaping as part of dual drive-through system modifications.

Size of Parcel (from Plat of Survey): 23,605 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	MS Madison Street	Existing retail stores, Existing parking lot.
To the South:	R-4 Single Family	Existing residential.
To the East:	MS Madison Street	Office building, residential
To the West:	I Institutional	Oak Park Village Hall

**How the property in question is currently improved?**

Residential     Non-Residential     Mixed Use     OTHER: \_\_\_\_\_

Describe Improvement: Converting existing single drive-through system to dual drive-through system to increase drive-through capacity, efficiency and customer satisfaction. Maintain existing landscaping and add new landscaping as part of dual drive-through system modifications.

**Is the property in question currently in violation of the Zoning Ordinance?** \_\_\_ Yes    X No

If Yes, how? N/A

**Is the property in question presently subject to a Special Use Permit?** X Yes    \_\_\_ No

If Yes, how? New lane will be an expansion of a legal non-conforming drive-through

If Yes, please provide relevant Ordinance No. N/A

**Is the subject property located within any Historic District?** \_\_\_\_\_ Yes    X No

If Yes:     Frank Lloyd Wright     Ridgeland/Oak Park     Gunderson

**From what Section(s) of the Zoning Ordinance are you requesting approval / relief?**

Article: 8 Uses

Section: 8.3 Use Restrictions, Table 8-1: Use Matrix

Article: N/A

Section: N/A

Article: N/A

Section: N/A

**Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;**

The special use meets the requirements of zoning classification MS Madison Street Zoning District in that drive-through facilities are allowed at this particular location. The special use request for the dual drive-through system complies with the drive-through facility requirements in the Village of Oak Park Zoning Ordinance. McDonald's has provided a valued service to the community and its neighbors and has historical precedents of conducting business in safe and friendly manner that adds value to the property, community, and its neighbors without altering the essential character or land use

of the locality. McDonald's will continue their tradition of showing interest and supporting development for the betterment of the community and surrounding properties. As an existing operating McDonald's drive-through restaurant, the business currently upholds all municipal, state and federal laws, and has business maintenance and operational practices for safe operation and service to patrons, employees, community and its neighbors.



I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

\_\_\_\_\_  
(Printed Name) Applicant

\_\_\_\_\_  
(Signature) Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
(Printed Name) Owner

\_\_\_\_\_  
(Signature) Owner

\_\_\_\_\_  
Date

### Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
(Notary Public)

March 26, 2020

Michael Bruce  
Zoning Administrator  
Village of Oak Park  
123 Madison Street  
Oak Park, IL 60302

RE: McDonald's – 111 West Madison Street  
Special Use Permit-Additional lane for dual drive-through system  
WER#: 20-012

Dear Mr. Bruce,

Below are the findings of support for the special use permit request for the addition of a new lane as part of the dual drive-through modifications in the Village of Oak Park. Following each criterion, we have annotated a response for the project.

- The establishment, maintenance, and operation of the proposed special use will not have substantial or unduly adverse impact on the neighborhood or endanger the public health, safety or welfare.
  - McDonald's investment into the dual drive-through lane system will increase vehicular stacking capacity in drive-through queue, effectively limit potential stacking issues and provide more efficient customer service. The proposed modifications will not have a negative or adverse impact on the surrounding neighborhood. As an existing operating McDonald's restaurant, the business currently upholds all municipal, state and federal laws, and has business maintenance and operational practices for safe operation and service to patrons, employees, community and its neighbors. McDonald's provides a valued service to the community and its neighbor's and has historical precedents of conducting business in safe and friendly manner adding value to the property, community, and its neighbors.
- The proposed special use is compatible with the general land use of adjacent properties and other property within the immediate vicinity.
  - The general land use will not be altered with the proposed drive-through modifications. McDonald's proposed plans are to maintain all such facilities and improve such facilities. McDonald's provides a valued service to the community and its neighbor's and has historical precedents of conducting business in safe and friendly manner that adds value to the property, community, and its neighbors without altering the essential character of the locality. McDonald's will continue their tradition of showing interest and supporting development for the betterment of the community and surrounding properties.

- The special use in the specific location proposed is consistent with the spirit and intent of this ordinance, adopted land use policies and the comprehensive plan.
  - The special use meets the requirements of zoning classification MS Madison Street Zoning District in that drive-through facilities are allowed at this particular location. The special use request for the dual drive-through system complies with the drive-through facility requirements in the Village of Oak Park Zoning Ordinance. McDonald's has provided a valued service to the community and its neighbors and has historical precedents of conducting business in safe and friendly manner that adds value to the property, community, and its neighbors without altering the essential character or land use of the locality. McDonald's will continue their tradition of showing interest and supporting development for the betterment of the community and surrounding properties. As an existing operating McDonald's drive-through restaurant, the business currently upholds all municipal, state and federal laws, and has business maintenance and operational practices for safe operation and service to patrons, employees, community and its neighbors.
  
- The special use meets the requirements for such classification in this ordinance.
  - The special use meets the requirements of zoning classification MS Madison Street Zoning District in that drive-through facilities are allowed at this particular location. The special use request for the dual drive-through system complies with the drive-through facility requirements in the Village of Oak Park Zoning Ordinance. McDonald's investment into the dual drive-through lane system will increase vehicular stacking capacity and provide more efficient customer service for many years to come.

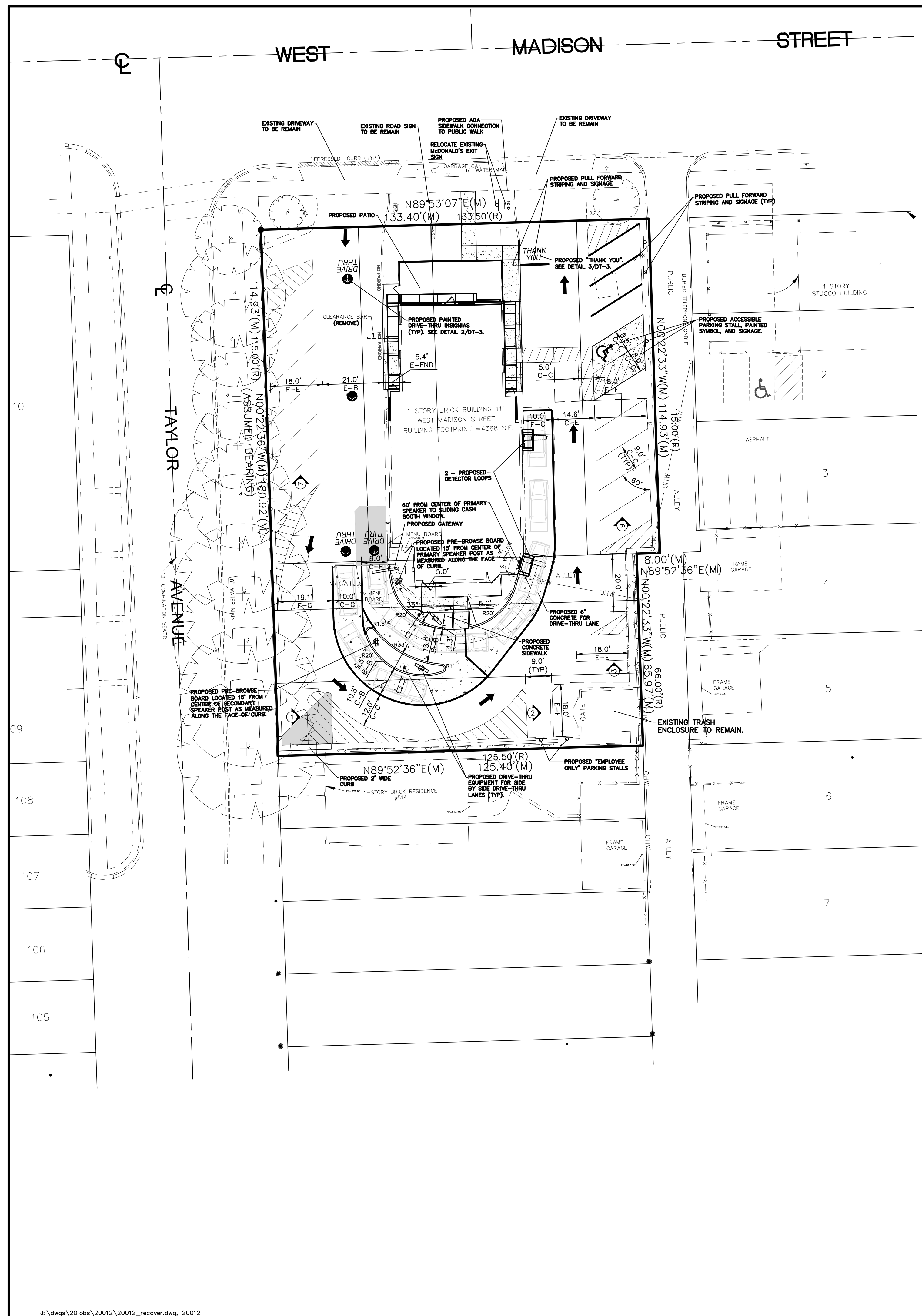
If you have any questions, please let me know.

