



# Application for Public Hearing SPECIAL USE PERMITS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if applicable): Taco Bell

Address/Location of Property in Question: 6000-6020 Roosevelt Road, Oak Park, IL 60304

Property Identification Number(s)(PIN): 16-17-331-083, 16-17-331-092, 16-17-331-026, 16-17-331-025, 16-17-331-024

Name of Property Owner(s): U.S. Bank National Association

Address of Property Owner(s): 800 Nicollet Mall, 15th Floor, Minneapolis, MN 55402

E-Mail of Property Owner(s): \_\_\_\_\_ Phone: \_\_\_\_\_

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) \_\_\_\_\_

Name of Applicant(s): Ampler Development (Nick Boyle)

Applicant's Address: 212 Vista Village Cv

Applicant's Phone Number: Office (512) 468-7088 E-Mail nboyle@amplergroup.com

Other: \_\_\_\_\_

Project Contact: (if Different than Applicant) MRV Architects, Inc. (Alfred Teleron)

Contact's Address: 5105 Tollview Drive, Suite 197, Rolling Meadows, IL 60008

Contact's Phone Number: Office (224) 318-2140 E-Mail alfredt@mrvarch.com

Other: \_\_\_\_\_

Property Interest of Applicant:  Owner  Legal Representative  Contract Purchaser  Other

(If Other - Describe): \_\_\_\_\_

Existing Zoning: RR Roosevelt Road Describe Proposal: The owner, Ampler Development intends to redevelop the subject property for the purpose of constructing a new freestanding Taco Bell franchise restaurant with an accessory drive-thru. While the current zoning permits the operation of the restaurant, the drive-thru will be required to be approved via special use.

Size of Parcel (from Plat of Survey): 32,724 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	<u>R-4, R-7</u>	<u>Residential</u>
To the South:	<u>N/A</u>	<u>(Outside Village Boundaries)</u>
To the East:	<u>N/A</u>	<u>(Outside Village Boundaries)</u>
To the West:	<u>RR</u>	<u>Mixed-Use</u>

**How the property in question is currently improved?**

Residential    Non-Residential    Mixed Use    OTHER: \_\_\_\_\_  
Describe Improvement: \_\_\_\_\_  
\_\_\_\_\_

Is the property in question currently in violation of the Zoning Ordinance?   \_\_\_ Yes   X No

If Yes, how? \_\_\_\_\_

Is the property in question presently subject to a Special Use Permit?   \_\_\_ Yes   X No

If Yes, how? \_\_\_\_\_

If Yes, please provide relevant Ordinance No.'s \_\_\_\_\_

Is the subject property located within any Historic District?   \_\_\_ Yes   X No

If Yes:    Frank Lloyd Wright    Ridgeland/Oak Park    Gunderson

**From what Section(s) of the Zoning Ordinance are you requesting approval / relief?**

Article: \_\_\_\_\_ Section: \_\_\_\_\_  
Article: \_\_\_\_\_ Section: \_\_\_\_\_  
Article: \_\_\_\_\_ Section: \_\_\_\_\_

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;  
Because of its immediate adjacency to the Roosevelt Rd./Austin Blvd. Intersection, a drive-through facility makes sense given the higher vehicle traffic. According to the Oak Park Zoning Ordinance, the subject property falls within the boundaries of the form-based district, the Roosevelt Road Transitional District. The Transitional District is characterized by areas which have been altered to accommodate vehicle parking, drive ways, and other auto-oriented features. Therefore, we believe that a drive-through would be a natural fit for the district.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

\_\_\_\_\_  
(Printed Name) Applicant

\_\_\_\_\_  
(Signature) Applicant

\_\_\_\_\_  
Date

*Nicholas H. Boyle*  
\_\_\_\_\_  
(Printed Name) Owner

*[Signature]*  
\_\_\_\_\_  
(Signature) Owner

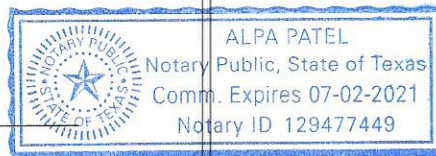
*11/22/19*  
\_\_\_\_\_  
Date

**Owner's Signature must be notarized**

SUBSCRIBED AND SWORN TO BEFORE ME THIS

*22<sup>nd</sup>* DAY OF *November*, *2019*

*[Signature]*  
\_\_\_\_\_  
(Notary Public)



# *MRV* ARCHITECTS, INC.

5105 Tollview Dr., Suite 197, Rolling Meadows, IL 60008

Ph. (224) 318-2140 – Email: alfredt@mrvarch.com

November 14, 2019

## **Statement of Intent**

The applicant, Ampler Development, intend to build a new freestanding Taco Bell franchise building with an accessory drive-thru at the above noted location. Although the proposed use is permitted through its current zoning, we would like to request an appearance before the Zoning Board of Appeals to allow for the operation of a drive-thru.

The franchise group own and operate many drive-thru locations throughout the United States. Many of which are Taco Bells, along with other well-established quick service restaurants.

We understand the sensitivity to create a building with an architecturally pleasing exterior appearance and comfortable, while functional, interior experience. The introduction of more modern elements to the exterior work are complemented by the more natural tones found in the interior. In general, the use of quality construction materials sets these buildings apart from other brands and represents a much more customer-minded approach to building and interior design.

Due to the nature of the property, it was important that the placement of the building took full advantage of being within the RR Roosevelt Road District. Pushing the building forward towards Roosevelt Road makes it much more pedestrian-friendly. As pedestrian safety is always considered, warning stripes are painted wherever pedestrian walkways may come into contact with automobile traffic. Furthermore, having access to not one but two major arterials such as Austin Blvd. and Roosevelt Rd. presents the challenge of designing a well-functioning drive-thru able to withstand the higher volumes of traffic. With this in mind, the site's current design allows for a generous, 13 car stack and includes a full bypass lane.

To provide some information regarding the business' hours of operation – the building is expected to be in operation 7 days a week. The store could open as early as 7:00am and dining room would close at 11:00 pm. The drive-thru operation would be 7:00 am to 3:00 am on weekday and 4:00am on the weekends.

Overall, the addition of this building and drive-thru will prove beneficial to the community by providing a valuable service. Taco Bell will be able to accommodate the customers as needed without posing as a disruption to the surrounding area. We look forward to presenting this project to you and hearing your feedback.

Please feel free to contact me with any further questions regarding the request for review.

Sincerely,  
Alfred Teleron  
Project Architect  
MRV Architects, Inc.



1 TITLE DESCRIPTION  
(AS FURNISHED)

Parcel 1:  
Lots Twenty-seven (27) and Twenty-eight (28) in Block Sixteen (16) in Austin Park, a subdivision of the East Half of the South West Quarter of Section Seventeen (17), Township Thirty-nine (39) North, Range Thirteen (13), East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2:  
Lot 19, except that part taken for street, and Lots 20 to 26 both inclusive in Block 16 in Austin Park a subdivision of the East Half of the South West Quarter of Section 17, Township 39 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois.

Note: For informational purposes only, the land is known as:  
6020 W. Roosevelt Road  
Oak Park, IL 60304

The property described above is the same property that is described in Schedule A of First American Title Insurance Company, File No. NCS-649000-11-MPLS, having an effective date of January 17, 2014 and revised February 06, 2014.

2 TITLE INFORMATION

THE TITLE DESCRIPTION AND THE SCHEDULE B ITEMS HEREON ARE FROM A TITLE REPORT PREPARED BY First American Title Insurance Company, File No. NCS-649000-11-MPLS, having an effective date of January 17, 2014 and revised February 06, 2014.

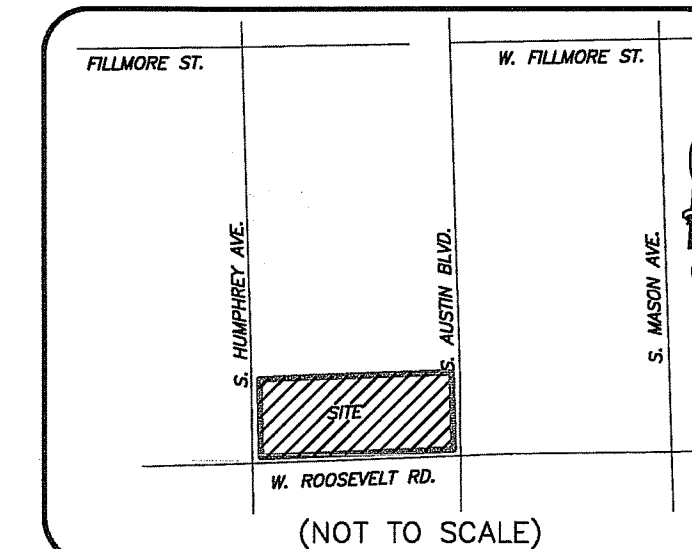
3 SCHEDULE "B" ITEMS

NOTES CORRESPONDING TO SCHEDULE "B" SECTION TWO EXCEPTIONS:  
There are no survey related Schedule B items.

5 FLOOD INFORMATION

ACCORDING TO THE STANDARD FLOOD HAZARD DETERMINATION FORM PREPARED BY CORELIC FLOOD SERVICES ON 01-10-2014, THE SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR COOK COUNTY, ILLINOIS, MAP NO. 170310485J, EFFECTIVE DATE 08-19-2008. THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" ON SAID MAP. THE FLOOD ZONE(S) ARE DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS FOLLOWS:  
ZONE "X" = Areas determined to be outside the 0.2% annual chance floodplain.

