



Madison and Gunderson Place
435 Madison Street
Oak Park, Illinois 60302

Developer: Michigan Avenue Real Estate Group, Chicago, IL

Architect: Space Architects, Chicago, IL

Builder: Vivify Construction, Chicago, IL

Leasing Consultant: AvenueOne, Forest Park, IL

Civil Engineer: Bono Consulting, Chicago, IL

Traffic Consultant: Gewalt Hamilton, Vernon Hills, IL

Approvals: JCSA Chicago, River Forest, IL

Date: December 10, 2019

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PD Application
Item 1
NARRATIVE

Project Narrative

The proposed development consists of the construction of a five story building with forty eight (48) units and forty eight (48) parking spaces. The ground floor consists of the residential lobby, elevator, surface parking, waste and recycling center, bicycle storage, mechanical and other building support areas. The upper floors consist of one and two bedroom units – 12 units per floor. Each unit has a balcony for outdoor living. The balconies have been located around the building so as to minimize the impact on adjacent homes.

Pedestrian entrance to the building is located on Madison Street – the primary functional elevation for the building. The vehicular entrance to the building is located on Gunderson Avenue – the street to the west of the proposed development. The decision to locate the vehicle entrance on Gunderson was a deliberate one based on internal traffic flow and input from Village Staff. During the Neighborhood meeting, many residents voiced concern over the location of this entrance. While, the Applicant still believes that the best location for the entrance is on Gunderson. In response to neighbor’s concerns about southbound traffic from the development onto Gunderson, the developer and the Applicant submit an Alternate Site Plan with a traffic control device that routes the development’s traffic in and out to Madison Street.

The proposed building is constructed of full masonry exterior walls with stone detailing recalling some of Madison districts original auto dealerships.

The Applicant and the Development Team believe that the proposed development is consistent with Oak Park’s Envision Oak Park Plan and the Madison Street Corridor Plan and will be an asset to the Madison Street corridor and further support Oak Park’s smart growth path.

zoning relief requested

In order to construct the proposed development, the following zoning relief is requested:

Building Height: from 50 feet to 63 feet

Building Setback: rear yard setback from 25 feet to 7 feet

Landscaping buffer from 7 feet to 3 feet

Maximum number of units: from 24 allowed to 48 proposed

Location of Loading Berth

For a more detailed zoning analysis, see Space Architects Zoning Analysis dated 12.20.19 as Exhibit M

compensating benefits

Per the Village's Zoning Ordinance, the following are listed compensating benefits:

Section 14.5.E.2.a.a Community Amenities: provide outdoor seating
Please see the attached revised Site Plan A0.6 dated 11.15.19

Section 14.5.E.2.a.b Affordable Housing Set-asides

The development does bring additional benefits not codified in the Village's Zoning Ordinance such as the investment in an underdeveloped property, revitalization of an arguably dormant commercial corridor and more as the details of this Application will show.

village improvements

The Applicant and the Developer's Design Team has met with Village Staff as part of the Development Review Process. Further, the developer's civil engineer has been and will remain in contact with the Village Engineer so as to identify any proposed Village Improvements as the approval process moves forward.

Currently, the Design Team is waiting for feedback from the Village's Engineering department.

Petition for Public Hearing

Attached to this Application, please find the completed and executed Petition for Public Hearing dated October 17, 2019.

PD Application
Item 2
FEE

The application fee has been paid on line prior to the submittal of this Application.

Thank you! Your payment has been received and processed.

Transaction ID: 41551850346
Fee Type: Planning Application Fees
Application Number: PL201900197
Date: 08/30/2019
Amount: \$2,000.00

PD Application
Item 3
STANDARDS

Plan Development Standards
Standards for Review Section 14.5 H of the Zoning Ordinance

1. The proposed development and use or combination of uses is consistent with the goals and objectives of the Comprehensive Plan and has been considered in relation to any other plans adopted by the Village.

The Applicant has submitted a set of documents that include a Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan, Floor Plans, Building Elevations, Streetscape Elevations, Shadow Studies, Sign Elevations and a Construction Logistics Plan as part of this Application. Further, the Applicant has identified a series of Objectives as listed in the Village's Envision Oak Park Comprehensive Plan and Oak Park's Madison Corridor Plan 2014 and cited where the proposed development helps the Village achieve the Goals set out therein. Please see Exhibit K for a detail listing of the Objectives and how this development assists the Village in attaining such Goals.

2. The establishment, maintenance, or operation of the use or combination of uses will not be materially detrimental to or endanger the public health, safety and welfare of the Village.

The Applicant has submitted a set of documents that include a Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan, Floor Plans, Building Elevations and a Construction Logistics Plan as part of this Application. Further, the Applicant states that the building, if the Application for Planned Development is approved will be fully compliant with all provisions of the International Building Code as adopted by the Village of Oak Park and all of the requirements of Oak Park's Fire and Police life safety codes and recommendations. Now therefore, given the statements above, the Applicant believes that the proposed development will not be materially detrimental to or endanger the public health, safety and welfare of the Village.

Plan Development Standards, continued

Standards for Review Section 14.5 H of the Zoning Ordinance

3. Adequate utilities, road access, parking drainage, police and fire service and other necessary facilities already exist or will be provided to serve the proposed development, including access to fire, sanitation, and maintenance equipment.

The Applicant has submitted a set of documents that include a Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan and Floor Plans as part of this Application. The developer's Design Team believes that adequate utilities, road access, parking drainage, police and fire service and other necessary facilities already exist at the proposed development site. Further, the developer's Design Team will coordinate any modifications as recommended by the Village's Engineering, Police or Fire Departments so that the final design conforms to recommendations made by these departments as it relates to utilities, road access, parking drainage, police and fire service and other necessary facilities. Now therefore, given the statements above, the Applicant believes that Adequate utilities, road access, parking drainage, police and fire service and other necessary facilities already exist at the proposed development site.

4. Adequate ingress and egress to the planned development site already exists or will be provided in a manner that adequately addresses additional traffic congestion in the public streets and promotes a safe and comfortable pedestrian environment.

The Applicant has submitted a set of documents that include a Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan, Floor Plans and Statement of opinion by Gewalt Hamilton Associates as part of this Application. The developer's Design Team and Consultant's believe that adequate ingress and egress to the planned development site already exists given the proposed Site Plan and location of vehicle and pedestrian entrances. In addition, the Design Team will engage with the Village's Engineering, Police and Fire Departments so as to assist the local neighbors in addressing their concern of increased traffic on Gurderson Street. As such, the Design team has submitted Site Plan – Alternate for review by these departments. Now therefore, given the statements above, the Applicant believes that adequate ingress and egress to the planned development site already exists or will be provided in a manner that adequately addresses additional traffic congestion in the public streets and promotes a safe and comfortable pedestrian environment.

Plan Development Standards, continued
Standards for Review Section 14.5 H of the Zoning Ordinance

5. The proposed use or combination of uses will not substantially diminish the use or enjoyment of other property in the vicinity for those uses that are permitted in the Zoning Ordinance of the Village.

The Applicant has submitted a set of documents that include a Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan, Floor Plans and Statement of opinion by Gewalt Hamilton Associates as part of this Application. Additionally, the Applicant will present expert testimony from a local Realtor as to the expected impacts of developments similar to the one proposed in this Application. Now therefore, given the statements above, the Applicant believes that the proposed use or combination of uses will not substantially diminish the use or enjoyment of other property in the vicinity for those uses that are permitted in the Zoning Ordinance of the Village.

6. The proposed design and use or combination of uses will complement the character of the surrounding neighborhood.

The Applicant has submitted a set of documents that include a rendering of the proposed development, Site Plan, Landscape Plan, Engineering Utility Plan, Exterior Lighting Plan, Floor Plans and Elevations as part of this Application. The Design Team has researched the Madison Corridor for use of building materials, design patterns and streetscape designs so as to propose a development that will complement the existing fabric of the Corridor. Moreover, the Design Team has worked, through the placement of exterior balconies, to lessen the impact of exterior balconies on certain adjacent homes. Now therefore, given the statements above, the Applicant believes that the proposed design and use or combination of uses will complement the character of the surrounding neighborhood.

7. The Applicant has the financial and technical capacity to complete the proposed use or combination of uses.

The Applicant has submitted a set of documents that include a letter from a local Lending Institution that shows that the developer has the financial capacity to complete the proposed development. Additionally, the Developer's experience in developing similar properties is highlighted in the Developer's Qualifications. Further evidence of the Developer's technical experience can be found on their website: www.michiganavenurealestategroup.com

Plan Development Standards, continued

Standards for Review Section 14.5 H of the Zoning Ordinance

8. The proposed development is economically feasible and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the Village from the proposed use.

The Applicant has submitted a set of documents that include a letter from a local Lending Institution that shows that the Developer has the financial capacity to complete the proposed development. Additionally, the Developer's experience in successfully managing and maintaining developments of similar scale and complexity in the Chicago metro market is a fact that can be easily established as part of the record throughout the public hearing process and can be viewed on the Developer's website as cited in Response 7. Moreover, the developer has a business track record of maintaining rental properties that are an asset to their local communities and do not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the Village from the proposed use.

Sustainability Standards

As part of this development, pursuant to Section 14.5 D.6, the Developer elects the energy rating system of Green Globes as the Rating Standard for this development. Further, the developer selects the firm of LTLB Envirotecture and Laurent T. Blissard as the third party rater. The target rating is One Globe per the Green Globe rating system. See **Exhibit B** for Green Globes Rating target.

Public Art

The Developer's Design Team is proposing to provide along Madison Street a series of shadow boxes that will allow for the display of local art. The Developer, through their design Team will work with Oak Park's Arts Council in the design and implementation of the shadow boxes and display of local art.

EXHIBIT K

Compliance with Oak Park's Comprehensive Plan Envision Oak Park 2014

The Madison and Gunderson Place development will contribute to achieving many of the goals and objectives established in the Village's Envision Oak Park Comprehensive Plan. The specific Goals and Objectives are identified below and reasons cited for the Development's assistance in the Village attaining such.

Vision Statement Section 4

"The close proximity between housing, shopping, and jobs fosters a walkable environment with convenient access to everyday needs. New infill development exhibits quality architecture and has been context sensitive. This has served to transform vacant and underutilized properties, creating more intact and sustainable neighborhoods, corridors, and commercial districts".

This development is a text book example of the Vision as outlined above. The property, while adequately maintained, is underutilized and does not allow for maximum highest and best use for a Village asset.

Goal 4.1.2 Strengthen the community's urban fabric through context sensitive infill development that is complementary to the scale and character of surrounding residential neighborhoods.

While some may argue that the development's scale is not consistent with the neighborhood to the South. The development is actually cited on and fronts the Madison Corridor. Never the less, the development does add to the fabric of the Corridor and is in harmony with other developments along the Corridor.

Goal 4.1.4 Ensure that residential areas have adequate buffering and/or screening from incompatible adjacent land uses.

The development, with the help of the developer's Design Team have worked to minimize and therefore buffer the development's impacts on the residential area. Additionally, the Design team has put forward a Site Plan Alternate to further buffer the neighbors of additional traffic from the Development.

Goal 4.2.4 Support innovative building design and construction practices within the village and continue award program to recognize innovative design and the application of "green" building techniques.

The developer's Design team has proposed that the development be designed under the Green Globes energy efficient program. This program, similar to the LEED

program allows for the Village to continue its efforts to support innovative building design and “green” building techniques.

[Goal 4.3.1 Promote a mix of local commercial land uses throughout the community that support and respond to the needs of nearby residents.](#)

While the proposed Development is a residential use only, future residents, that are not currently living in Oak Park, will help to patronize existing and future Oak Park businesses. The effect cited here is a known as a planning strategy of “rooftops before storefronts”. Businesses locate where there is actual demand for services. And, not the other way. By helping add to Oak Park’s resident base, the Development, in a demonstrable way, assists Oak Park in attaining this Goal.

[Goal 4.3.4 Encourage the growth of transit-oriented development \(TOD\) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle, and pedestrian access throughout the Village.](#)

While the proposed Development is not in a TOD zone, the Development’s proximity to the two Rapid Transit Lines do encourage the future residents to use mass transit for most commuting.

[Goal 4.4.1 Provide mixed-use development within the village to maximize the use of land, and to foster more compact, walkable, and vibrant neighborhoods.](#)

While the proposed Development is a residential use only, the proposed Development does have a current walk score of 86 – “most daily errands can be completed without a car” and therefore can be said to, in a demonstrable way, assists Oak Park in attaining this Goal

[4.4.4 Create focus nodes of commercial activity in areas with high levels of accessibility along the village’s commercial corridors, allowing other areas of the corridors to become more residential in nature.](#)

A very famous corridor study by the firm of Tracy Cross and Associates in the 1990’s recommended for Oak Park to establish nodes of high concentration of Commercial properties along Madison and then to “fill in” between the nodes with high density residential uses. The residual effects of these recommendations can now be found in other planning documents for the Madison Corridor. This proposed Development is in line with the recommendation of “filling in” the nodes.

Compliance with Oak Park's Comprehensive Plan, continued Envision Oak Park 2014

7.3.4 Encourage housing variety in each neighborhood that responds to the specific needs of residents of various ages, incomes, and levels of mobility, especially in areas that provide unique access to transit, local goods and services, government services, recreation, etc.

In a very real sense, this development responds to the call for housing that addresses the needs of residents various ages, incomes, and levels of mobility. The development's barrier free designs cannot readily be found in many of Oak park's housing stock – whether single family or multi-family. Therefore, in the Development assists the Village in attaining this Goal.

12.1.2 Maintain the condition and capacity of village infrastructure and technology to ensure that it is suitable for all types of development.

The proposed Development will significantly add to the Village and the County's tax base from its current use. The funds gather from the increased taxes after offsetting for any feedback, may be used by the Village and County to maintain the condition and capacity of village infrastructure and technology to ensure that it is suitable for all types of development.

END OF STATEMENTS

EXHIBIT K

Compliance with Oak Park's Madison Street Corridor Plan 2005

Segments 3 and 4: Oak Park to Ridgeland

Between Oak Park and Ridgeland, the Accessible Commercial and Retail District identified in the Preferred Vision will be created around clusters of existing uses that exemplify this Character District.

These existing uses include the automobile dealer, automobile services, the grocery store, pharmacy, and fast-food restaurants.

Future uses may include auto-oriented uses, national chain restaurants, and retailers.

New development should be regulated to mitigate corporate architecture and maintain a pedestrian friendly environment through this auto-intensive segment.

Specific development considerations:

Encourage Fenwick High School to consider establishing a direct presence on Madison Street in order to create better visibility and access.

Encourage Fenwick to consider using their existing surface parking for use in a shared-parking facility relationship with adjacent uses.

Consider the future redevelopment of the storage facility located south of the corridor between

Eliminate curb cuts on Madison Street.

While the proposed Development does not specifically have all of the qualities of the preferred vision's character district, it does bring pedestrian friendly development and the elimination of a large curb cut on Madison Street.

PD Application
Item 4
OWNER INFORMATION

Property Owner: Margaret Mudjer and Stephen J. Mudjer
435 Madison Street Oak Park, IL

Contract Purchaser: GLPE,LLC a corporation in the control of
Michigan Avenue Real Estate Group
1259 West Madison Street
Chicago, IL 60607

Title Policy: See attached Title Policy from Chicago Title
Insurance Company dated June 19, 2019

Owner's Statement: See Exhibit C

Professional Qualifications

Michigan Avenue:	See Exhibit D
Space Architects:	See Exhibit E
Bono Engineering:	See Exhibit F
AvenueOne:	See Exhibit G
Gewalt Hamilton:	See Exhibit H
JCSA:	See Exhibit J

Financing:

See letter from Wintrust Commercial banking dated October 24, 2019.

Affidavit of Ownership

COUNTY OF COOK)
) SS

STATE OF ILLINOIS)

I, Stephen J. Mudjer, under oath, state that I am
(Print Name)

- the sole owner of the property
 an owner of the property
 an authorized officer for the owner of the property

Commonly described as:

435-451 Madison Street Oak Park, Illinois

and that such property is owned by Myself and my wife as of this
date.

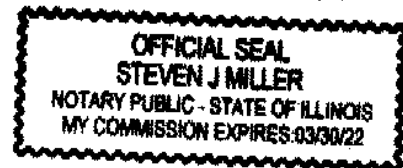
(Print Name / Company)

Stephen J. Mudjer
(Signature)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

21ST DAY OF October, 2019

Steven J. Miller
(Notary Public)



ALTA COMMITMENT FOR TITLE INSURANCE

Issued By:



CHICAGO TITLE INSURANCE COMPANY

Commitment Number:

19WNW217133WC

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Chicago Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Chicago Title Insurance Company

By:

President

Attest:

Secretary



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Transaction Identification Data for reference only:

ISSUING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Chicago Title Company, LLC 5 Westbrook Corporate Center, Suite 100 Westchester, IL 60154 Main Phone: (708)409-9039 Email: ctwestchester@ctt.com	Chicago Title and Trust Company 5 Westbrook Corporate Center, Suite 100 Westchester, IL 60154 Main Phone: (708)409-9039 Main Fax: (708)409-9914

Issued By: Lacy & Associates LLC
 930 N. York Road, Suite 212
 Hinsdale, IL 60521

Order Number: 19WNW217133WC

Property Ref.: 435-449 Madison St., Oak Park, IL 60302

SCHEDULE A

1. Commitment Date: June 19, 2019

2. Policy to be issued:

(a)

Proposed Insured: GLPE, LLC
 Proposed Policy Amount: \$0.00

(b) ALTA Loan Policy 2006

Proposed Insured: Lender with a contractual obligation under a loan agreement with the Proposed Insured for an Owner's Policy , its successors and/or assigns as their respective interests may appear
 Proposed Policy Amount: \$10,000.00

3. The estate or interest in the Land described or referred to in this Commitment is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

[Stephen J. Mudjer \(also known as Stephen Mudjer\) and Margaret Mudjer in joint tenancy](#)

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SCHEDULE A
(continued)

5. The Land is described as follows:

PARCEL 1:

LOT 25 (EXCEPT THE WEST 51 1/2 FEET) IN BLOCK 8 IN S. T. GUNDERSON AND SON'S ADDITION TO OAK PARK, BEING A SUBDIVISION OF THE EAST 1/2 OF LOT 4 IN THE SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCL 2:

THE WEST 51 1/2 FEET OF LOT 25 IN BLOCK 8 IN S. T. GUNDERSON AND SON'S ADDITION TO OAK PARK, BEING A SUBDIVISION OF THE EAST 1/2 OF LOT 4 IN THE SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

END OF SCHEDULE A

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**SCHEDULE B, PART I
REQUIREMENTS**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
6. **The Proposed Policy Amount(s) must be increased to the full value of the estate or interest being insured, and any additional premium must be paid at that time. An Owner's Policy should reflect the purchase price or full value of the Land. A Loan Policy should reflect the loan amount or value of the property as collateral. Proposed Policy Amount(s) will be revised and premiums charged consistent therewith when the final amounts are approved.**
7. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
8. Be advised that the "good funds" of the title insurance act (215 ILCS 155/26) became effective 1-1-2010. This act places limitations upon the settlement agent's ability to accept certain types of deposits into escrow. Please contact your local Chicago Title office regarding the application of this new law to your transaction.
9. Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
10. The Company may pay current year Cook County taxes when furnished an original tax bill at or before the time the Company is requested to make payments. If an original tax bill is not furnished, the Company will pay current taxes via ACH payment, which results in an additional \$7.00 duplicate tax bill fee payable to Cook County and collected from the taxpayer at closing.
11. Note: The land lies within a county which is subject to the Predatory Lending Database Act (765 ILCS 77/70 et

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**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

seq. as amended). A Certificate of Compliance with the act or a Certificate of Exemption therefrom must be obtained at time of closing in order for the Company to record any insured mortgage. If the closing is not conducted by the company, a certificate of compliance or a certificate of exemption must be attached to any mortgage to be recorded.

Note: for Cook, Kane, Will and Peoria counties, the act applies to mortgages recorded on or after July 1, 2010.

END OF SCHEDULE B, PART I

Title Insurance Agent:

Lacy & Associates LLC
930 N. York Road, Suite 212
Hinsdale, IL 60521
Phone: (630)873-3484
Fax: (630)214-0369

Authorized Signatory

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**SCHEDULE B, PART II
EXCEPTIONS**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

General Exceptions

1. **Rights or claims of parties in possession not shown by Public Records.**
2. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.**
3. **Easements, or claims of easements, not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **Taxes or special assessments which are not shown as existing liens by the Public Records.**
6. **We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically.**
7. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.

A

8.
 1. Taxes for the year(s) 2018 and 2019
2019 taxes are not yet due or payable.
 - 1A. Note: 2018 first installment was due March 1, 2019
Note: 2018 final installment is due August 1, 2019.

Perm tax#	Pcl	Year	1st Inst	Stat	
16-18-206-001-0000	1 of 2		2018	\$12,109.52	Paid

The 2018 final installment in the amount of \$10,401.28 is unpaid and is due August 1, 2019.

16-18-206-002-0000	2 of 2		2018	\$16,803.66	Paid
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**SCHEDULE B, PART II
EXCEPTIONS**
(continued)

The 2018 final installment in the amount of \$14,433.08 is unpaid and is due August 1, 2019.

- B 9. Mortgage dated May 15, 2008 and recorded May 28, 2008 as Document No. [0814908365](#) made by Stephen J. Mudjer and Margaret Mudjer to Community Bank of Dupage to secure an indebtedness in the amount of \$2,000,000.00.
- C 10. Assignment of Rents recorded May 28, 2008 as Document No. [0814908366](#) made by Stephen J. Mudjer and Margaret Mudjer to Community Bank of Dupage.
- D 11. Mortgage dated July 11, 2017 and recorded July 13, 2017 as Document No. [1719446077](#) made by Stephen Mudjer and Margaret Mudjer to Bridgeview Bank Group to secure an indebtedness in the amount of \$1,625,000.00.
- E 12. Assignment of Rents recorded July 13, 2017 as Document No. [1719446078](#), made by Stephen Mudjer and Margaret Mudjer to Bridgeview Bank Group
- F 13. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below.

Limited Liability Company: GLPE, LLC

- a. A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
- b. If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendment thereto with the appropriate filing stamps.
- c. If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member.
- d. A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created
- e. If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- G 14. Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees.

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**SCHEDULE B, PART II
EXCEPTIONS**
(continued)

- H 15. The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager.
- I 16. Municipal Real Estate Transfer Tax Stamps (or proof of exemption) must accompany any conveyance and certain other transfers or property located in Oak Park. Please contact said municipality prior to closing for its specific requirements, which may include the payment of fees, an inspection or other approvals.
- J 17. Easement for alley passage, light and air and the right to dedicate for public purposes at any time, the South 15 feet of Parcel 2 as reserved in the Warranty Deed from Seward M. Gunderson and Abigail C. Gunderson, husband and wife, to Massey and Meyer Motor Co. dated April 1, 1925 and recorded June 3, 1925 as Document Number 8932747.
(Affects the South 15 feet of Parcel 2).
- K 18. Party wall Agreement made by and between Dorothy H. Barrick and Edmund S. Cummings Jr. and North Shore National Bank of Chicago, as Trustee under Trust No. 377, recorded October 9, 1979 as Document Number 25180723, and the terms and conditions contained therein.
- L 19. Informational note: To schedule closings in the: Westchester office, please call (708) 409-9039. Countryside office, please call (708) 482-2900. Oak Park office, please call (708) 383-3322. To fax figures to the: Westchester office, please dial (708) 409-9715. Countryside office, please dial (708) 482-3044. Oak Park office, please dial (708) 383-3399 or email to ctoakpark@ctt.com
- M 20. All endorsement requests should be made prior to closing to allow ample time for the company to examine required documentation.
(This note will be waived for policy).
- N 21. Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.

END OF SCHEDULE B, PART II

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COMMITMENT CONDITIONS**1. DEFINITIONS**

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I-Requirements;
- (f) Schedule B, Part II-Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

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(continued)

- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

END OF CONDITIONS**1031 EXCHANGE SERVICES**

If your transaction involves a tax deferred exchange, we offer this service through our 1031 division, IPX1031. As the nation's largest 1031 company, IPX1031 offers guidance and expertise. Security for Exchange funds includes segregated bank accounts and a 100 million dollar Fidelity Bond. Fidelity National Title Group also provides a 50 million dollar Performance Guaranty for each Exchange. For additional information, or to set-up an Exchange, please call Scott Nathanson at (312)223-2178 or Anna Barsky at (312)223-2169.

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WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

**FIDELITY NATIONAL FINANCIAL
PRIVACY NOTICE
Revised May 1, 2018**

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF", "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

Types of Information Collected

We may collect two types of information from you: Personal Information and Browsing Information.

Personal Information. FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

Browsing Information. FNF may automatically collect the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or mobile device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

How Personal Information is Collected

We may collect Personal Information about you from:

- information we receive from you on applications or other forms;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

How Browsing Information is Collected

If you visit or use an FNF Website, Browsing Information may be collected during your visit. Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to other websites. FNF is not responsible for the privacy practices or the content of any of those other websites. We advise you to read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and third parties' products and services, jointly or independently.

When Information Is Disclosed

We may make disclosures of your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Please see "**Choices With Your Information**" to learn the disclosures you can restrict.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to guard your Personal Information. We limit access to nonpublic personal information about you to employees who need to know that information to do their job. When we provide Personal Information to others as discussed in this Privacy Notice, we expect that they process such information in compliance with our Privacy Notice and in compliance with applicable privacy laws.

Choices With Your Information

If you do not want FNF to share your information with our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about you creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are meant for adults and are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except (1) as required or authorized by contract with the mortgage loan servicer or lender, or (2) as required by law or in the good-faith belief that such disclosure is necessary to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The revised Privacy Notice, showing the new revision date, will be posted on the FNF Website. Each time you provide information to us following any amendment of this Privacy Notice, your provision of information to us will signify your assent to and acceptance of the terms of the revised Privacy Notice for all previously collected information and information collected from you in the future. We may use comments, information or feedback that you submit to us in any manner that we may choose without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to access or correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests via email to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

WINTRUST[®]
COMMERCIAL BANKING

October 24, 2019

Michigan Avenue Real Estate Group
1235 West Madison Street
Chicago, IL 60607

RE: 48 unit rental development
435 Madison Street, Oak Park, IL

To whom it may concern:

I have had a longstanding lending and banking relationship with Tom Meador and Michigan Avenue Real Estate Group. During this time period, I have provided acquisition and construction financing for several of Michigan Avenue's properties.

After review of the financial salient information, the Bank has determined the proposed development located at 435 Madison Street in Oak Park is qualified for up to 75% financing of the projected total budget. Final approval and terms remain subject to final diligence as determined by our Bank.

Please know that Michigan Avenue Real Estate Group has extensive experience in both the management acquisition and construction of real estate. Their experience will allow them to close and develop the subject property with customary due diligence, but with no concerns in regards their performance or ability to close on this transaction.

If you have any further questions, please feel free to contact me at 312-291-2932.

Best regards,



Bartlett Q. Johnson
Executive Vice President

PD Application
Item 5
PROPERTY INFORMATION

Property Restrictions

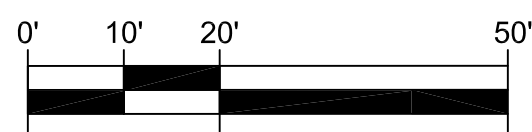
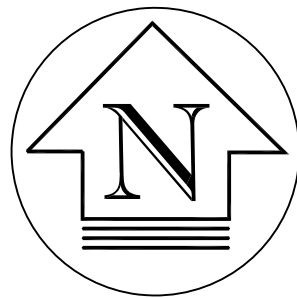
To the best of the Applicant's and the Contract Purchaser's knowledge and belief, there are no restrictions on the property other than those exhibited and noted on the Title Policy.