Sincerely,

**Watermark Engineering Resources, Ltd.**



Kenneth Sack  
Project Manager



**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #20.027 DATED 02/07/20) PREPARED BY: COMPASS SURVEYING LTD 2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502 (630) 820-9100  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**ON SITE PARKING DATA**

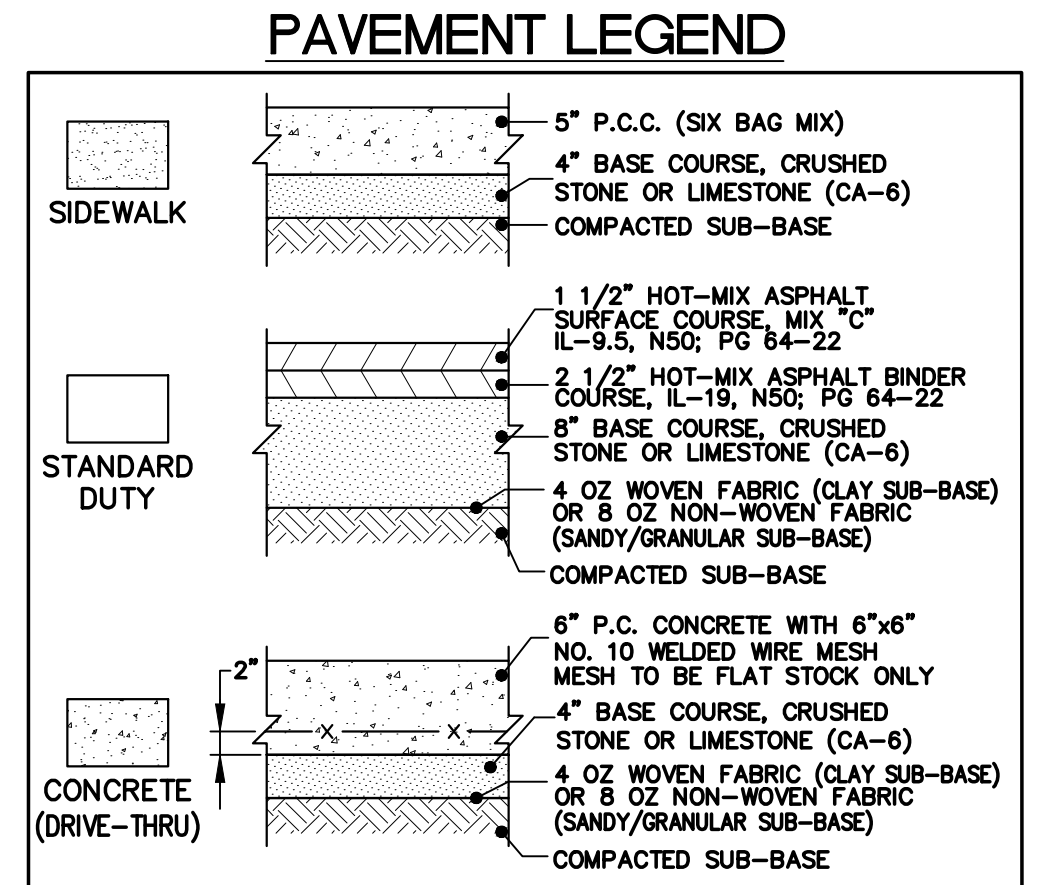
EX. REGULAR SPACES	29
EX. ADA ACCESSIBLE SPACES	2
EX. TOTAL SPACES	31
PROP. REGULAR SPACES	21
PROP. ADA ACCESSIBLE SPACES	1
PROP. TOTAL SPACES	22

**PARKING REQUIREMENT:** 1 SPACE/500 S.F. GROSS BUILDING  
 4,368 S.F. BLDG/500 S.F. = 8.7 OR 9 REQUIRED SPACES  
 22 PROPOSED SPACES > 9 REQUIRED SPACES

**SITE DATA**

LOT AREA	=	23,605 S.F. (0.54 AC.)
BUILDING AREA	=	4,368 S.F.
F.A.R.	=	0.18

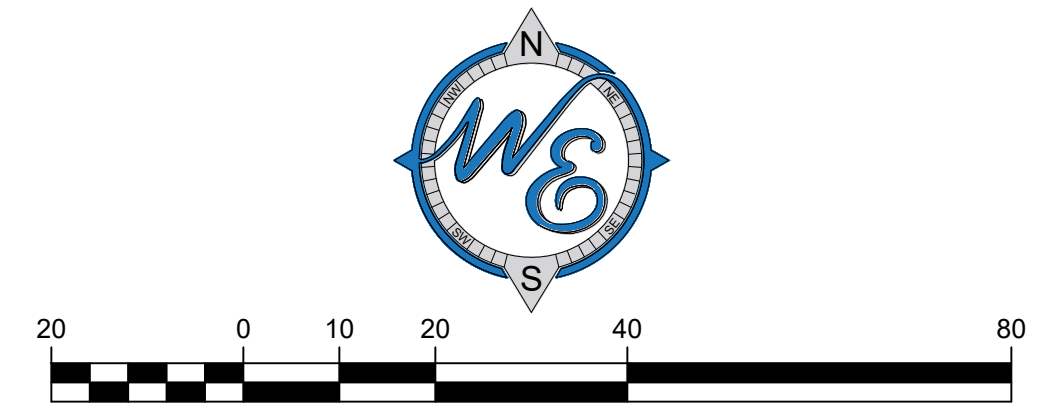
**SITE PLAN NOTES:**  
 1. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.  
 2. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  
 3. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.  
 4. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.



**NOTES:**  
 1. REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 351 FOR AGGREGATE BASE COURSE.  
 2. THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.  
 3. SEE PROJECT SPECIFICATIONS FOR SUB-BASE AND BASE COURSE COMPACTION.  
 4. ALL CONCRETE FLATWORK TO INCLUDE A JOINTING PATTERN SUBMITTAL TO THE CONSTRUCTION MANAGER. CONTRACTOR TO STAY AS CLOSE TO 9'x9' SQUARE PANELS IN LARGE CONCRETE FLATWORK AREAS AS POSSIBLE.  
 5. FOR SIDEWALKS, PROVIDE TOOLED JOINTS AT 5' O.C., CONTRACTION JOINTS AT 15' O.C., EXPANSION JOINTS AT 45' O.C.  
 6. PROVIDE AN EXPANSION JOINT ADJACENT TO ALL STRUCTURES. THESE JOINTS SHOULD BE SEALED WITH A TOOL-FINISHED SILICONE SEALANT PER I.D.O.T. STANDARD.

**DIMENSION LEGEND**

F = FACE	FNC = FENCE
FND = FOUNDATION	R = RADIUS
B = BACK	C = CENTER
E = EDGE	PL = PROPERTY LINE



**SITE PLAN**

DATE: \_\_\_\_\_

REVISIONS:

NO.	DESCRIPTION

Prepared For:

McDonald's  
 711 Jorie Blvd., 3rd Floor  
 Oak Brook, IL 60523

McDONALD'S - OAK PARK, IL  
 111 West Madison Street  
 Oak Park, Illinois

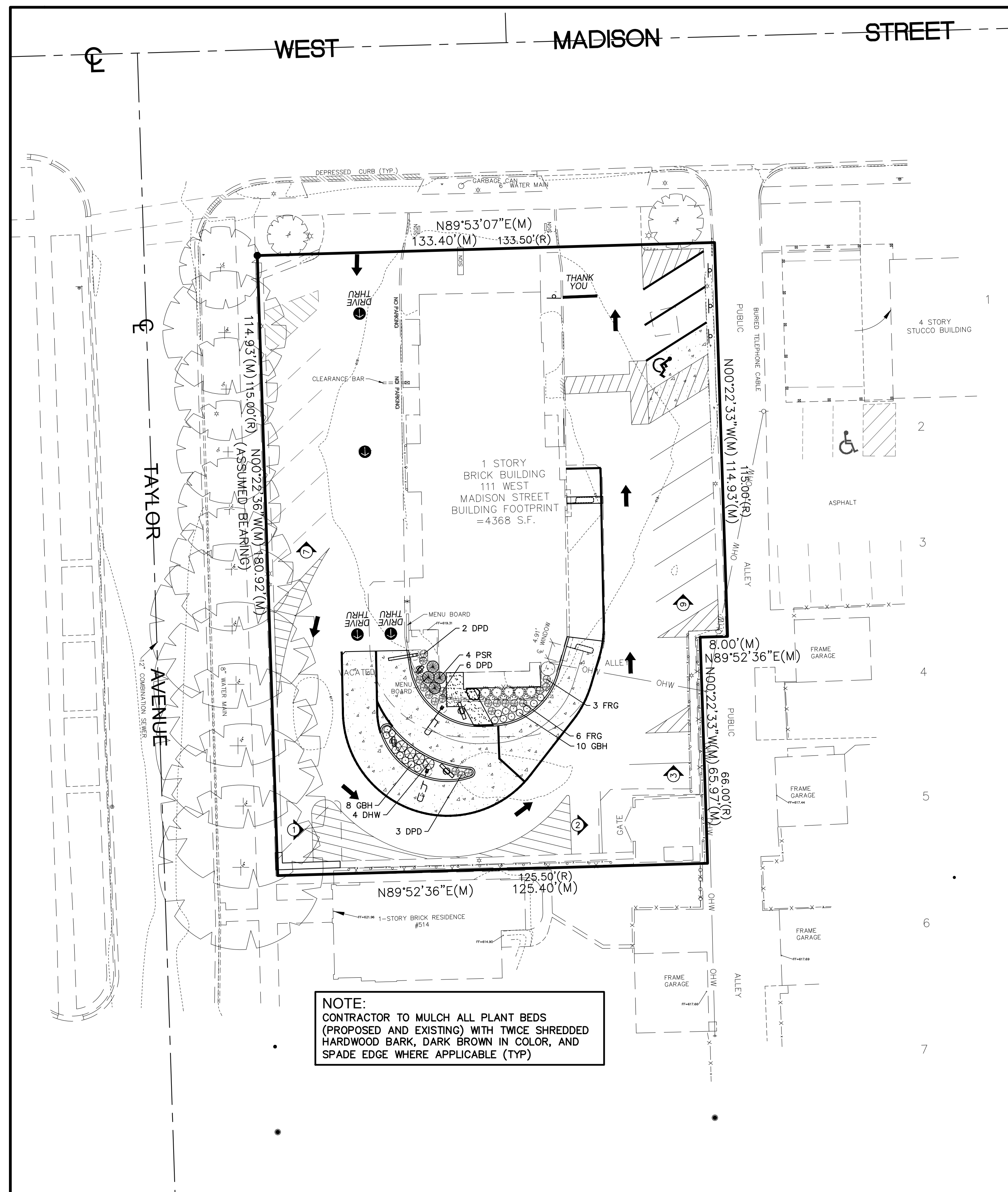
Prepared By:

**Watermark Engineering Resources**  
 watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J.MILLER  
 DESIGN BY: D.OLSON  
 DRAWN BY: D.OLSON  
 DATE: FEBRUARY 15, 2021  
 SCALE: 1" = 20'  
 PROJECT NO.: 20-012

1 of 1  
 LC #12-0076

SITE PLAN



**NOTE:**  
 CONTRACTOR TO MULCH ALL PLANT BEDS (PROPOSED AND EXISTING) WITH TWICE SHREDDED HARDWOOD BARK, DARK BROWN IN COLOR, AND SPADE EDGE WHERE APPLICABLE (TYP)

**LANDSCAPE NOTES**

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
  - 4" MINIMUM IN GRASS OR SOD AREAS
  - 6" MINIMUM IN PLANTING AREAS
  - 12" MINIMUM IN LANDSCAPE ISLANDS

**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #20.027 DATED 02/07/20) PREPARED BY: COMPASS SURVEYING LTD 2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502 (630) 820-9100  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

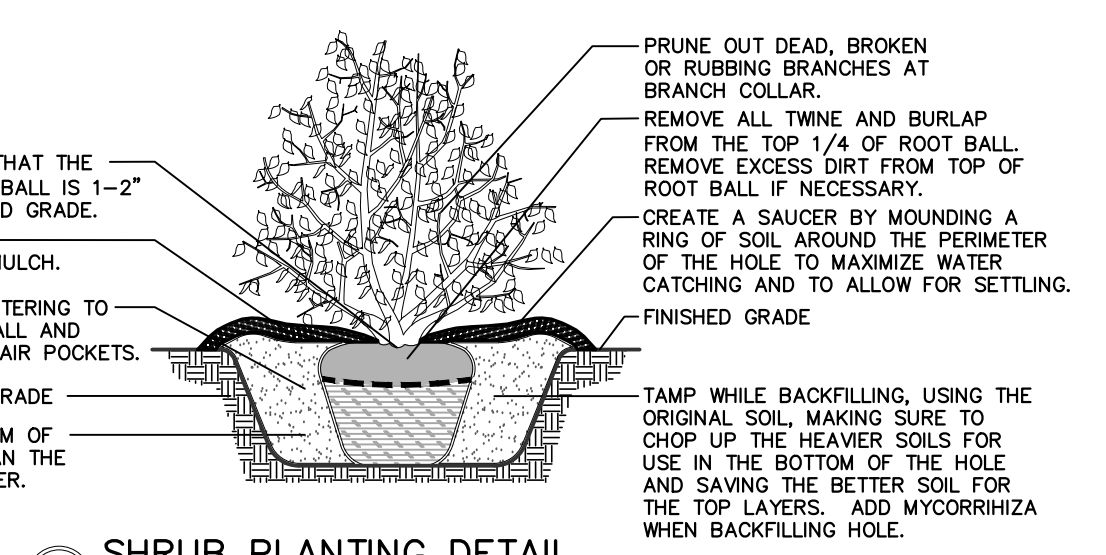
**PLANT LIST**

**FLOWERING AND EVERGREEN SHRUBS**

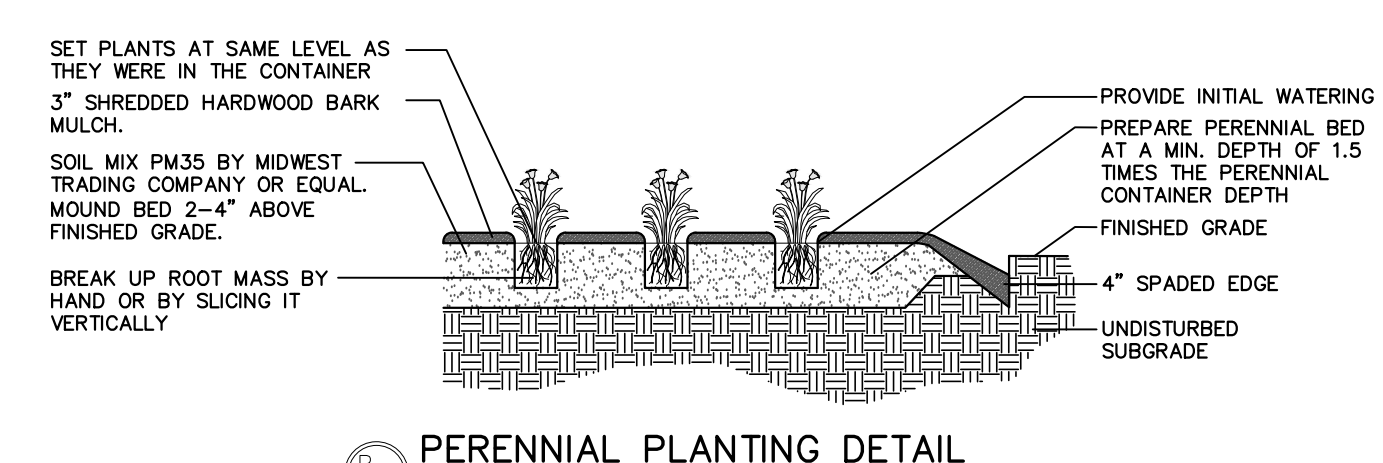
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
4	PSR	Rosa var. 'NOA168098F'	Pink Supreme Carpet Rose	3 Gal.
4	DHW	Weigela x 'Dark Horse'	Dark Horse Weigela	3 Gal.

**PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS**

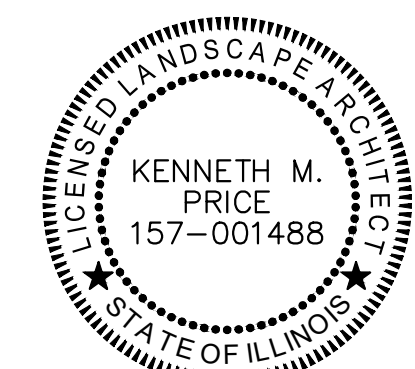
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
9	FRG	Calamagrostis brachytricha	Korean Feather Reed Grass	1 Gal.
18	GBH	Hemerocallis 'Going Bananas'	Going Bananas Daylily	1 Gal.
11	DPD	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	1 Gal.



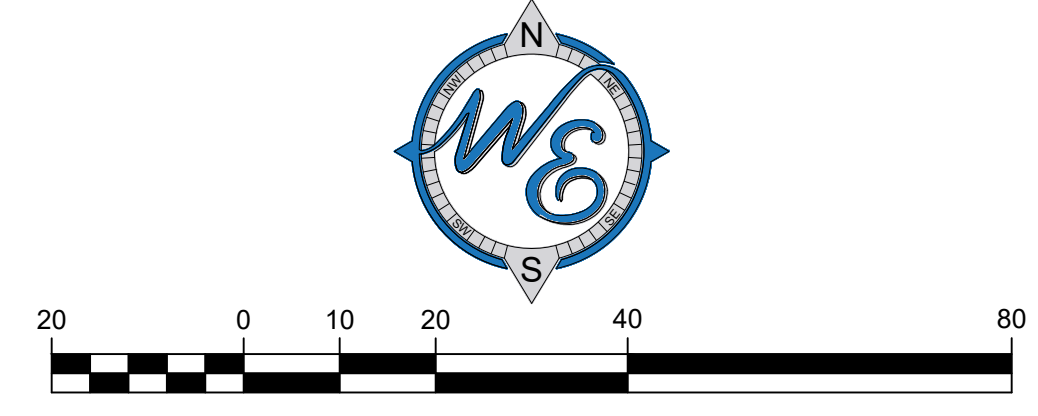
**SHRUB PLANTING DETAIL**  
 NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.