16 VICINITY MAP



6 CEMETERY

THERE WAS NO VISIBLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS OBSERVED AT THE TIME THIS SURVEY WAS PERFORMED.

10 BASIS OF BEARINGS

THE BEARING OF S 89° 01' 20" W, ALONG THE SOUTH LINE OF LOTS 27 AND 28, IN BLOCK 16 IN AUSTIN PARK, A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 17, RECORDED IN BOOK 4149, PAGE 182 OF THE DEED RECORDS OF COOK COUNTY, ILLINOIS, IS THE BASIS OF BEARINGS FOR THIS SURVEY.

12 PARKING INFORMATION

8 STANDARD PARKING SPACES  
0 HANDICAP PARKING SPACES  
8 TOTAL PARKING SPACES

13 LAND AREA

0.751 ACRES  
32,724 SQUARE FEET

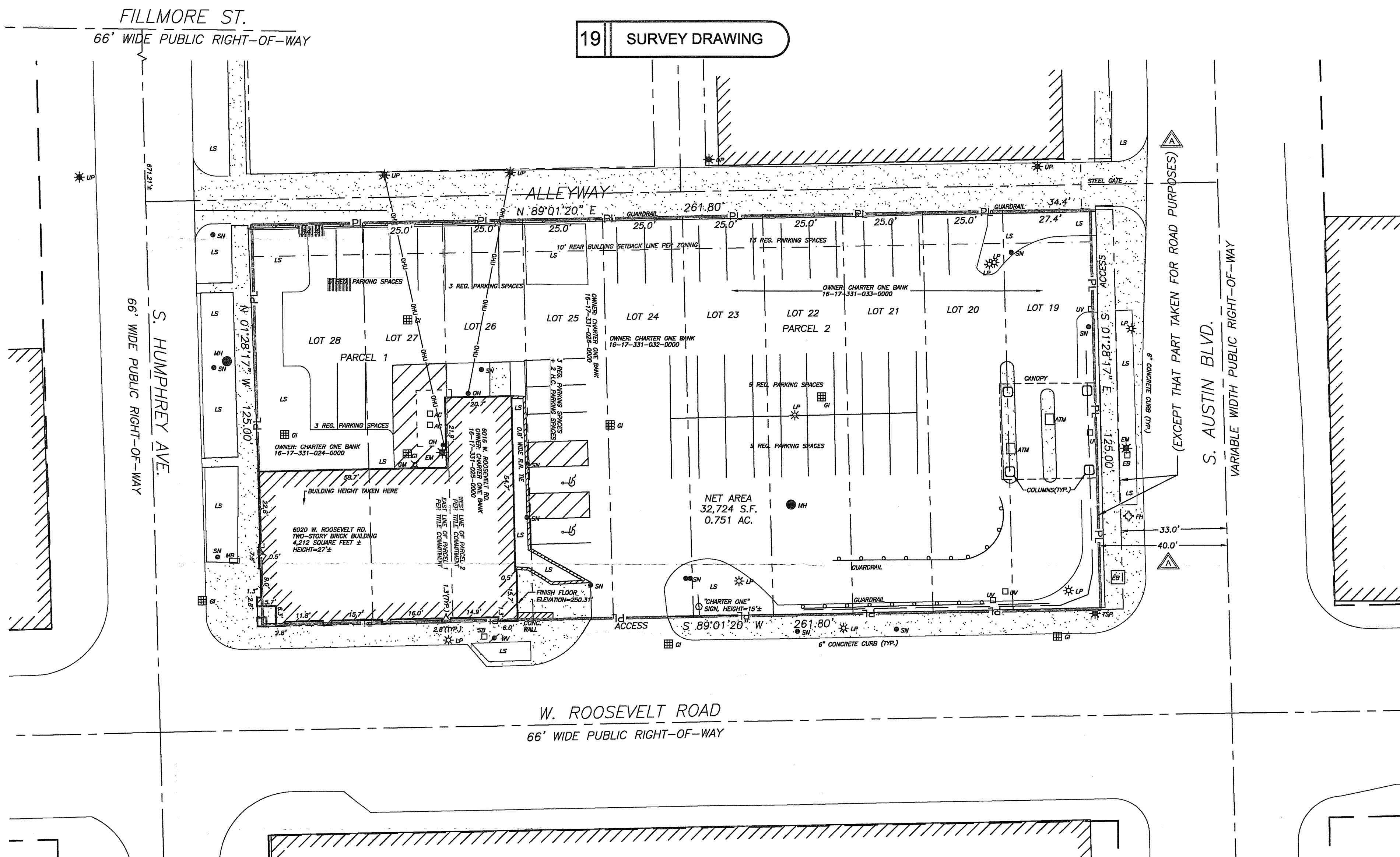
14 BUILDING AREA

4,212 SQUARE FEET  
(SEE NOTE 11)

15 BUILDING HEIGHT

27.2' ±  
(SEE NOTE 10)

19 SURVEY DRAWING



7 POSSIBLE ENCROACHMENTS

THERE WERE NO ENCROACHMENTS OBSERVED AT THE TIME OF THIS SURVEY.

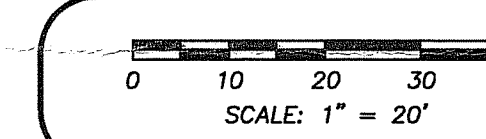
SURVEYOR OBSERVATIONS:

THE RIGHT OF WAY TAKING FROM LOT 19 IS NOT DEFINED IN A DOCUMENT, PER AVAILABLE RECORDS AND THE TAX MAP FOR THE SUBJECT PROPERTY THE RIGHT OF WAY OF AUSTIN BOULEVARD IS 40 FEET FROM THE CENTERLINE, ADJACENT TO SAID LOT 19.

9 LEGEND

CI = CURB INLET	SI = PRESSURE INDICATOR VALVE
CO = CLEAN OUT	FR = FINE RISER
IR = IRRIGATION VALVE	GM = GATE MOTOR
PS = PIPELINE SIGN	T = TRANSFORMER
GM = GAS METER	UV = UTILITY VAULT
GV = GAS VALVE	UB = UTILITY BOX
GA = GAS ANCHOR	UR = UTILITY RISER
SL = STREET LIGHT	EB = ELECTRIC BOX
LP = LIGHT POLE	EV = ELECTRIC VAULT
MB = MAIL BOX	SB = SIGNAL BOX
MH = MANHOLE	CB = CABLE BOX
UP = UTILITY POLE	B = BOLLARD
TSP = TRAFFIC SIGNAL	FP = FLAG POLE
WV = WATER VALVE	SN = MISC. SIGN
WM = WATER METER	OH = OVERHEAD UTILITY
EM = ELECTRIC METER	CP = CONCRETE
FW = FIRE HYDRANT	HP = HANDICAP PARKING
LS = LANDSCAPING	CF = CONCRETE
CENTER LINE	CLF = CONCRETE
ADJOINING PROPERTY	WF = WOOD FENCE
OVERHEAD UTILITY LINE	WF = WIRE FENCE
PROPERTY LINE	IF = IRON FENCE

17 NORTH ARROW / SCALE



11 SURVEYOR'S NOTES

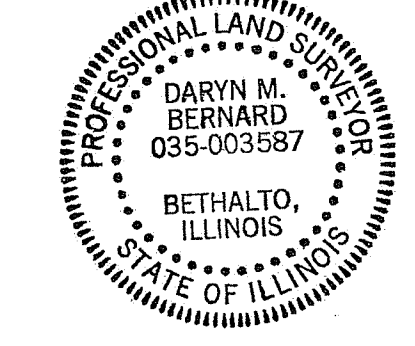
- This survey is based on information shown on a title report prepared by First American Title Insurance Company, File No. NCS-649000-11-MPLS, having an effective date of January 17, 2014 and revised February 06, 2014, and all Schedule B exceptions in said title report have been addressed. The surveyor did not abstract this property and has relied on said title report for all matters of record.
- Subject tract has direct driveway access to W. Roosevelt Rd.
- There is no observable evidence of earth moving work, or building construction.
- No observable evidence of any changes in street right-of-ways or recent street or sidewalk construction or repair.
- No observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- All statements within the certification, and other references located elsewhere hereon, related to utilities, improvements, structures, buildings, party walls, easements, servitudes, foundations and encroachments are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- This survey does not provide a determination or opinion concerning the location or existence of wetlands, faultlines, toxic or hazardous waste areas, subsidence, subsurface and environmental conditions or geological issues. No statement is made concerning the suitability of the subject tract for any intended use, purpose or development.
- Any declaration made hereon or herein is made to the parties certified to on this survey. It is not transferable to additional institutions or subsequent owners.
- The point of height measurement is identified on the survey and was taken from the nearest adjacent grade at said point. This point represents the height of the structure as observed from ground level.
- The dimensions and area of the building shown are based on the building's exterior footprint at ground level.
- The surveyor did not observe any equipment or action associated with the process of drilling for oil, gas or any other hydrocarbons on this survey.
- No underground utilities have been located and/or shown on this survey. Only visible and apparent above ground utility appurtenances are shown.