Plat of Survey

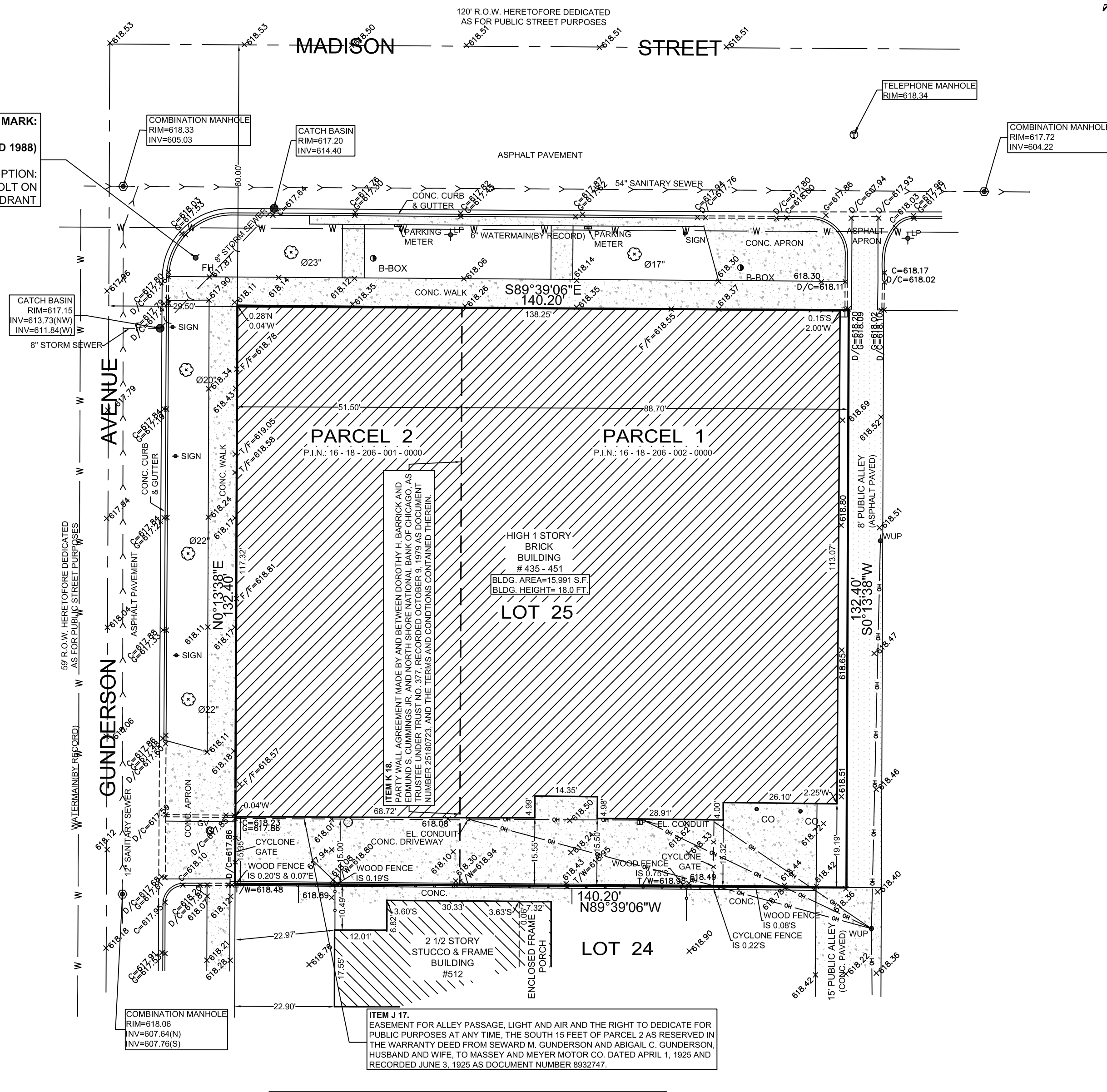
See Plat of Survey as prepared by United Survey Systems dated July 17, 2019

Historic preservation Review

This section is not applicable since the property is not within an Oak Park historic district.



SITE BENCH MARK:
EL. = 619.16 (NAVD 1988)
 DESCRIPTION:
 NORTHWEST BOLT ON
 FIRE HYDRANT



LEGEND	ABBREVIATIONS
	COMB-MH COMBINATION MANHOLE
	CB CATCH BASIN
	B-BOX B-BOX
	FH FIRE HYDRANT
	WUP WOOD UTILITY POLE
	TR TREE
	CO CLEANOUT
	DS DOWN SPOUT
	INLET INLET
	WV WATER VALVE VAULT
	SIGN SIGN
	T/W TOP OF WALL
	F/F FINISH FLOOR
	C= CONC. CURB
	D/C= DEPRESSED CURB
	G= GUTTER

ORDERED BY: MICHIGAN AVENUE REALESTATE GROUP	
SCALE : 1" = 20'	
DATE: JULY 17, 2019	09/27/19
FILE No.:	2019 - 26916

		OUC ADDED
		BOUNDARY AND TOPOGRAPHIC SURVEY
	09/21/19	
DATE		REVISION

PUBLIC UTILITY NOTE:
 LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.

THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.

REFERENCE BENCHMARK #DQ5312:
 THE STATION IS IN THE GRASS PARKWAY AT THE QUADRANT OF EUCLID AVENUE AND JACKSON BOULEVARD, 30 FEET (9.10 M) NORTH OF THE CENTERLINE OF JACKSON BOULEVARD, 15 FEET (4.6 M) WEST OF THE CENTERLINE OF EUCLID AVENUE, 2 FEET (0.6 M) NORTH OF THE FACE OF SIDEWALK, 2 FEET (0.6 M) WEST OF THE BACK OF CURB AND 20 FEET (6.10 M) SOUTHEAST OF A BELL MANHOLE. THE MARK IS THE TOP OF A STAINLESS STEEL ROD DRIVEN TO REFUSAL. ELEVATION = 617.64 FEET NAVD 1988



UNITED SURVEY SERVICE, LLC
 CONSTRUCTION AND LAND SURVEYORS
 7710 CENTRAL AVENUE, RIVER FOREST, IL 60305
 TEL.: (847) 299 - 1010 FAX : (847) 299 - 5887
 E-MAIL: USURVEY@USANDCS.COM

BOUNDARY AND TOPOGRAPHIC SURVEY

OF

PARCEL 1:
 LOT 25 (EXCEPT THE WEST 51 1/2 FEET) IN BLOCK 8 IN S. T. GUNDERSON AND SON'S ADDITION TO OAK PARK, BEING A SUBDIVISION OF THE EAST 1/2 OF LOT 4 IN THE SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 THE WEST 51 1/2 FEET OF LOT 25 IN BLOCK 8 IN S. T. GUNDERSON AND SON'S ADDITION TO OAK PARK, BEING A SUBDIVISION OF THE EAST 1/2 OF LOT 4 IN THE SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

KNOWN AS: **435 - 451 MADISON STREET, OAK PARK, ILLINOIS 60302**

PERMANENT INDEX NUMBERS:
 16 - 18 - 206 - 001 - 0000
 16 - 18 - 206 - 002 - 0000

TOTAL AREA = 18,562 SQ. FT. OR 0.426 ACRE

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 19WNN217133WC
 COMMITMENT DATE: JUNE 19, 2019

ITEMS CORRESPONDING TO SCHEDULE B, PART II:

ITEMS 1 - 16.
NOT SURVEY RELATED.

ITEM J 17.
 EASEMENT FOR ALLEY PASSAGE, LIGHT AND AIR AND THE RIGHT TO DEDICATE FOR PUBLIC PURPOSES AT ANY TIME, THE SOUTH 15 FEET OF PARCEL 2 AS RESERVED IN THE WARRANTY DEED FROM SEWARD M. GUNDERSON AND ABIGAIL C. GUNDERSON, HUSBAND AND WIFE, TO MASSEY AND MEYER MOTOR CO. DATED APRIL 1, 1925 AND RECORDED JUNE 3, 1925 AS DOCUMENT NUMBER 8932747. (AFFECTS THE SOUTH 15 FEET OF PARCEL 2).
(PLOTTED ON THE DRAWING)

ITEM K 18.
 PARTY WALL AGREEMENT MADE BY AND BETWEEN DOROTHY H. BARRICK AND EDMUND S. CUMMINGS JR. AND NORTH SHORE NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NO. 377, RECORDED OCTOBER 9, 1979 AS DOCUMENT NUMBER 25180723, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
(PLOTTED ON THE DRAWING)

ITEMS 19 - 21.
NOT SURVEY RELATED.

STATE OF ILLINOIS)
) S.S.
 COUNTY OF COOK)

I, ROY G. LAWNICZAK, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY AND TOPOGRAPHIC SURVEY.

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68° FAHRENHEIT.

RIVER FOREST, ILLINOIS, SEPTEMBER 21, A.D. 2019

BY:
 ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2290
 LICENSE EXPIRES: NOVEMBER 30, 2020
 PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-004576
 LICENSE EXPIRES: APRIL 30, 2021

PD Application
Item 6
REPORTS AND STUDIES

Environmental Assessment
Executive Summary

See the attached Environmental Assessment – phase one as prepared by E Cooney Associates dated July 18, 2019

Village Services Report

Market Feasibility Report

Please see Market Feasibility Report prepared by Tracy Cross and Associates dated November 2019



Members of the Plan Commission
Village of Oak Park

November 14, 2019

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed 48 unit apartment development to be located at 435 Madison Street by Michigan Avenue Real Estate Group as presented by John C. Schiess. This presentation stated that there would be a parkway diverter directing vehicles exiting the building to turn north on Gunderson and keeping one lane of traffic open at all times for thru-traffic. Pursuant to my review on Friday, November 8, 2019 I have determined that the development proposal will not have a negative impact on the Fire Department.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas Ebsen", with a long horizontal flourish extending to the right.

Thomas Ebsen,
Fire Chief, Village of Oak Park



Members of the Plan Commission
Village of Oak Park

November 14, 2019

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed 48 unit apartment development to be located at 435 Madison Street by Michigan Avenue Real Estate Group as presented by John C. Schiess. Pursuant to my review on Friday, November 8, 2019 I have determined that the development proposal will not have a negative impact on the Police Department.

Sincerely,

A handwritten signature in blue ink that reads "LaDon Reynolds". The signature is fluid and cursive, with a small mark at the end.

LaDon Reynolds
Police Chief, Village of Oak Park

PD Application
Item 7
TRAFFIC AND PARKING STUDY

Traffic Impact Study

See attached Traffic Impact Study completed by Bill Grieve, from Gewalt Hamilton and Associates dated October 31, 2019.

Parking Impact Study

See attached Parking Impact Study completed by Bill Grieve, from Gewalt Hamilton and Associates dated October 31, 2019.

PD Application
Item 8
Development Drawings

Site Plan

Landscape Plan

Engineering Utility Plan

Exterior Lighting Plan

Floor Plans

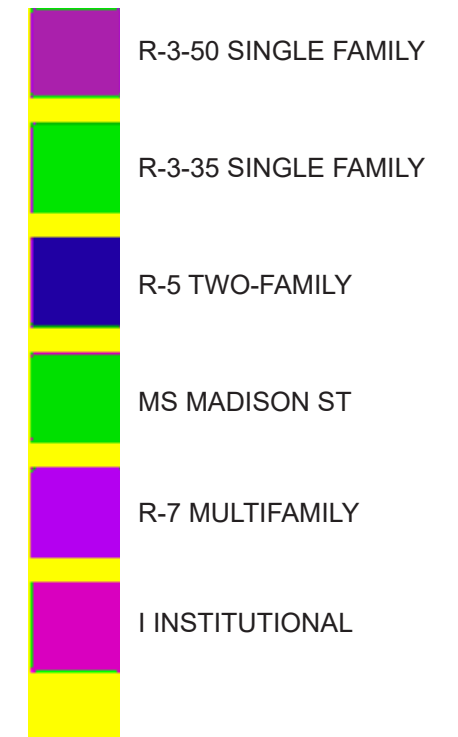
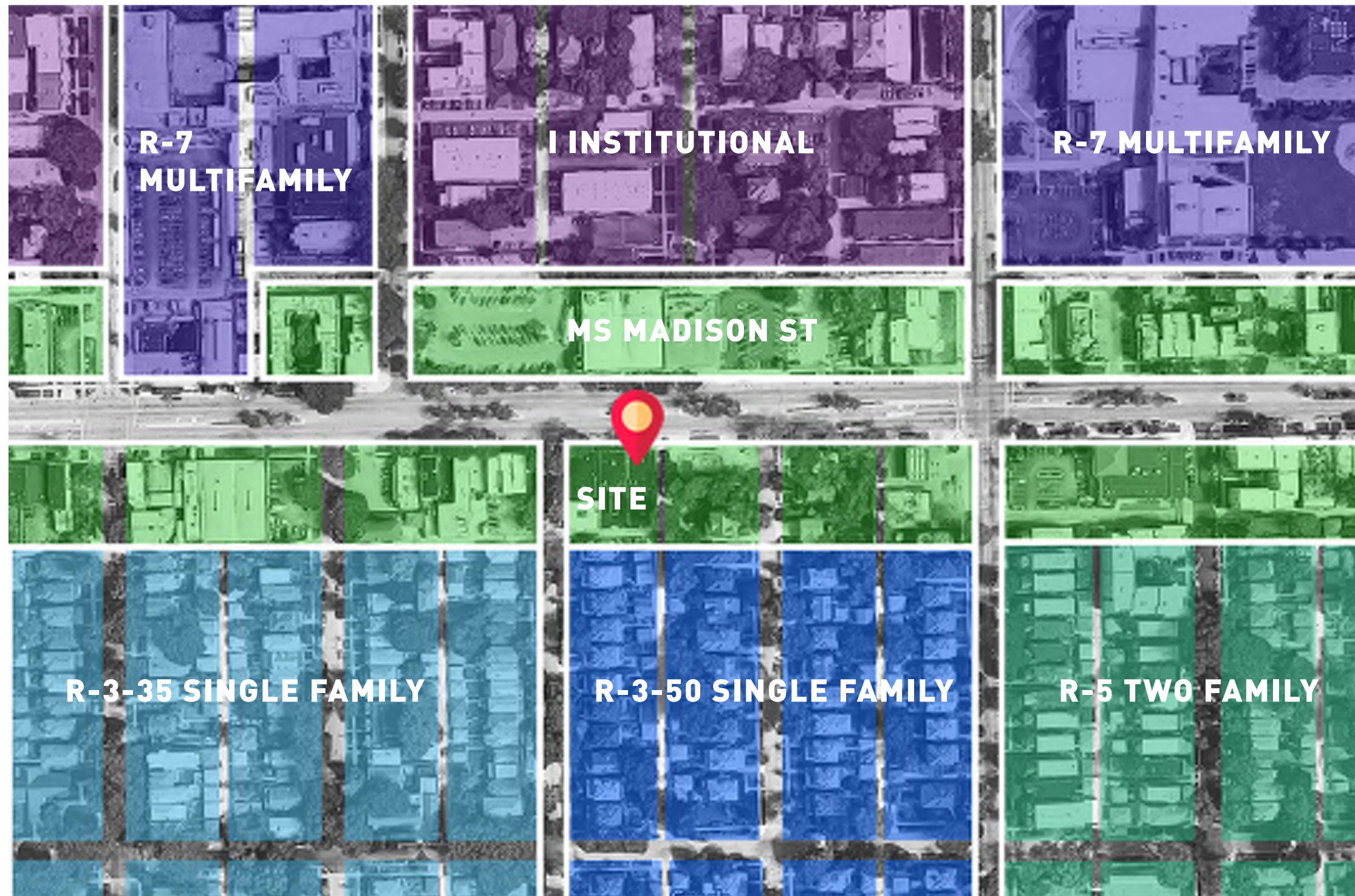
Building Elevations

Streetscape Elevations

Shadow Study

Construction Logistics Plan

Project Schedule
See Exhibit A



1 ZONING MAP
SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS A0.1 11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

© 2019 SPACE Architects + Planners

MADISON ST

TWO-WAY TRAFFIC

REPLACE SIDEWALKS @
MADISON & GUNDERSON
STREETS - TYP.

PARK BENCHES W/ PAVERS
AS INDICATED

GUNDERSON AVE

TWO-WAY TRAFFIC

LOADING
10' X 25'

GARBAGE TRUCK

GARBAGE / RECYCLING ROUTE

ELEC METERS

435 MADISON AVE.
5 STORY BUILDING
48 RESIDENTIAL UNITS
48 PARKING SPACES

STAIR

A/C UNITS @
ROOF - TYP.

ELEV.

L.W.

L.W.

STAIR

GAS METERS

8' PUBLIC ALLEY

ARCHITECT OF RECORD
JAY KELLER, AIA, NCARB, LEED AP BD+C
2149 N. TALMAN AVE. CHICAGO, IL
IL LIC. - 001 - 018443
IL. REG. - 184.005142-0001

CLIENT
TOM MEADOR
MICHIGAN AVENUE R.E. GROUP
1259 W. MADISON ST.
CHICAGO, IL 60607

SITE AREA
18,562 SF

FLOOR 1 AREA
17,348 SF

FLOORS 2-5 AREA
15,145 SF

TOTAL BUILDING AREA
77,928 SF

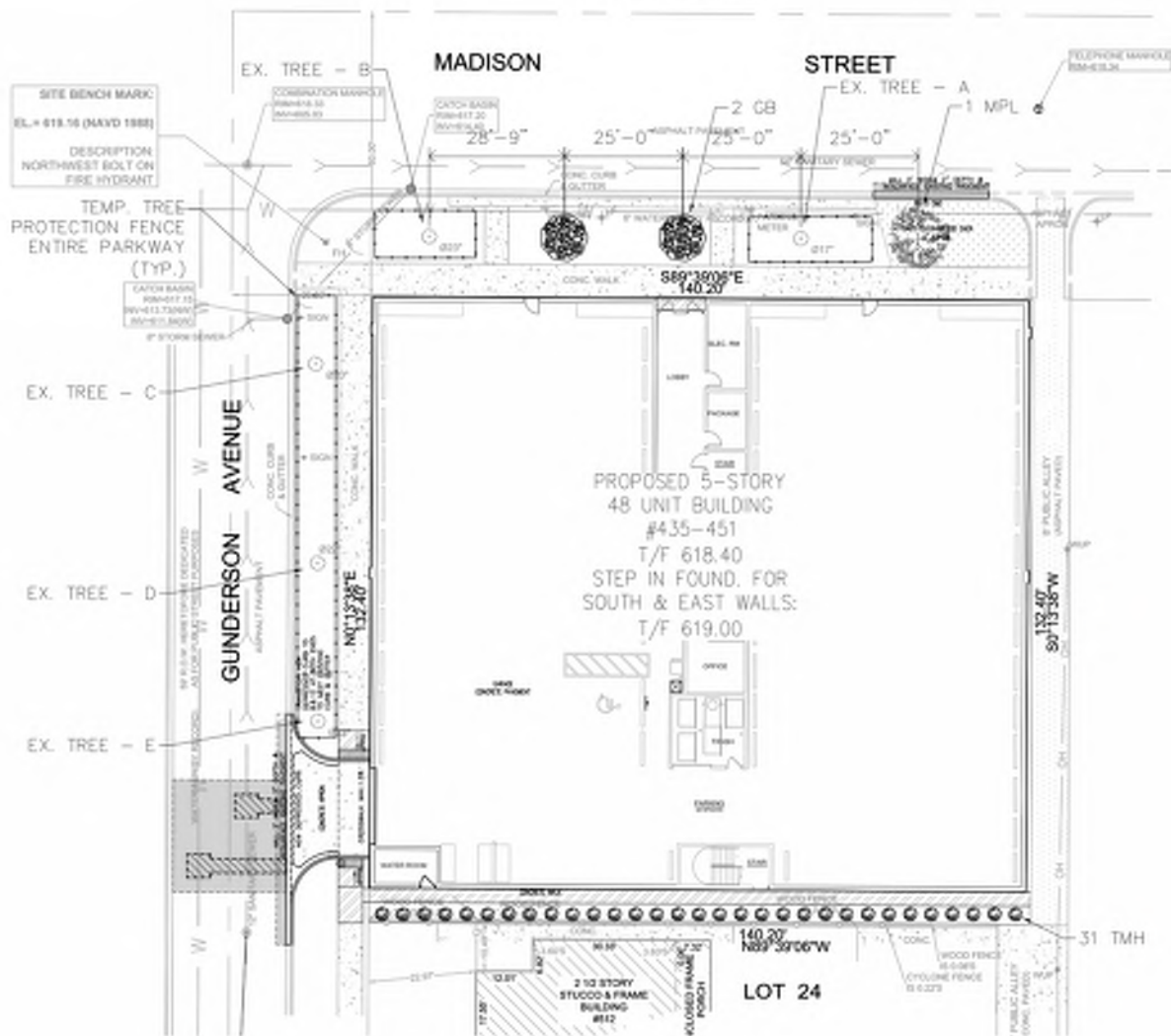
1 SITE PLAN
SCALE: 1/16" = 1'-0"



SPACE ARCHITECTS + PLANNERS	A0.6
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	

© 2019 SPACE Architects + Planners

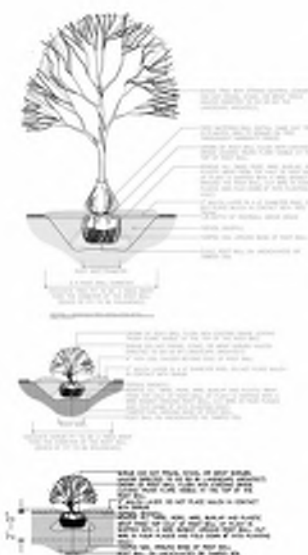
12' R.O.V. HERETOFORE DEDICATED
AS FOR PUBLIC STREET PURPOSES



PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIBER	HEIGHT	SPREAD	ROOT	REMARKS
1	SP. PRUNUS	SP. PRUNUS	11	1 1/2"	12'	12'	12'	SEE 2019 SPEC. BOOK 20-2000 20-2100
2	SP. PRUNUS	SP. PRUNUS	11	1 1/2"	12'	12'	12'	SEE 2019 SPEC. BOOK 20-2000 20-2100
3	SP. PRUNUS	SP. PRUNUS	11	1 1/2"	12'	12'	12'	SEE 2019 SPEC. BOOK 20-2000 20-2100
4	SP. PRUNUS	SP. PRUNUS	11	1 1/2"	12'	12'	12'	SEE 2019 SPEC. BOOK 20-2000 20-2100
5	SP. PRUNUS	SP. PRUNUS	11	1 1/2"	12'	12'	12'	SEE 2019 SPEC. BOOK 20-2000 20-2100

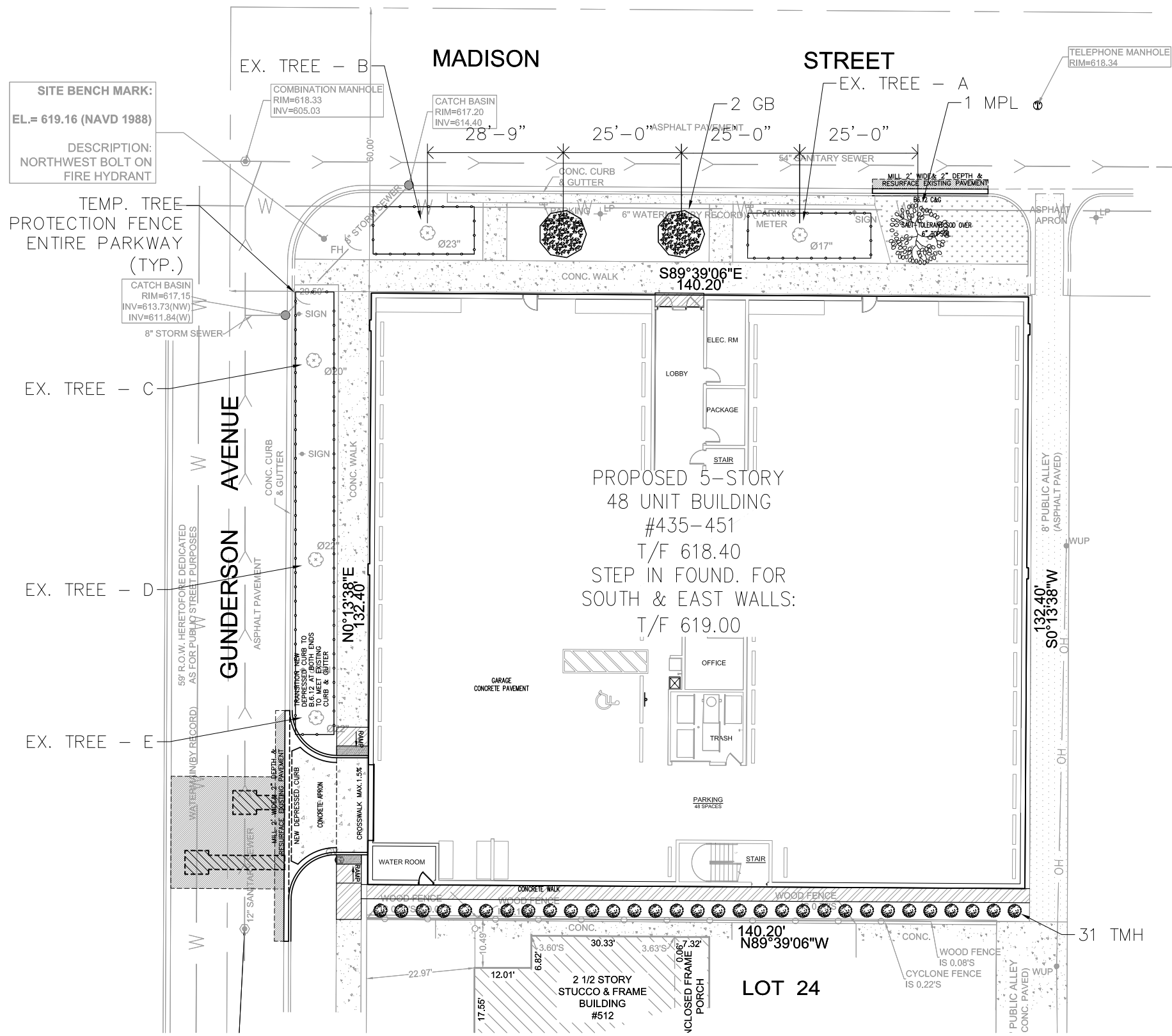
1 LANDSCAPE PLAN
SCALE: N.T.S.



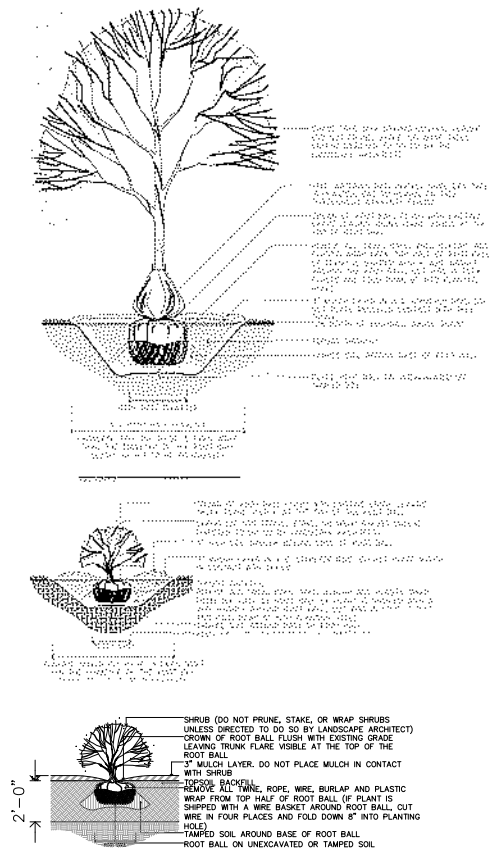
SPACE A0.8
ARCHITECTS + PLANNERS 11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

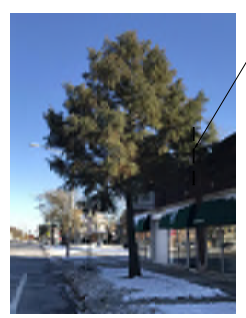
120' R.O.W. HERETOFORE DEDICATED AS FOR PUBLIC STREET PURPOSES



PLANTING NOTES



1. LANDSCAPE CONTRACTOR (hereinafter "Contractor") shall verify the site, inspect existing conditions and locate underground utilities and structures prior to commencement of site work. In case of discrepancy between plan and field, plan shall govern.
2. Contractor shall verify location of all existing utilities prior to beginning construction on the project. Electrical, gas, sewer, and other utilities may be located by calling Digger's Hotline at (1-800-487-6273), and proper pipeline may be located by calling Digger's Hotline at (1-800-720-8273). Any damage to or relocation of services shall be the responsibility of the Contractor. Contractor shall coordinate all related activities with proper agencies on the job and shall report any discrepancies for conditions to District Representative prior to commencing work.
3. Contractor responsible for registration and root of all necessary building permits and local ordinances. Submit copies of all documents to Owner and the Architect.
4. All final tree and shrub shall be installed with a 2" continuous layer of directed bark. All ground cover and mulch shall meet the minimum 1/2" layer of directed bark. All protective wrap shall be removed within 30 days of planting. All equipment shall be removed from the site prior to the start of the next work phase. All equipment shall be removed from the site prior to the start of the next work phase.
5. Personnel and ground cover shall be removed within 30 days of installation. Personnel shall be removed from the site within 30 days of installation. Personnel shall be removed from the site within 30 days of installation.
6. Fencing to be installed around planting area to be removed within 30 days of the start of the next work phase. Fencing shall be removed within 30 days of the start of the next work phase. Fencing shall be removed within 30 days of the start of the next work phase.
7. The final condition for this project shall be as follows:
 Contractor shall be required to place and finish grade typical supplied by notes at specified levels in planting and lawn areas. (Planting areas 12 inches) lawn areas (6 inches).
8. Supervision of plants for one (1) year shall begin after acceptance by the Architect and the Owner. The Owner shall assume maintenance responsibility of all plant material, including watering, fertilizing, weeding, staking, and spraying or releasing to keep plants free of insects and diseases. Vegetation shall be maintained in good condition at all times. The Contractor shall guarantee all plants to be in a healthy, vigorous condition for a period of one (1) year following acceptance. Contractor shall replace within 30 days of the end of the guarantee period. Replacement responsibility of plant material shall be borne jointly by Contractor and Owner. Owner shall pay reasonable cost of plant material, plus reasonable charge for delivery; and Contractor shall bear cost of labor for installation per specifications.
9. Areas that will be a combination of progress, pavement and the below will require watering by owner. 30% spray fertilizer nitrogen 70% pure - weekly. 2000 ppm feeding also follow 2000 ppm iron feeding 1000 ppm boron feeding. Fertilizer to be applied at a rate of 4 lbs per 1000 sq ft. All watered areas shall be watered at a rate of 1/2" to 1" per 1000 sq ft. Second application of 1/2" to 1" to be applied at a rate of 4 lbs per 1000 sq ft. After final watering, acceptance and guarantee shall apply to all planted areas.
10. Responsibility of planting and watering shall be by the Architect and Owner. The Contractor shall assume maintenance responsibility for a minimum of one (1) year after all work is completed. Maintenance shall include watering, weeding, staking and other operations necessary to keep lawn in working condition. Areas that are occupied by the Architect prior to the start of the project shall be the responsibility of the Architect. Areas that are occupied by the Contractor shall be the responsibility of the Contractor. Areas that are occupied by the Contractor shall be the responsibility of the Contractor. Areas that are occupied by the Contractor shall be the responsibility of the Contractor.