**PERENNIAL PLANTING DETAIL**  
 NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.



LANDSCAPE PLAN  
 DESIGNED BY  
 KENNETH M. PRICE, RLA



**LANDSCAPE PLAN**

McDonald's  
 711 Jorie Blvd., 3rd Floor  
 Oak Brook, IL 60523  
 McDonald's - OAK PARK, IL  
 111 West Madison Street  
 Oak Park, Illinois

Prepared For:

Prepared By:

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

**watermark-engineering RESOURCES**

Checked By: J. MILLER  
 Design By: D. OLSON  
 Drawn By: D. OLSON  
 Date: MARCH 26, 2020  
 Scale: 1" = 20'  
 Project No.: 20-012

**L-1**  
 LC #12-0076

LANDSCAPE PLAN

# BOUNDARY AND TOPOGRAPHIC SURVEY

## LEGAL DESCRIPTION

PARCEL 1:  
LOTS 11, 12, 13, 14 AND 15 IN LOMBARD AVENUE ADDITION TO AUSTIN, BEING A SUBDIVISION OF THE NORTH 2/3 OF THE WEST 30.82 ACRES OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
ALSO  
THE EAST-WEST ALLEY LYING NORTH OF AND ADJACENT TO LOT 1 IN THE RESUBDIVISION OF LOTS 16 TO 22, 22 TO 49 AND 51 TO 60 OF LOMBARD AVENUE ADDITION TO AUSTIN IN SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:  
LOTS 1 AND 2 IN THE RESUBDIVISION OF LOTS 16 TO 20, LOTS 22 TO 49 AND LOTS 51 TO 60 OF LOMBARD AVENUE ADDITION TO AUSTIN IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMBINED DESCRIPTION:  
THAT PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF LOT 11 IN LOMBARD AVENUE ADDITION TO AUSTIN, BEING A SUBDIVISION OF THE NORTH 2/3 OF THE WEST 30.82 ACRES OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, AFORESAID; THENCE EAST ALONG THE NORTH LINE OF LOTS 11 THROUGH 15 (BOTH INCLUSIVE) TO THE NORTHEAST CORNER OF LOT 15 IN SAID LOMBARD AVENUE ADDITION; THENCE SOUTH ALONG THE EAST LINE OF LOT 15 TO THE SOUTHEAST CORNER OF SAID LOT; THENCE WEST ALONG THE SOUTH LINE OF LOT 15 TO THE POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF THE EAST LINE OF LOT 1 IN THE RESUBDIVISION OF LOTS 16 TO 20, LOTS 22 TO 49 AND LOTS 51 TO 60 OF LOMBARD AVENUE ADDITION TO AUSTIN IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 17, AFORESAID; THENCE SOUTH ALONG SAID NORTHERLY EXTENSION AND ALONG THE EAST LINE OF LOTS 1 AND 2 IN SAID RESUBDIVISION, TO THE SOUTHEAST CORNER OF LOT 2; THENCE WEST ALONG THE SOUTH LINE OF LOT 2 TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH ALONG THE WEST LINE OF LOTS 1 AND 2 AND THE NORTHERLY EXTENSION OF THE WEST LINE OF LOT 1 IN THE AFORESAID RESUBDIVISION, AND ALSO ALONG THE WEST LINE OF LOT 11 IN THE AFORESAID LOMBARD AVENUE ADDITION, TO THE NORTHWEST CORNER OF LOT 11, BEING THE HEREBINAFOVE DESCRIBED POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

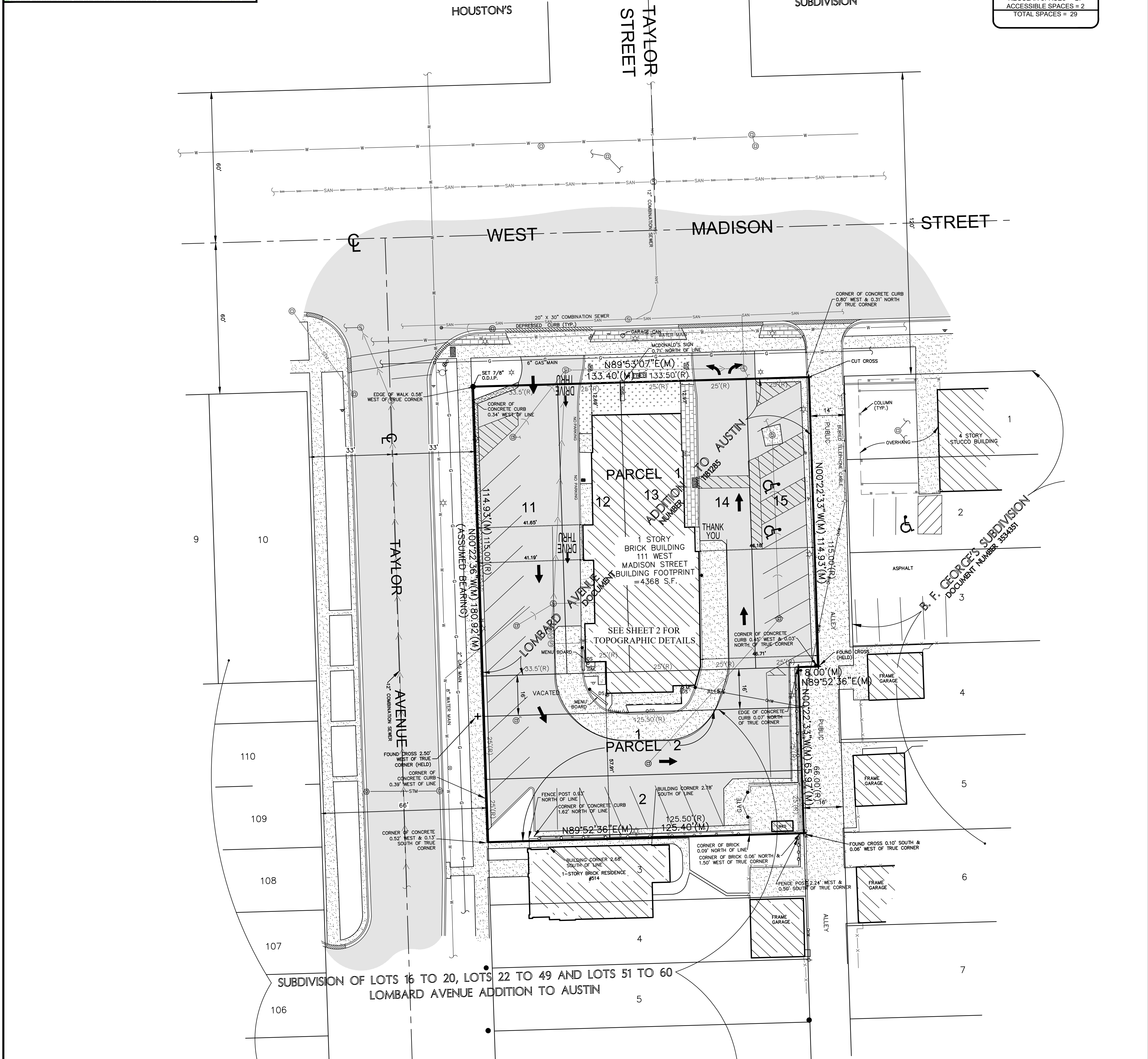
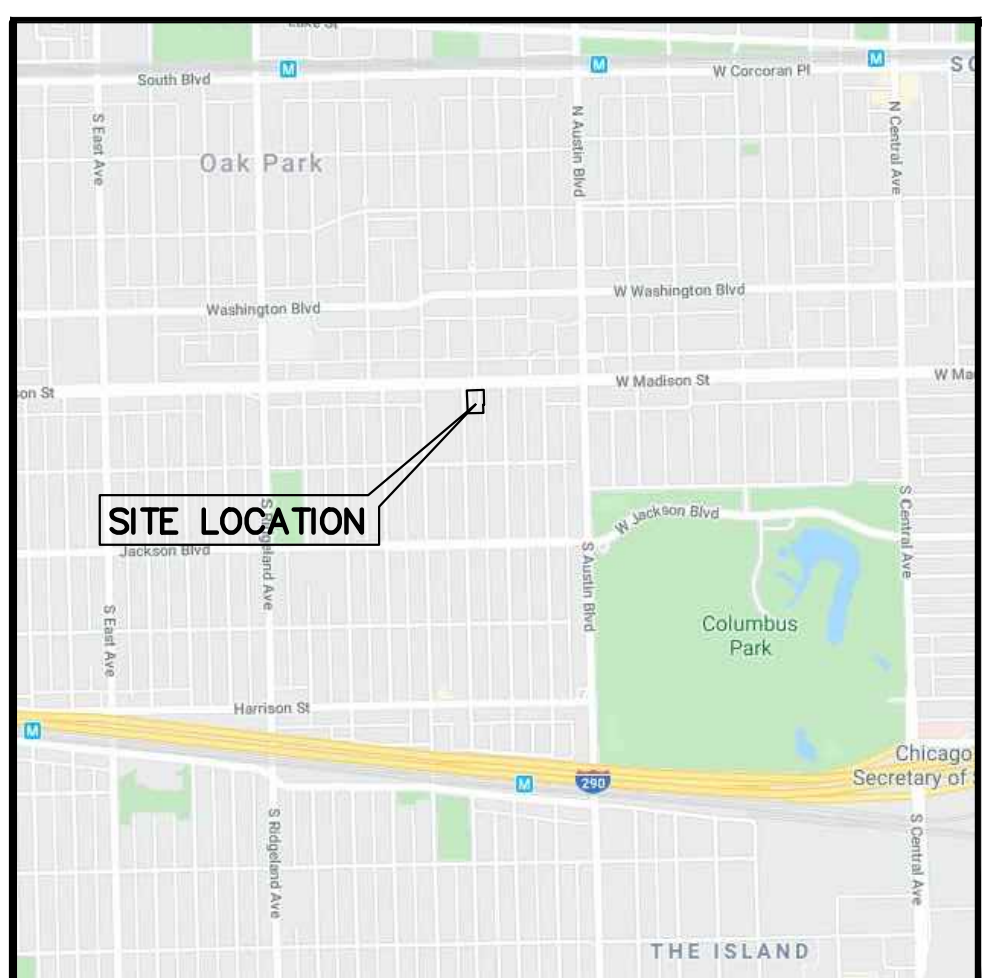
## GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

**AREA SUMMARY**  
(TO HEAVY LINES)  
23,605 SQUARE FEET  
OR  
0.542 ACRES  
(BASED ON MEASURED VALUES)

**STRIPED PARKING DATA**  
REGULAR SPACES = 27  
ACCESSIBLE SPACES = 2  
TOTAL SPACES = 29



## FLOOD STATEMENT

THIS SITE FALLS WITHIN "OTHER AREAS, ZONE X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 1703970159 F (MAP NUMBER 17097C0159 F), HAVING AN EFFECTIVE DATE OF SEPTEMBER 3, 1997.