8 ZONING INFORMATION

ACCORDING TO THE "ZONING LETTER & CODE" JOB NO. 14-01-12985, SITE 4773, DATED JANUARY 22, 2014 AND PREPARED BY COMMERCIAL DUE DILIGENCE SERVICES (PHONE: 405-378-5800), THE SUBJECT PROPERTY IS ZONED AS FOLLOWS WITH THE CORRESPONDING STANDARDS:  
ZONE "C" (COMMERCIAL DISTRICT)  
MIN. FRONT SETBACK = NONE  
MIN. SIDE SETBACK = NO REQUIREMENT  
MIN. REAR SETBACK = ADJUTING RESIDENTIAL DISTRICT AND SEPARATED BY AN ALLEY - 10'  
MAX. HEIGHT = 50'  
FLOOR SPACE AREA RATIO = NO REQUIREMENT NOTED  
MIN. AREA = 25% OPEN SPACE  
PARKING = NO REQUIREMENT NOTED  
ALL SETBACK LINES PER THE ABOVE ZONING STANDARDS GRAPHICALLY DEPICTED HEREON ARE ORIENTED WITH THE ASSUMPTION THAT THE FRONT OF THE PROPERTY FACES THE ROAD THAT THE CORRESPONDS WITH THE SUBJECT PROPERTY STREET ADDRESS. ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE VILLAGE OF OAK PARK BEFORE USE.

4 SURVEYOR CERTIFICATION

I, First American Title Insurance Company:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 18, 21, 23 (to the extent possible, graphically depict on survey drawing the zoning setback lines), and 24 (graphically depict in relation to the subject tract or property any offsite easements or servitudes benefiting the surveyed property and disclosed in record documents provided to the surveyor as part of the schedule "A" of Table A thereto. The field work was completed on 01/14/2014.  
Date of Plat or Map: 02/20/2014  
Daryn M. Bernard, PLS  
Illinois Professional Land Surveyor 035-003587  
Expires November 30, 2014  
Illinois License No. 184.006196



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18 ALTA/ACSM Land Title Survey

This survey prepared in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys (Effective February 23, 2011)  
This Work Coordinated By:  
COMMERCIAL  
DUE DILIGENCE SERVICES  
1700 South Broadway, Bldg E  
Moore, Oklahoma 73160  
Office: 405.378.5800 - Fax: 405.703.1851  
Firm No. 10132900  
Toll Free: 888.457.7878

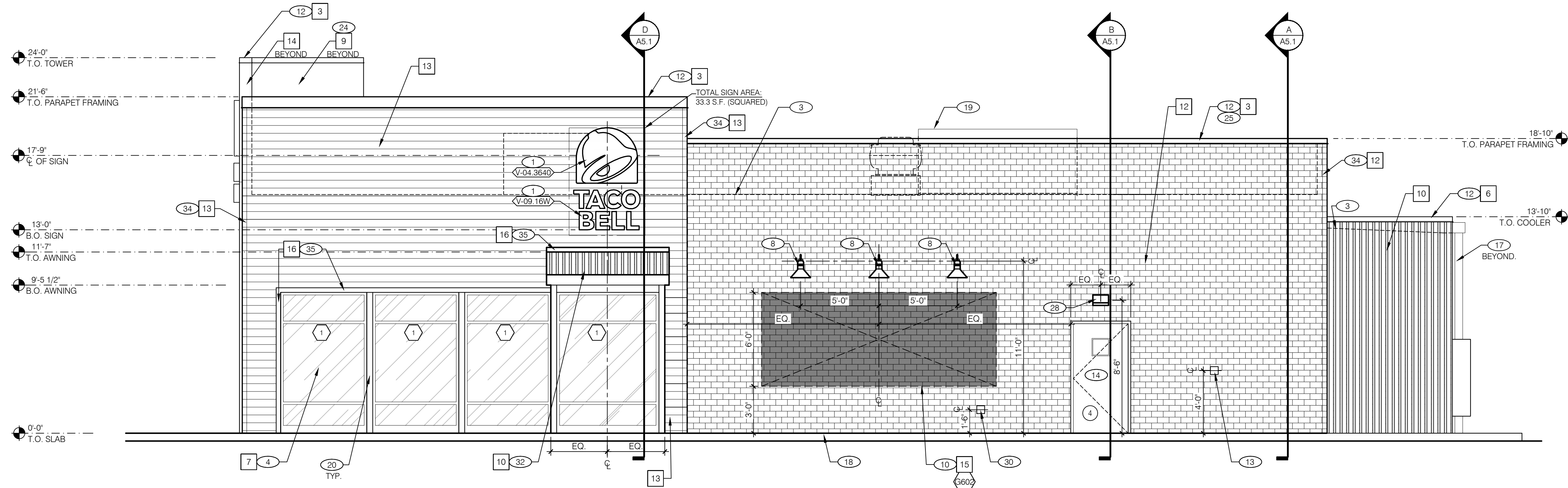
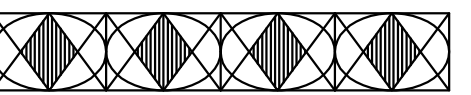
Drawn By:	JMB	Date:	02-10-14
Surveyor Ref. No.:	14-01-0085	Revision:	Rev. Title
Approved By:	DB	Date:	02-14-14
Field Date:	01-14-14	Revision:	Rev. Title
Scale:	1" = 20'	Date:	02-20-14
		Revision:	Rev. Zoning

Prepared For:  
NCS-649000-11  
Client Ref. No.: 4773 - Oak Park Roosevelt

20 PROJECT ADDRESS

6020 W. Roosevelt Road  
Oak Park, Illinois  
Project Name:  
COMPASS - SITE 11  
CDS Project Number:  
14-01-12585





**RIGHT SIDE ELEVATION** 1/4"=1'-0" **A**

MISCELLANEOUS  
A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

"CRITICAL" DIMENSIONS:  
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

#	QTY	ITEM DESCRIPTION	REMARKS
G-602	1	EXTERIOR MURAL - CONCRETE GRAFFITI	
G-610	1	EXTERIOR MURAL - COLORBLOCK	

NOTE: SIGNAGE UNDER SEPARATE PERMIT

XXX	QTY	ITEM DESCRIPTION	ELEC
V-04.3640	3	3'-6" x 4'-0" LARGE SWINGING BELL, PURPLE LOGO - FACE LIT	X
V-09.16W	3	16" LARGE CHANNEL LETTERS WHITE	X

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	CANOPY RAFTER/ BEAM PAINT	SHERWIN WILLIAMS	SW3022 'WOODSCAPES BLACK ALDER'			SHERWIN WILLIAMS; BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL)
3	PARAPET CAP (TOWER)	DUROLAST 25	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 'IRON ORE'	DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
4	PARAPET CAP (FRONT)	DURALAST	SHERWIN WILLIAMS SW6832 'IMPULSE PURPLE' EGG SHELL (P-4)			
5	PARAPET CAP (SIDES)	DUROLAST 25	REGAL WHITE (FACTORY FINISH)			
6	PARAPET CAP (COOLER)	DUROLAST 25	GALVALUME PLUS (FACTORY FINISH)			
7	STOREFRONT WINDOWS	OLD CASTLE	CLEAR ANODIZED			OLD-CASTLE; MARK LEHMAN, 972-551-6100 (PHONE), MLEHMAN@OBE.COM (EMAIL)
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL			
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED 'TAN.' EQUAL ALTERNATE ALLOWED.			DURO-LAST; LEE COBB, 800-434-3876 (PHONE)
10	AWNING, PATIO ROOF, COOLER WALL	BERRIDGE	S-DECK PREWEATHERED GALVALUME			
11	FIBER CEMENT PANELS	NICHIHA - VINTAGEWOOD	CEDAR			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
12	FIBER CEMENT BRICK PANELS	NICHIHA - VINTAGEBRICK	WHITE WASH			
13	FIBER CEMENT PANELS	NICHIHA - ROUGH SAWN	'SMOKE'			NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)
14	METAL PANELS	WESTERN STATES METAL ROOFING	18" A606-4 RUSTWALL PANELS			WESTERN METAL DECK; JESSICA TRIER, 602-422-2696 (PHONE), jessica@metaldeck.com (EMAIL)
15	WALL MURAL	THIS STUFF WORKS	TSW8 ACRYLI-MASTER GRAFFITI RESISTANT COATING			
16	FIBER CEMENT BOARD TRIM	JAMES HARDIE	HARDIETRIM - 5/4" X 3 1/2" SMOOTH			

**EXTERIOR FINISH SCHEDULE** **H**

- ARTWORK SCHEDULE** N.T.S. **E**
- 1 BUILDING SIGN, BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET S5.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
  - 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
  - 3 DASHED LINE INDICATES ROOF BEYOND.
  - 4 STOREFRONT, TYPICAL.
  - 5 NOT USED
  - 6 SWITCH GEAR. PAINT TO MATCH WALL.
  - 7 NOT USED
  - 8 GOOSENECK LAMP.
  - 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
  - 10 DASHED BOX INDICATES AREA OF PAINTED 15W x 6H WALL MURAL.
  - 11 TOWER WITH METAL PANEL FINISH.
  - 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
  - 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
  - 14 PAINT DOOR TO MATCH BRICK PANELS - SHERWIN WILLIAMS, SW 6098 PACER WHITE.
  - 15 GAS SERVICE.
  - 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.

- KEY NOTES** **D**
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
  - 18 CONCRETE CURB.
  - 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
  - 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
  - 21 OVERFLOW SCUPPER
  - 22 NOT USED
  - 23 BOLLARD
  - 24 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
  - 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
  - 26 NOT USED
  - 27 NOT USED
  - 28 WALL PACK LIGHT FIXTURE.
  - 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
  - 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
  - 31 NOT USED
  - 32 METAL AWNING - BY OTHERS
  - 33 4" Ø BOLLARDS AT ALL DOWNSPOUTS.
  - 34 PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
  - 35 3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.