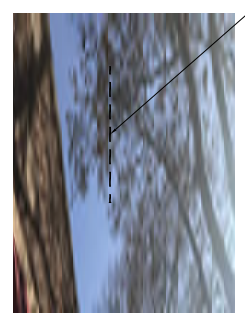
EX. TREE - A



EX. TREE - B



EX. TREE - C



EX. TREE - D



EX. TREE - E

CROWN PRUNE BOTTOM BRANCHES THAT ARE BELOW 14' ABOVE GRADE. PRUNE 12" FROM FACE OF BUILDING. BUILDING FACE HAS 6' SETBACK ABOVE 14' ABOVE GRADE.

CROWN PRUNE BRANCHES 12" FROM FACE OF BUILDING. BUILDING FACE HAS 6' SETBACK ABOVE 14' ABOVE GRADE.

CROWN PRUNE BRANCHES 12" FROM FACE OF BUILDING

CROWN PRUNE BRANCHES 12" FROM FACE OF BUILDING

CROWN PRUNE BRANCHES 12" FROM FACE OF BUILDING

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

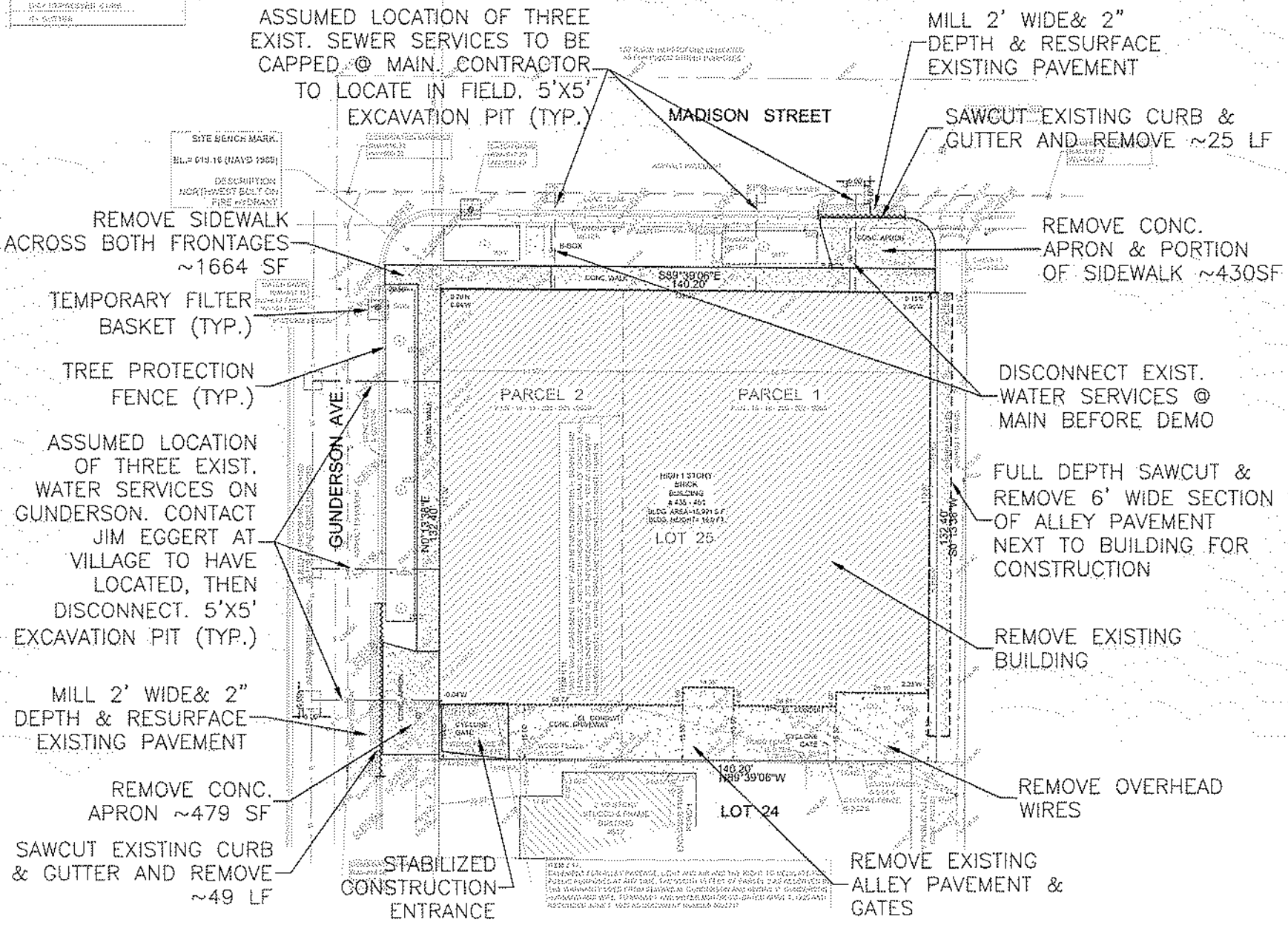
PLANT LIST	CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
TREES	MPL	ALER PLATANOIDES 'CRIMSON KING'	NORWAY MAPLE	1	2.5"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
TREES	GB	GINKGO BILOBA	GINKGO	2	2.5"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
SHRUBS	1MPL	TAXUS X MEDIA 'HOKUSI'	HOKUSI YEW	31	-	-	-	#5 CONTAINER	-

1 LANDSCAPE PLAN
SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS A0.8 11.15.19

MADISON GUNDERSON PLACE
 435 MADISON ST. OAK PARK, IL
 MICHIGAN AVE. R.E. GROUP

1	EXIST. CURB
2	EXIST. GUTTER
3	EXIST. SIDEWALK
4	EXIST. DRIVEWAY
5	EXIST. ALLEY
6	EXIST. CONC. APRON
7	EXIST. CONC. DRIVEWAY
8	EXIST. CONC. SIDEWALK
9	EXIST. CONC. DRIVEWAY
10	EXIST. CONC. SIDEWALK
11	EXIST. CONC. DRIVEWAY
12	EXIST. CONC. SIDEWALK
13	EXIST. CONC. DRIVEWAY
14	EXIST. CONC. SIDEWALK
15	EXIST. CONC. DRIVEWAY
16	EXIST. CONC. SIDEWALK
17	EXIST. CONC. DRIVEWAY
18	EXIST. CONC. SIDEWALK
19	EXIST. CONC. DRIVEWAY
20	EXIST. CONC. SIDEWALK



Preliminary Engineering Cost Estimate of Site Improvements

Proposed Multi-family Residential building
435 Madison Ave., Oak Park, IL
DATE: 10.16.2018

PREPARED BY: WH

ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	SUB-GROUP TOTAL
Erosion Control Earth Moving					\$6,613.00
Tree Fence	lin. ft.	339	\$2.00	\$678.00	
Stabilized Construction Entrance	ea	1	\$600.00	\$600.00	
Daily Street Cleaning	lump sum	1	\$5,000.00	\$5,000.00	
Concrete Washout	ea	1	\$85.00	\$85.00	
Filter Basket	ea	2	\$125.00	\$250.00	
Site Preparation					\$14,277.27
Curb & Gutter Removal	12	74	\$3.00	\$222.00	
Sidewalk/Driveway/Alley Removal	sq. ft.	4676	\$3.00	\$14,028.00	
Rough Grading and Preliminary Seeding	acre	0.02	\$1,200.00	\$27.27	
Sanitary/Combined Sewer service					\$15,400.00
Disconnection of Exist. Sanitary Service	ea	3	\$4,500.00	\$13,500.00	
Sanitary/Combined Service (8" PVC SDR 26)	lin. ft.	28	\$50.00	\$1,400.00	
Connection to Existing Main	ea	1	\$500.00	\$500.00	
Water Service					\$35,367.05
Disconnection of Exist. Water Service	ea	5	\$5,000.00	\$25,000.00	
Water Main (6" DIP Class 52)	lin. ft.	95	\$34.39	\$3,267.05	
Water Service B-Box	ea	1	\$100.00	\$100.00	
5' Vault	ea	1	\$3,500.00	\$3,500.00	
Water Valves	ea	1	\$1,500.00	\$1,500.00	
Taps to Existing Main	ea	1	\$2,000.00	\$2,000.00	
Final Restoration					\$40,177.71
Final Grading and Lawn Establishment	sq. yd.	120.00	\$2.50	\$300.00	
Curb & Gutter	lin. ft.	74	\$15.00	\$1,110.00	
Street Resurfacing	sq. ft.	2,897	\$3.00	\$8,691.00	
Pavement Patch	sq. ft.	783.00	\$22.00	\$17,226.00	
Asphalt Pavement	sq. ft.	625	\$8.00	\$5,000.00	
Conc. Sidewalk	sq. ft.	2,229	\$6.99	\$15,580.71	
Driveway - Concrete Pavement	sq. ft.	327	\$10.00	\$3,270.00	
Landscape					\$8,000.00
Landscaping	lump sum	1.00	\$8,000.00	\$8,000.00	
				\$12,012.25	
TOTAL					\$119,835

Note: This estimate was prepared using standard cost estimating practices. It is understood that Bono Consulting Inc. has no control over costs, the price of labor, equipment or materials, or over the Contractor's method of pricing.

1 **SITE & OFF SITE UTILITY WORK**
SCALE: N.T.S.

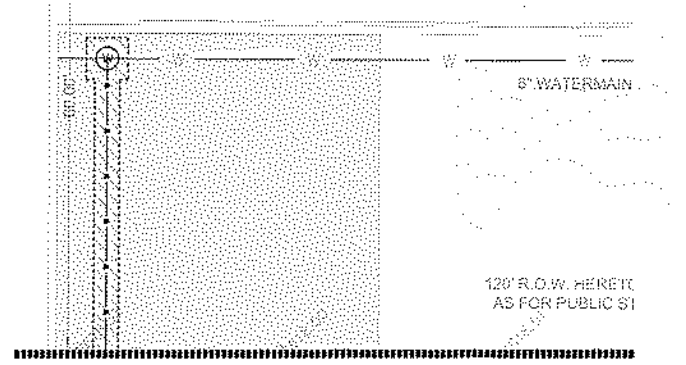
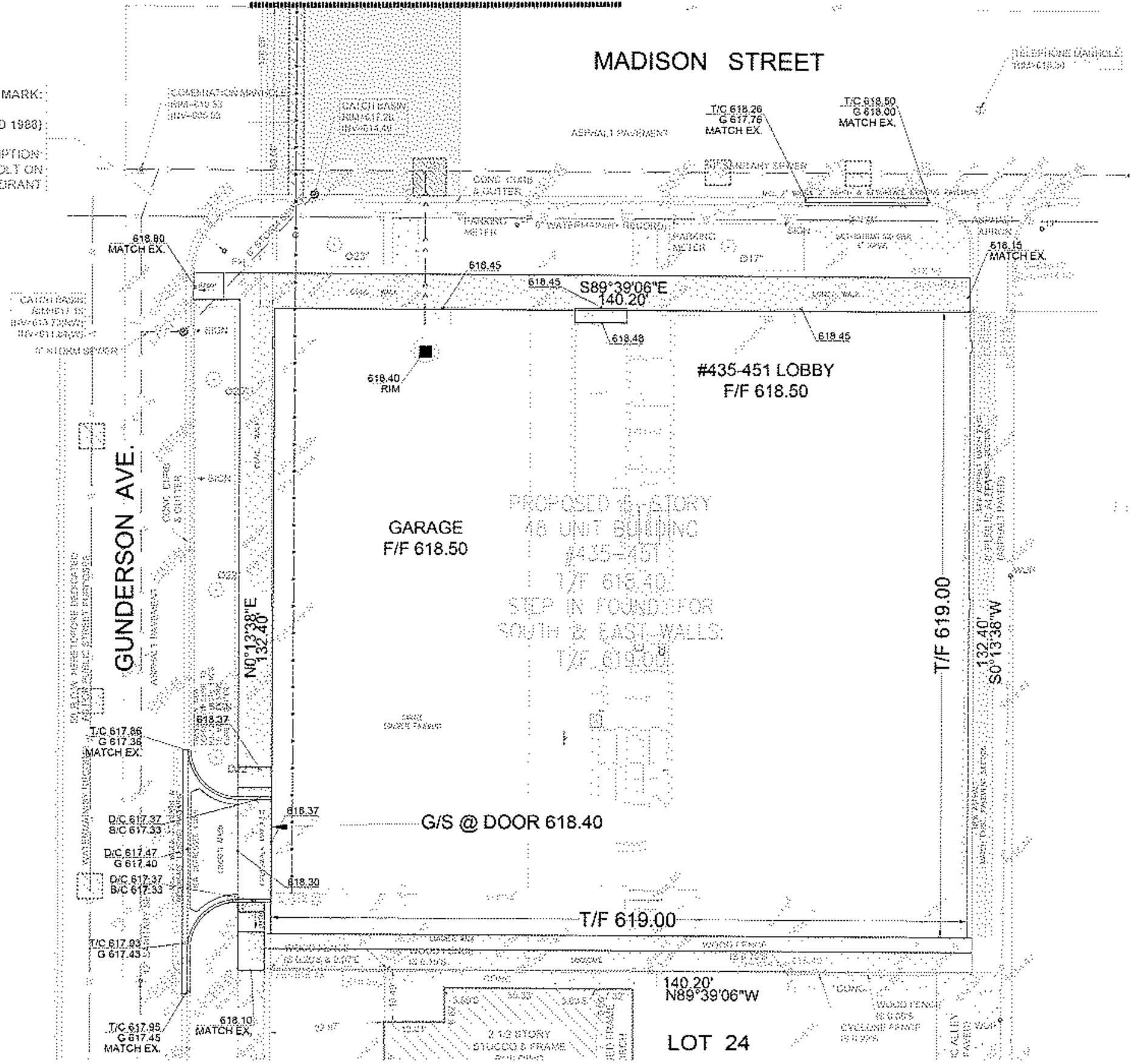
2 **COST ESTIMATE**
SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS A0.9 11.15.19
MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

MATCH LINE SEE THIS SHEET

MADISON STREET

SITE BENCH MARK:
 EL. = 619.16 (NAVD 1988)
 DESCRIPTION:
 NORTHWEST BOLT ON
 FIRE HYDRANT



MATCH LINE SEE THIS SHEET

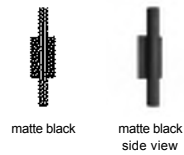
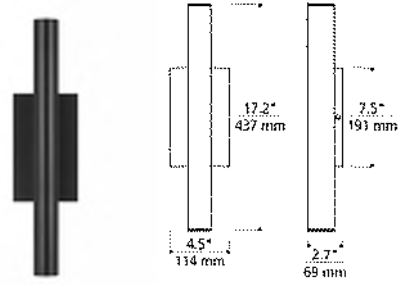
1 GRADING & DRAINAGE PLAN
 SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS
 A0.10
 11.15.19
 MADISON GUNDERSON PLACE
 435 MADISON ST. OAK PARK, IL
 MICHIGAN AVE. R.E. GROUP

Chara 17 Outdoor Wall 300 ADA 120

DESCRIPTION
Strikingly elegant in its simplicity, the Chara by Tech Lighting is a tubular wall sconce design that creates a modern industrial look. Chara produces abundant up and down lighting for indoor or outdoor illumination. Offered in two finishes, Black and Satin Nickel and three sizes to fit any setting. ADA compliant.

WEIGHT
3-3lb / 1.36-1.36kg ±



ORDERING INFORMATION

700OWCHA	CRI	COLOR TEMP	LENGTH (A)	FINISH	VOLTAGE		
9	90 CRI	30	3000K	17	17"	B BLACK	UNV 120-277V

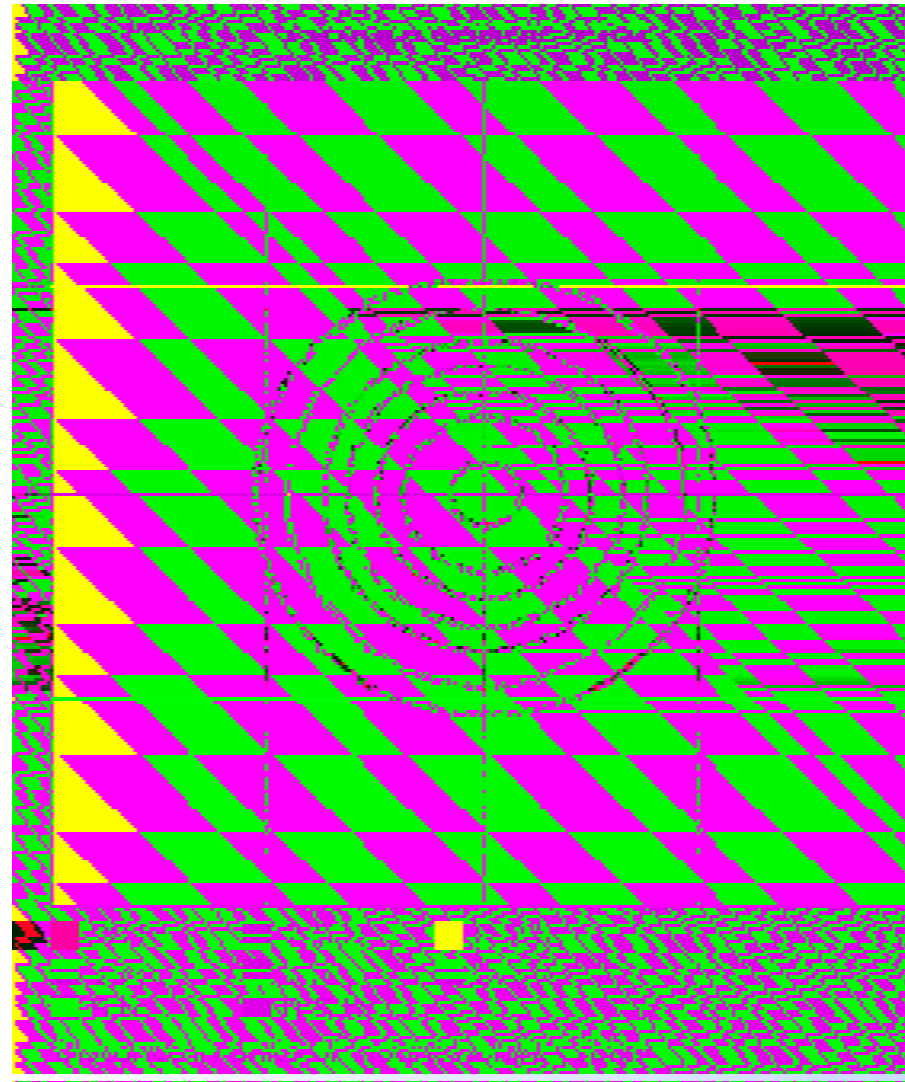
TECH LIGHTING
7400 Linder Avenue
Skokie, Illinois 60077
T 847.410.4400
F 847.410.4500
Tech Lighting, L.L.C.

700OWCHA

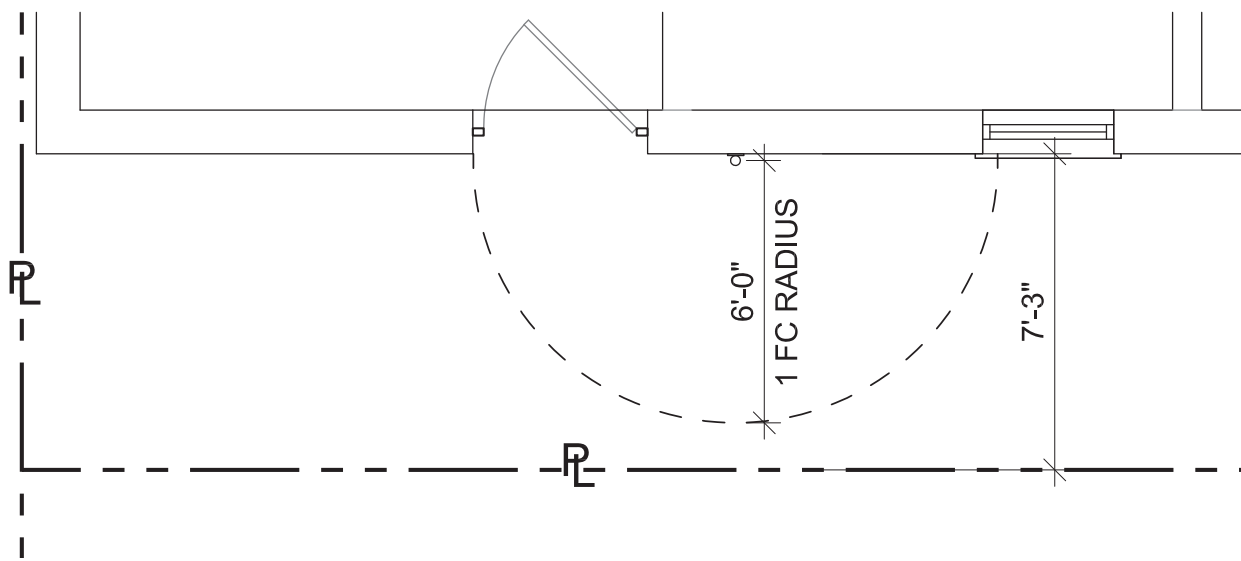
FIXTURE TYPE: _____

JOB NAME: _____

NOTES: _____



©2019 Tech Lighting, L.L.C. All Rights Reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, L.L.C. Tech Lighting reserves the right to change specifications for product improvements without notification.



NOTE: SPEC SHEET & ISOFOOTCANDEL PLOT PROVIDED BY MFR.

1 PHOTOMETRIC DIAGRAM - TYPICAL LIGHT CONDITION AT SOUTH PROPERTY LINE
SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS A0.12
11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

MADISON ST

TWO-WAY TRAFFIC

GUNDERSON AVE

TWO-WAY TRAFFIC

PUBLIC ALLEY

GARBAGE TRUCK

LOADING
10' X 25'