## LEGEND

- FOUND IRON STAKE (UNLESS OTHERWISE NOTED (HELD LOCATION))
- SET CONCRETE MONUMENT
- FOUND CONCRETE MONUMENT
- ⊕ CROSS IN CONCRETE
- ⊕ MANHOLE
- ⊕ STORM STRUCTURE
- ⊕ SANITARY MANHOLE
- ⊕ VALVE VAULT
- ⊕ FIRE HYDRANT
- ⊕ FLARED END SECTION
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ OVERHEAD TRAFFIC SIGNAL
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ OVERHEAD ELECTRIC WIRES
- ⊕ GAS METER
- ⊕ CONFIRMED TREE
- ⊕ TRANSFORMER PAD
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRIC PEDESTAL
- ⊕ TELEPHONE MANHOLE
- ⊕ CABLE TELEVISION PEDESTAL
- ⊕ COMMONWEALTH EDISON MANHOLE
- ⊕ B/BROK
- ⊕ SIGN
- ⊕ BOLLARD POLE
- ⊕ LIGHT
- ⊕ LIGHT POLE
- ⊕ MALBOX
- ⊕ GAS MARKER
- ⊕ ELECTRIC MARKER
- ⊕ TELEPHONE MARKER
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- SAN— SANITARY SEWER
- STM— STORM SEWER
- W— WATER MAIN
- G— GAS MAIN
- E— ELECTRIC LINE
- TEL— TELEPHONE LINE
- W/DIAMETER
- ⊕ DECIDUOUS TREE
- ⊕ W/DIAMETER
- ⊕ (DRIP LINE SHOWN IS APPROXIMATE)
- ⊕ CONCRETE SURFACE
- ⊕ GRAVEL SURFACE
- ⊕ WOOD FENCE
- ⊕ B/BROK
- ⊕ CHAIN LINK FENCE
- ⊕ SMELT QUADRANT
- ⊕ OVERHEAD TRAFFIC SIGNAL

## ABBREVIATIONS

- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- F.E.S. = FLARED END SECTION
- V.C.P. = VITRIFIED CLAY PIPE
- D.I.P. = DUCTILE IRON PIPE
- P.V.C. = POLYVINYL CHLORIDE
- R.C.P. = REINFORCED CONCRETE PIPE
- C.M.P. = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED DISTANCE
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

## LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

## CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON 2/3/20. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184.002278  
LICENSE EXPIRES 4/30/21

BY: SCOTT KREBS DATE: \_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509  
LICENSE EXPIRES 11/30/2020

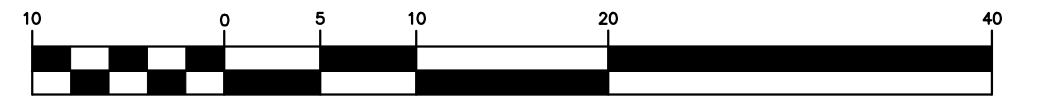
NOTE: HEAVY BOUNDARY LINES DEPICT WRITTEN TITLE, OR DEED LINES - BUILDING AND EASEMENT LINES SHOWN PER RECORDED SUBDIVISION PLAT. REFER TO TITLE POLICY FOR SUBSEQUENT RESTRICTIONS.

<b>COMPASS SURVEYING LTD</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM	PROJECT <b>MCDONALD'S - 12-0076</b> 111 West Madison Street Oak Park, IL	CLIENT <b>Watermark Engineering Resources, LTD.</b> 2631 Ginger Woods Parkway Suite 100 Aurora, IL 60502	DATE: 2/7/20 PC JW/AW DRAWN BY MRA CHECKED BY SK BOOK MCD5 PG 73	REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISIONS	DATE	BY					UTILITY STATEMENT THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.
	NO.	REVISIONS	DATE	BY									
1 OF 2 SCALE: 1" = 20' 20.0027	<p>Know what's below. Call before you dig.</p>												

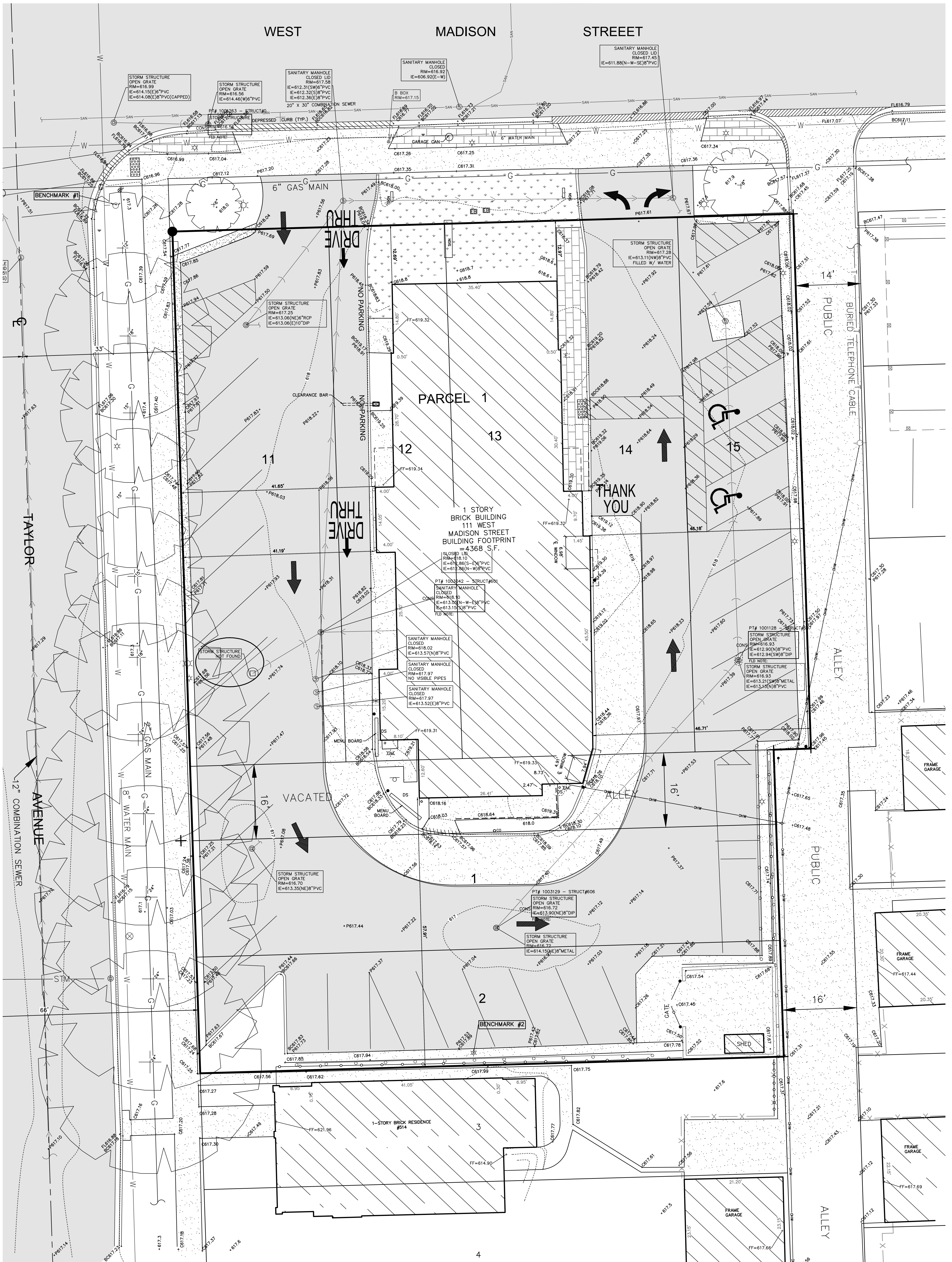


# BOUNDARY AND TOPOGRAPHIC SURVEY

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.



### BENCHMARKS

**REFERENCE BENCHMARK:**  
SHOWN ON PLANS PREPARED BY MARCHIS ENGINEERING, LTD. FOR SANITARY SEWER IMPROVEMENTS McDONALD'S, 111 WEST MADISON STREET OAK PARK, DATED SEPTEMBER 27, 1999

NORTHEAST BONNET BOLT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF MADISON STREET AND TAYLOR STREET.