CONTRACT DATE:  
BUILDING TYPE: EXPLORER MED40  
PLAN VERSION: AUGUST 2019

SITE NUMBER:  
STORE NUMBER:

**TACO BELL**  
6000 ROOSEVELT RD  
OAK PARK, IL 60304

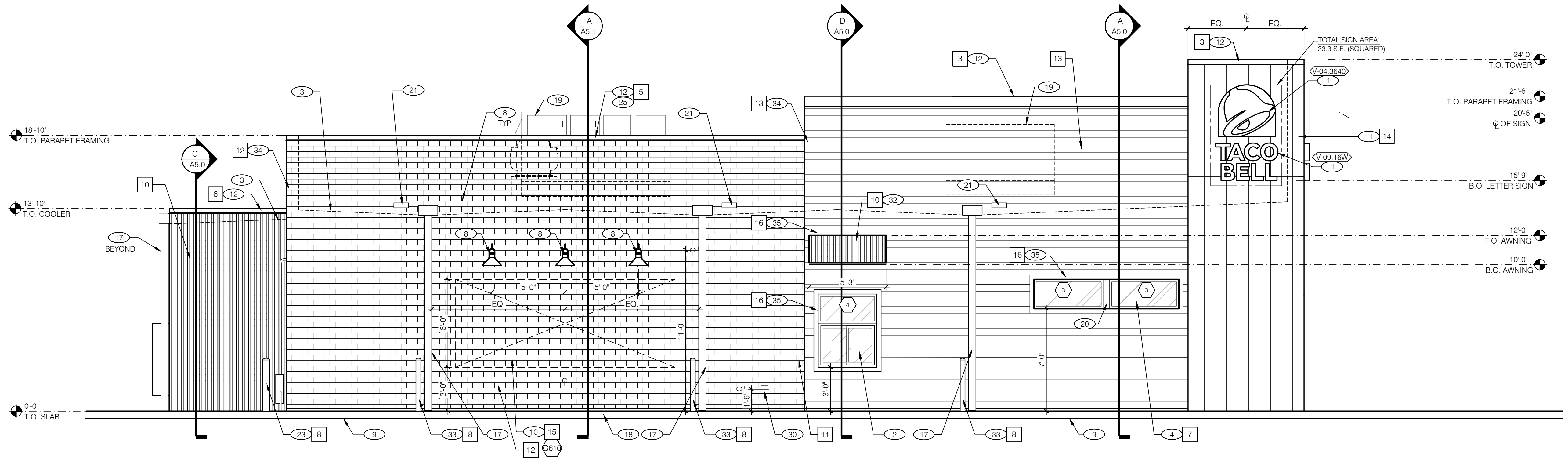
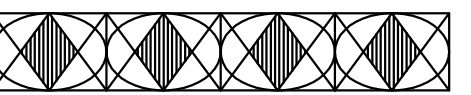


**EXHIBIT NO. 7  
EXTERIOR  
ELEVATIONS**

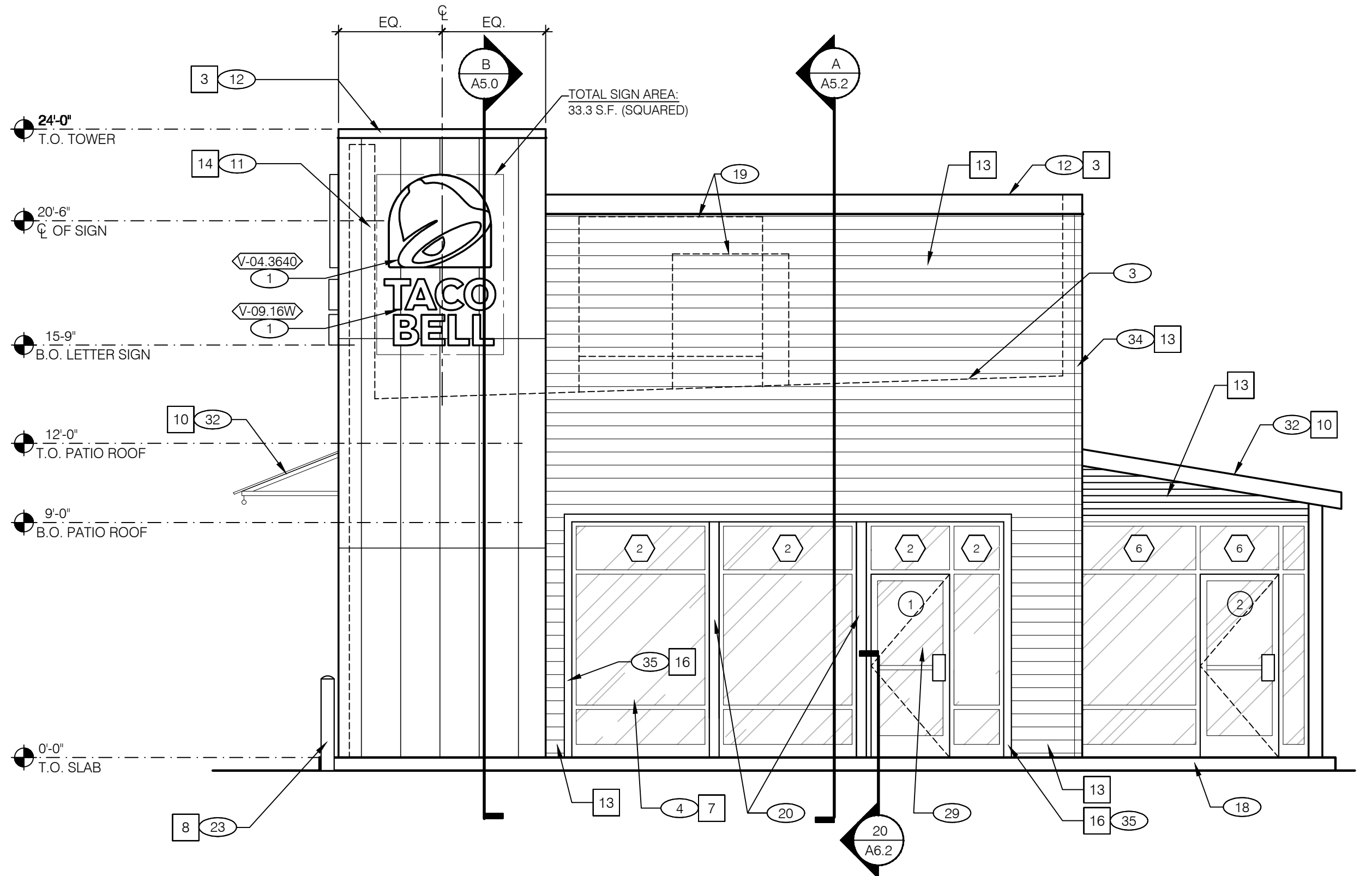
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PLOT DATE:

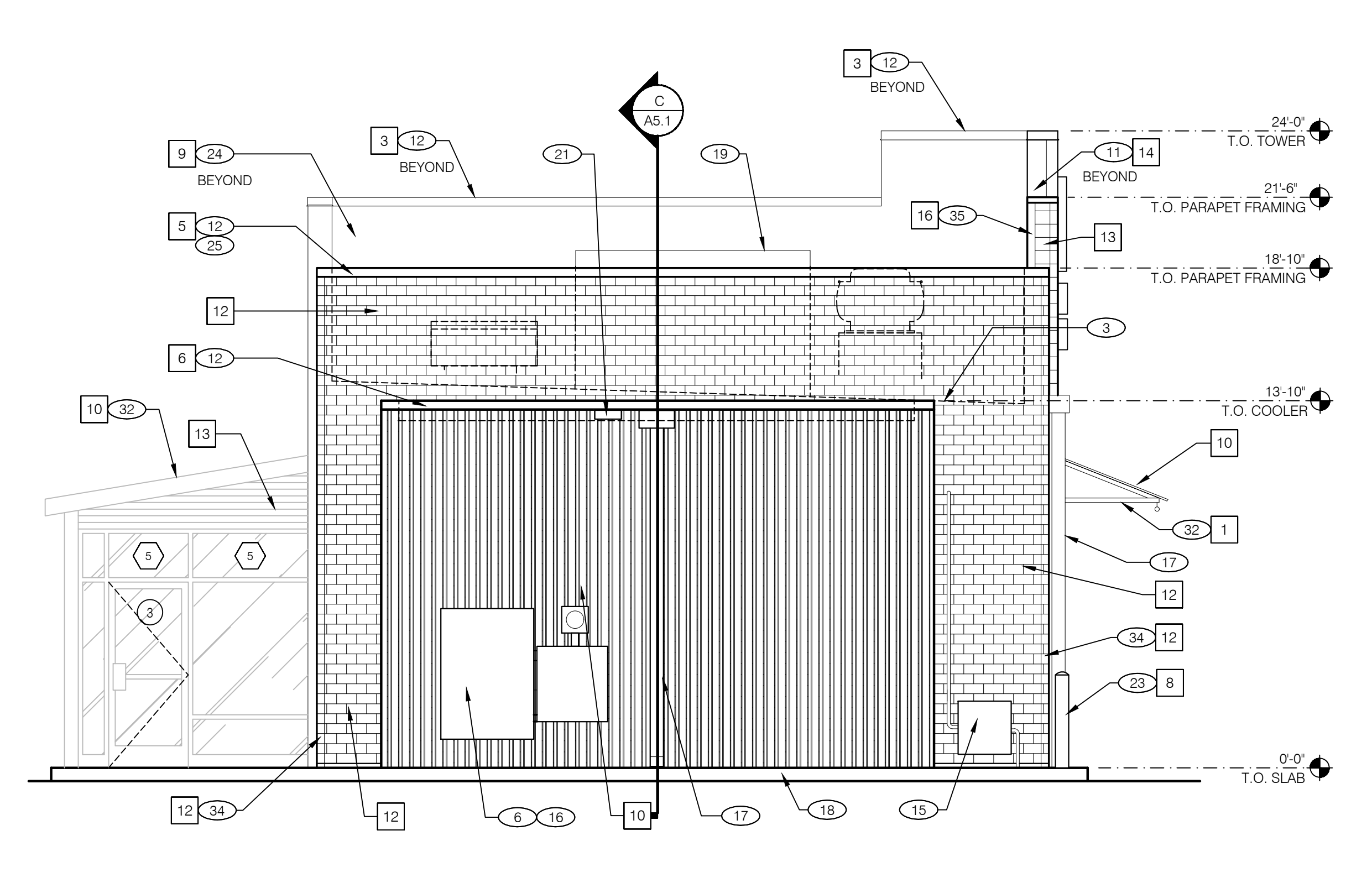




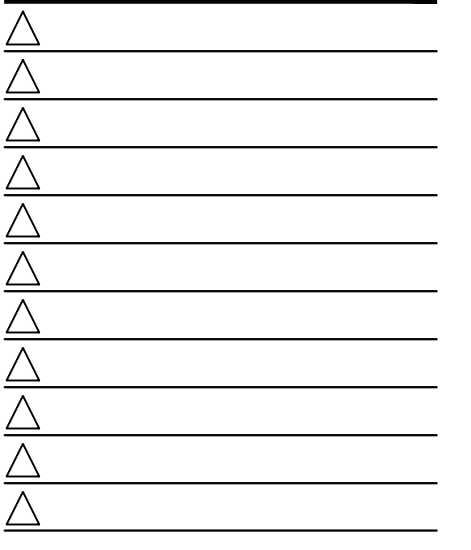
**LEFT SIDE ELEVATION** 1/4" = 1'-0" **A**



**FRONT ELEVATION** 1/4" = 1'-0" **C**



**REAR ELEVATION** 1/4" = 1'-0" **B**



CONTRACT DATE:  
BUILDING TYPE: EXPLORER MED40  
PLAN VERSION: AUGUST 2019  
SITE NUMBER:  
STORE NUMBER:

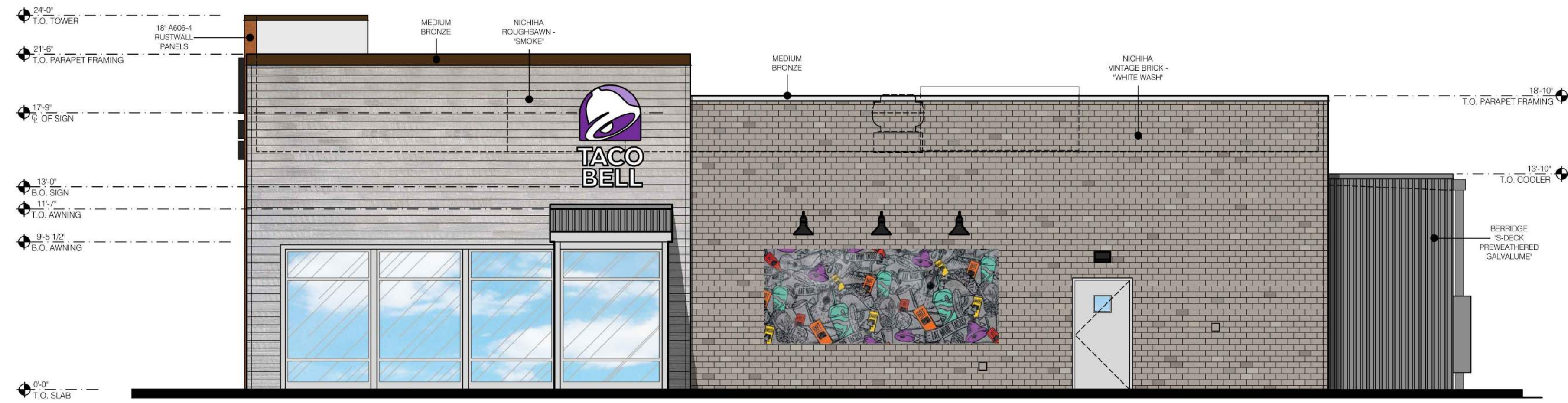
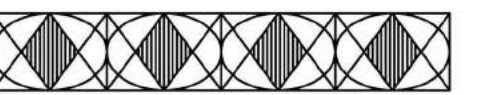
**TACO BELL**  
6000 ROOSEVELT RD  
OAK PARK, IL 60304



**EXHIBIT NO. 7**  
**EXTERIOR**  
**ELEVATIONS**

**A4.1**

PLOT DATE:



**EAST ELEVATION** 3/16"=1'-0" **A**



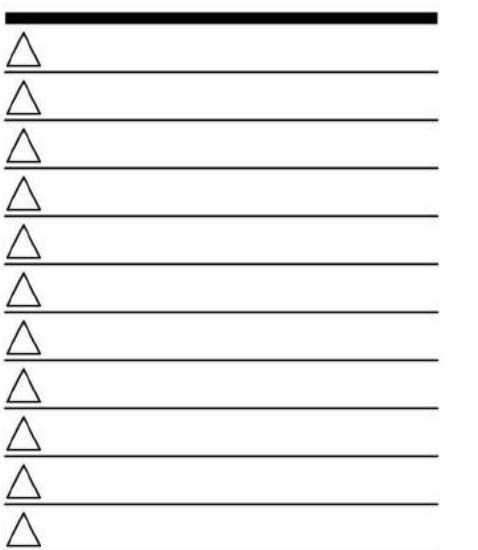
**NORTH ELEVATION** 3/16"=1'-0" **C**



**SOUTH ELEVATION** 3/16"=1'-0" **B**



**WEST ELEVATION** 3/16"=1'-0" **D**



CONTRACT DATE:  
BUILDING TYPE: EXPLORER MED40  
PLAN VERSION: AUGUST 2019  
SITE NUMBER:  
STORE NUMBER:

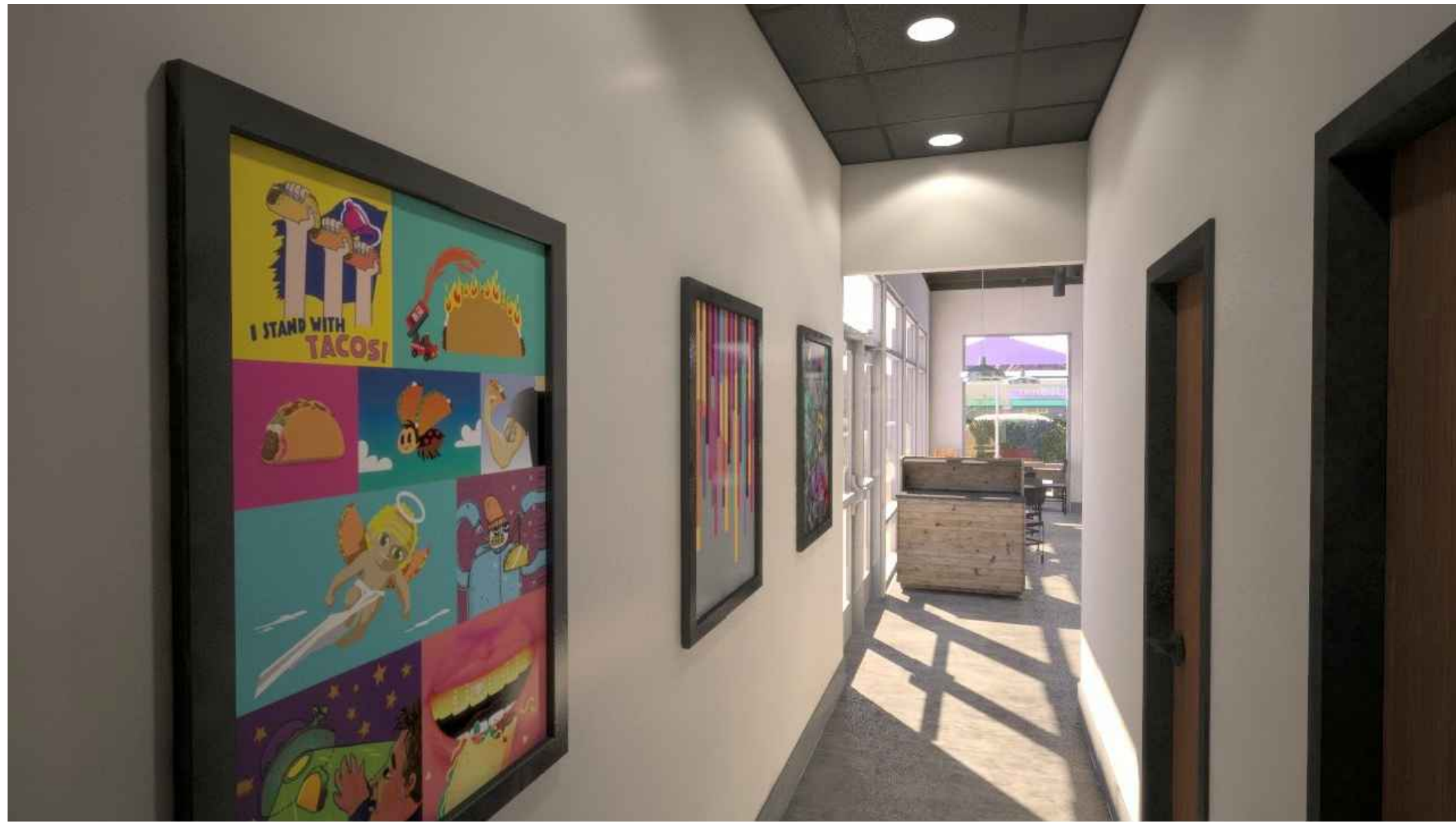
**TACO BELL**  
6000 ROOSEVELT RD  
OAK PARK, IL 60304



**EXHIBIT NO. 7**  
**COLOR**  
**EXTERIOR**  
**ELEVATIONS**

**A4.2**

PLOT DATE:



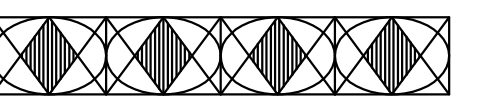
INTERIOR PERSPECTIVES



EXTERIOR PERSPECTIVE

MRV

ARCHITECTS, INC.