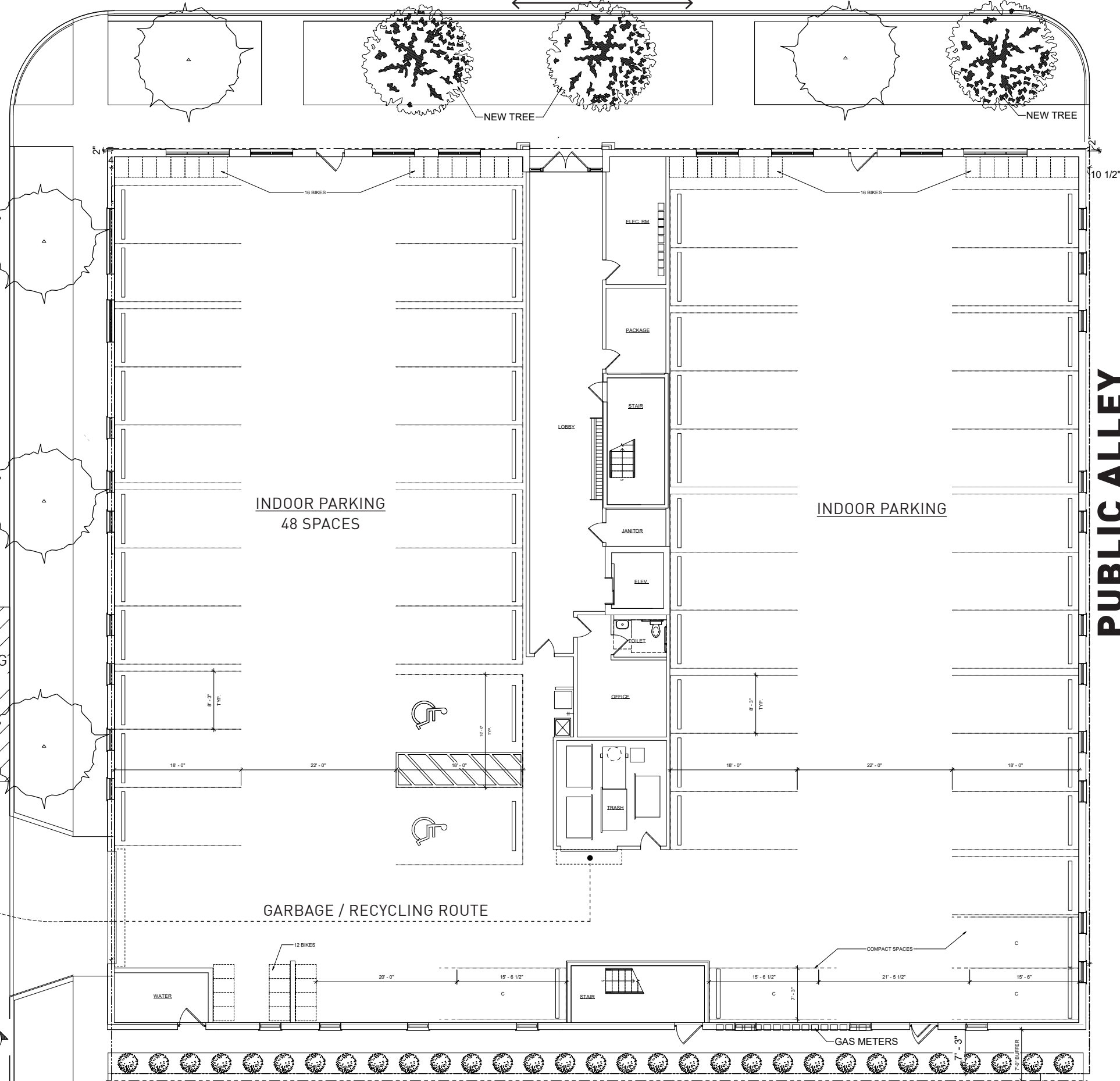
INDOOR PARKING
48 SPACES

INDOOR PARKING

GARBAGE / RECYCLING ROUTE

TYPICAL FLOOR AREA
FLOOR 1 ~ 17,348 SF

1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



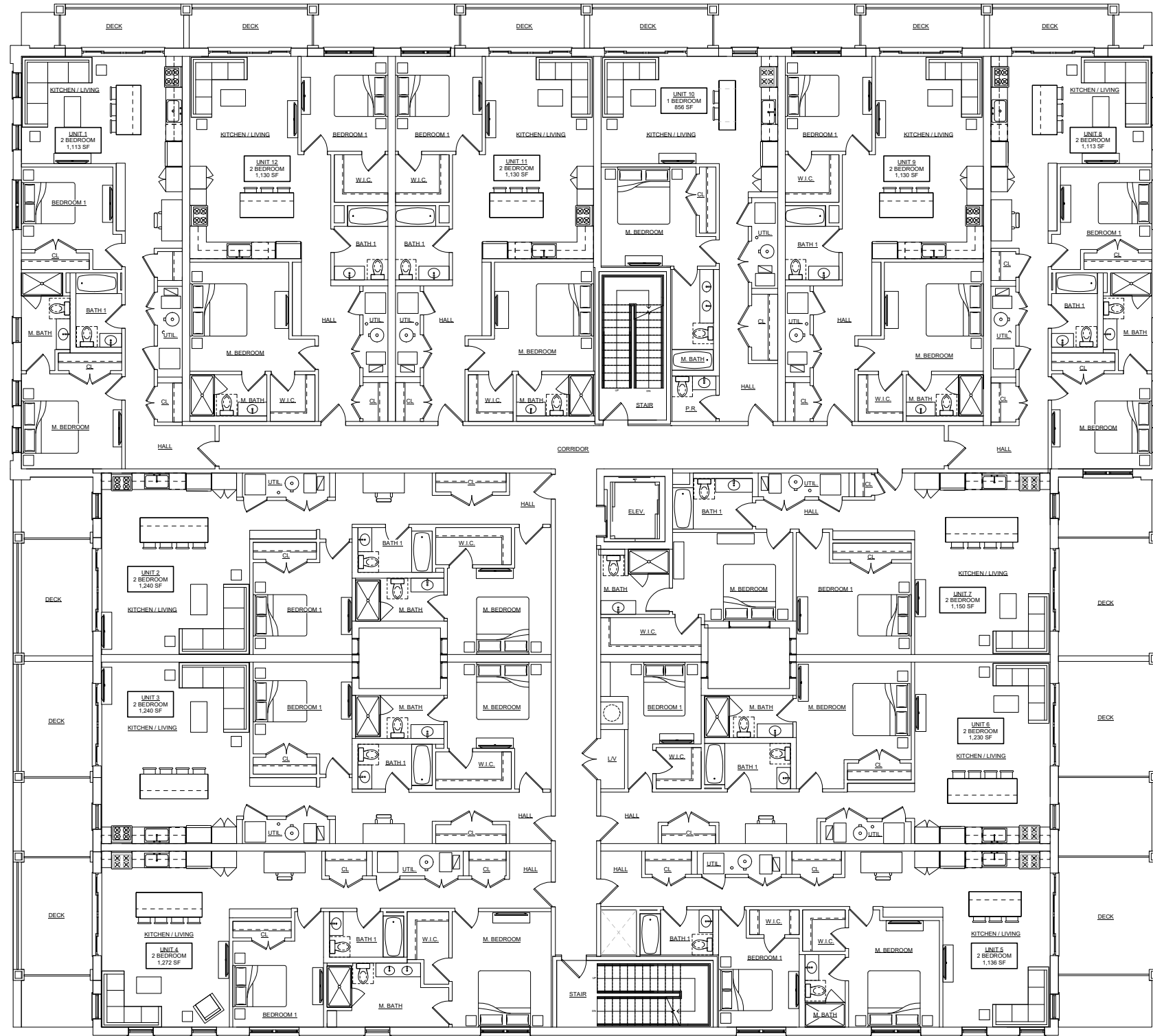
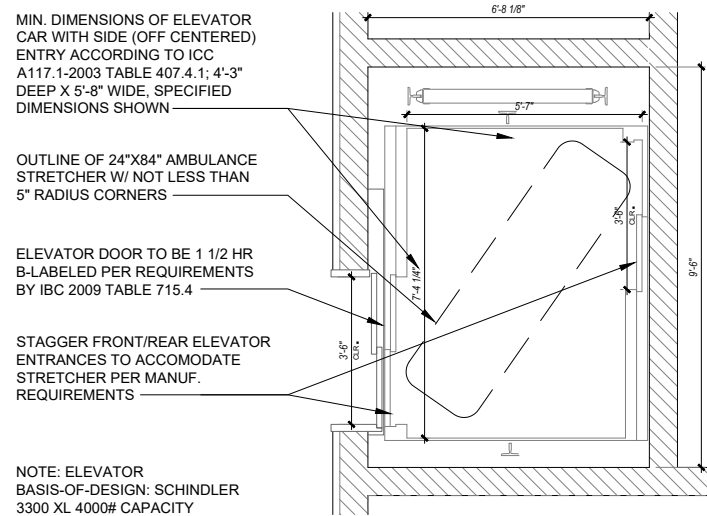
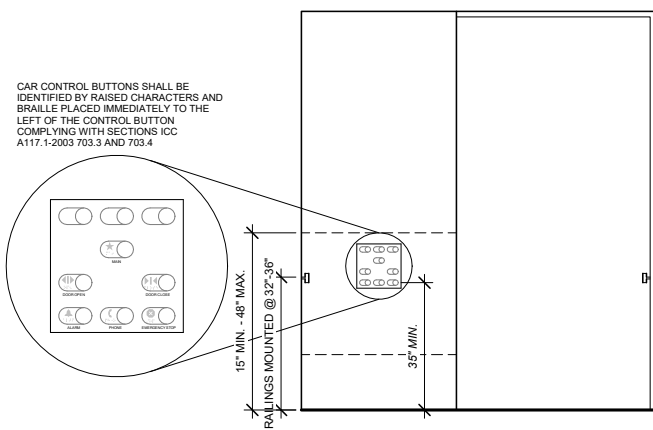
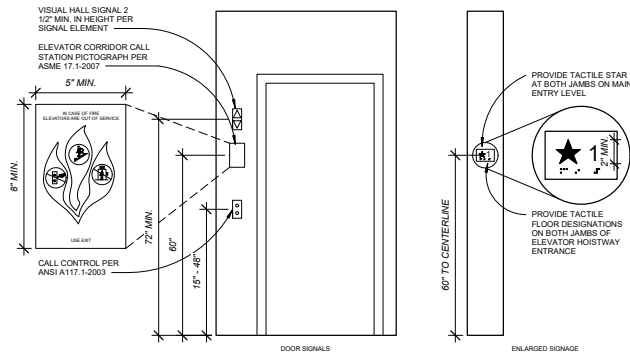
SPACE
ARCHITECTS + PLANNERS

A1.0

11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

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TYPICAL FLOOR AREA
FLOORS 2-5 ~ 15,145 SF

UNIT COMPOSITION

- (4) 1- BEDROOM UNITS ~ 856 SF
- (8) 2- BEDROOM UNITS ~ 1,113 SF
- (12) 2- BEDROOM UNITS ~ 1,130 SF
- (4) 2- BEDROOM UNITS ~ 1,136 SF
- (4) 2- BEDROOM UNITS ~ 1,150 SF
- (4) 2- BEDROOM UNITS ~ 1,230 SF
- (8) 2- BEDROOM UNITS ~ 1,240 SF
- (4) 2- BEDROOM UNITS ~ 1,272 SF

1 TYP. FLOOR PLAN
SCALE: 1/16" = 1'-0"

SPACE ARCHITECTS + PLANNERS A1.1
11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP



1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

SPACE ARCHITECTS + PLANNERS	A2.0
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	



1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

SPACE ARCHITECTS + PLANNERS	A2.1
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

SPACE ARCHITECTS + PLANNERS	A2.2
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

SPACE ARCHITECTS + PLANNERS	A2.3
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	



SPACE
ARCHITECTS + PLANNERS

A0.0
11.15.19

MADISON GUNDERSON PLACE
435 MADISON ST. OAK PARK, IL
MICHIGAN AVE. R.E. GROUP

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S. ELMWOOD AVE

8' PUBLIC ALLEY

GUNDERSON AVE

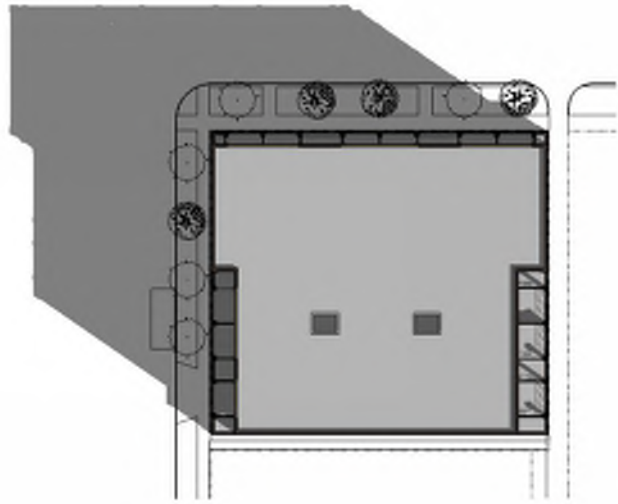
1 NORTH STREETSCAPE ELEVATION (MADISON ST.)
SCALE: 1/32" = 1'-0"

SPACE ARCHITECTS + PLANNERS	A0.4
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	

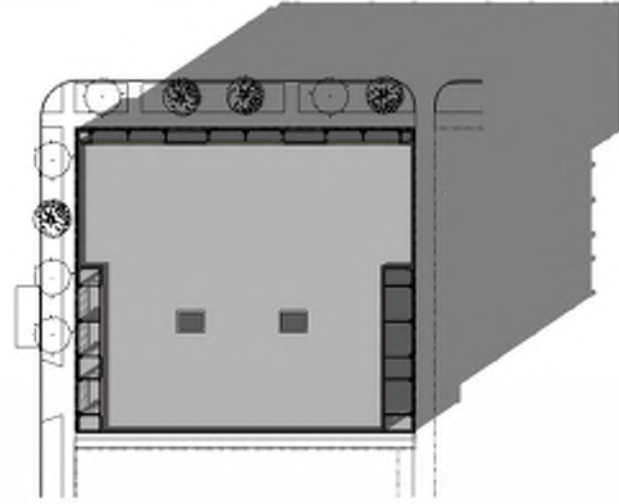
© 2019 SPACE Architects + Planners



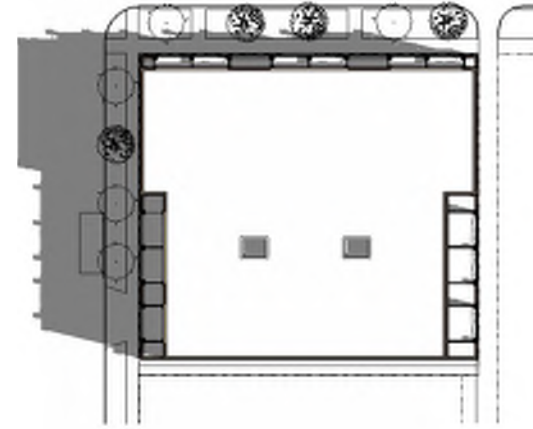
1 WEST STREETSCAPE ELEVATION (GUNDERSON AVE.)
SCALE: 1/32" = 1'-0"



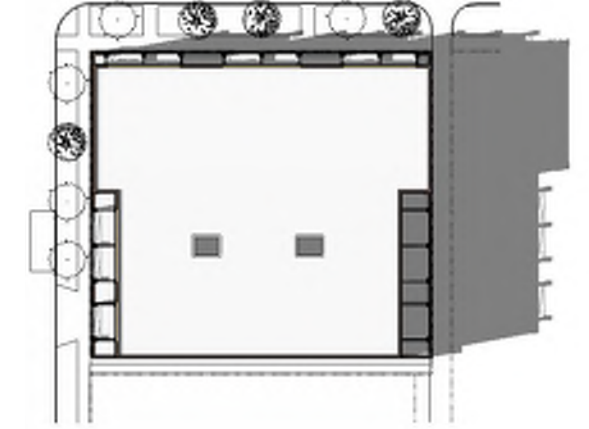
MARCH 20th - 9 AM



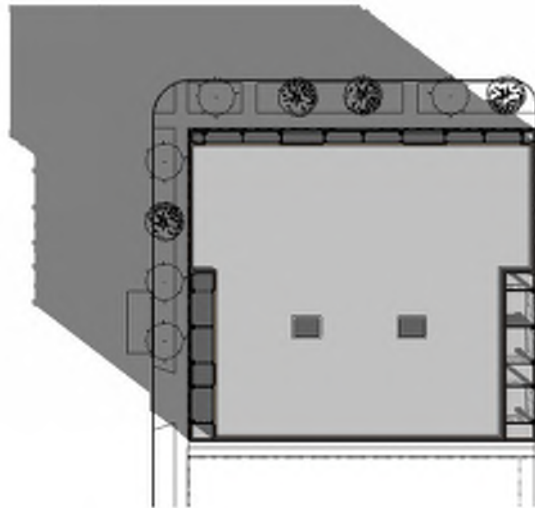
MARCH 20th - 3 PM



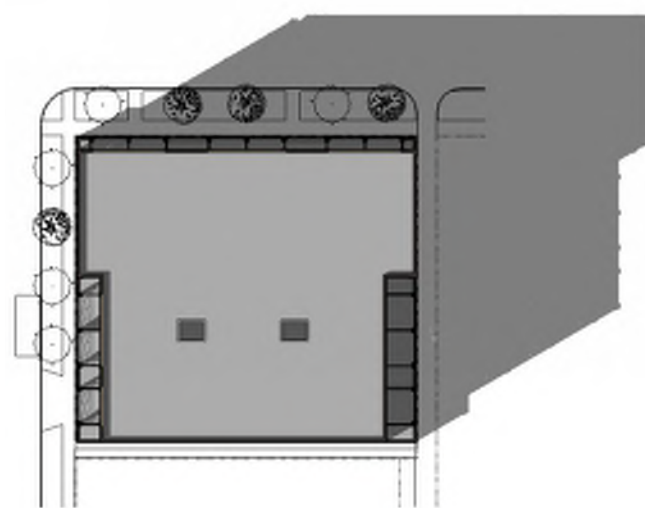
JUNE 21st - 9 AM



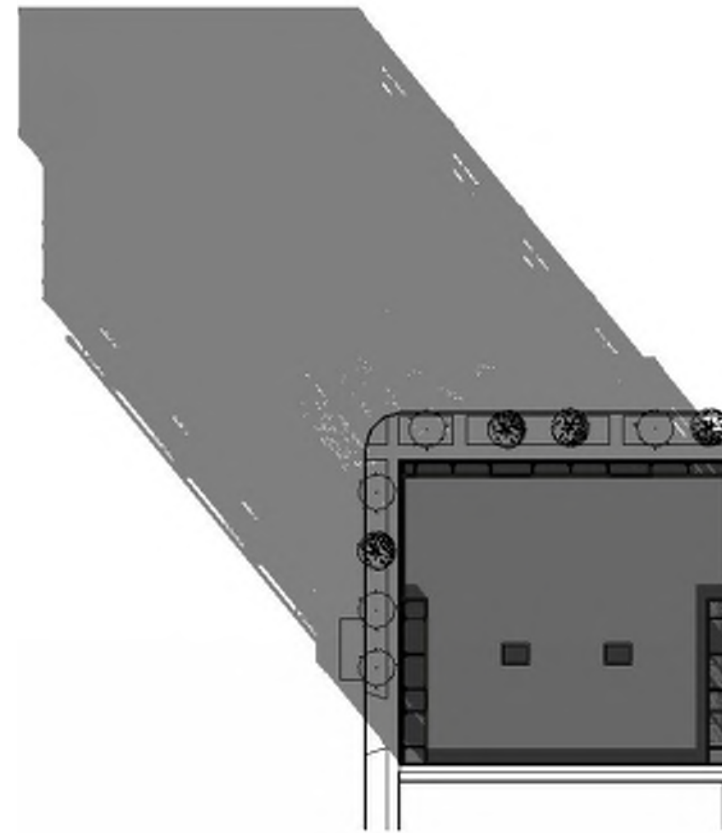
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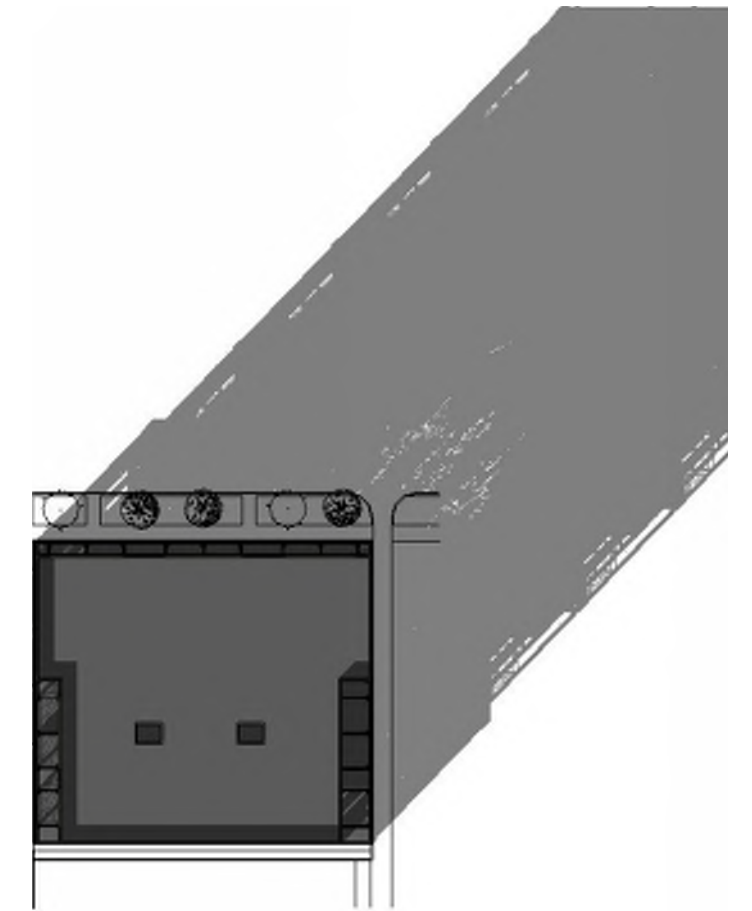
SEPTEMBER 22nd - 9 AM



SEPTEMBER 22nd - 3 PM



DECEMBER 21st - 9 AM



DECEMBER 21st - 3 PM

1 SHADOW STUDIES
SCALE: 1" = 80'-0"



NOTE:
 ESTIMATED LOCATIONS ARE BASED ON GENERAL CONTRACTOR'S CURRENT EVALUATION OF SITE CONDITIONS. GENERAL CONTRACTOR SHALL FIELD VERIFY, COORDINATE WITH CITY OFFICIALS AND ADJUST AS REQUIRED DURING THE COURSE OF CONSTRUCTION

1 CONSTRUCTION STAGING, DELIVERY, PARKING AND PEDESTRIAN PATH LOCATIONS
 SCALE: N.T.S.

SPACE ARCHITECTS + PLANNERS	A0.2
	11.15.19
MADISON GUNDERSON PLACE 435 MADISON ST. OAK PARK, IL MICHIGAN AVE. R.E. GROUP	

PD Application

Item 9

Inclusionary Housing Plan

The Developer's Plan is to be in full compliance with Oak Park's Inclusionary Housing Ordinance as found in Article 5 of the Village's Zoning Ordinance.

As such, the Developer provides the following outline of the Development as required by Section 12-5-4

A. General description:

The development The proposed development consists of the construction of a five story building with forty eight (48) units and forty eight (48) parking spaces. The ground floor consists of the residential lobby, elevator, surface parking, waste and recycling center, bicycle storage, mechanical and other building support areas. The upper floors consist of one and two bedroom units – 12 units per floor. Each unit has a balcony for outdoor living.

B. The total number of market rate units and each affordable unit.

The total number of units is 48. The Developer has elected, pursuant to Section 12-5-7, to make a payment in lieu of providing affordable dwelling units.

C. The number of bedrooms in each market rate dwelling unit and each affordable dwelling unit.

The development has 4 one bedroom units and 44 two bedroom units.

D. The square footage of each market rate dwelling unit and each affordable dwelling unit

The square footage for a one bedroom unit is 856 SF The square footage for a two bedroom unit is 1,113 SF to 1,272 SF

E. The general location of each affordable dwelling unit within the development.

Since the Developer has elected not to provide affordable units on site, this metric is not applicable.

F. The pricing schedule for each affordable dwelling unit and each affordable rate unit.

Since the Developer has elected not to provide affordable units on site, this metric is not applicable.

G. A description of the marketing plan that the applicant proposes to utilize and implement to promote the sale of the affordable dwelling units within the development.

Since the Developer has elected not to provide affordable units on site, this metric is not applicable.

H. Any proposal to make an in lieu of cash payment pursuant to section 12-5-7

The Developer has elected to provide a payment in lieu of providing affordable units on site pursuant to Section 12-5-7.

PD Application
Item 9
Inclusionary Housing Plan, continued

Developer's Statement on the Inclusionary Housing provision:

After deliberation within our staff, leasing consultants and operations personnel regarding the inclusion of affordable units within the development in accordance with the guidelines of the Village of Oak Park's, we determined that, we do many things well. However, we do not have experience in managing affordable housing programs. We believe that there exist, in Oak Park, developers and managers of affordable homes. These entities, such as the Oak Park Residence Corporation and others, maintain and manage affordable homes effectively. Therefore, we have in full compliance with the Zoning Ordinance, elected the "buy out" option and allow the Village of Oak Park to use the proceeds of the buy out to fund one of these entities that can more effectively, and in a more significant way, use the funds to further the Village's Goal of providing affordable housing for Oak Park residents.

PD Application
Item 10
Model

Since this development is not in the Downtown Business district, this section does not apply.

PD Application

Item 11

RESPONSIBILITY TO RECORD

The Applicant hereby certifies that a final plat of recordation shall be filed with Cook County upon the Village of Oak Park Granting the rights requested within this application.

PD Application
Item 12
PROPERTY OWNER NOTICES

A list of property owners within 300 feet of the development site was prepared by Real Info, Inc. A copy of this list is attached to the Application.

Affidavit of Notice

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

John S Schiess

(Printed Name of Applicant)



(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

17 DAY OF October, 2019



(Notary Public)