DATUM: NAVD83  
ELEVATION = 617.27

### SITE BENCHMARKS:

**SITE BENCHMARK #1**  
NORTHEAST BONNET BOLT ON FIRE HYDRANT AT NORTHEAST CORNER OF INTERSECTION OF MADISON STREET AND TAYLOR STREET  
ELEVATION = 619.00

**SITE BENCHMARK #2**  
CUT SQUARE ON THE NORTH SIDE OF LIGHT POLE SIA LOCATED NEAR CENTER OF SOUTH SIDE OF SITE  
ELEVATION = 620.39

NOTE: HEAVY BOUNDARY LINES DEPICT WRITTEN TITLE, OR DEED LINES - BUILDING AND EASEMENT LINES SHOWN PER RECORDED SUBDIVISION PLAT. REFER TO TITLE POLICY FOR SUBSEQUENT RESTRICTIONS.

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**COMPASS SURVEYING LTD**  
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

**PROJECT**  
MCDONALD'S - 12-0076  
111 West Madison Street  
Oak Park, IL

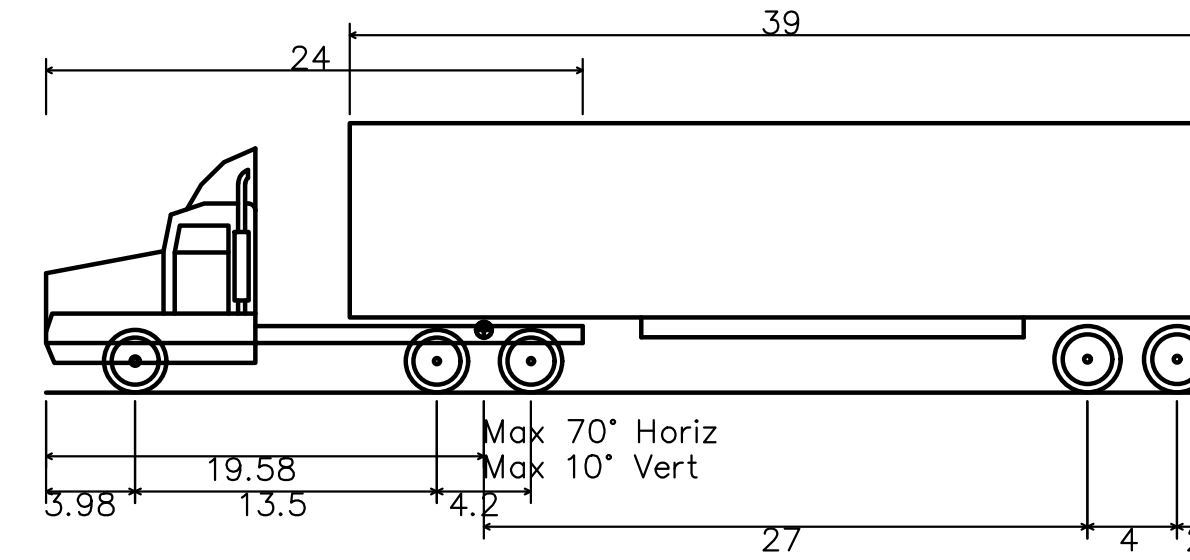
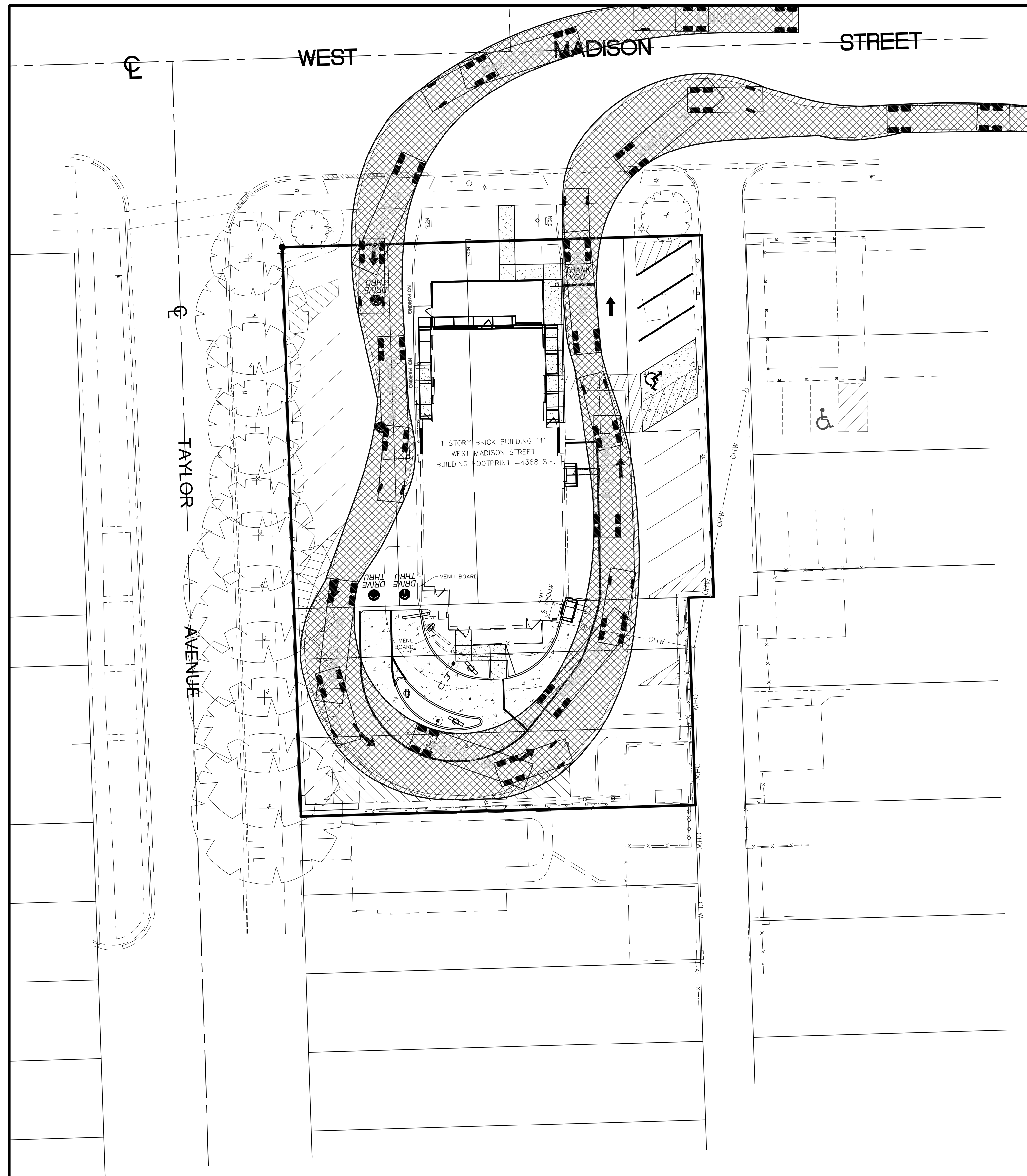
**CLIENT**  
Watermark Engineering Resources, LTD.  
2631 Ginger Woods Parkway Suite 100  
Aurora, IL 60502

NO.	REVISIONS	DATE	BY

DATE: 2/7/20 PC JW/AW DRAWN BY MRA CHECKED BY SK BOOK MCD5 PG 73

**UTILITY STATEMENT**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

**811**  
Know what's below.  
Call before you dig.



McDonald's/GSF-39' Trailer  
 Overall Length 52.580ft  
 Overall Width 8.500ft  
 Overall Body Height 12.052ft  
 Min Body Ground Clearance 1.334ft  
 Max Track Width 8.500ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 45.000ft



**TRUCK CIRCULATION PLAN**

NO.	REVISIONS	DATE

Prepared For:

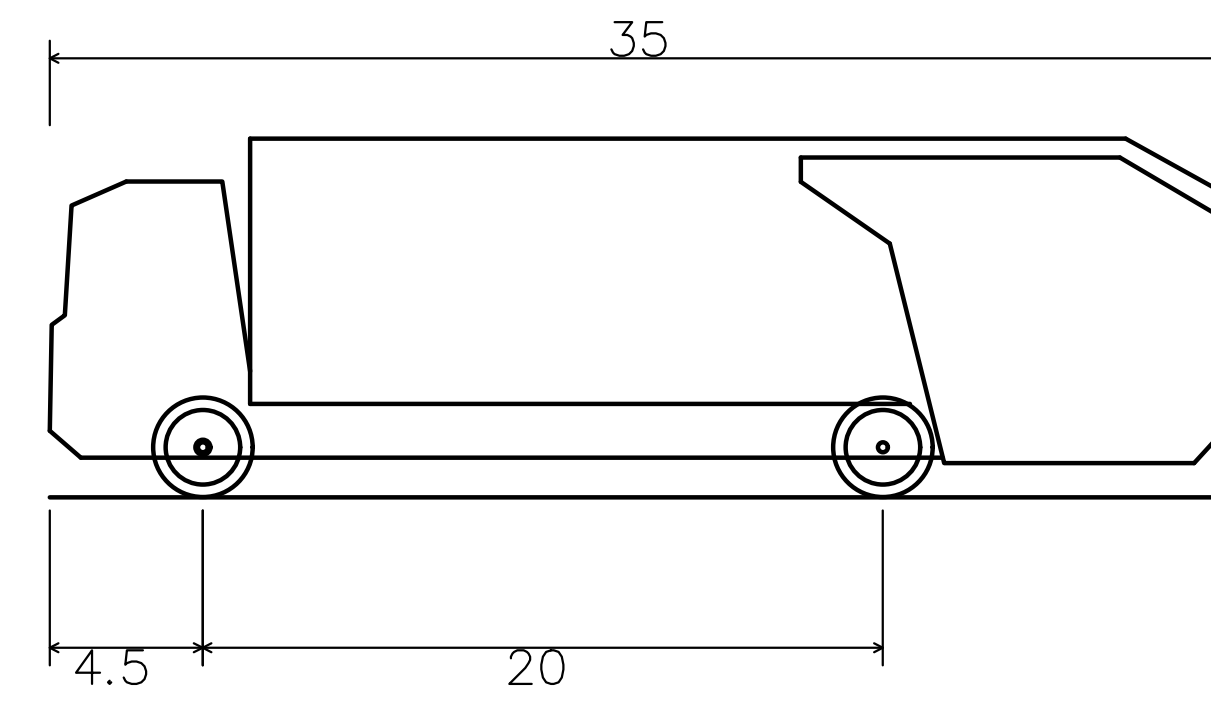
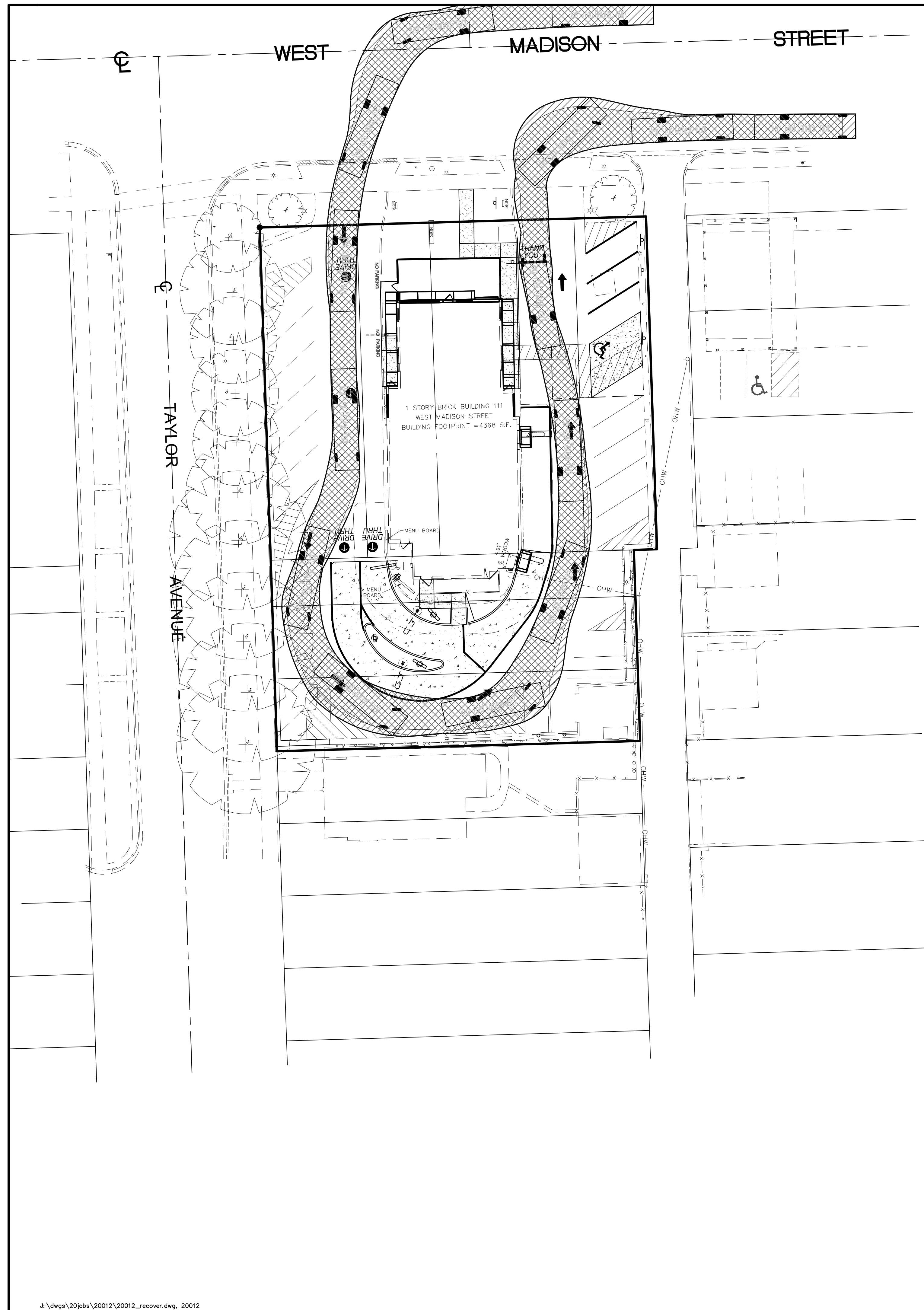
McDonald's  
 711 Jorie Blvd., 3rd Floor  
 Oak Brook, IL 60523  
**McDONALD'S - OAK PARK, IL**  
 111 West Madison Street  
 Oak Park, Illinois

Prepared By:

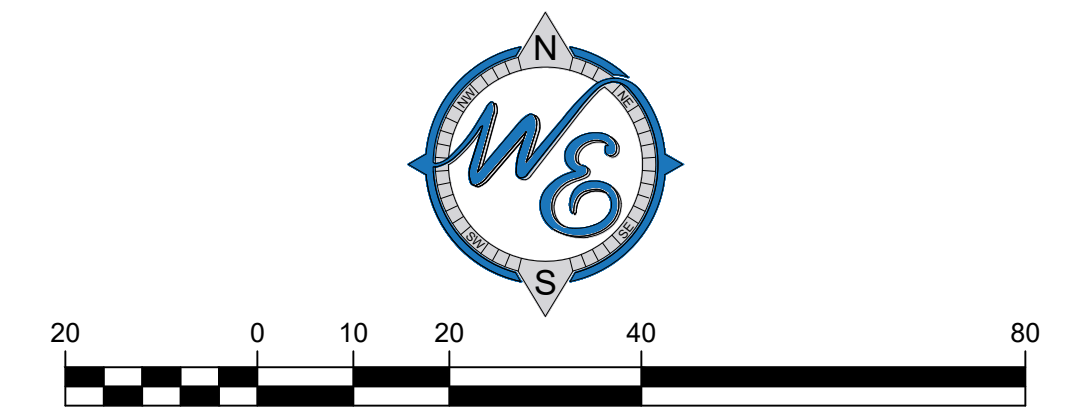
**Watermark Engineering Resources**  
 watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J.MILLER
DESIGN BY: D.OLSON
DRAWN BY: D.OLSON
DATE: FEBRUARY 15, 2021
SCALE: 1" = 20'
PROJECT NO.: 20-012

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Refuse Truck  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Curb to Curb Turning Radius



REFUSE TRUCK CIRCULATION PLAN

CHECKED BY: J.MILLER  
 DESIGN BY: D.OLSON  
 DRAWN BY: D.OLSON  
 DATE: FEBRUARY 15, 2021  
 SCALE: 1" = 20'  
 PROJECT NO.: 20-012

1 of 1  
 LC #12-0076



watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

Prepared By:

McDonald's  
 711 Jorie Blvd., 3rd Floor  
 Oak Brook, IL 60523  
 McDONALD'S - OAK PARK, IL  
 111 West Madison Street  
 Oak Park, Illinois

Prepared For:

NO.

REVISIONS

DATE

# 3M™ Wireless Communication System Model XT-1

## Technical Data

### 3M Wireless Communications System Model XT-1's Night Volume feature to comply with City Decibel Level output ordinance.

With the concern over environmental noise today, many communities restrict the audio level of drive-thru intercom systems during normal day-time business hours and for business operations during night time. Usually, this audio level is specified to be below some number at the property line.

Audio levels are measured in terms of "Sound Pressure Level" with the unit of change being the "Decibel". For example, the city of South Plainfield, NJ requires that sound levels not exceed 65 decibels SPL (sound pressure level) in an industrial area. Taking this into consideration, 3M intercom systems provide an adjustable menu speaker volume to assure compliance with city sound ordinances.

The 3M XT-1 Intercom System can be adjusted at installation to produce an audio sound pressure level of 65 decibels (\*) at a distance of 4 feet on axis to the center of the speaker. It is VERY easy for the installation company to verify this reading using an Audio dB meter (set to A weighing, slow response). Please note that sound diminishes at the rate of 6 decibels every time the distance from the sound source is doubled. So, at a distance of 8 feet, the level is 59 decibels, at 16 feet it is 53 decibels and so on.

The 3M XT-1 Intercom System also provides an AUTOMATIC reduction of sound volume for night time operation to maintain compliance with cities that require lower operating sound levels after normal business hours. This feature assures compliance 24 hours a day.

To give you a reference of comparative audio levels, please peruse the attached list of typical sound levels. Be aware that acoustic barriers (shrubby, trees, fences, walls, etc) will reduce the distance faster than shown in the chart.

(\* These level measurements assume the use of recommended 3M components.)