5105 TOLLVIEW DR., SUITE 197  
ROLLING MEADOWS, IL 60008  
TEL: 224-318-2140

MRV ARCHITECTS, INC. 2019

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CONTRACT DATE:  
BUILDING TYPE: EXPLORER MED40  
PLAN VERSION: AUGUST 2019  
SITE NUMBER:  
STORE NUMBER:

TACO BELL

6000 ROOSEVELT RD  
OAK PARK, IL 60304



**EXHIBIT NO. 7  
PERSPECTIVE  
RENDERINGS**

**A4.3**

PLOT DATE:

# — CATALOG —

SEPTEMBER 2019



## SIGNAGE

📍 1 Glen Bell Way, Irvine, CA 92618

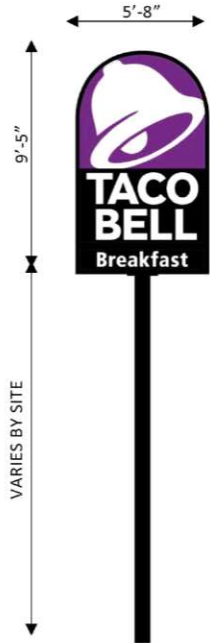
🌐 [Tacobellplans.com/library/catalogs/building signage](https://www.tacobellplans.com/library/catalogs/building%20signage)



# SITE

---

# PYLON



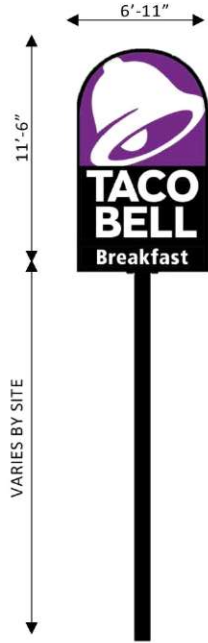
V-01.50

DESCRIPTION:  
Pylon Sign 50 SF  
with Breakfast

Area: 50 SF

Optional messaging:

**We Deliver**



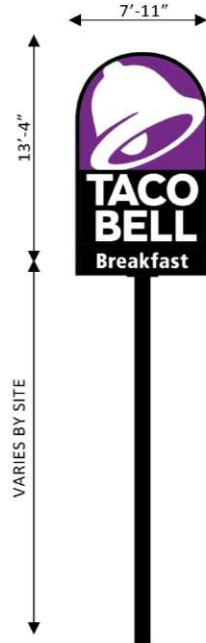
V-01.75

DESCRIPTION:  
Pylon Sign 75 SF  
with Breakfast

Area: 75 SF

Optional messaging:

**We Deliver**



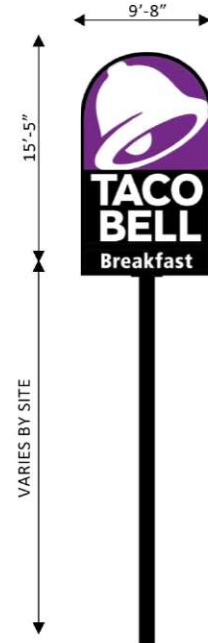
V-01.100

DESCRIPTION:  
Pylon Sign 100 SF  
with Breakfast

Area: 100 SF

Optional messaging:

**We Deliver**



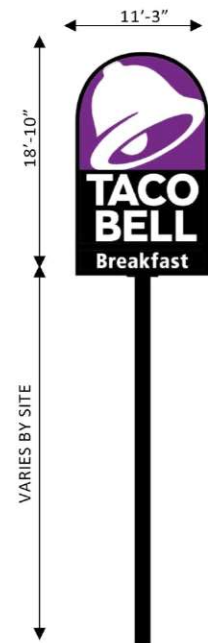
V-01.150

DESCRIPTION:  
Pylon Sign 150 SF  
with Breakfast

Area: 150 SF

Optional messaging:

**We Deliver**



V-01.213

DESCRIPTION:  
Pylon Sign 213 SF  
with Breakfast

Area: 213 SF

Optional messaging:

**We Deliver**

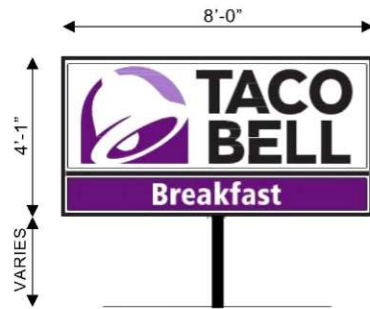
# MONUMENT & DIRECTIONAL



V-02.19

**DESCRIPTION:**  
Monument Sign 19 SF  
with Breakfast

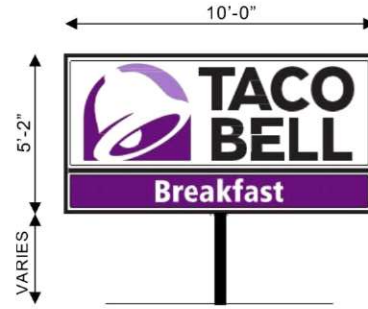
Area: 19 SF



V-02.33

**DESCRIPTION:**  
Monument Sign 33 SF  
with Breakfast

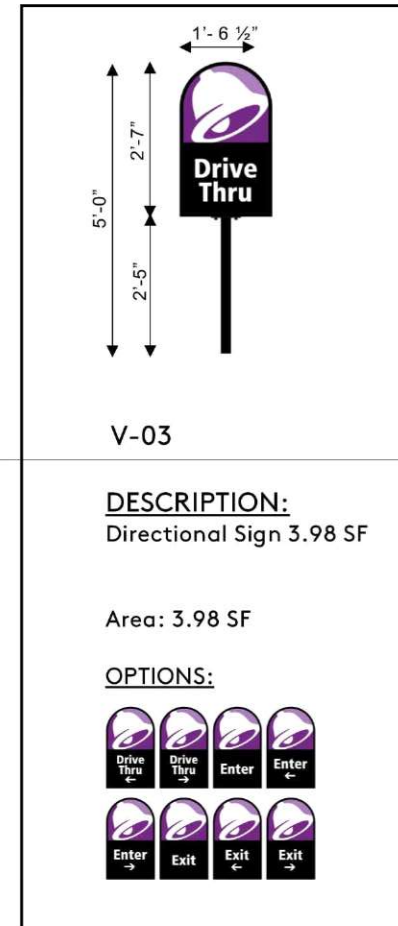
Area: 33 SF



V-02.52

**DESCRIPTION:**  
Monument Sign 52 SF  
with Breakfast

Area: 52 SF



V-03

**DESCRIPTION:**  
Directional Sign 3.98 SF

Area: 3.98 SF

**OPTIONS:**





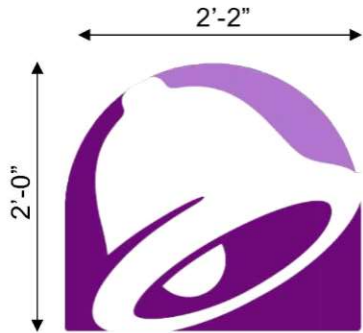
**BUILDING**

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**LOGO ID**



# LOGO ID SWINGING BELL – PURPLE FACE LIT



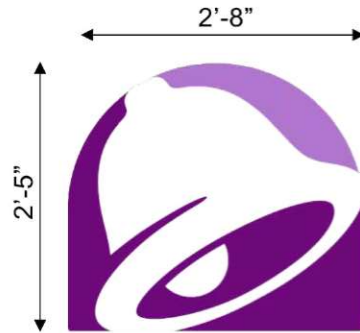
V-04.2022

**DESCRIPTION:**

X-Small Swinging Bell  
Purple logo – Face Lit  
2'-0" x 2'-2"

Area:  
Squared 4.46 SF

Lock-up guidelines:  
X-Small Bell to be used  
with X-Small TB  
internally illuminated  
letters



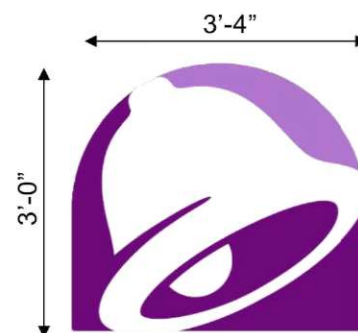
V-04.2528

**DESCRIPTION:**

Small Swinging Bell  
Purple logo – Face Lit  
2'-5" x 2'-8"