16-07-421-011-0000
FENWICK HIGH SCHOOL
505 W WASHINGTON BLVD
OAK PARK, IL 60302

16-07-421-016-0000
AG INVESTMENTS
542 GUNDERSON
OAK PARK, IL 60304

16-07-421-019-0000
NOT VALID

16-07-421-019-1001
AXAR CORPORATION
404 S WARWICK AVE
WESTMONT, IL 60559

16-07-421-019-1002
CATHERINE G KEARNS
506 MADISON ST APT 1S
OAK PARK, IL 60302

16-07-421-019-1003
JOSHUA M SUSZEK
506 MADISON ST APT 1N
OAK PARK, IL 60302

16-07-421-019-1004
BRIAN K HYATT
506 MADISON ST 2S
OAK PARK, IL 60302

16-07-421-019-1005
VIVIAN M PAREJA
506 MADISON ST APT 2N
OAK PARK, IL 60302

16-07-421-019-1006
TAXPAYER OF
506 W MADISON #-3S
OAK PARK, IL 60302

16-07-421-019-1007
ANN E FARRELL
506 MADISON 3N
OAK PARK, IL 60302

16-07-421-019-1008
CRONUS PROJECTS LLC
PO BOX 417
HINSDALE, IL 60522

16-07-421-019-1009
TERRY TENNES
508 MADISON #1S
OAK PARK, IL 60302

16-07-421-019-1010
DEBORAH CORTEZ
508 MADISON 1N
OAK PARK, IL 60302

16-07-421-019-1011
BRENDAN KELLY
508 MADISON 2S
OAK PARK, IL 60302

16-07-421-019-1012
JOHN PONTIKIS
1241 CEDARWOOD LN
GLENVIEW, IL 60025

16-07-421-019-1013
ANDREW EBERLE
508 MADISON ST APT 3S
OAK PARK, IL 60302

16-07-421-019-1014
JOHN DAMBROGIO
508 MADISON ST APT 3N
OAK PARK, IL 60302

16-07-421-019-1015
JOHN LAWSON
510 MADISON #1S
OAK PARK, IL 60302

16-07-421-019-1016
ANYA STEVENS
510 MADISON ST 1N
OAK PARK, IL 60302

16-07-421-019-1017
SHARON A DONNELLY
510 MADISON ST 2S
OAK PARK, IL 60302

16-07-421-019-1018
JUAN ALMAZAN
510 MADISON ST APT 2N
OAK PARK, IL 60302

16-07-421-019-1019
TATIANA M BONUMA
901 N WOOD ST UNIT 1
CHICAGO, IL 60622

16-07-421-019-1020
RICHARD PROKUP
510 MADISON ST APT 3N
OAK PARK, IL 60302

16-07-421-019-1021
JOHN LONGINOTTI
409 LATHROP AVE 1D
RIVER FOREST, IL 60305

16-07-421-019-1022
SADIE DAUGHTREY
512 MADISON
OAK PARK, IL 60302

16-07-421-019-1023
BRYAN BOLDEN
512 MADISON 1N
OAK PARK, IL 60302

16-07-421-019-1024
MARGARITA TORRES
512 W MADISON 2S
OAK PARK, IL 60302

16-07-421-019-1025
LINDA SIMON PRICE
512 MADISON ST #2N
OAK PARK, IL 60302

16-07-421-019-1026
JOY BUNTON
512 MADISON ST 3S
OAK PARK, IL 60302

16-07-421-019-1027
RANI ASSOCIATES LLC
2463 WEST BRANCH COURT
NAPERVILLE, IL 60565

16-07-421-020-0000
427-429 S. SCOVILLE LL
427 -429 S SCOVILLE AVE
OAK PARK, IL 60302

16-07-421-021-0000
423 425 S SCOVILLE LLC
505 WASHINGTON
OAK PARK, IL 60302

16-07-422-010-0000
MARILYN S VICKERS
422 S SCOVILLE AVE
OAK PARK, IL 60302

16-07-422-011-0000
428 SCOVILLE APARTMENT
2034 N CLARK ST
CHICAGO, IL 60614

16-07-422-012-0000
NEW ALBERTSONS LLC
990 PO BOX
MINNEAPOLIS, MN 55440

16-07-422-018-0000
J DENIS GATHMAN
431 S ELMWOOD AVE
OAK PARK, IL 60302

16-07-422-025-0000
NEW ALBERTSONS LLC
PO BOX 990
MINNEAPOLIS, MN 55440

16-07-422-027-0000
PATRICK OBRIEN
100 CENTRAL AV #E911
SARASOTA, FL 34236

16-07-422-029-0000
NOT VALID

16-07-422-029-1001
PAMELA J ANDREWS
3031 INDIANWOOD ROAD
WILMETTE, IL 60091

16-07-422-029-1002
CHRISTOPHER S SUNNER T
414 S SCOVILLE AVE #3
OAK PARK, IL 60302

16-07-422-029-1003
MIA YOUNG
414 S SCOVILLE A3
OAK PARK, IL 60302

16-07-422-029-1004
TASHA UNDERWOOD
414 S SCOVILLE A4
OAK PARK, IL 60302

16-07-422-029-1005
HEIDI J BELEC
414 S SCOVILLE AVE #6
OAK PARK, IL 60302

16-07-422-029-1006
SUFANG CHEN
414 S SCOVILLE AVE #7
OAK PARK, IL 60302

16-07-422-029-1007
ORLANDO ROUTEN
5625 MURRAY DR
BERKELEY, IL 60163

16-07-422-029-1008
CLOTIEL R MITCHELL
414 S SCOVILLE
OAK PARK, IL 60302

16-07-422-029-1009
VERONICA LONGSTREET
414 S SCOVILLE #2
OAK PARK, IL 60302

16-07-422-029-1010
CHARISSE STEWART
1205 MARIPOSA AVE #224
CORAL GABLES, FL 33146

16-07-422-029-1011
MALGORZATA BATKO
414 S SCOVILLE 14
OAK PARK, IL 60302

16-07-422-029-1012
SHEILA TOWNSEND
414 S SCOVILLE
OAK PARK, IL 60302

16-07-422-029-1013
MARGARET MINER
710 SENECA PLACE
MADISON, WI 53711

16-07-422-029-1014
MARLENE GALVEZ
414 S SCOVILLE #B7
OAK PARK, IL 60302

16-07-422-029-1015
MARIA C DELGADO
414 S SCOVILLE #18
OAK PARK, IL 60302

16-07-422-029-1016
MARIBEL TEJEDA
414 S SCOVILLE AVE #21
OAK PARK, IL 60302

16-07-422-029-1017
RENNIE FELLS OLUDU
414 S SCOVILLE 22
OAK PARK, IL 60302

16-07-422-029-1018
MARTINS A ADEOYE
414 S SCOVILLE
OAK PARK, IL 60302

16-07-422-029-1019
KAREN WEED
1209 N EAST
OAK PARK, IL 60302

16-07-422-029-1020
GEORGE ALVARDO JR
414 S SCOVILLE AVE 25
OAK PARK, IL 60302

16-07-422-029-1021
VYGANAS CIULADA
414 S SCOVILLE AVE C6
OAK PARK, IL 60302

16-07-422-029-1022
KATHERINE SCOTT
414 S SCOVILLE 27
OAK PARK, IL 60302

16-07-422-029-1023
JOHN L GUNARTT
414 S SCOVILLE AV
OAK PARK, IL 60302

16-07-422-032-0000
NOT VALID

16-07-422-032-1001
SEAN TURNER
425 S ELMWOOD AVE #1
OAK PARK, IL 60302

16-07-422-032-1002
ARSHAD ZAMAN SHAHID
425 S ELMWOOD #3
OAK PARK, IL 60302

16-07-422-032-1003
LUCILLE SUGGS
425 S ELMWOOD AVE
OAK PARK, IL 60302

16-07-422-032-1004
STEVEN R SCHULD
425 S ELMWOOD AVE #5
OAK PARK, IL 60302

16-07-422-032-1005
SUSAN CASTELLANOS
425 S ELMWOOD AVE #6
OAK PARK, IL 60302

16-07-422-032-1006
ANIS BSISO
427 S ELMWOOD #1
OAK PARK, IL 60302

16-07-422-032-1007
ALVIE E BENDER
425 S ELMWOOD AVE #2
OAK PARK, IL 60302

16-07-422-032-1008
TAXPAYER OF
425 S ELMWOOD AVE
OAK PARK, IL 60302

16-07-422-032-1009
DOUGLAS D DAVIDSON ATT
1023 HUNTINGTON DR
AURORA, IL 60506

16-07-422-032-1010
ROSITA RODRIGUEZ
427 S ELMWOOD #6
OAK PARK, IL 60302

16-07-423-010-0000
EILEEN C SYNDER
418 SO ELMWOOD
OAK PARK, IL 60302

16-07-423-011-0000
JEFFREY W BISHOP
422 S ELMWOOD AVE
OAK PARK, IL 60302

16-07-423-012-0000
OMAR ARAIN
426 S ELMWOOD AVE
OAK PARK, IL 60302

16-07-423-013-0000
NELLIE B MATTHEWS
430 S ELMWOOD
OAK PARK, IL 60302

16-07-423-019-0000
NEW ALBERTSONS LLC
990 PO BOX
MINNEAPOLIS, MN 55440

16-07-423-020-0000
CURRENT OWNER
414 MADISON ST
OAK PARK, IL 60302

16-07-423-021-0000
CURRENT OWNER
414 MADISON ST
OAK PARK, IL 60302

16-07-423-022-0000
CAROL YETKEN
412 MADISON
OAK PARK, IL 60302

16-07-423-033-0000
MARIO AND TPRING BANKS
431 S RIDGELAND AVE AP
OAK PARK, IL 60302

16-07-423-034-0000
NORTH SHORE HOLDINGS
6859 W BELMONT AVE
CHICAGO, IL 60634

16-07-423-035-0000
MICHAEL LOEHR
431 S RIDGELAND AVE #C
OAK PARK, IL 60302

16-07-423-036-0000
A M CROSSGROVE BARNES
431 S RIDGELAND #D
OAK PARK, IL 60302

16-07-423-037-0000
ANTHONY BROOKS
431 S RIDGELAND AVE E
OAK PARK, IL 60302

16-07-423-038-0000
BRIAN JACKIE HILL
431 S RIDGELAND F
OAK PARK, IL 60302

16-18-204-020-0000
CARY SHINSAKO
206 S CLINTON
OAK PARK, IL 60302

16-18-204-021-0000
CARY SHINSAKO
206 S CLINTON
OAK PARK, IL 60302

16-18-204-022-0000
TRACY DOWNING
517 S SCOVILLE AVE
OAK PARK, IL 60304

16-18-204-023-0000
MICHAEL OLTMAN
519 S SCOVILLE AV
OAK PARK, IL 60304

16-18-204-024-0000
V A CONANAN
523 S SCOVILLE AVE
OAK PARK, IL 60304

16-18-204-025-0000
J KENNEDY M HJALMARSON
533 S SCOVILLE AV
OAK PARK, IL 60304

16-18-204-041-0000
EXEMPT

16-18-205-006-0000
DAVID GILCHRIST
1112 FAIR OAKS AVE
OAK PARK, IL 60302

16-18-205-007-0000
DAVID GILCHRIST
1112 FAIR OAKS AVE
OAK PARK, IL 60302

16-18-205-008-0000
MADISON ENTERPRISE GRP
509 MADISON ST
OAK PARK, IL 60302

16-18-205-009-0000
JOE ARDOVITCH
8416 CREEKSIDE LANE
DARIEN, IL 60561

16-18-205-010-0000
GERALD C FRANTZEN
512 S SCOVILLE AVE
OAK PK, IL 60304

16-18-205-011-0000
THIRATH CHAU T KAWAI
514 S SCOVILLE AVE
OAK PARK, IL 60304

16-18-205-012-0000
SATINOVER DIPIETRO
518 S SCOVILLE
OAK PARK, IL 60304

16-18-205-013-0000
PAUL K BAYER
520 S SCOVILLE AVE
OAK PARK, IL 60304

16-18-205-014-0000
SCOTT ERIN LUCAS
522 S SCOVILLE
OAK PARK, IL 60304

16-18-205-015-0000
SEEMAB QADERI
524 S SCOVILLE AVE
OAK PARK, IL 60304

16-18-205-016-0000
C V CHAIPRESERT
526 S SCOVILLE AV
OAK PARK, IL 60304

16-18-205-017-0000
JESSICA MILBURN
412 N SCOVILLE AVE
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16-18-205-018-0000
SIRAVICH KRASAEATH
2669 N GREENVIEW AVE E
CHICAGO, IL 60614

16-18-205-022-0000
DIMITRI FAYARD
513 GUNDERSON AVE
OAK PARK, IL 60304

16-18-205-023-0000
EDWARD J KLINGER
515 S GUNDERSON
OAK PARK, IL 60304

16-18-205-024-0000
PETER H MUELLER
517 S GUNDERSON AVE
OAK PARK, IL 60304

16-18-205-025-0000
THE BERBAUM MALDRE LIV
519 GUNDERSON AVE
OAK PARK, IL 60304

16-18-205-026-0000
JOHN MURRAY
521 S GUNDERSON AV
OAK PARK, IL 60304

16-18-205-027-0000
LARRY MARIBETH STEIN
525 S GUNDERSON
OAK PARK, IL 60304

16-18-205-028-0000
L VOSS
527 GUNDERSON
OAK PARK, IL 60304

16-18-205-029-0000
JOHN L HODGES
529 GUNDERSON
OAK PARK, IL 60304

16-18-205-030-0000
ALAN HINDS
531 S GUNDERSON
OAK PARK, IL 60304

16-18-205-031-0000
ANNIE DICKERSON
533 GUNDERSON
OAK PARK, IL 60304

16-18-205-032-0000
JOHN R OBRIEN
535 S GUNDERSON AVE
OAK PARK, IL 60304

16-18-205-038-0000
EDWARD P MARQUEZ CAR
35980 SINGLETON RD
CALIMESA, CA 92320

16-18-205-039-0000
MARIA FERMI
150 N OAK PARK AV
OAK PARK, IL 60301

16-18-206-001-0000
STEPHEN J MUDJER
6540 ROOSEVELT RD
OAK PARK, IL 60304

16-18-206-002-0000
STEPHEN J MUDJER
6540 ROOSEVELT RD
OAK PARK, IL 60304

16-18-206-003-0000
KORCHEK
512 GUNDERSON AVE
OAK PARK, IL 60304

16-18-206-004-0000
CAROL J KOIZUMI
514 S GUNDERSON AV
OAK PARK, IL 60304

16-18-206-005-0000
THOMAS N THOMAS JR
518 S GUNDERSON
OAK PARK, IL 60304

16-18-206-006-0000
STANLEY A BIRNBAUM
520 GUNDERSON
OAK PARK, IL 60304

16-18-206-007-0000
MARGARET ROSS
524 S GUNDERSON AV
OAK PARK, IL 60304

16-18-206-008-0000
STEPHEN LEGATZKE
528 GUNDERSON
OAK PARK, IL 60304

16-18-206-009-0000
D HAIGH
530 GUNDERSON AV
OAK PARK, IL 60304

16-18-206-010-0000
G HARRIS L LEE
534 S GUNDERSON
OAK PARK, IL 60304

16-18-206-014-0000
STEPHEN J MUDJER
6540 ROOSEVELT RD
OAK PARK, IL 60304

16-18-206-015-0000
ITECHA LEWIS
511 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-206-016-0000
ITECHA LEWIS
511 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-206-017-0000
GEORGE FITCHETT
515 S ELMWOOD
OAK PARK, IL 60304

16-18-206-018-0000
ELIZABETH A LOENTZ
517 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-206-019-0000
DOUGLAS G CATER
521 S ELMWOOD AV
OAK PARK, IL 60304

16-18-206-020-0000
IANNACCONE MICHAEL
525 S ELMWOOD AV
OAK PARK, IL 60304

16-18-206-021-0000
M G SAVOY
527 S ELMWOOD
OAK PARK, IL 60304

16-18-206-022-0000
JUSTIN M BROWN
531 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-206-023-0000
MARY JEAN OCONNOR
533 S ELMWOOD
OAK PARK, IL 60304

16-18-207-001-0000
CANDICE CAMPBELL
500 S ELMWOOD
OAK PARK, IL 60304

16-18-207-002-0000
KATHERINE FIGATNER
506 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-003-0000
ROBERT W DOUGLAS
508 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-004-0000
MELANIE DYKSTRA
516 S ELMWOOD
OAK PK, IL 60304

16-18-207-005-0000
CAROLYN BELKE
518 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-006-0000
WM HEATHER IPEMA
522 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-007-0000
J ALBRECT A JOHNSON
526 SOUTH ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-008-0000
MATTHEW SENATOR
530 S ELMWOOD AVE
OAK PARK, IL 60304

16-18-207-013-0000
RDK VENTURES LLC PB347
4080 W JONATHAN MOORE
COLUMBUS, IN 47201

16-18-207-014-0000
CARSON CARRIE COOK
511 S RIDGELAND AV
OAK PARK, IL 60304

16-18-207-015-0000
CURY UNDERWOOD
515 S RIDGELAND AV
OAK PARK, IL 60304

16-18-207-016-0000
KIMBERLEY UNDERWOOD
519 S RIDGELAND
OAK PARK, IL 60304

16-18-206-027-0000
ITECHA LEWIS
511 S ELMWOOD
OAK PARK, IL 60304

16-18-206-028-0000
ITECHA LEWIS
PO BOX 440200
CHICAGO, IL 60644



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Select Which Label Type You Wish To Print and Click the Create Labels Button

View Type Select View

Search Criteria: Find pins 16074210110000 -- 16074210119999 ,16074210160000 -- 16074210169999 ,16074210190000 -- 16074210219999 ,16074220100000 -- 16074220129999 ,16074220180000 -- 16074220189999 ,16074220250000 -- 16074220259999 ,16074220270000 -- 16074220279999 ,16074220290000 -- 16074220299999 ,16074220320000 -- 16074220329999 ,16074230100000 -- 16074230139999 ,16074230190000 -- 16074230229999 ,16074230330000 -- 16074230389999 ,16182040200000 -- 16182040259999 ,16182040410000 -- 16182040419999 ,16182050060000 -- 16182050189999 ,16182050220000 -- 16182050329999 ,16182050380000 -- 16182050399999 ,16182060010000 -- 16182060109999 ,16182060140000 -- 16182060239999 ,16182060270000 -- 16182060289999 ,16182070010000 -- 16182070089999 ,16182070130000 -- 16182070169999

Properties Found : 152

- 1) 
 RealInfo LLC
 Zoning Search
 16-07-421-011-0000

Owner Name: FENWICK HIGH SCHOOL INC,
Site Address: 431 S SCOVILEL OAK PARK IL ,
Tax Payer Name: FENWICK HIGH SCHOOL
Tax Payer Address : 505 W WASHINGTON BLVD OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$270,000 **Sale Date:** 12/23/1996
Document #: 96966382 - DEED OF SALE

- 2) 
 RealInfo LLC
 Zoning Search
 16-07-421-016-0000

Owner Name: LASALLE NATL TRUST N.A. TR#120511 DTD 10/8/96,
Site Address: 500 S MADISON ST OAK PARK IL ,
Tax Payer Name: AG INVESTMENTS
Tax Payer Address : 542 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$400,000 **Sale Date:** 10/28/1996
Document #: 96818165 - DEED OF SALE

- 3) 
 RealInfo LLC
 Zoning Search
 16-07-421-019-0000

Owner Name: OLD KENT BK AS TRUSTEE TR #7030,
Site Address: 506-512 W MADISON UNIT 1N OAK PARK IL ,
Tax Payer Name:
Tax Payer Address :
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 8/4/1995
Document #: 95516979 - DEED OF SALE

- 4) 
 RealInfo LLC
 Zoning Search
 16-07-421-019-1001

Owner Name: AXAR CORPORATION,
Site Address: 506 W MADISON ST UNIT B OAK PARK IL 60302,
Tax Payer Name: AXAR CORPORATION
Tax Payer Address : 404 S WARWICK AVE WESTMONT IL 60559
Telephone #: N/A
Sale Amount: \$31,500 **Sale Date:** 9/28/2017
Document #: 1727122056 - SPECIAL WARRANTY DEED

- 5) **Owner Name:** KEARNS CATHERINE G,
Site Address: 506 MADISON ST UNIT 1S OAK PARK IL 60302,


ReallInfo LLC
Zoning Search
16-07-421-019-1002

Tax Payer Name: CATHERINE G KEARNS
Tax Payer Address : 506 MADISON ST APT 1S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$95,000 **Sale Date:** 6/27/2018
Document #: 1817849050 - WARRANTY DEED

6) 
ReallInfo LLC
Zoning Search
16-07-421-019-1003

Owner Name: SUSZEK JOSHUA M,
Site Address: 506 W MADISON AV UNIT 1N OAK PARK IL 60302,
Tax Payer Name: JOSHUA M SUSZEK
Tax Payer Address : 506 MADISON ST APT 1N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$85,000 **Sale Date:** 2/6/2018
Document #: 1803749079 - WARRANTY DEED

7) 
ReallInfo LLC
Zoning Search
16-07-421-019-1004

Owner Name: ODICHO ACHOUR Y,
Site Address: 506 W MADISON ST APT 2S OAK PARK IL 60302,
Tax Payer Name: BRIAN K HYATT
Tax Payer Address : 506 MADISON ST 2S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$95,000 **Sale Date:** 9/12/2017
Document #: 1725512020 - WARRANTY DEED

8) 
ReallInfo LLC
Zoning Search
16-07-421-019-1005

Owner Name: PAREJA VIVIAN M,
Site Address: 506 W MADISON ST 2N OAK PARK IL 60302,
Tax Payer Name: VIVIAN M PAREJA
Tax Payer Address : 506 MADISON ST APT 2N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$76,000 **Sale Date:** 8/22/2016
Document #: 1623515055 - WARRANTY DEED

9) 
ReallInfo LLC
Zoning Search
16-07-421-019-1006

Owner Name: MILER MARY,
Site Address: 506-12 W MAIDSON ST UNIT 3S OAK PARK IL ,
Tax Payer Name: TAXPAYER OF
Tax Payer Address : 506 W MADISON #-3S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$68,000 **Sale Date:** 10/6/2000
Document #: 00786017 - DEED OF SALE

10) 
ReallInfo LLC
Zoning Search
16-07-421-019-1007

Owner Name: FARRELL ANN E,
Site Address: 506 W MADISON ST UNIT 3N OAK PARK IL 60302,
Tax Payer Name: ANN E FARRELL
Tax Payer Address : 506 MADISON 3N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$89,500 **Sale Date:** 12/26/2001
Document #: 11228516 - DEED OF SALE

11) 
ReallInfo LLC
Zoning Search
16-07-421-019-1008

Owner Name: NEWCORP LTD,
Site Address: 508 W MADISON ST UNIT B OAK PARK IL 60302,
Tax Payer Name: CRONUS PROJECTS LLC
Tax Payer Address : 417 PO BOX HINSDALE IL 60522
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 5/1/2015
Document #: 1512119191 - SPECIAL WARRANTY DEED

12) 
ReallInfo LLC
Zoning Search
16-07-421-019-1009


Owner Name: TENNES TERRY,
Site Address: 508 W MADISON ST UNIT 1S OAK PARK IL 60302,
Tax Payer Name: TERRY TENNES
Tax Payer Address : 508 MADISON #1S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$135,000 **Sale Date:** 11/28/2005
Document #: 533205132 - WARRANTY DEED

13) 
ReallInfo LLC
Zoning Search
16-07-421-019-1010


Owner Name: CORTEZ DEBORAH,
Site Address: 506-12 MADISON UNIT 1N OAK PARK IL ,
Tax Payer Name: DEBORAH CORTEZ
Tax Payer Address : 508 MADISON 1N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$75,000 **Sale Date:** 1/25/1999
Document #: 99076357 - DEED OF SALE

14) 
ReallInfo LLC
Zoning Search
16-07-421-019-1011


Owner Name: KELLY BRENDAN F,
Site Address: 506-12 W MADISON OAK PARK IL ,
Tax Payer Name: BRENDAN KELLY
Tax Payer Address : 508 MADISON 2S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 12/8/1999

15) 
ReallInfo LLC
Zoning Search
16-07-421-019-1012


Owner Name: PONTIKIS PATRICIA,
Site Address: 506-12 MADISON ST UNIT 5082N OAK PARK IL ,
Tax Payer Name: JOHN PONTIKIS
Tax Payer Address : 1241 CEDARWOOD LN GLENVIEW IL 60025
Telephone #: N/A
Sale Amount: \$69,000 Sale Date: 12/2/1998
Document #: 8085735 - DEED OF SALE

16) 
ReallInfo LLC
Zoning Search
16-07-421-019-1013


Owner Name: EBERLE ANDREW,
Site Address: 508 W MADISON ST UNIT 3S OAK PARK IL 60302,
Tax Payer Name: ANDREW EBERLE
Tax Payer Address : 508 MADISON ST APT 3S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$87,000 Sale Date: 12/13/2017
Document #: 1734749198 - WARRANTY DEED

17) 
ReallInfo LLC
Zoning Search
16-07-421-019-1014


Owner Name: D'AMBROGIO JOHN,
Site Address: 508 MADISON ST APT 3N OAK PARK IL 60302,
Tax Payer Name: JOHN DAMBROGIO
Tax Payer Address : 508 MADISON ST APT 3N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$108,000 Sale Date: 4/23/2018
Document #: 1811349002 - WARRANTY DEED

18) 
ReallInfo LLC
Zoning Search
16-07-421-019-1015


Owner Name: LAWSON JOHN,
Site Address: 510 W MADISON UNIT 1S OAK PARK IL 60302,
Tax Payer Name: JOHN LAWSON
Tax Payer Address : 510 MADISON #1S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$129,000 Sale Date: 2/16/2005
Document #: 504708104 - WARRANTY DEED

19) 
ReallInfo LLC
Zoning Search
16-07-421-019-1016


Owner Name: STEVENS ANYA A,
Site Address: 510 W MADISON ST APT 1N OAK PARK IL 60302,
Tax Payer Name: ANYA STEVENS
Tax Payer Address : 510 MADISON ST 1N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 7/2/2010
Document #: 1018340010 - QUIT CLAIM DEED

20) 
ReallInfo LLC
Zoning Search
16-07-421-019-1017


Owner Name: ROBINSON RUNAKO S,
Site Address: 510 W MADISON UNIT 2S OAK PARK IL 60302,
Tax Payer Name: SHARON A DONNELLY
Tax Payer Address : 510 MADISON ST 2S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$127,500 Sale Date: 11/8/2004
Document #: 431348052 - WARRANTY DEED

21) 
ReallInfo LLC
Zoning Search
16-07-421-019-1018


Owner Name: ALMAZAN JUAN A,
Site Address: 510 W MADISON 2N OAK PARK IL 60302,
Tax Payer Name: JUAN ALMAZAN
Tax Payer Address : 510 MADISON ST APT 2N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$97,000 Sale Date: 1/26/2018
Document #: 1802619053 - WARRANTY DEED

22) 
ReallInfo LLC
Zoning Search
16-07-421-019-1019

Owner Name: DOS SANTOS TATIANA BONUMA,
Site Address: 510 W MADISON UNIT 3 OAK PARK IL ,
Tax Payer Name: TATIANA M BONUMA
Tax Payer Address : 901 N WOOD ST UNIT 1 CHICAGO IL 60622
Telephone #: N/A
Sale Amount: N/A Sale Date: 10/12/2000
Document #: 00796480 - WARRANTY DEED

23) 
ReallInfo LLC
Zoning Search
16-07-421-019-1020

Owner Name: PROKUP RICHARD,PROKUP GIA
Site Address: 510 S MADISON UNIT 3N OAK PARK IL 60302,
Tax Payer Name: RICHARD PROKUP
Tax Payer Address : 510 MADISON ST APT 3N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$113,000 Sale Date: 3/7/2018
Document #: 1806608097 - WARRANTY DEED

24) 
ReallInfo LLC
Zoning Search
16-07-421-019-1020

Owner Name: LONGINOTTI JOHN, LONGINOTTI LINDA
Site Address: 512 W MADISON UNIT B OAK PARK IL 60302,
Tax Payer Name: JOHN LONGINOTTI



ReallInfo LLC
Zoning Search
16-07-421-019-1021

Tax Payer Address : 409 LATHROP AVE 1D RIVER FOREST IL 60305
Telephone #: N/A
Sale Amount: \$40,000 **Sale Date:** 8/25/2009
Document #: 923755035 - SPECIAL WARRANTY DEED

25)



ReallInfo LLC
Zoning Search
16-07-421-019-1022

Owner Name: DAUGHTREY SADIE,
Site Address: 512 W MADISON ST UNIT 1S OAK PARK IL 60302,
Tax Payer Name: SADIE DAUGHTREY
Tax Payer Address : 512 MADISON OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 10/4/2007
Document #: 727711091 - QUIT CLAIM DEED

26)



ReallInfo LLC
Zoning Search
16-07-421-019-1023

Owner Name: BOLDEN BRYAN,
Site Address: 506-12 W MADISON ST UNIT 1N OAK PARK IL ,
Tax Payer Name: BRYAN BOLDEN
Tax Payer Address : 512 MADISON 1N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$58,500 **Sale Date:** 1/24/2000
Document #: 00056996 - DEED OF SALE

27)



ReallInfo LLC
Zoning Search
16-07-421-019-1024

Owner Name: TORRES MARGERETTA,
Site Address: 506-12 W MADISON UNIT G OAK PARK IL 60302,
Tax Payer Name: MARGARITA TORRES
Tax Payer Address : 512 W MADISON 2S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 2/10/2003
Document #: 30192977 - WARRANTY DEED

28)



ReallInfo LLC
Zoning Search
16-07-421-019-1025

Owner Name: SIMON-PRICE LINDA,THE LINDA SIMON-PRICE DECLARATION OF TRUST
Site Address: DATED JUNE 16 2016
512 W MADISON 2N OAK PARK IL 60302,
Tax Payer Name: LINDA SIMON PRICE
Tax Payer Address : 512 MADISON ST #2N OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 8/25/2016
Document #: 1623850057 - QUIT CLAIM DEED

29)



ReallInfo LLC
Zoning Search
16-07-421-019-1026

Owner Name: BUNTON JOY,
Site Address: UNIT W 512-38 506-12 MADISON UNIT 3SOUTH OAK PARK IL ,
Tax Payer Name: JOY BUNTON
Tax Payer Address : 512 MADISON ST 3S OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$53,000 **Sale Date:** 1/19/2000
Document #: 00043837 - DEED OF SALE

30)



ReallInfo LLC
Zoning Search
16-07-421-019-1027

Owner Name: RANI ASSOCIATES LLC SERIES CC,
Site Address: 512 W MADISON ST APT 3N OAK PARK IL 60302,
Tax Payer Name: RANI ASSOCIATES LLC
Tax Payer Address : 2463 WEST BRANCH COURT NAPERVILLE IL 60565
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 7/26/2013
Document #: 1320754020 - QUIT CLAIM DEED

31)



ReallInfo LLC
Zoning Search
16-07-421-020-0000

Owner Name: ,
Site Address: 427-429 S. SCOVILLE LL
Tax Payer Name: 427 -429 S SCOVILLE AVE OAK PARK IL 60302
Tax Payer Address : --
Telephone #: N/A **Sale Date:** --
Sale Amount: -
Document #: -

32)



ReallInfo LLC
Zoning Search
16-07-421-021-0000

Owner Name: ,
Site Address: 423 425 S SCOVILLE LLC
Tax Payer Name: 505 WASHINGTON OAK PARK IL 60302
Tax Payer Address : --
Telephone #: N/A **Sale Date:** --
Sale Amount: -
Document #: -

33)

Owner Name: MARILYN S VICKERS REVOCABLE LIVING TRUST DTD
OCT/16/09,VICKERS MARILYN S T/U
Site Address: 422 N SCOVILLE AV OAK PARK IL 60302,



ReallInfo LLC
Zoning Search
16-07-422-010-0000

Tax Payer Name: MARILYN S VICKERS
Tax Payer Address : 422 S SCOVILLE AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/14/2010
Document #: 1001448072 - DEED OF SALE

34)



ReallInfo LLC
Zoning Search
16-07-422-011-0000

Owner Name: 428 SCOVILLE APARTMENTS LLC,
Site Address: 428 S SCOVILLE AV OAK PARK IL 60302,
Tax Payer Name: 428 SCOVILLE APARTMENT
Tax Payer Address : 2034 N CLARK ST CHICAGO IL 60614
Telephone #: N/A
Sale Amount: \$1,000,000 **Sale Date:** 1/5/2016
Document #: 1600519009 - WARRANTY DEED

35)



ReallInfo LLC
Zoning Search
16-07-422-012-0000

Owner Name: MADISON & ELMWOOD PROPERTIES INC,
Site Address: 438 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: NEW ALBERTSONS LLC
Tax Payer Address : 990 PO BOX MINNEAPOLIS MN 55440
Telephone #: N/A
Sale Amount: \$300,000 **Sale Date:** 9/9/1974
Document #: 22840997 - QUIT CLAIM DEED

36)



ReallInfo LLC
Zoning Search
16-07-422-018-0000

Owner Name: GATHMAN JAMES DENIS,GATHMAN JAMES DENIS
Site Address: 431 S ELMWOOD AV OAK PARK IL 60302,
Tax Payer Name: J DENIS GATHMAN
Tax Payer Address : 431 S ELMWOOD AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 3/14/2017
Document #: 1707344040 - QUIT CLAIM DEED

37)



ReallInfo LLC
Zoning Search
16-07-422-025-0000

Owner Name:
Site Address: 438 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: NEW ALBERTSONS LLC
Tax Payer Address : 990 PO BOX MINNEAPOLIS MN 55440
Telephone #: N/A
Sale Amount: N/A **Sale Date:**
Document #: -

38)



ReallInfo LLC
Zoning Search
16-07-422-027-0000

Owner Name: OBRIEN LINDA (TR OF THE LINDA OBRIEN TR DTD 2-25-2002),
Site Address: 421 S ELMWOOD OAK PARK IL 60302,
Tax Payer Name: PATRICK OBRIEN
Tax Payer Address : 100 CENTRAL AV #E911 SARASOTA FL 34236
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 12/30/2004
Document #: 436534090 - DEED OF SALE

39)



ReallInfo LLC
Zoning Search
16-07-422-029-0000

Owner Name: AMERICAN NB&TCO OF CHGO TR#41381,
Site Address: 414 S SCOVILLE UNIT 13 OAK PARK IL ,
Tax Payer Name:
Tax Payer Address :
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 4/19/1978
Document #: 24408887 - DEED IN TRUST

40)



ReallInfo LLC
Zoning Search
16-07-422-029-1001

Owner Name:
Site Address: 414 S SCOVILLE AV OAK PARK IL 60302,
Tax Payer Name: PAMELA J ANDREWS
Tax Payer Address : 3031 INDIANWOOD ROAD WILMETTE IL 60091
Telephone #: N/A
Sale Amount: N/A **Sale Date:**
Document #: -

41)



ReallInfo LLC
Zoning Search
16-07-422-029-1002

Owner Name: SUNNER CHRISTOPHER S,THE CHRISTOPHER S. SUNNER LIVING
Site Address: TRUST DATED DECEMBER 27 2018 AND ANY AMENDMENTS THERETO
Tax Payer Name: 414 S SCOVILLE AV 3 OAK PARK IL 60302,
Tax Payer Address : CHRISTOPHER S SUNNER T
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 4/26/2019
Document #: 1911613191 - WARRANTY DEED

42)