**Building and Commercial Services Division**

St. Paul, MN 55144-1000

1-800-328-0033

[www.3M.com/XT1](http://www.3M.com/XT1)

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1209 DMR

## Table of Sound Levels and Corresponding Sound Pressure and Sound Intensity

To get a feel for decibels, look at the table below which gives values for the sound pressure levels of common sounds in our environment. Also shown are the corresponding sound pressures and sound intensities.

From these, you can see that the decibel scale gives numbers in a much more manageable range.

<b>Chart of sound levels <math>L</math> and corresponding sound pressure and sound intensity</b>			
<b>Examples</b>	<b>Sound Pressure Level dB SPL</b>	<b>Sound Pressure <math>p</math> N/m<sup>2</sup> = Pa</b>	<b>Sound Intensity <math>I</math> watts/m<sup>2</sup></b>
Jet aircraft, 50 m away	140	200	100
Threshold of pain	130	63.2	10
Threshold of discomfort	120	20	1
Chainsaw 1m distance	110	6.3	0.1
Disco, 1 m from speaker	100	2	0.01
Diesel truck, 10 m away	90	0.63	0.001
Curbside of busy road, 5 m	80	0.2	0.0001
Vacuum cleaner, distance 1 m	70	0.063	0.00001
Conversational speech, 1m	60	0.02	0.000001
Average home	50	0.0063	1E-07
Quiet library	40	0.002	1E-08
Quiet bedroom at night	30	0.00063	1E-09
Background in TV studio	20	0.0002	1E-10
Rustling leaf	10	0.000063	1E-11
Threshold of hearing	0	0.00002	1E-12



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A given sound pressure level  $L_p$  in dBSPL without the distance of the measurement to the specific sound source is useless.

The reference for 0 dBSPL sound pressure level is  $p = 20 \mu\text{Pa} = 2 * 10^{-5}$  pascal, the threshold of hearing.

The sound pressure level decreases in the free field with 6dB per distance doubling.

**That is the 1/r law.**

Often it is argued the sound pressure would decrease after the  $1/r^2$  law (inverse square law).

**That is wrong.**

The sound pressure in a free field is inversely proportional to the distance from the mic to the source.

$p \sim 1/r$

Distance From Menu Post	3M Intercom SPL (dB)
4'	65
8'	59
16'	53
32'	47
64'	41
128'	35
256'	29
512'	23
1024'	17
2048'	11
4096'	5

**Note:** 20 dB is approximately the threshold of hearing. This occurs at approximately 700 feet from the speaker post in a very QUIET environment. In an environment of average traffic noise, a 35 dB limit is virtually inaudible and should be considered the practical limit. This occurs at approximately 125 feet from the speaker post.



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1-800-328-0033

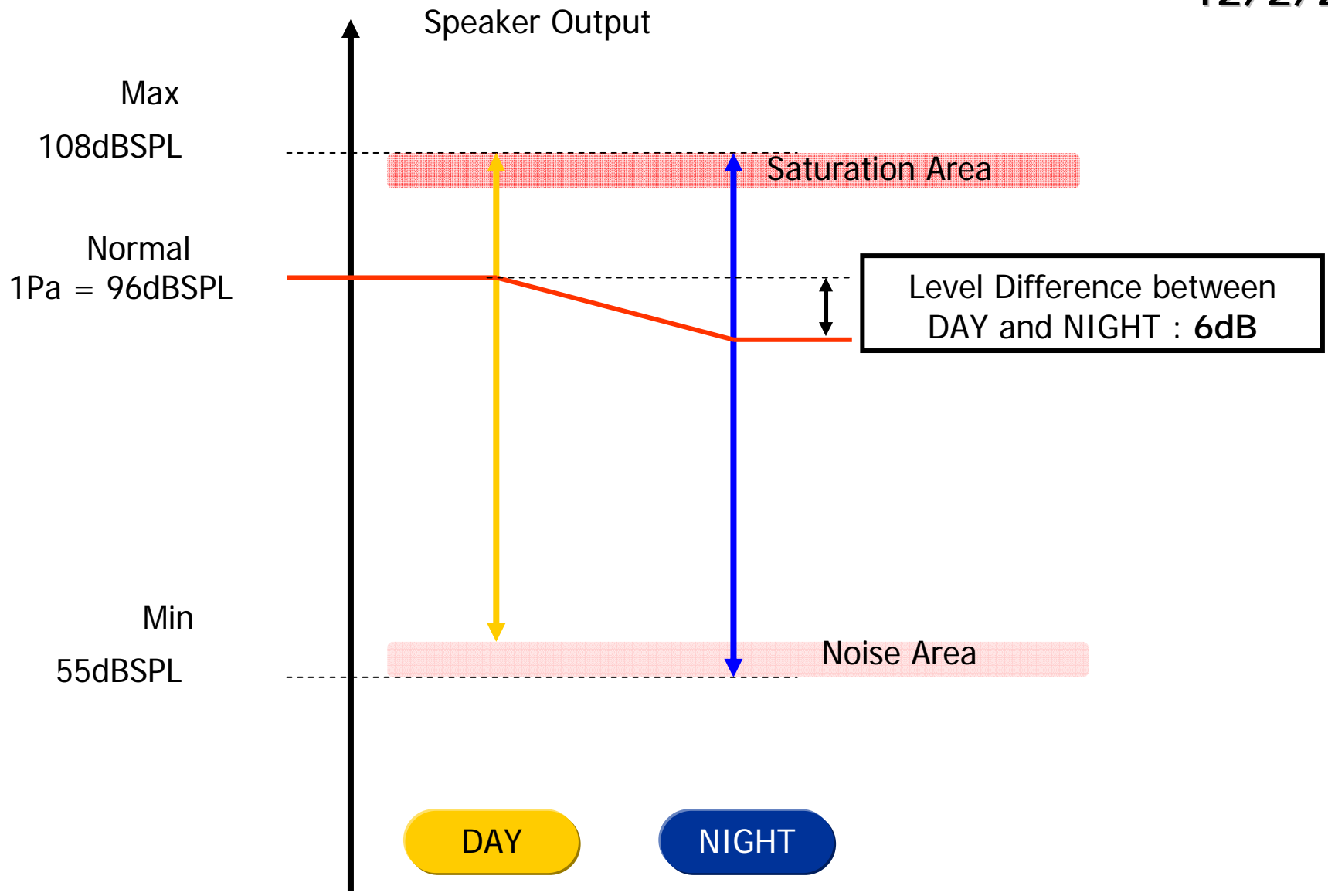
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1209 DMR

12/2/2009



**Memo****Re: Drive-Thru Sound Pressure Levels From the Menu Board or Speaker Post**

The sound pressure levels from the menu board or speaker post are as follows:

1. Sound pressure level (SPL) contours (A weighted) were measured on a typical HME SPP2 speaker post. The test condition was for pink noise set to 84 dBA at 1 foot in front of the speaker. All measurements were conducted outside with the speaker post placed 8 feet from a non-absorbing building wall and at an oblique angle to the wall. These measurements should not be construed to guarantee performance with any particular speaker post in any particular environment. They are typical results obtained under the conditions described above.
2. The SPL levels are presented for different distances from the speaker post:

<b>Distance from the Speaker (Feet)</b>	<b>SPL (dBA)</b>
1 foot	84 dBA
2 feet	78 dBA
4 feet	72 dBA
8 feet	66 dBA
16 feet	60 dBA
32 feet	54 dBA

3. The above levels are based on factory recommended operating levels, which are preset for HME components and represent the optimum level for drive-thru operations in the majority of the installations.

Also, HME incorporates automatic volume control (AVC) into many of our Systems. AVC will adjust the outbound volume based on the outdoor, ambient noise level. When ambient noise levels naturally decrease at night, AVC will reduce the outbound volume on the system. See below for example:

<b>Distance from Outside Speaker</b>	<b>Decibel Level of standard system with 45 dB of outside noise <u>without</u> AVC</b>	<b>Decibel level of standard system with 45 dB of outside noise <u>with</u> AVC active</b>
1 foot	84 dBA	60 dBA
2 feet	78 dBA	54 dBA
4 feet	72 dBA	48 dBA
8 feet	66 dBA	42 dBA
16 feet	60 dBA	36 dBA

If there are any further questions regarding this issue please contact HME customer service at 1-800-848-4468.

Thank you for your interest in HME's products.



**Sound Pressure and Decibel Values  
For  
Typical Sounds**

<b>0 dB</b>	<b>Threshold of hearing</b>
<b>10 dB</b>	<b>Slow moving air</b>
<b>20 dB</b>	<b>Studio for Sound Movies</b>
<b>30 dB</b>	<b>Soft Whisper at five feet</b>
<b>40 dB</b>	<b>Hearing Test Booth</b>
<b>50 dB</b>	<b>Average residence, no children</b>
<b>60 dB</b>	<b>Conversational Speech at 3'</b>
<b>70 dB</b>	<b>Intercom Outbound Audio Level at 4'</b>
<b>80 dB</b>	<b>Very Noisy Restaurant</b>
<b>90 dB</b>	<b>Printing Presses running in a Print Shop</b>
<b>100 dB</b>	<b>Looms inside a Textile Mill</b>
<b>110 dB</b>	<b>Pipe making shop</b>
<b>120 dB</b>	<b>50 HP Siren at 100 feet</b>
<b>140 dB</b>	<b>Jet aircraft at 100 feet</b>
<b>180 dB</b>	<b>Rocket Launching Pad</b>