Area:  
Squared 6.45 SF

Lock-up guidelines:  
Small Bell to be used  
with Small TB internally  
illuminated letters



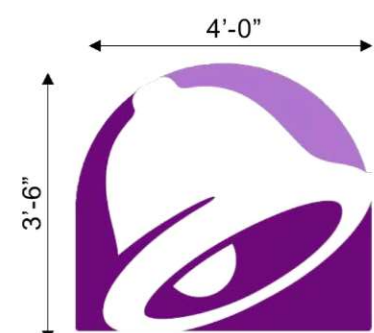
V-04.3034

**DESCRIPTION:**

Medium Swinging Bell  
Purple logo – Face Lit  
3'-0" x 3'-4"

Area:  
Squared 9.94 SF

Lock-up guidelines:  
Medium Bell to be used  
with Medium TB  
internally illuminated  
letters



V-04.3640

**DESCRIPTION:**

Large Swinging Bell  
Purple logo – Face Lit  
3'-6" x 4'-0"

Area:  
Squared 13.53 SF

Lock-up guidelines:  
Large Bell to be used  
with Large TB internally  
illuminated letters

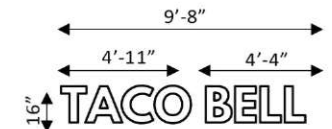
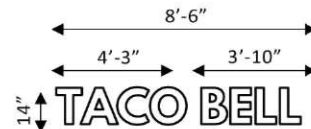
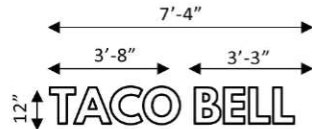
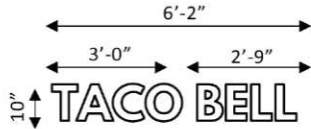


**BUILDING**

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**LETTERS**

# LETTERS WHITE CHANNEL LETTERS – WALL MOUNTED



V-09.10W

V-09.12W

V-09.14W

V-09.16W

**DESCRIPTION:**  
X-Small TB 10" White Channel Letters – Linear or Stacked

**DESCRIPTION:**  
Small TB 12" White Channel Letters – Linear or Stacked

**DESCRIPTION:**  
Medium TB 14" White Channel Letters – Linear or Stacked

**DESCRIPTION:**  
Large TB 16" White Channel Letters – Linear or Stacked

Application: Wall Mounted

Application: Wall Mounted

Application: Wall Mounted

Application: Wall Mounted

Lock-up guidelines:  
X-Small Letters to be used with X-Small internally illuminated Bell Logo Id

Lock-up guidelines:  
Small Letters to be used with Small internally illuminated Bell Logo Id

Lock-up guidelines:  
Medium Letters to be used with Medium internally illuminated Bell Logo Id

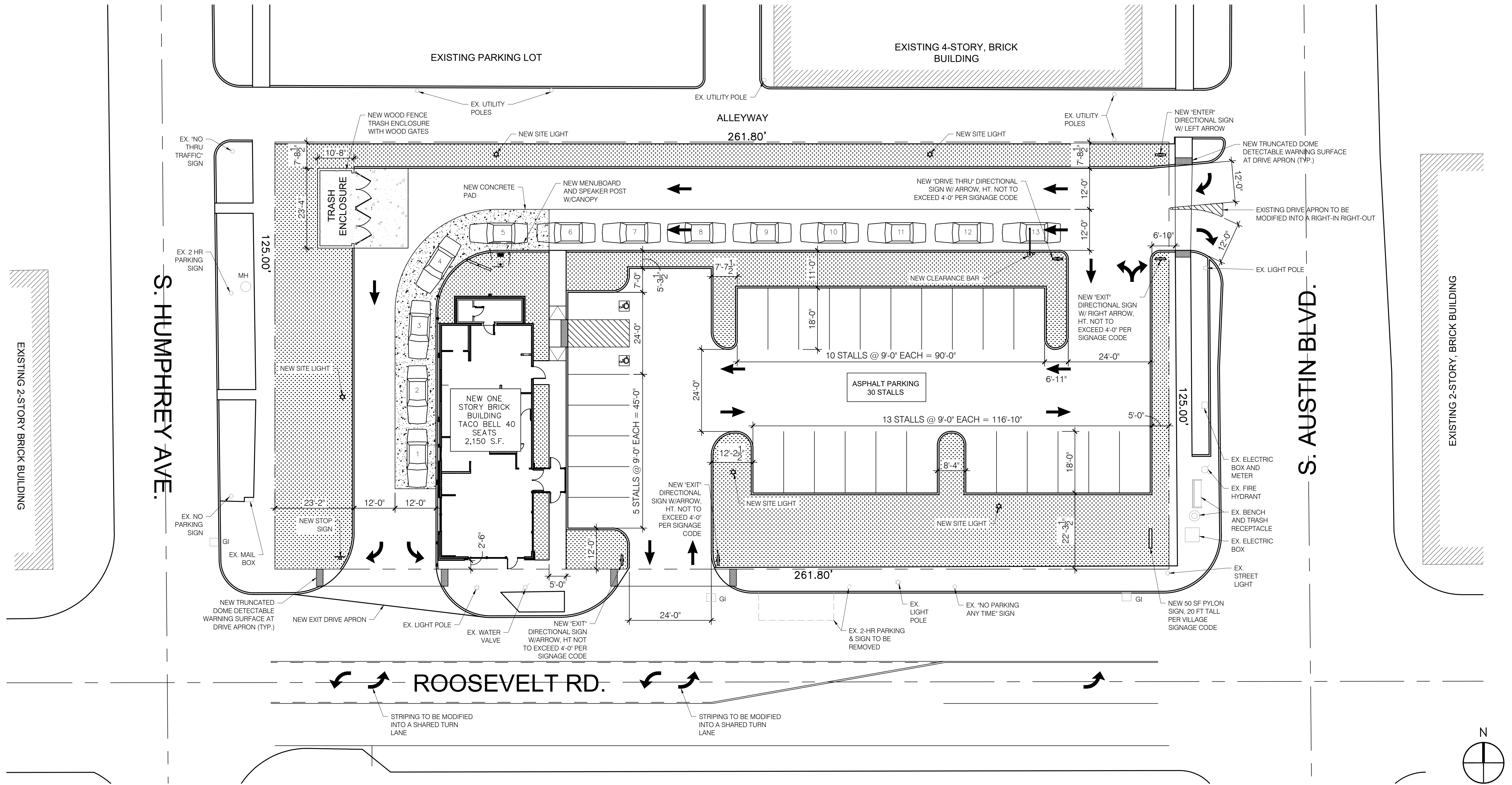
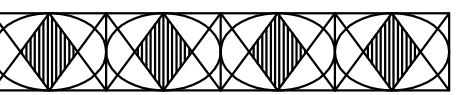
Lock-up guidelines:  
Large Letters to be used with Large internally illuminated Bell Logo Id