Owner Name: YOUNG MIA,



ReallInfo LLC
Zoning Search
16-07-422-029-1003

Site Address: 414 S SCOVILLE UNIT A3 OAK PARK IL 60452,
Tax Payer Name: MIA YOUNG
Tax Payer Address : 414 S SCOVILLE A3 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$106,000 **Sale Date:** 12/1/2014
Document #: 1433519116 - WARRANTY DEED

43)



ReallInfo LLC
Zoning Search
16-07-422-029-1004

Owner Name: UNDERWOOD TASHA R,
Site Address: 414 S SCOVILLE ST APT 4A OAK PARK IL 60302,
Tax Payer Name: TASHA UNDERWOOD
Tax Payer Address : 414 S SCOVILLE A4 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 5/3/2002
Document #: 20509146 - WARRANTY DEED

44)



ReallInfo LLC
Zoning Search
16-07-422-029-1005

Owner Name: BELEC HEIDI J,
Site Address: 414 S SCOVILLE AV UNIT 6 OAK PARK IL 60302,
Tax Payer Name: HEIDI J BELEC
Tax Payer Address : 414 S SCOVILLE AVE#6 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$88,000 **Sale Date:** 5/24/2016
Document #: 1614522066 - WARRANTY DEED

45)



ReallInfo LLC
Zoning Search
16-07-422-029-1006

Owner Name: CHEN SUFANG,MEI DINGYI
Site Address: 414 S SCOVILLE AV UNIT A-6 OAK PARK IL 60302,
Tax Payer Name: SUFANG CHEN
Tax Payer Address : 414 S SCOVILLE AVE#7 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/29/2014
Document #: 1402919068 - QUIT CLAIM DEED

46)



ReallInfo LLC
Zoning Search
16-07-422-029-1007

Owner Name: OBR III CONNECTIONS LLC,
Site Address: 414 S SCOVILLE SM CONDO 8 OAK PARK IL 60302,
Tax Payer Name: ORLANDO ROUTEN
Tax Payer Address : 5625 MURRAY DR BERKELEY IL 60163
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 12/19/2018
Document #: 1835306051 - QUIT CLAIM DEED

47)



ReallInfo LLC
Zoning Search
16-07-422-029-1008

Owner Name: CT&TCO TR#1090948 DTD DEC/00/87,
Site Address: 414 S SCOVILLE APT 11 OAK PARK IL 60302,
Tax Payer Name: CLOTIEL R MITCHELL
Tax Payer Address : 414 S SCOVILLE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$44,000 **Sale Date:** 1/8/1988
Document #: 88009869 - DEED IN TRUST

48)



ReallInfo LLC
Zoning Search
16-07-422-029-1009

Owner Name: LONGSTREET VERONICA F,
Site Address: 414 S SCOVILLE UNIT 12 OAK PARK IL 60302,
Tax Payer Name: VERONICA LONGSTREET
Tax Payer Address : 414 S SCOVILLE #2 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$62,000 **Sale Date:** 5/21/1999
Document #: 99494798 - WARRANTY DEED

49)



ReallInfo LLC
Zoning Search
16-07-422-029-1010

Owner Name: CALDWELL OMAR J,
Site Address: 414 S SCOVILLE AV UNIT 13 OAK PARK IL 60302,
Tax Payer Name: CHARISSE STEWART
Tax Payer Address : 1205 MARIPOSA AVE #224 CORAL GABLES FL 33146
Telephone #: N/A
Sale Amount: \$48,000 **Sale Date:** 3/5/2013
Document #: 1306441020 - SPECIAL WARRANTY DEED

50)



ReallInfo LLC
Zoning Search
16-07-422-029-1011


Owner Name: BATKO MALGORZATA,
Site Address: 414 S SCOVILLE UNIT 14 OAK PARK IL 60302,
Tax Payer Name: MALGORZATA BATKO
Tax Payer Address : 414 S SCOVILLE 14 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$114,000 **Sale Date:** 12/1/2004
Document #: 433605073 - WARRANTY DEED

51)




ReallInfo LLC
Zoning Search
16-07-422-029-1012


Owner Name: TOWNSEND SHEILA,
Site Address: 414 S SCOVILLE UNIT 15 OAK PARK IL 60302,
Tax Payer Name: SHEILA TOWNSEND
Tax Payer Address : 414 S SCOVILLE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 12/15/1992

52) 
ReallInfo LLC
Zoning Search
16-07-422-029-1013


Owner Name: HYER BRIAN,MINER MARGARET
Site Address: 414 S SCOVILLE AV UNIT 16 OAK PARK IL 60302,
Tax Payer Name: MARGARET MINER
Tax Payer Address : 710 SENECA PLACE MADISON WI 53711
Telephone #: N/A
Sale Amount: \$99,000 Sale Date: 7/8/2010
Document #: 1018947004 - WARRANTY DEED

53) 
ReallInfo LLC
Zoning Search
16-07-422-029-1014


Owner Name: GALVEZ MARLENE,
Site Address: 414 S SCOVILLE UNIT 17 OAK PARK IL 60302,
Tax Payer Name: MARLENE GALVEZ
Tax Payer Address : 414 S SCOVILLE #B7 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$55,000 Sale Date: 3/1/2013
Document #: 1306012088 - WARRANTY DEED

54) 
ReallInfo LLC
Zoning Search
16-07-422-029-1015


Owner Name: DELGADO MARIA C,ORTEGA ALEJANDRA
Site Address: 414 S SCOVILLE UNIT B-8 OAK PARK IL 60302,
Tax Payer Name: MARIA C DELGADO
Tax Payer Address : 414 S SCOVILLE #18 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$46,500 Sale Date: 12/3/2012
Document #: 1233839065 - SPECIAL WARRANTY DEED

55) 
ReallInfo LLC
Zoning Search
16-07-422-029-1016


Owner Name: TEJEDA-HERNANDEZ MARIBEL,
Site Address: 414 S SCOVILLE AV UNIT C1 OAK PARK IL 60302,
Tax Payer Name: MARIBEL TEJEDA
Tax Payer Address : 414 S SCOVILLE AVE #21 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$52,000 Sale Date: 3/23/2011
Document #: 1108240045 - SPECIAL WARRANTY DEED

56) 
ReallInfo LLC
Zoning Search
16-07-422-029-1017


Owner Name: OLU DU RENNIE FELLE S,
Site Address: 414 S SCOVILLE UNIT C2 KOAK PK IL 60302,
Tax Payer Name: RENNIE FELLE S OLU DU
Tax Payer Address : 414 S SCOVILLE 22 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$48,000 Sale Date: 8/12/1994
Document #: 94716076 - WARRANTY DEED

57) 
ReallInfo LLC
Zoning Search
16-07-422-029-1018


Owner Name: ADEOYE MARTINS A,
Site Address: 414 S SCOVILLE AV APT 23 OAK PARK IL 60302,
Tax Payer Name: MARTINS A ADEOYE
Tax Payer Address : 414 S SCOVILLE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 7/6/2017
Document #: 1718713017 - QUIT CLAIM DEED

58) 
ReallInfo LLC
Zoning Search
16-07-422-029-1019


Owner Name: WEED KAREN,
Site Address: 414 S SCOVILLE OAK PARK IL 60302,
Tax Payer Name: KAREN WEED
Tax Payer Address : 1209 N EAST OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$119,000 Sale Date: 10/18/2005
Document #: 529142113 - WARRANTY DEED

59) 
ReallInfo LLC
Zoning Search
16-07-422-029-1020

Owner Name: ALVARADO JR GEORGE,
Site Address: 414 S SCOVILLE AV 25 OAK PARK IL 60302,
Tax Payer Name: GEORGE ALVARADO JR
Tax Payer Address : 414 S SCOVILLE AVE 25 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$92,500 Sale Date: 10/14/2015
Document #: 1528749272 - WARRANTY DEED

60) 
ReallInfo LLC
Zoning Search
16-07-422-029-1021

Owner Name: CIULADA VYGANTAS,
Site Address: 414 S SCOVILLE AV UNIT C6 OAK PARK IL 60302,
Tax Payer Name: VYGANAS CIULADA
Tax Payer Address : 414 S SCOVILLE AVE C6 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$62,000 Sale Date: 10/1/2010
Document #: 1027412104 - SPECIAL WARRANTY DEED

61) 
ReallInfo LLC
Zoning Search
16-07-422-029-1021

Owner Name: SCOTT KATH,
Site Address: 414 S SCOVILLE APT 27 OAK PARK IL 60302,
Tax Payer Name: KATHERINE SCOTT



ReallInfo LLC
Zoning Search
16-07-422-029-1022

Tax Payer Address : 414 S SCOVILLE 27 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$52,000 **Sale Date:** 7/2/1993
Document #: 93510642 - WARRANTY DEED

62)



ReallInfo LLC
Zoning Search
16-07-422-029-1023

Owner Name: GUNATT JOHN,
Site Address: 414 S SCOVILLE UNIT C8 OAK PARK IL 60302,
Tax Payer Name: JOHN L GUNARTT
Tax Payer Address : 414 S SCOVILLE AV OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 2/3/1998
Document #: 98089233 - DEED OF SALE

63)



ReallInfo LLC
Zoning Search
16-07-422-032-0000

Owner Name: SEGAWA EISUKE,
Site Address: 427 S ELMWOOD UNIT 6 OAK PARK IL 60302,
Tax Payer Name:
Tax Payer Address :
Telephone #: N/A
Sale Amount: \$146,000 **Sale Date:** 8/21/2003
Document #: 323305016 - WARRANTY DEED

64)



ReallInfo LLC
Zoning Search
16-07-422-032-1001

Owner Name: TURNER SEAN,
Site Address: 425 S ELMWOOD AV APT 1 OAK PARK IL 60302,
Tax Payer Name: SEAN TURNER
Tax Payer Address : 425 S ELMWOOD AVE#1 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$126,000 **Sale Date:** 8/31/2017
Document #: 1724346060 - WARRANTY DEED

65)



ReallInfo LLC
Zoning Search
16-07-422-032-1002

Owner Name: SHAHID ARSHAD ZAMAN,
Site Address: 425 S ELMWOOD UNIT 3 OAK PARK IL 60302,
Tax Payer Name: ARSHAD ZAMAN SHAHID
Tax Payer Address : 425 S ELMWOOD #3 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$132,500 **Sale Date:** 5/18/2010
Document #: 1013833150 - WARRANTY DEED

66)



ReallInfo LLC
Zoning Search
16-07-422-032-1003

Owner Name: SUGGS LUCILLE,
Site Address: 425 S ELMWOOD AV UNIT 4 OAK PARK IL 60302,
Tax Payer Name: LUCILLE SUGGS
Tax Payer Address : 425 S ELMWOOD AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$90,000 **Sale Date:** 3/1/2011
Document #: 1106056032 - DEED OF SALE

67)



ReallInfo LLC
Zoning Search
16-07-422-032-1004

Owner Name: SCHULD STEVEN R,
Site Address: 425 S ELMWOOD AV 5 OAK PARK IL 60302,
Tax Payer Name: STEVEN R SCHULD
Tax Payer Address : 425 S ELMWOOD AVE#5 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$137,500 **Sale Date:** 7/3/2017
Document #: 1718410039 - WARRANTY DEED

68)



ReallInfo LLC
Zoning Search
16-07-422-032-1005

Owner Name: CASTELLANOS SUSAN,
Site Address: 425 S ELMWOOD AV 6 OAK PARK IL 60302,
Tax Payer Name: SUSAN CASTELLANOS
Tax Payer Address : 425 S ELMWOOD AVE#6 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$170,000 **Sale Date:** 12/28/2016
Document #: 1636355109 - SPECIAL WARRANTY DEED

69)



ReallInfo LLC
Zoning Search
16-07-422-032-1006


Owner Name: BSISO ANIS T,
Site Address: 427 S ELMWOOD AV UNIT 1 OAK PARK IL 60302,
Tax Payer Name: ANIS BSISO
Tax Payer Address : 427 S ELMWOOD #1 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$40,000 **Sale Date:** 7/15/2015
Document #: 1519610074 - SPECIAL WARRANTY DEED

70)




ReallInfo LLC
Zoning Search
16-07-422-032-1007


Owner Name: BENDER ALVIE E,
Site Address: 427 S ELMWOOD AV APT 2 OAK PARK IL 60302,
Tax Payer Name: ALVIE E BENDER
Tax Payer Address : 425 S ELMWOOD AVE #2 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$110,000 **Sale Date:** 3/29/2019

71) 
ReallInfo LLC
Zoning Search
16-07-422-032-1008


Owner Name: CARDOZO SHAUN,
Site Address: 427 S ELMWOOD UNIT 3 OAK PARK IL 60302,
Tax Payer Name: TAXPAYER OF
Tax Payer Address : 425 S ELMWOOD AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$135,000 Sale Date: 6/20/2005
Document #: 517148002 - WARRANTY DEED

72) 
ReallInfo LLC
Zoning Search
16-07-422-032-1009


Owner Name: MOORE AUTUMN L,MOORE MICHAEL C
Site Address: 427 S ELMWOOD AV APT 4 OAK PARK IL 60302,
Tax Payer Name: DOUGLAS D DAVIDSON ATT
Tax Payer Address : 1023 HUNTINGTON DR AURORA IL 60506
Telephone #: N/A
Sale Amount: \$150,000 Sale Date: 11/7/2017
Document #: 1731144079 - WARRANTY DEED

73) 
ReallInfo LLC
Zoning Search
16-07-422-032-1010


Owner Name: RODRIGUEZ ROSITA,
Site Address: 427 S ELMWOOD AV UNIT 6 OAK PARK IL 60302,
Tax Payer Name: ROSITA RODRIGUEZ
Tax Payer Address : 427 S ELMWOOD #6 OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$174,000 Sale Date: 1/11/2007
Document #: 701126206 - WARRANTY DEED

74) 
ReallInfo LLC
Zoning Search
16-07-423-010-0000


Owner Name: EILEEN C. SNYDER U/T/A DTD 08/03/98,
Site Address: 418 N ELMWOOD AV OAK PARK IL 60302,
Tax Payer Name: EILEEN C SYNDER
Tax Payer Address : 418 SO ELMWOOD OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/15/1998
Document #: 98821357 - DEED IN TRUST

75) 
ReallInfo LLC
Zoning Search
16-07-423-011-0000


Owner Name: BISHOP ALLISON,BISHOP JEFFREY W
Site Address: 422 S ELMWOOD AV OAK PARK IL 60302,
Tax Payer Name: JEFFREY W BISHOP
Tax Payer Address : 422 S ELMWOOD AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$479,000 Sale Date: 6/3/2016
Document #: 1615539023 - WARRANTY DEED

76) 
ReallInfo LLC
Zoning Search
16-07-423-012-0000


Owner Name: AKBAR SOPHIA,ARAIN OMAR
Site Address: 426 S ELMWOOD AV OAK PARK IL 60302,
Tax Payer Name: OMAR ARAIN
Tax Payer Address : 426 S ELMWOOD AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$432,500 Sale Date: 8/14/2018
Document #: 1822619200 - WARRANTY DEED

77) 
ReallInfo LLC
Zoning Search
16-07-423-013-0000

Owner Name: MATTHEWS NELLIE,
Site Address: 430 S ELMWOOD AV OAK PARK IL 60302,
Tax Payer Name: NELLIE B MATTHEWS
Tax Payer Address : 430 S ELMWOOD OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 3/4/1997
Document #: 97140524 - QUIT CLAIM DEED

78) 
ReallInfo LLC
Zoning Search
16-07-423-019-0000

Owner Name: MADISON & ELMWOOD PROPERTIES INC,
Site Address: 438 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: NEW ALBERTSONS LLC
Tax Payer Address : 990 PO BOX MINNEAPOLIS MN 55440
Telephone #: N/A
Sale Amount: \$300,000 Sale Date: 9/9/1974
Document #: 22840997 - QUIT CLAIM DEED

79) 
ReallInfo LLC
Zoning Search
16-07-423-020-0000

Owner Name: 414 MADISON LLC (UND 50% INT),SOUTHPORT PROPERTIES LLC (UND 50% INT)
Site Address: 414 MADISON ST OAK PARK IL 60302,
Tax Payer Name: CURRENT OWNER
Tax Payer Address : 414 MADISON ST OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$1,100,000 Sale Date: 5/30/2007
Document #: 715002341 - DEED OF SALE

Owner Name: 414 MADISON LLC (UND 50% INT),SOUTHPORT PROPERTIES LLC (UND

80)



ReallInfo LLC
Zoning Search
16-07-423-021-0000

50% INT)
Site Address: 414 MADISON ST OAK PARK IL 60302,
Tax Payer Name: CURRENT OWNER
Tax Payer Address : 414 MADISON ST OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$1,100,000 Sale Date: 5/30/2007
Document #: 715002341 - DEED OF SALE

81)



ReallInfo LLC
Zoning Search
16-07-423-022-0000

Owner Name: YETKEN CAROL J. H, YETKEN CENGIZ
Site Address: 412 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: CAROL YETKEN
Tax Payer Address : 412 MADISON OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 12/30/1986
Document #: 86627020 - JOINT DEED OF SALE

82)



ReallInfo LLC
Zoning Search
16-07-423-033-0000

Owner Name: BANKS MARIO, BANKS TPRING
Site Address: 431 S RIDGELAND AV UNIT A OAK PARK IL 60302,
Tax Payer Name: MARIO AND TPRING BANKS
Tax Payer Address : 431 S RIDGELAND AVE AP OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/2/2014
Document #: 1424518075 - SPECIAL WARRANTY DEED

83)



ReallInfo LLC
Zoning Search
16-07-423-034-0000

Owner Name: NORTSHORE HOLDINGS LTD.,
Site Address: 431 S RIDGELAND AV B OAK PARK IL 60302,
Tax Payer Name: NORTH SHORE HOLDINGS
Tax Payer Address : 6859 W BELMONT AVE CHICAGO IL 60634
Telephone #: N/A
Sale Amount: \$100,000 Sale Date: 10/29/2015
Document #: 1530250039 - DEED OF SALE

84)



ReallInfo LLC
Zoning Search
16-07-423-035-0000

Owner Name: LOEHR RONDA, LOEHR MICHAEL
Site Address: 431 S RIDGELAND AV APT C OAK PARK IL 60302,
Tax Payer Name: MICHAEL LOEHR
Tax Payer Address : 431 S RIDGELAND AVE #C OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$194,500 Sale Date: 1/18/2011
Document #: 1101826272 - DEED OF SALE

85)



ReallInfo LLC
Zoning Search
16-07-423-036-0000

Owner Name: CROSSGROVE-BARNES ANTOINETTE M,
Site Address: 431 S RIDGELAND UNIT D OAK PARK IL 60302,
Tax Payer Name: A M CROSSGROVE BARNES
Tax Payer Address : 431 S RIDGELAND #D OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$86,500 Sale Date: 6/15/1993
Document #: 93453012 - DEED OF SALE

86)



ReallInfo LLC
Zoning Search
16-07-423-037-0000

Owner Name: BROOKS CRESSANDRA D, BROOKS ANTHONY
Site Address: 431 S RIDGELAND AV APT E OAK PARK IL 60302,
Tax Payer Name: ANTHONY BROOKS
Tax Payer Address : 431 S RIDGELAND AVE E OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$252,000 Sale Date: 10/14/2015
Document #: 1528749259 - WARRANTY DEED

87)



ReallInfo LLC
Zoning Search
16-07-423-038-0000

Owner Name: HILL BRIAN, HILL JACQUELINE
Site Address: 431 S RIDGELAND UNIT F OAK PARK IL 60302,
Tax Payer Name: BRIAN JACKIE HILL
Tax Payer Address : 431 S RIDGELAND F OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$87,000 Sale Date: 7/13/1992
Document #: 92509744 - JOINT DEED OF SALE

88)



ReallInfo LLC
Zoning Search
16-18-204-020-0000

Owner Name: SHINSAKO CARY K, SHINSAKO MARY C
Site Address: 515 S SCOVILLE AV OAK PARK IL ,
Tax Payer Name: CARY SHINSAKO
Tax Payer Address : 206 S CLINTON OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/7/1990
Document #: 90436797 - WARRANTY DEED

89)



ReallInfo LLC

Owner Name: SHINSAKO CARY K, SHINSAKO MARY C
Site Address: 515 S SCOVILLE AV OAK PARK IL ,
Tax Payer Name: CARY SHINSAKO
Tax Payer Address : 206 S CLINTON OAK PARK IL 60302

Zoning Search
16-18-204-021-0000

Telephone #: N/A
Sale Amount: N/A Sale Date: 9/7/1990
Document #: 90436797 - WARRANTY DEED

90)



ReallInfo LLC
Zoning Search
16-18-204-022-0000

Owner Name: SOLIS HILDA,
Site Address: 5138 W 23RD ST CICERO IL 60804,
Tax Payer Name: TRACY DOWNING
Tax Payer Address : 517 S SCOVILLE AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 10/4/2018
Document #: 1827749130 - QUIT CLAIM DEED

91)



ReallInfo LLC
Zoning Search
16-18-204-023-0000

Owner Name: OLTMAN MILCHAEAL F,OLTMAN KRISTI ANNA
Site Address: 519 S SCOVILLE OAK PARK IL 60304,
Tax Payer Name: MIICHAEL OLTMAN
Tax Payer Address : 519 S SCOVILLE AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$24,000 Sale Date: 10/19/1999
Document #: 99981725 - WARRANTY DEED

92)



ReallInfo LLC
Zoning Search
16-18-204-024-0000

Owner Name: CONANAN ANTONIA,CONANAN VIRGILIO
Site Address: 523 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: V A CONANAN
Tax Payer Address : 523 S SCOVILLE AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$395,000 Sale Date: 7/6/2016
Document #: 1618846053 - DEED OF SALE

93)



ReallInfo LLC
Zoning Search
16-18-204-025-0000

Owner Name: HJALMARSON MELISSA A,KENNEDY JERRY A
Site Address: 525 S SCOVILLE OAK PARK IL 60304,
Tax Payer Name: J KENNEDY M HJALMARSON
Tax Payer Address : 533 S SCOVILLE AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$250,000 Sale Date: 1/8/2003
Document #: 30032499 - WARRANTY DEED

94)



ReallInfo LLC
Zoning Search
16-18-204-041-0000

Owner Name: OAK PARK ELEMENTRARY SCHOOL DISTRICT 97,
Site Address: 541 MADISON ST OAK PARK IL ,
Tax Payer Name:
Tax Payer Address : 0
Telephone #: N/A
Sale Amount: N/A Sale Date: 3/14/2008
Document #: 807435224 - QUIT CLAIM DEED

95)



ReallInfo LLC
Zoning Search
16-18-205-006-0000

Owner Name: GILCHRIST ANDREW (TR) ANDREW GILCHRIST REVOCABLE...
GILCHRIST ANDREW (TR) "ANDREW GILCHRIST REVOCABLE LIVING
TRUST" DTD 09/25/1996,
Site Address: 513 W MADISON STREE OAK PARK IL ,
Tax Payer Name: DAVID GILCHRIST
Tax Payer Address : 1112 FAIR OAKS AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 5/3/2000
Document #: 00310135 - WARRANTY DEED

96)



ReallInfo LLC
Zoning Search
16-18-205-007-0000

Owner Name: GILCHRIST ANDREW (TR) ANDREW GILCHRIST REVOCABLE...
GILCHRIST ANDREW (TR) "ANDREW GILCHRIST REVOCABLE LIVING
TRUST" DTD 09/25/1996,
Site Address: 513 W MADISON STREE OAK PARK IL ,
Tax Payer Name: DAVID GILCHRIST
Tax Payer Address : 1112 FAIR OAKS AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: N/A Sale Date: 5/3/2000
Document #: 00310135 - WARRANTY DEED

97)



ReallInfo LLC
Zoning Search
16-18-205-008-0000

Owner Name: MADISON ENTERPRISE GROUP INC.,
Site Address: 507-509 W MADISON ST OAK PARK IL ,
Tax Payer Name: MADISON ENTERPRISE GRO
Tax Payer Address : 509 MADISON ST OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$300,000 Sale Date: 4/7/2016
Document #: 1609847068 - DEED OF SALE

98)



ReallInfo LLC

Owner Name: 501-505 W MADISON LLC,
Site Address: 501-505 W MADISON OAK PARK IL 60602,
Tax Payer Name: JOE ARDOVITCH
Tax Payer Address : 8416 CREEKSIDE LANE DARIEN IL 60561

Zoning Search
16-18-205-009-0000

Telephone #: N/A
Sale Amount: N/A Sale Date: 3/7/2002
Document #: 20260224 - WARRANTY DEED

99)



ReallInfo LLC
Zoning Search
16-18-205-010-0000

Owner Name: KELLY ALISON,
Site Address: 512 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: GERALD C FRANTZEN
Tax Payer Address : 512 S SCOVILLE AVE OAK PK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 6/22/2017
Document #: 1717329016 - QUIT CLAIM DEED

100)



ReallInfo LLC
Zoning Search
16-18-205-011-0000

Owner Name: CHAU THIRATH,KAWAI TAMAYO
Site Address: 514 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: THIRATH CHAU T KAWAI
Tax Payer Address : 514 S SCOVILLE AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$435,000 Sale Date: 7/16/2014
Document #: 1419701013 - WARRANTY DEED

101)



ReallInfo LLC
Zoning Search
16-18-205-012-0000

Owner Name: DI PIETRO LUISA A (HISWF),SATINOVER IRA A
Site Address: 518 S SCOVILLE OAK PARK IL 60304,
Tax Payer Name: SATINOVER DIPIETRO
Tax Payer Address : 518 S SCOVILLE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 10/21/1992
Document #: 92782549 - QUIT CLAIM DEED

102)



ReallInfo LLC
Zoning Search
16-18-205-013-0000

Owner Name: BAYER KRISTEN J,
Site Address: 520 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: PAUL K BAYER
Tax Payer Address : 520 S SCOVILLE AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 9/5/2017
Document #: 1724817059 - QUIT CLAIM DEED

103)



ReallInfo LLC
Zoning Search
16-18-205-014-0000

Owner Name: SIMONS JOSEPH,SIMONS KEALI M
Site Address: 522 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: SCOTT ERIN LUCAS
Tax Payer Address : 522 S SCOVILLE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$380,000 Sale Date: 8/19/2013
Document #: 1323145040 - WARRANTY DEED

104)



ReallInfo LLC
Zoning Search
16-18-205-015-0000

Owner Name: GAGE AARON,QADERI SEEMAB
Site Address: 524 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: SEEMAB QADERI
Tax Payer Address : 524 S SCOVILLE AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$457,500 Sale Date: 9/12/2017
Document #: 1725506108 - WARRANTY DEED

105)



ReallInfo LLC
Zoning Search
16-18-205-016-0000

Owner Name: CHAIPRASERT VARANYA,CHAIPRASERT CHAIDANAI
Site Address: 526 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: C V CHAIPRESERT
Tax Payer Address : 526 S SCOVILLE AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$288,500 Sale Date: 10/31/2001
Document #: 11020044 - WARRANTY DEED

106)



ReallInfo LLC
Zoning Search
16-18-205-017-0000

Owner Name: JESSICA ROSE LLC,
Site Address: 528 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: JESSICA MILBURN
Tax Payer Address : 412 N SCOVILLE AVE OAK PARK IL 60302
Telephone #: N/A
Sale Amount: \$210,000 Sale Date: 11/7/2017
Document #: 1731149056 - WARRANTY DEED











107)




ReallInfo LLC
Zoning Search
16-18-205-018-0000


Owner Name: DIVERSEY REAL ESTATE - 530 SCOVILLE LLC,
Site Address: 530 S HIGHLAND OAK PARK IL ,
Tax Payer Name: SIRAVICH KRASAEATH
Tax Payer Address : 2669 N GREENVIEW AVE E CHICAGO IL 60614
Telephone #: N/A
Sale Amount: \$1,020,000 Sale Date: 2/8/2017
Document #: 1703906227 - WARRANTY DEED

Owner Name: FAYARD DIMITRI,FAYARD SARA


- 108)  ReallInfo LLC
Zoning Search
16-18-205-022-0000
- Site Address:** 513 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: DIMITRI FAYARD
Tax Payer Address : 513 GUNDERSON AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$275,000 **Sale Date:** 9/18/2017
Document #: 1726112060 - WARRANTY DEED
-
- 109)  ReallInfo LLC
Zoning Search
16-18-205-023-0000
- Owner Name:** MORE JENNIFER,
Site Address: 515 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: EDWARD J KLINGER
Tax Payer Address : 515 S GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 6/23/2017
Document #: 1717439174 - QUIT CLAIM DEED
-
- 110)  ReallInfo LLC
Zoning Search
16-18-205-024-0000
- Owner Name:** MUELLER PETER HERMAN,
Site Address: 517 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: PETER H MUELLER
Tax Payer Address : 517 S GUNDERSON AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 5/18/1983
Document #: 26610239 - QUIT CLAIM DEED
-
- 111)  ReallInfo LLC
Zoning Search
16-18-205-025-0000
- Owner Name:** BERBAUM MICHAEL L,BERBAUM MICHAEL L
Site Address: 519 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: THE BERBAUM MALDRE LIV
Tax Payer Address : 519 GUNDERSON AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 5/2/2019
Document #: 1912234035 - WARRANTY DEED
-
- 112)  ReallInfo LLC
Zoning Search
16-18-205-026-0000
- Owner Name:** MURRAY JOHN J,MURRAY MELINDA A
Site Address: 521 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: JOHN MURRAY
Tax Payer Address : 521 S GUNDERSON AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 8/23/1995
Document #: 95557176 - WARRANTY DEED
-
- 113)  ReallInfo LLC
Zoning Search
16-18-205-027-0000
- Owner Name:** STEIN LARRY I,STEIN MARIBETH
Site Address: 525 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: LARRY MARIBETH STEIN
Tax Payer Address : 525 S GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 2/23/2011
Document #: 1105447005 - QUIT CLAIM DEED
-
- 114)  ReallInfo LLC
Zoning Search
16-18-205-028-0000
- Owner Name:** VOSS LYNN D,
Site Address: 527 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: L VOSS
Tax Payer Address : 527 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$325,000 **Sale Date:** 5/3/2010
Document #: 1012340004 - WARRANTY DEED
-
- 115)  ReallInfo LLC
Zoning Search
16-18-205-029-0000
- Owner Name:** HODGES JOHN L,HODGES ROCHELLE
Site Address: 529 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: JOHN L HODGES
Tax Payer Address : 529 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$120,000 **Sale Date:** 12/20/1988
Document #: 88586173 - WARRANTY DEED
-
- 116)  ReallInfo LLC
Zoning Search
16-18-205-030-0000
- Owner Name:** ALAN R HINDS TRUST DTD DEC/22/11,HINDS ALAN R T/U
Site Address: 531 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: ALAN HINDS
Tax Payer Address : 531 S GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 1/3/2012
Document #: 1200339117 - DEED IN TRUST
-
- 117)  ReallInfo LLC
Zoning Search
16-18-205-031-0000
- Owner Name:** DICKERSON ANNE E,
Site Address: 533 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: ANNIE DICKERSON
Tax Payer Address : 533 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$368,000 **Sale Date:** 2/7/2003

118) 
ReallInfo LLC
Zoning Search
16-18-205-032-0000


Owner Name: JOHN R O'BRIEN DECLARATION OF TRUST DTD MAR/03/10,O'BRIEN
Site Address: JOHN R T/U
535 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: JOHN R OBRIEN
Tax Payer Address : 535 S GUNDERSON AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 3/17/2010
Document #: 1007629007 - DEED IN TRUST

119) 
ReallInfo LLC
Zoning Search
16-18-205-038-0000


Owner Name: MARQUEZ CAROL A,MARQUEZ EDWARD P
Site Address: 515 W MADISON ST OAK PARK IL ,
Tax Payer Name: EDWARD P MARQUEZ CAR
Tax Payer Address : 35980 SINGLETON RD CALIMESA CA 92320
Telephone #: N/A
Sale Amount: \$1,176,000 Sale Date: 8/13/2019
Document #: 1922534276 - WARRANTY DEED

120) 
ReallInfo LLC
Zoning Search
16-18-205-039-0000


Owner Name: FERMI MARIA E,
Site Address: 508 S SCOVILLE AV OAK PARK IL 60304,
Tax Payer Name: MARIA FERMI
Tax Payer Address : 150 N OAK PARK AV OAK PARK IL 60301
Telephone #: N/A
Sale Amount: \$380,000 Sale Date: 10/15/2009
Document #: 928854033 - DEED OF SALE

121) 
ReallInfo LLC
Zoning Search
16-18-206-001-0000


Owner Name: MUDGER MARGARET,MUDJER STEPHEN J
Site Address: 449 MADISON ST OAK PARK IL 60302,
Tax Payer Name: STEPHEN J MUDJER
Tax Payer Address : 6540 ROOSEVELT RD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$300,000 Sale Date: 1/11/2005
Document #: 501139063 - DEED OF SALE

122) 
ReallInfo LLC
Zoning Search
16-18-206-002-0000


Owner Name: MUDJER MARGT,MUDJER STEPHEN J
Site Address: 435-45 W MADISON ST OAK PARK IL ,
Tax Payer Name: STEPHEN J MUDJER
Tax Payer Address : 6540 ROOSEVELT RD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 6/13/1995
Document #: 95382047 - QUIT CLAIM DEED

123) 
ReallInfo LLC
Zoning Search
16-18-206-003-0000


Owner Name: KORCHEK ADAM P,KORCHEK AMY E
Site Address: 512 GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: KORCHEK
Tax Payer Address : 512 GUNDERSON AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$435,000 Sale Date: 5/4/2012
Document #: 1212557198 - WARRANTY DEED

124) 
ReallInfo LLC
Zoning Search
16-18-206-004-0000

Owner Name: KOIZUMI CAROL J,
Site Address: 514 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: CAROL J KOIZUMI
Tax Payer Address : 514 S GUNDERSON AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 8/31/1982
Document #: 26338458 - QUIT CLAIM DEED

125) 
ReallInfo LLC
Zoning Search
16-18-206-005-0000

Owner Name: THOMAS LORI J,THOMAS THOMAS N
Site Address: 518 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: THOMAS N THOMAS JR
Tax Payer Address : 518 S GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 8/24/2012
Document #: 1223716114 - QUIT CLAIM DEED

126) 
ReallInfo LLC
Zoning Search
16-18-206-006-0000

Owner Name: BIRNBAUM STANLEY A,BIRNBAUM TINA S
Site Address: 520 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: STANLEY A BIRNBAUM
Tax Payer Address : 520 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$73,500 Sale Date: 10/12/1978
Document #: 24667718 - WARRANTY DEED

Owner Name: ROSS MARGARET C,THE MARGARET C. ROSS 2017 DECLARATION OF

127)



ReallInfo LLC
Zoning Search
16-18-206-007-0000

TRUST DATED MARCH 7 2017
Site Address: 524 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: MARGARET ROSS
Tax Payer Address : 524 S GUNDERSON AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 5/17/2017
Document #: 1713734018 - DEED IN TRUST

128)



ReallInfo LLC
Zoning Search
16-18-206-008-0000

Owner Name: LEGATZKE ANDREA D,LEGATZKE STEPHEN J
Site Address: 528 S GUNDERSON OAK PARK IL 60304,
Tax Payer Name: STEPHEN LEGATZKE
Tax Payer Address : 528 GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$181,000 Sale Date: 5/11/1994
Document #: 94420965 - WARRANTY DEED

129)



ReallInfo LLC
Zoning Search
16-18-206-009-0000

Owner Name: HAIGH TANIA MATTERA,HAIGH DAVID J
Site Address: 530 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: D HAIGH
Tax Payer Address : 530 GUNDERSON AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$399,000 Sale Date: 10/21/2010
Document #: 1029440118 - DEED OF SALE

130)



ReallInfo LLC
Zoning Search
16-18-206-010-0000

Owner Name: HARRIS GEOFFREY R,LEE LISA (HUS & WF)
Site Address: 534 S GUNDERSON AV OAK PARK IL 60304,
Tax Payer Name: G HARRIS L LEE
Tax Payer Address : 534 S GUNDERSON OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$350,000 Sale Date: 2/28/2001
Document #: 10162969 - WARRANTY DEED

131)



ReallInfo LLC
Zoning Search
16-18-206-014-0000

Owner Name: SECOND CENTURY ENTERPRISES INC.,
Site Address: 427 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: STEPHEN J MUDJER
Tax Payer Address : 6540 ROOSEVELT RD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 2/29/2016
Document #: 1606044060 - DEED OF SALE

132)



ReallInfo LLC
Zoning Search
16-18-206-015-0000

Owner Name: LEWIS ITECHA,
Site Address: 507 S ELMWOOD OAK PARK IL 60304,
Tax Payer Name: ITECHA LEWIS
Tax Payer Address : 511 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$25,000 Sale Date: 11/19/2018
Document #: 1832347083 - WARRANTY DEED

133)



ReallInfo LLC
Zoning Search
16-18-206-016-0000

Owner Name: LEWIS ITECHA,
Site Address: IL ,
Tax Payer Name: ITECHA LEWIS
Tax Payer Address : 511 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$325,000 Sale Date: 7/2/2018
Document #: 1818306022 - WARRANTY DEED

134)



ReallInfo LLC
Zoning Search
16-18-206-017-0000

Owner Name: FITCHETT GEO A,FITCHETT JUDITH J
Site Address: 515 S ELMWOOD OAK PARK IL 60304,
Tax Payer Name: GEORGE FITCHETT
Tax Payer Address : 515 S ELMWOOD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$57,000 Sale Date: 7/25/1978
Document #: 24550565 - WARRANTY DEED

135)



ReallInfo LLC
Zoning Search
16-18-206-018-0000

Owner Name: LOENTZ ELIZABETH A,MALY TIMOTHY M
Site Address: 517 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: ELIZABETH A LOENTZ
Tax Payer Address : 517 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$535,000 Sale Date: 1/29/2019
Document #: 1902946030 - WARRANTY DEED

136)



ReallInfo LLC

Owner Name:
Site Address: 521 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: DOUGLAS G CATER
Tax Payer Address : 521 S ELMWOOD AV OAK PARK IL 60304

Zoning Search
16-18-206-019-0000

Telephone #:
Sale Amount:
Document #:

N/A
N/A Sale Date:
-

137)



ReallInfo LLC
Zoning Search
16-18-206-020-0000

Owner Name: IANNACCONI KAREN K.,THE KAREN K IANNACCONI TRUST
Site Address: 525 S ELMWOOD OAK PARK IL 60304,
Tax Payer Name: IANNACCONI MICHAEL
Tax Payer Address : 525 S ELMWOOD AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 6/18/2012
Document #: 1217034053 - DEED IN TRUST

138)



ReallInfo LLC
Zoning Search
16-18-206-021-0000

Owner Name: SAVOY GRETCHEN E,SAVOY MORRELL K
Site Address: 527 S ELMWOOD OAK PARK IL 60304,
Tax Payer Name: M G SAVOY
Tax Payer Address : 527 S ELMWOOD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$525,000 Sale Date: 9/12/2007
Document #: 725505236 - WARRANTY DEED

139)



ReallInfo LLC
Zoning Search
16-18-206-022-0000

Owner Name: WASIK JENNIFER L,BROWN JUSTIN M
Site Address: 531 S ELMWOOD OAK PARK IL 60304,
Tax Payer Name: JUSTIN M BROWN
Tax Payer Address : 531 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$710,000 Sale Date: 8/17/2018
Document #: 1822904049 - WARRANTY DEED

140)



ReallInfo LLC
Zoning Search
16-18-206-023-0000

Owner Name:
Site Address: 533 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: MARY JEAN OCONNOR
Tax Payer Address : 533 S ELMWOOD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date:
Document #: -

141)



ReallInfo LLC
Zoning Search
16-18-207-001-0000

Owner Name: CAMPBELL CANDICE,CAMPBELL REGINAL K
Site Address: 500 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: CANDICE CAMPBELL
Tax Payer Address : 500 S ELMWOOD OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$470,000 Sale Date: 12/16/2015
Document #: 1535033040 - WARRANTY DEED

142)



ReallInfo LLC
Zoning Search
16-18-207-002-0000

Owner Name: FIGATNER DANIEL,FIGATNER KATHERINE
Site Address: 506 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: KATHERINE FIGATNER
Tax Payer Address : 506 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$470,000 Sale Date: 11/29/2016
Document #: 1633404041 - WARRANTY DEED

143)



ReallInfo LLC
Zoning Search
16-18-207-003-0000

Owner Name: DOUGLAS ROBERT W,CLAXTON-DOUGLAS HEATHER
Site Address: 508 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: ROBERT W DOUGLAS
Tax Payer Address : 508 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$405,000 Sale Date: 12/22/2014
Document #: 1435601030 - WARRANTY DEED

144)



ReallInfo LLC
Zoning Search
16-18-207-004-0000

Owner Name: BEADLESTON DIRK ANTHONY,BEADLESTON MELANIE BETH
Site Address: 516 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: MELANIE DYKSTRA
Tax Payer Address : 516 S ELMWOOD OAK PK IL 60304
Telephone #: N/A
Sale Amount: N/A Sale Date: 3/9/1994
Document #: 94217440 - QUIT CLAIM DEED








145)



ReallInfo LLC
Zoning Search
16-18-207-005-0000

Owner Name: BELKE CAROLYN,HAYDEN WILLIAM R
Site Address: 518 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: CAROLYN BELKE
Tax Payer Address : 518 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$520,000 Sale Date: 11/1/2007
Document #: 730554046 - WARRANTY DEED

Owner Name: IPEMA WILLIAM J,IPEMA HEATHER J

- 146)  ReallInfo LLC
Zoning Search
16-18-207-006-0000
- Site Address:** 522 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: WM HEATHER IPEMA
Tax Payer Address : 522 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$396,000 **Sale Date:** 1/2/2013
Document #: 1300231021 - WARRANTY DEED
-
- 147)  ReallInfo LLC
Zoning Search
16-18-207-007-0000
- Owner Name:** ALBRECT JOERG,JOHNSON ANNA
Site Address: 526 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: J ALBRECT A JOHNSON
Tax Payer Address : 526 SOUTH ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$420,000 **Sale Date:** 4/5/2011
Document #: 1109540009 - DEED OF SALE
-
- 148)  ReallInfo LLC
Zoning Search
16-18-207-008-0000
- Owner Name:** GRIFTNER REBECCA L,SENATOR MATTHEW
Site Address: 530 S ELMWOOD AV OAK PARK IL 60304,
Tax Payer Name: MATTHEW SENATOR
Tax Payer Address : 530 S ELMWOOD AVE OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$565,000 **Sale Date:** 1/3/2019
Document #: 1900304071 - WARRANTY DEED
-
- 149)  ReallInfo LLC
Zoning Search
16-18-207-013-0000
- Owner Name:** RDK VENTURES LLC,
Site Address: 401 W MADISON ST OAK PARK IL 60302,
Tax Payer Name: RDK VENTURES LLC PB347
Tax Payer Address : 4080 W JONATHAN MOORE COLUMBUS IN 47201
Telephone #: N/A
Sale Amount: \$623,500 **Sale Date:** 9/30/2011
Document #: 1127341130 - SPECIAL WARRANTY DEED
-
- 150)  ReallInfo LLC
Zoning Search
16-18-207-014-0000
- Owner Name:** COOK CARRIE N,COOK CARSON R
Site Address: 511 S RIDGELAND AV OAK PARK IL 60304,
Tax Payer Name: CARSON CARRIE COOK
Tax Payer Address : 511 S RIDGELAND AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$420,000 **Sale Date:** 4/14/2011
Document #: 1110429023 - WARRANTY DEED
-
- 151)  ReallInfo LLC
Zoning Search
16-18-207-015-0000
- Owner Name:** CURY ADRIANNE (HIS WF),UNDERWOOD WM A
Site Address: 515 N RIDGELAND OAK PARK IL 60304,
Tax Payer Name: CURY UNDERWOOD
Tax Payer Address : 515 S RIDGELAND AV OAK PARK IL 60304
Telephone #: N/A
Sale Amount: \$165,000 **Sale Date:** 3/24/1992
Document #: 92193688 - WARRANTY DEED
-
- 152)  ReallInfo LLC
Zoning Search
16-18-207-016-0000
- Owner Name:** FITZGERALD PHYLLIS,RUSCIK THOMAS
Site Address: 519 S RIDGELAND OAK PARK IL 60304,
Tax Payer Name: KIMBERLEY UNDERWOOD
Tax Payer Address : 519 S RIDGELAND OAK PARK IL 60304
Telephone #: N/A
Sale Amount: N/A **Sale Date:** 2/17/2009
Document #: 904854095 - QUIT CLAIM DEED
-



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 SECTION 2: (Second section)
 SECTION 3: (Third section)
 SECTION 4: (Fourth section)
 SECTION 5: (Fifth section)
 SECTION 6: (Sixth section)
 SECTION 7: (Seventh section)
 SECTION 8: (Eighth section)
 SECTION 9: (Ninth section)
 SECTION 10: (Tenth section)

S. KORNBLAU AVE

SECTION 1: (Leftmost section)
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 SECTION 3: (Third section)
 SECTION 4: (Fourth section)
 SECTION 5: (Fifth section)
 SECTION 6: (Sixth section)
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S. STARBUCK AVE

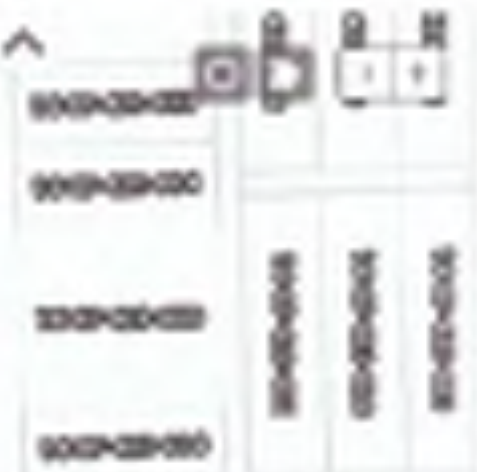
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SECTION 1

SECTION 1

SECTION 1

SECTION 1



Now file for 2018 collection

Current files = 10/20/2018

Client Map South 10/20/18

NOTICE OF NEIGHBORHOOD MEETING

Date: October 8, 2019

Time: 7:00 PM – 8:00 PM

Location: OAK PARK PUBLIC LIBRARY – MAZE BRANCH
845 Gunderson Avenue
Oak Park, Illinois 60302

Subject Property Address: 435-449 W Madison St
Oak Park, Illinois 60302

Proposed Development: Construction of a 48 unit luxury rental apartment building with enclosed parking spaces

Purpose of Meeting: Discussion of the Development prior to a final Plan Development Application. Meet the developer's representatives and provide feedback on the development plans.

AGC WADSWORTH DEVELOPMENT NEIGHBORHOOD MEETING

DATE: 10/21/19

NAME	ADDRESS	PHONE	COMMENTS
1 Tom Kofy	25 Ashbury Ave #1	908-997-2222	neighborhood rep
2 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
3 Ed Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
4 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
5 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
6 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
7 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
8 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
9 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
10 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
11 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
12 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
13 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
14 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
15 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
16 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
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18 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
19 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
20 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
21 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
22 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
23 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
24 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
25 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
26 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
27 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
28 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
29 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep
30 Cynthia Kofy	25 Ashbury Ave	908-997-2222	neighborhood rep

PD Application
Item 13
EXHIBITS

EXHIBIT A SCHEDULE OF DEVELOPMENT

After the approval by the Village Board, the process of developing the project will be according to the following schedule after receipt of a Building Permit:

Plan and schedule of construction

	Months						
	1	3	5	7	13	15	17
Demolition and site prep	X						
Drawings and permits			X				
Excavation			X				
Foundation			X				
Rough Framing				X			
Roof				X			
Brick and masonry				X			
Mechanical rough					X		
Drywall					X		
Trim and paint							X
Cleaning and Landscaping						X	

GBI Project Checklist for Green Globes for New Construction



Date: December 23, 2019
 Project Name: 435 Madison St. Oak Park, IL

Important Note: This document is intended to provide information regarding the areas assessed and associated **maximum** points available under the Green Globes for New Construction program. Each of the areas presented here contain more specific criteria which are scored within the online Construction Documents Survey. Please refer to the [Technical Reference Manual](#) to view all assessed criteria, associated maximum points possible, ToolTips and references. **Please purchase and complete the online Construction Documents Survey for the most accurate self-evaluation of a project. Final Green Globes certification is based upon third-party assessor verified points at the conclusion of an assessment.**

PROJECT MANAGEMENT		Maximum Points: 50	Expected Points	Applicable Points
1.1	Integrated Design Process (IDP)	9		
1.1.1	Pre-Design Meetings	3	3	
1.1.2	IDP Performance Goals	3		
1.1.3	IDP Progress Meeting for Design	3		
1.1.4	Capital Asset Plan & Business Case Summary (Federal only)	0		
1.2	Environmental Management During Construction	12		
1.2.1	Environmental Management Systems (EMS)	3		
1.2.2	Clean Diesel Practices	2	1	
1.2.3	Building Materials and Building Envelope	2	2	
1.2.4	IAQ During Construction	5		
1.3	Commissioning	29		
1.3.1	Pre-Commissioning	3		
1.3.2	Whole Building Commissioning	19		
1.3.3	Training	1	1	
1.3.4	Operations and Maintenance Manual	6	6	
			13	0

SITE		Maximum Points: 115	Expected Points	Applicable Points
2.1	Development Area	30		
2.1.1	Urban Infill and Urban Sprawl	10	10	
2.1.2	Greenfields, Brownfields and Floodplains	20	10	
2.2	Ecological Impacts	32		
2.2.1	Site Disturbance and Erosion	8	5	
2.2.2	Tree Integration	5	2	
2.2.3	Tree Preservation	4	4	
2.2.4	Heat Island Effect	13	5	
2.2.5	Bird Collisions	2		
2.3	Stormwater Management	18	10	
2.4	Landscaping	28	6	
2.5	Exterior Light Pollution	7	3	
			55	0

ENERGY		Maximum Points: 390	Expected Points	Applicable Points
Energy Performance		100	50	
Energy Demand		35	15	



GBI Project Checklist for Green Globes for New Construction



Date: December 23, 2019
 Project Name: 435 Madison St. Oak Park, IL

3.2.1	Passive Demand Reduction	19	10	
3.2.2	Power Demand Reduction	16	5	
3.3	Metering, Measurement, and Verification	12		
3.3.1	Metering	8	4	
3.3.2	Measurement and Verification	4		



GBI Project Checklist for Green Globes for New Construction



Date: December 23, 2019
 Project Name: 435 Madison St. Oak Park, IL

3.4	Building Opaque Envelope	31		
3.4.1	Thermal Resistance and Transmittance	10	10	
3.4.2	Orientation	5		
3.4.3	Fenestration Systems	16	16	
3.5	Lighting	36		
3.5.1	Lighting Power Density	10		
3.5.2	Interior Automatic Light Shut-off Controls	3	1	
3.5.3	Light Reduction Controls	4	2	
3.5.4	Daylighting	8	3	
3.5.5	Controls for Daylighted Zones	6	N/A	
3.5.6	Exterior Luminaires and Controls	5	3	
3.6	HVAC Systems and Controls	59		
3.6.1	Building Automation System	10		
3.6.2	Cooling Equipment	13	3	
3.6.3	Cooling Towers	8	8	
3.6.4	Heat Pumps	6		
3.6.5	Heating Equipment	8	4	
3.6.6	Condensate Recovery	3		
3.6.7	Steam Traps	2		
3.6.8	Domestic Hot Water Heaters	3	2	
3.6.9	Variable Speed Control of Pumps	6		
3.7	Other HVAC Systems and Controls	32		
3.7.1	Minimizing Re-heat and Re-cool	6	3	
3.7.2	Air Economizers	3	3	
3.7.3	Fans and Ductwork	7	4	
3.7.4	Demand Controlled Ventilation	10	4	
3.7.5	Variable Refrigerant Flow Systems	6		
3.8	Other Energy Efficient Equipment and Measures	11		
3.8.1	Elevators and Escalators	5		
3.8.2	Other Energy Efficient Equipment	6	4	
3.9	Renewable Energy	50		
3.9.1	On-site Renewable Energy	32		
3.9.2	Off-site Renewable Energy	18		
3.10	Energy Efficient Transportation	24	18	
			172	0

WATER		Maximum Points: 110	Expected Points	Applicable Points
4.1	Water Consumption	42	20	
4.2	Cooling Towers	9		
4.3	Boilers and Water Heaters	4		
4.4	Water Intensive Applications	18	N/A	
4.4.1	Commercial Food Service Equipment	6		
4.4.2	Laboratory and Medical Equipment	5		
4.4.3	Laundry Equipment	4		
4.4	Special Water Features	3		
	Water Treatment	3		



GBI Project Checklist for Green Globes for New Construction



Date: December 23, 2019
 Project Name: 435 Madison St. Oak Park, IL

4.6	Alternate Sources of Water	5		
4.7	Metering	11		
4.8	Irrigation	18	8	
			28	0

MATERIALS & RESOURCES		Maximum Points: 125	Expected Points	Applicable Points
5.1	Building Assembly (Core & Shell including Envelope)	33	20	
5.2	Interior Fit-Out (including Finishes and Furnishings)	16	10	
5.3	Reuse of Existing Structures	26	N/A	
5.3.1	Facades	6		
5.3.2	Structural Systems	6		
5.3.3	Non-Structural Elements	14		
5.4	Waste	9		
5.4.1	Construction Waste	7	2	
5.4.2	Operational Waste	2	1	
5.5	Building Service Life Plan	7	6	
5.6	Resource Conservation	6		
5.6.1	Minimized Use of Raw Materials	3	2	
5.6.2	Multi-Functional Assemblies	1		
5.6.3	Deconstruction and Disassembly	2		
5.7	Building Envelope - Roofing/Opening	10		
5.7.1	Roofing Membrane Assemblies and Systems	3	3	
5.7.2	Flashings	3	3	
5.7.3	Roof and Wall Openings	4	4	
5.8	Envelope - Foundation, Waterproofing	6		
5.8.1	Foundation Systems	4	2	
5.8.2	Below Grade Wall Slabs and Above Grade Horizontal	2	2	
5.9	Envelope - Cladding	5		
5.9.1	Exterior Wall Cladding Systems	3	2	
5.9.2	Rainscreen Wall Cladding	2		
5.10	Envelope - Barriers	7		
5.10.1	Air Barriers	4	2	
5.10.2	Vapor Retarders	3	1	
			60	0

EMISSIONS		Maximum Points: 50	Expected Points	Applicable Points
6.1	Heating	18	7	
6.2	Cooling	29	15	
6.2.1	Use of New or Existing Cooling Equipment (informational)	0		
6.2.2	Ozone-Depleting Potential	10	4	
6.2.3	Global Warming Potential	10	5	
6.2.4	Leak Detection	9	6	
6.3	Informational Equipment	3	3	
			40	0



GBI Project Checklist for Green Globes for New Construction



Date: December 23, 2019
 Project Name: 435 Madison St. Oak Park, IL

INDOOR ENVIRONMENT		Maximum Points: 160	Expected Points	Applicable Points
7.1	Ventilation	37		
7.1.1	Ventilation Air Quantity	11	11	
7.1.2	Air Exchange	8	8	
7.1.3	Ventilation Intakes and Exhausts	8	5	
7.1.4	CO2 Sensing and Ventilation Control Equipment	5		
7.1.5	Air Handling Equipment	5	5	
7.2	Source Control and Measurement of Indoor Pollutants	46		
7.2.1	Volatile Organic Compounds	10	3	
7.2.2	Leakage, Condensation and Humidity	8	4	
7.2.3	Access for HVAC Maintenance	4	3	
7.2.4	Carbon Monoxide Monitoring	4		
7.2.5	Wet Cooling Towers	2	2	
7.2.6	Domestic Hot Water Systems	2		
7.2.7	Humidification and Dehumidification Systems	3	3	
7.2.8	Pest and Contamination Control	3	1	
7.2.9	Other Indoor Pollutants (Tobacco, Radon)	8	6	
7.2.10	Ventilation and Physical Isolation for Specialized Activities	2	N/A	
7.3	Lighting Design and Systems	30		
7.3.1	Daylighting	17	5	
7.3.2	Lighting Design	13	7	
7.4	Thermal Comfort	18		
7.4.1	Thermal Comfort Strategies	12	N/A	
7.4.2	Thermal Comfort Design	6	4	
7.5	Acoustic Comfort	29		
7.5.1	Acoustic Comfort Design	18	5	
7.5.2	Mechanical, Plumbing, and Electrical	11	5	
			77	0
TOTAL:			445	0

Expected Points	Applicable Points
445	0

Important Note: This document is intended to provide information regarding the areas assessed and associated **maximum** points available under the Green Globes for New Construction program. Each of the areas presented here contain more specific criteria which are scored within the online Construction Documents Survey. Please refer to the [Technical Reference Manual](#) to view all assessed criteria, associated maximum points possible, ToolTips and references. **Please purchase and complete the online Construction Documents Survey for the most accurate self-evaluation of a project. Final Green Globes certification is based upon third-party assessor verified points at the conclusion of an assessment.**