Area:  
Squared 5.08 SF

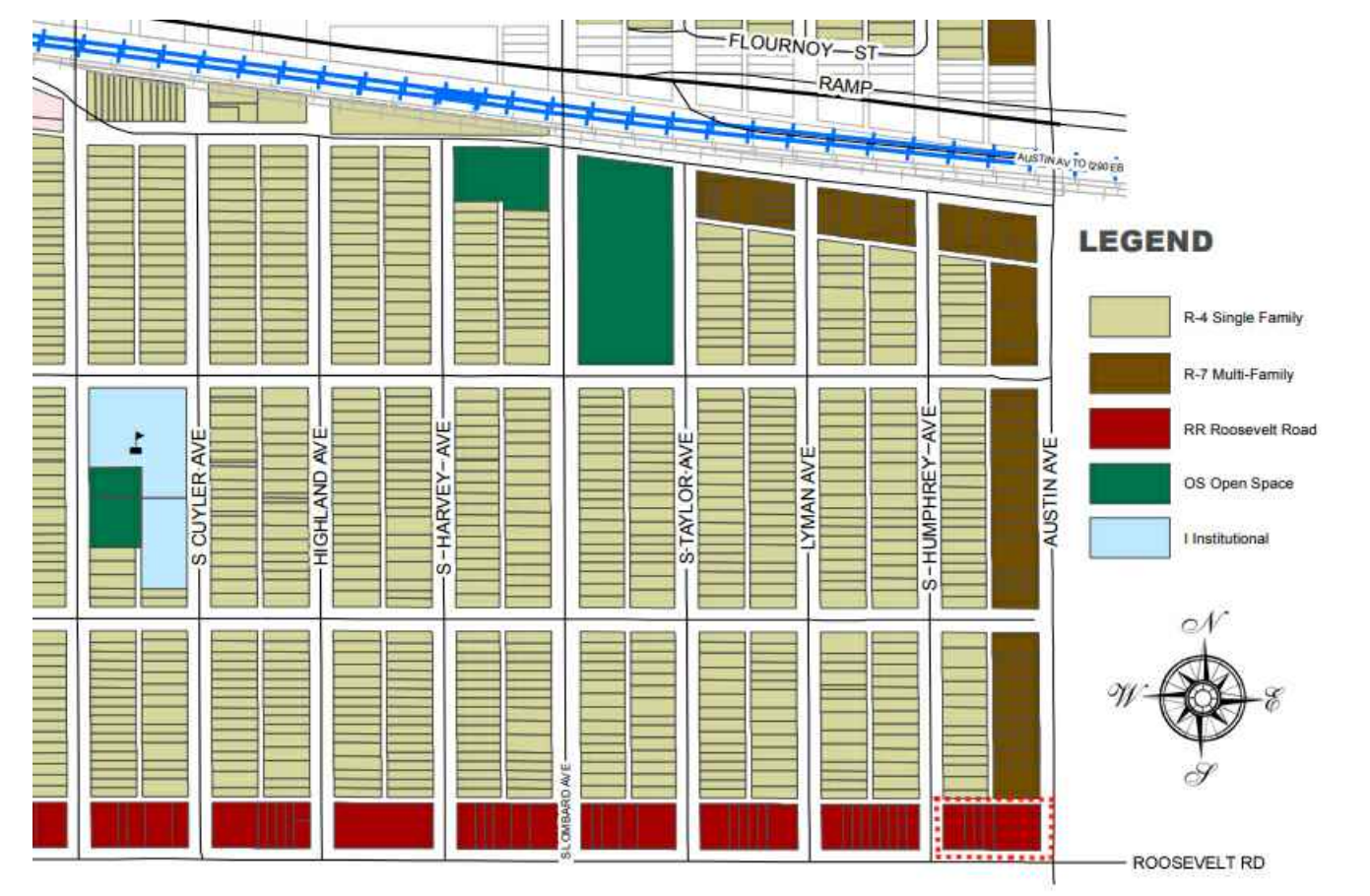
Area:  
Squared 7.32 SF

Area:  
Squared 9.92 SF

Area:  
Squared 12.89 SF



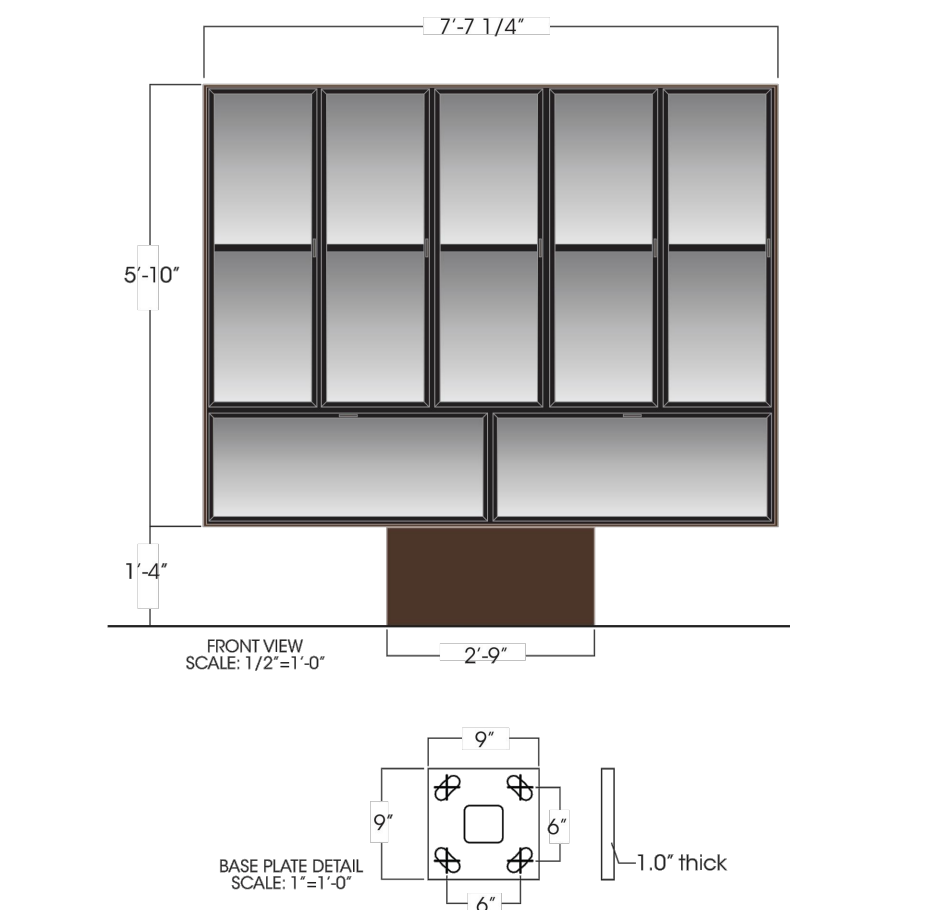
SITE PLAN 1" = 15'-0" 1



ZONING MAP (REF. 2018 VILLAGE ZONING MAP) N.T.S. 5



LOCATION MAP N.T.S. 4



MENUBOARD DETAIL N.T.S. 3

**ZONING ANALYSIS**  
Adopted September 18, 2017  
ZONING: Proposed development is currently zoned as RR-T Form based Zone - Roosevelt Road Transitional District  
USE: General commercial is PERMITTED  
DIMENSIONAL AND DESIGN STANDARDS: Maximum Height - 3 stories & 40' Proposed - 24'  
BUILDING PLACEMENT: Front setback (Roosevelt Road) - 2.5' Proposed - 2.5'  
Side and rear setbacks - 0' (Min)  
Proposed side setbacks - 47'-9" (West) / 185'-8 1/2" (East)  
Proposed rear setback - 38'-6 1/2"  
PARKING PLACEMENT: Minimum front setback for parking spaces located adjacent to buildings - 7' Provided - 10'  
OFF-STREET PARKING DESIGN STANDARDS Required parking for restaurants - 1 per 500sf GFA (2150) = 5 Provided - 31

ZONING INFORMATION 2

TACO BELL  
6000 ROOSEVELT RD  
OAK PARK, IL 60304



EXHIBIT NO. 7  
SITE PLAN

SP1.0

PLOT DATE:



18'-10"  
T.O. PARAPET FRAMING

13'-10"  
T.O. COOLER

0'-0"  
T.O. SLAB

24'-0"  
T.O. TOWER

21'-6"  
T.O. PARAPET FRAMING

20'-6"  
C. OF SIGN

15'-9"  
B.O. LETTER SIGN

12'-0"  
T.O. AWNING

10'-0"  
B.O. AWNING





OAK PARK POLICE DEPARTMENT  
DEPARTMENT MEMORANDUM



TO: Cameron Davis  
Assistant Director, Development Customer Services

FROM: LaDon Reynolds  
Chief of Police

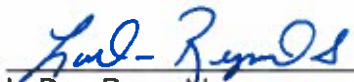
SUBJECT: **PROPOSED OPERATING HOURS FOR TACO BELL**

DATE: December 30, 2019

After review of the proposed operating hours for Taco Bell on Roosevelt Road, the Police Departments recommends the follows hours of operation:

Restaurant close at 10:00pm - Mon, Tues, Wed, Thurs, Fri, Sat, Sun  
Drive Thru close at 12:00am - Mon, Tues, Wed, Thurs, Fri, Sat, Sun

Thank you,

  
\_\_\_\_\_  
LaDon Reynolds  
Chief of Police

# *MRV* ARCHITECTS, INC.

5105 Tollview Dr., Suite 197, Rolling Meadows, IL 60008

Ph. (224) 318-2140 Email: alfredt@mrvarch.com

November 14, 2019

Oak Park Board of Appeals  
123 Madison St.  
Oak Park, IL 60302

Re: **6000-6020 Roosevelt Road – Special Use Approval Standards**

Dear Mike Bruce and Project Review Team,

In regards to the Special Use application filed for the 6000-6020 Roosevelt Rd. Taco Bell project, Ampler Development LLC (the “applicant”) is seeking Special Use approval for the operation of a Drive-Thru. Per Section 14.2(E) of the Village Zoning Ordinance, please see this letter as our response to the approval standards listed below.

1. The establishment, maintenance, and operation of the proposed special use will not have a substantial or unduly adverse impact on the neighborhood or endanger the public health, safety, or welfare.
  - a. Response: In the applicant’s opinion, the establishment, maintenance, and operation of the proposed special use will only increase the value of neighboring properties on Roosevelt Road. The addition of this building and drive-thru would prove beneficial to the community by providing a valuable service and should be able to accommodate the customers as needed without posing as a disruption to the surrounding area. With ample landscaping, and a full, 5’-0” tall fence, sound generated at the drive-thru would be kept at a minimum.
2. The proposed special use is compatible with the general land use of adjacent properties and other property within the immediate vicinity.
  - a. Response: The Roosevelt/Austin intersection is characterized by commercial properties at every corner. Furthermore, the various restaurants and automobile-centric businesses across the street suggests that a drive-thru is more than compatible with the character of the immediate area.
3. The special use in the specific location proposed is consistent with the spirit and intent of this Ordinance, adopted land use policies and the Comprehensive Plan.
  - a. Response: In line with the intent of the Zoning Ordinance, the it was important that the placement of the building took full advantage of being within the RR Roosevelt Road District. Having access to not one but two major arterials such as Austin Blvd. and Roosevelt Rd. presents the challenge of designing a well-functioning drive-thru able to withstand the higher volumes of traffic. With this in mind, the site’s current design allows for a generous, 13 car stack and includes a full bypass lane.
4. The special use meets the requirements for such classification in this Ordinance.
  - a. Response: The proposed drive-through exceeds the minimum requirement for three stacking spaces and meets the dimensional standards stated in the Ordinance. The drive-through does have bail-out capability for all vehicles that have entered the drive through lane.

*MRV* ARCHITECTS, INC.

5105 Tollview Dr., Suite 197, Rolling Meadows, IL 60008

Ph. (224) 318-2140 Email: alfredt@mrvarch.com

Please feel free to reply or call with any questions you may have.

Sincerely,  
Alfred Teleron  
Project Architect  
MRV Architects, Inc.