October 17, 2019

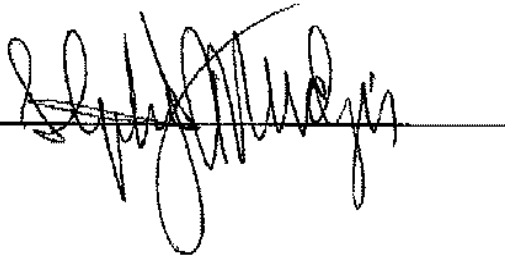
Village of Oak Park
Building and Zoning Department
123 Madison Street
Oak Park, Illinois 60302

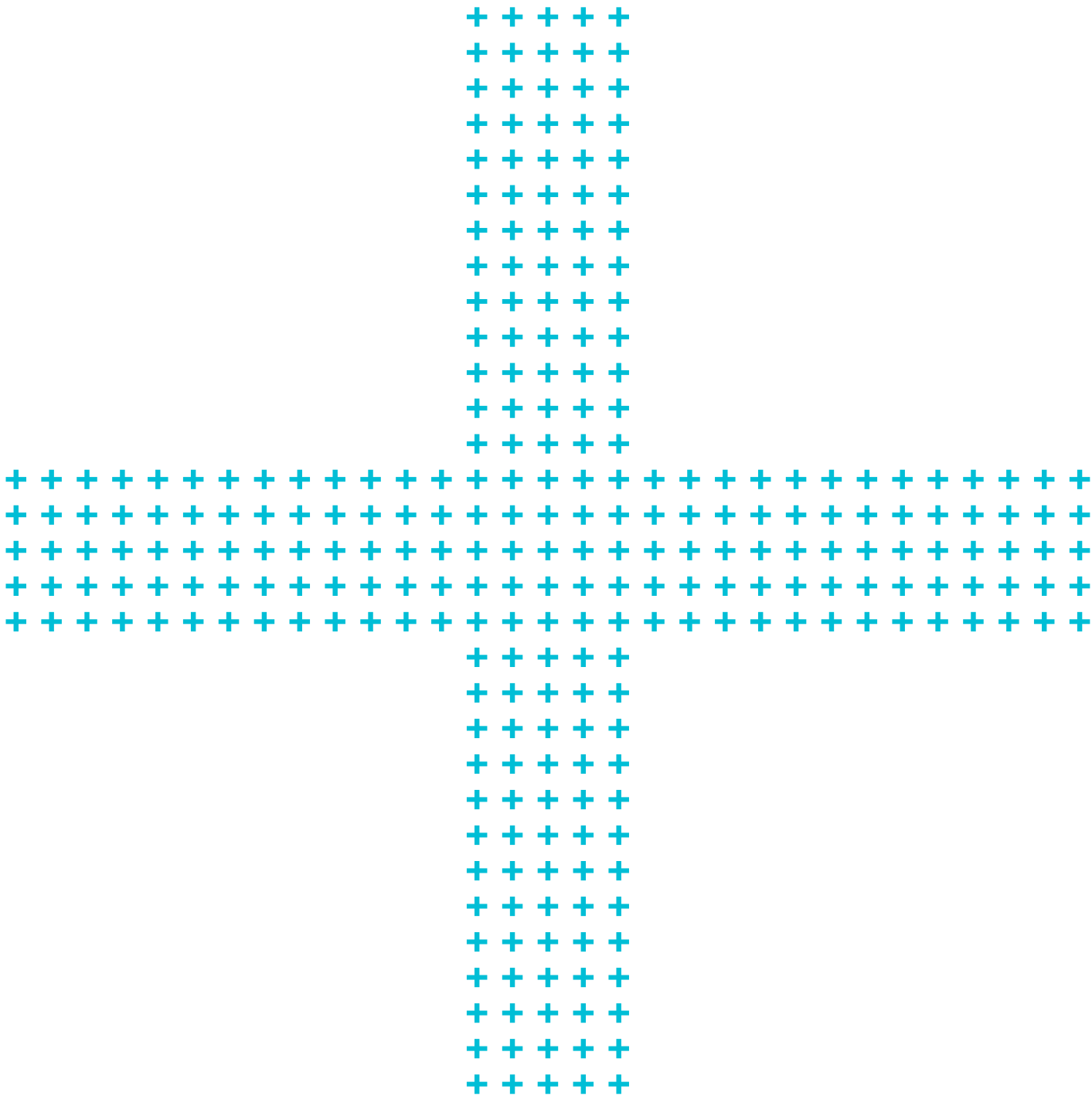
To Whom It May Concern:

I, Stephen Mudjer, owner of the property located at 435-449 Madison Street, have a contract to sell the property to GLPE, LLC and GLPE, LLC have contracted John Schiess, Architect to act as agent authorized to submit, obtain permits, and conduct additional business activities related to the Department of Buildings and Zoning permit process for the property located at 435-449 Madison Street Oak Park, Illinois 60302.

Should there be any questions or concerns, please feel free to contact me at 708-524-9400.

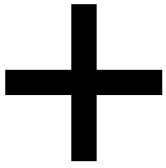
Signature

A handwritten signature in black ink, appearing to read "Stephen Mudjer", is written over a horizontal line. The signature is stylized and cursive.



SPACE
ARCHITECTS + PLANNERS

SPACE forward —————



MEET THE TEAM



JAY KELLER

AIA NCARB LEED AP BD+C
Principal + Co-Founder

Licensed Architect in Illinois
LEED Accredited Professional Building Design + Construction
Registered Interior Designer in Illinois
Self-Certified Architect with the City of Chicago Department of Buildings
Registered Energy Professional with the City of Chicago Department of Buildings

CONTACT INFORMATION

P: 312.829.6666 x100
M: 773.844.3252
E: jay@spacearchplan.com

ASSOCIATIONS

AIA
Member
NCARB
Member
USGBC
Member
City of Chicago Special Olympics
Volunteer
Breakthrough Ministries Women's Shelter
Volunteer

EDUCATION

University of Illinois at Urbana-Champaign – Champaign, IL
Master of Architecture
Bachelor of Science and Architectural Studies

AWARDS + HONORS

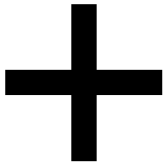
Master Design Awards Qualified Remodeler – Gold Medal recipient – Siegel Residence
Master Design Awards – Qualified Remodeler – Gold Medal recipient – Evermen Lofts
Ones to watch: Architecture – Modern Luxury magazine, 2014
I4 Design Emerging Leader “The Team Players” Award, 2011
Landmark Chicago Preservation Excellence Award, 2007 – 1555 N. Hoyne
Landmark Chicago Preservation Excellence Award, 2015 – Evermen Lofts
Chicago Association of Realtors Good Neighbor Award recipient, 2009, 2010, 2011, 2012

ACTIVITIES

Presenter at the Chicago Center for Green Technology
Guest critic at the DuPage College School of Architecture
Guest critic for Dirk Denison's studio at IIT
CPS House Tour - Chicago Green Home
Volunteer for Rebuilding Together
Volunteer for Habitat for Humanity

KEY PROJECTS

133 S. Ashland - New Construction - 89 Units - In Progress - 2020 Delivery
30 E. Adams - Adaptive Re-use - 176 Units - In Progress - 2019 Delivery
Monroe Aberdeen Place - New Construction - 120 Units - 2018
TAO - Restaurant and Nightclub - Adaptive Re-use - 2018
Bixi Beer - Restaurant and Event Space - Adaptive Re-use - 2018
33 S. Ashland - New Construction - 47 Units - 2017



MEET THE TEAM



CONTACT INFORMATION

P: 312.829.6666 x116

E: meredith@spacearchplan.com

MEREDITH VLAHAKIS

AIA NCARB LEED AP BD+C

Manager

Licensed Architect in Illinois

EDUCATION

Illinois Institute of Technology - Chicago, IL

Masters of Architecture

University of Washington - Seattle, WA

ARCHEWORKS Post Professional Design School - Chicago, IL

Certificate in Social and Environmental Urban Design

ACTIVITIES

AIA Community Interface Committee - Member, 2018

Camp One Step by Children's Oncology Services Charity Poker Tournament - Volunteer

Banker, 2016 to present

Future City Regional Competition - Special Awards Judge, 2015 to present

CAF Open House Chicago - Volunteer, 2015 to present

AAUW Tech Savvy Conference - Workshop facilitator, 2018

AIA Chicago, CPS & SAID Green Cities Green Schools - Workshop facilitator 2014

AIA Chicago and CPS - Young Architects Workshop, 2014 & 2015

AIA Chicago and CPS - Working With An Architect, 2014

ASSOCIATIONS

AIA

Member

NCARB

Member

USGBC

Member

KEY PROJECTS

104 S. Laflin - New Construction + Zoning Relief - 51 Units - In Progress

669 N. Milwaukee - New Construction + Zoning Change - 12 Units - In Progress

1841 N. California - New Construction + Zoning Change - 14 Units - 2019

35 S. Aberdeen - New Construction - 50 Units - 2017

OFFICES

2149 North Talman Avenue
Chicago Illinois 60647

CONTACT

312 829 6666
info@spacearchplan.com

ONLINE

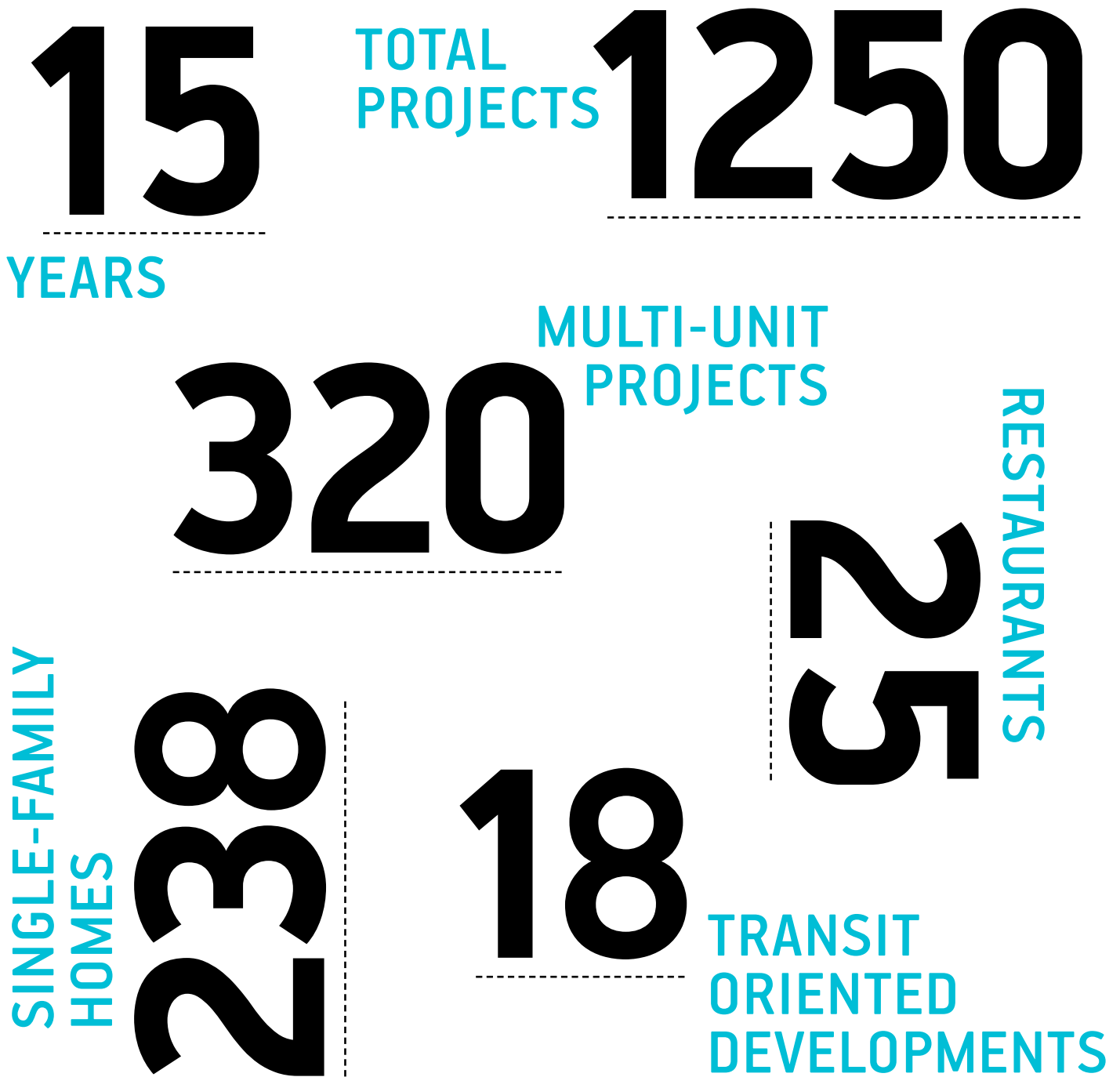
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@spacearchplan



***SPACE Architects + Planners
is driven by possibility.***

*We are generators of the what-ifs
and the why-nots. Bringing blank
slates to life, transforming empty
shells into new beginnings. We look
to our community for inspiration
while seeking to enrich the lives
of those around us.*

AT A GLANCE





GOOD ARCHITECTURE
EVOLVES THROUGH HUMBLE,
TEAM-BASED EFFORTS.

ABOUT US

SPACE Architects + Planners is a collective of design professionals with a common vision and a passion for architecture, planning and design. Our growing team is firmly dedicated to its clients, for projects both large and small. We enjoy successful working relationships with all of our clients, and are determined to establish SPACE Architects + Planners as one of the premier architectural firms in Chicago.

We believe good architecture evolves through humble, team-based efforts. Our office thrives in an open and collaborative atmosphere, which favors cohesiveness between team members and, as a result, directly benefits our projects and clients.



ACCOUNTABILITY

TEAMWORK

CREATIVITY

TRANSPARENCY

INTEGRITY

SERVICES

- + Zoning and Code Analysis
- + Site Analysis and Planning
- + Existing Conditions and As-Builts
- + Schematic Design
- + Design Development
- + Permit Documents and Procurement
- + Construction Documents
- + Construction Administration
- + Interior Design and FF&E
- + Renderings and Marketing Materials

PROCESS

+ 01 ———.

ANALYSIS

SITE ANALYSIS
CODE ANALYSIS

+ 02 ———.

DESIGN

SCHEMATIC DESIGN
DESIGN DEVELOPMENT

+ 03 ———.

PERMITS & DOCUMENTS

PERMIT PROCUREMENT
CONSTRUCTION DOCUMENTS

+ 04 ———.

BUILD

CONSTRUCTION
ADMINISTRATION

+ 05 ———.

ENJOY

LIVE, PLAY, DINE,
SHOP, MEET

PRINCIPALS



JEAN DUFRESNE

CO-FOUNDER, PRINCIPAL
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Licensed Architect, IL, MI, PA and DE

Self-Certified Architect,
City of Chicago

Registered Interior Designer

Bachelor of Architecture,
McGill University

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LEED Accredited Professional

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City of Chicago

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University of Illinois at Chicago

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MANAGERS



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Tokyo Institute of Technology

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SARAH REINDL

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NCARB

Licensed Architect, IL

Bachelor of Architecture,
University of Tennessee

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MOLLIE O'SHEA

INTERIOR DESIGNER

Bachelor of Fine Arts,
Harrington College of Design

mollie@spacearchplan.com



SPACE is located in the Logan Square neighborhood of Chicago.

Please contact us with any inquiries or to request additional samples.

— **ONLINE**

spacearchplan.com

— **OFFICES**

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Chicago, Illinois 60647

— **GET IN TOUCH**

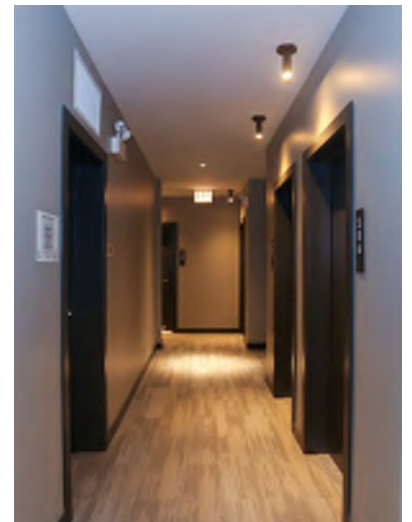
312 829 6666
info@spacearchplan.com

— **SOCIAL**

[@spacearchplan](https://www.instagram.com/spacearchplan)

THE NORTHLAND

CASE STUDY_



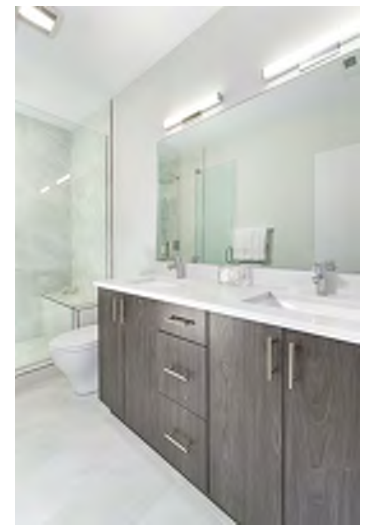
WHAT
MULTI UNIT
OLD TOWN
56,730 SQ FT
COMPLETED 2018

WHO
PRIVATE CLIENT
BUDGET WITHELD

SERVICES
ARCHITECTURE
INTERIORS

PRINDIVILLE TOWNHOMES

CASE STUDY__



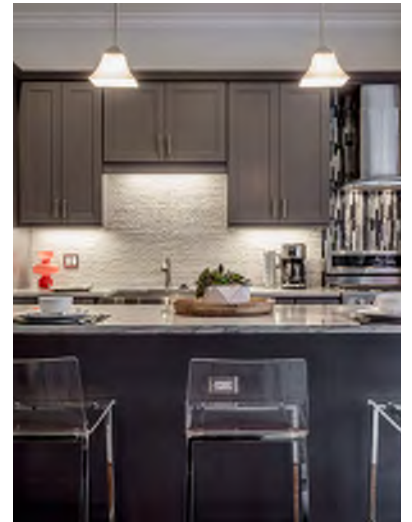
WHAT
MULTI UNIT
LOGAN SQUARE
? SQ FT
COMPLETED 2018

WHO
PRIVATE CLIENT

SERVICES
ARCHITECTURE

MONROE ABERDEEN

CASE STUDY__



WHAT
MULTI UNIT
WEST LOOP
191,000 SQ FT
COMPLETED 2018

WHO
MICHIGAN AVE REAL
ESTATE GROUP
\$ 29 K BUDGET

SERVICES
ARCHITECTURE

DIVISION MARION

CASE STUDY_



WHAT
MULTI UNIT
WICKER PARK
34,000 SQ FT
COMPLETED 2010

WHO
THE PRIME GROUP

SERVICES
ARCHITECTURE

EVERMAN LOFTS

CASE STUDY__



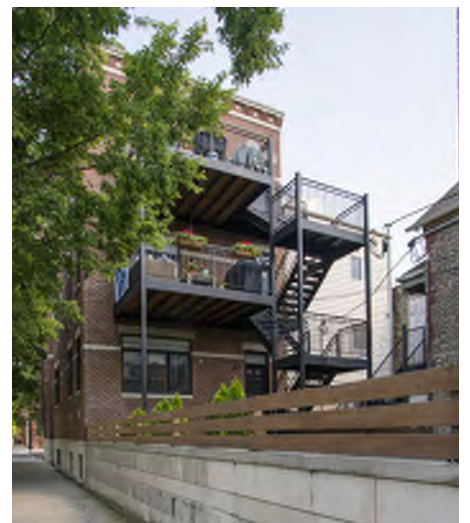
WHAT
MULTI UNIT
WICKER PARK
12,700 SQ FT
COMPLETED 2014

WHO
JAB REAL ESTATE

SERVICES
ARCHITECTURE
INTERIORS

POTOMAC RESIDENCES

CASE STUDY__



WHAT
MULTI UNIT
WICKER PARK
5,100 SQ FT
COMPLETED 2008

WHO
DAVE KRUG
\$ 1 M BUDGET

SERVICES
ARCHITECTURE

AvenueOne

Marketing and Sales

AvenueOne is committed to providing a positive real estate experience for our clients, associates, and the community. We provide superior service through professional guidance and client tailoring.

The combined experience of our brokers and marketing team paired with inventive strategies and pricing structures provide our clients with the necessary advantages to succeed in today's real estate market.

Our core values are the fundamental drive of our business, energy, creativity and innovation surpassing the industry standards.

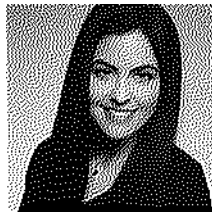
Over the past two decades AvenueOne has been consult and marketing team to many of the areas most noted developments. From single family homes to large scale developments AvenueOne is a trusted development partner from ideation to close and beyond.

energy creativity and innovation in home sales

DEVELOPMENT



Mariano Mollo
Managing Broker



Stephanie Mack
Broker



Riley Mockler
Broker



BONO CONSULTING, INC.

Civil Engineers Specializing in Site Development

bbono@bonoconsulting.com



Bono Consulting Civil Engineers provides site engineering, topographic surveys and permitting for building & land development projects.

➤ **Commercial:** Car Washes, Restaurants, Storage Buildings, Child Care Facilities, Hotels, Retirement Communities, Parking Lots
Clients: Cinespace Film Studios, Lou Malnati's, Dunkin, Jet Brite
40+ Carwashes, 30+ Self-Storage Facilities, 150+ Restaurants

➤ **Residential:** Apartment Buildings, Townhouses, Subdivisions, Single Family Homes, Pools, Drainage Improvements
Clients: Morgante Wilson, Antunovich, Sullivan Goulette, Space, Hanna
300+ Apartment Buildings, 35+ Townhouses, 3500+ Houses



➤ **Industrial:** Warehouses, Truck Docks, Freight Terminals, Truck Storage; Concrete Plants
Clients: Ozinga Ready Mix, Amerifreight Systems, Delta Freight Systems

➤ **Parks, Schools, & Places of Worship:** Golf Courses, Sport Fields, & ADA Improvements; New Schools and Additions; New Places of Worship, Additions, Parking Lot Expansions
Clients: Niles, Park Ridge & Morton Grove Park Districts; Carpenter Elementary School, Cement Mason's Training Facility, Carpenter's Training Facility; Churches, Mosques, Temples and Synagogues

➤ **Municipal:** Water, Sanitary and Storm Mains; Alleys, Roads, Sidewalks, Cul-de-sacs, Construction Observation
Clients: Village of Glenview, Village of Glencoe, City of Chicago (Cinespace Campus); Wilmette Library



Direct Access

- BCI Principals and Project Managers easily accessible to discuss project details.

Development Plan Feasibility

- Assess regulatory requirements and cost implications **before** the property is purchased.
- Review cost implications of site characteristics such as topography, floodplain, adjacent properties, etc.

Quick Turnaround

- Prepare Plan Sets quickly after site plan is finalized.
- Address Agency comments and resubmit promptly.

Coordination

- Coordinate plans with design team to minimize construction conflicts and costs.
- Follow up with agencies to expedite the permit process.

SUMMARY

We have helped clients navigate the site development process since 1997 and have successfully completed over 7,500 projects. We have significant experience with flood plain development. We have extensive experience with Chicago, Suburban Municipalities, MWRD, IEPA, DuPage, Kane and Lake County permitting agencies and we have also completed numerous projects in downstate Illinois, Indiana, Wisconsin and Iowa.



Civil Engineers Specializing In Land Development

PARK RIDGE OFFICE - 1018 Busse Highway • Park Ridge, Illinois 60068 • Phone (847) 823-3300

NAPERVILLE OFFICE - 1601 Bond, Suite 305 • Naperville, Illinois 60563 • Phone (331) 229-3512



B O N O C O N S U L T I N G , I N C .

BERNARD A. BONO, P.E., C.F.M.

PRINCIPAL ENGINEER

EDUCATION:

B.S., Civil Engineering (Environmental) University of Illinois, Urbana Campus 1982
M.S., Civil Engineering (Geotechnical) Illinois Institute of Technology 1987 (Nights)

REGISTRATION:

Registered Professional Engineer: Illinois, Indiana, Wisconsin, Iowa

WORK HISTORY:

**BONO CONSULTING
CIVIL ENGINEERS**

(1997 to Present)
President/Senior Project Manager

Bono Consulting has successfully completed over 7,500 civil projects for land development and residential clients; including over 425 developments in the City of Chicago. Bono Consulting specializes in commercial developments including office, mixed use, retail, restaurants, and industrial. We are very experienced with regulated sites requiring storm water detention and storm water infiltration, OUC permitting, and sunken driveway permitting. Significant experience with development of projects in or adjacent to flood plain.

Mr. Bono has extensive project management and safety training and oversees all the construction services projects in the office.

FLUOR DANIEL

(1990 to 1997)
Senior Project Manager in Environmental Services Group.

Responsible for business development, project management and civil engineering design. Designed landfill caps for 102nd Street CERCLA Site in New York, and 9th Avenue Dump in Gary, Indiana. Project manager for numerous CERCLA Site remediations and UST removal projects.

DONOHUE AND ASSOCIATES (1987-90)

Performed Project Management, Construction Supervision, and Design Engineering for numerous landfill, CERCLA and RCRA projects:

MCDONOUGH AND ASSOCIATES (1984-87)

Performed land surveying and construction inspection for highway projects. Designed grading for new I-355 tollway at the intersection with I-88. Inspector on the I-290 reconstruction project.

PROFESSIONAL ASSOCIATIONS:

Illinois Society of Professional Engineers (Past President-Chicago Chapter)
Illinois Society of Civil Engineers (Past President of Urban Planning Group)

COMMUNITY INVOLVEMENT

Go Green Park Ridge - Corporate Sponsor
Treasurer –Chicagoland Musky Hunters
Retired Commissioner – Park Ridge Planning & Zoning Commission



B O N O C O N S U L T I N G , I N C .

ABHIJIT VEER, P.E, LICENSED ARBORIST

SENIOR PROJECT MANAGER

EDUCATION

University of Illinois, Edwardsville
M.S. Civil Engineering, 2003

REGISTRATION

Registered Professional Engineer : Illinois
ISA – Certified Arborist 4809A

WORK HISTORY

**BONO CONSULTING
CIVIL ENGINEERS**

August, 2003 – Present
Senior Project Manager / Engineer IV

Project Manager and Senior Design Engineer for over 2,000 projects, including more than 150 projects in Chicago. Excellent working relationship with engineering reviewers in Building Department. Specializes in complicated sites with limited available space for storm water management.

Lead Project Engineer for the Touhy Centre Project, Skokie, IL. 14 acre Shopping Plaza. Site design included widening of 1,000 Lin. Ft. of Touhy Avenue (IDOT Route), preparing plans for traffic consultant for two signalized intersections, preparing cross sections and roadway profiles. On site design included site grading , storm sewer and detention design, water main and sewer main, including IEPA and MWRD permitting.

Project Engineer for a multitude of Single Family Homes, Multi-Family Homes and Commercial Developments. Tasks include site plan development, water main and sanitary sewer main design, storm sewer design and grading and floodplain coordination.

EXHIBIT H

GEWALT HAMILTON ASSOCIATES, INC. is a multidisciplinary civil engineering and surveying firm. Founded in 1981 in a small home office, the firm began with two engineers – Dave Gewalt and Bob Hamilton – driven to deliver service that exceeded clients' expectations. Through decades of diversification and growth, we have continuously provided an increasing array of professional services to municipalities, educational institutions, recreation districts, transportation agencies, healthcare institutions, and commercial developers. Today, Gewalt Hamilton is a multi-disciplinary organization providing comprehensive services in the fields of Civil Engineering, Land Surveying, Construction Engineering, Traffic Engineering and Transportation Planning, Traffic Data Collection, and Environmental Consulting.

TRANSPORTATION

At Gewalt Hamilton, we understand the inseparable link between transportation and land use. No matter the project – a site, corridor, community or region – we will plan and design a livable, buildable and cost-conscious transportation system that considers all modes of travel, as well as the physical and aesthetic impacts of the surrounding environment. Our years of experience working with public agencies and reviewing plans on their behalf, gives us an unparalleled perspective to the services we provide our clients.



Our firm is pre-qualified with IDOT in the following categories:

- Highways – Roads & Streets
- Hydraulic Reports – Waterways Complex
- Hydraulic Reports – Waterways Typical
- Location Design Studies – Reconstruction/Major Rehabilitation
- Location Design Studies – Rehabilitation
- Special Services – Electrical Engineering
- Special Services – Construction Inspection
- Special Services – Sanitary
- Special Services – Surveying
- Special Studies – Feasibility
- Special Studies – Location Drainage
- Special Studies – Safety
- Special Studies – Signal Coordination & Timing (SCAT)
- Special Studies – Traffic Signals
- Special Studies – Traffic Studies

SURVEY

Gewalt Hamilton offers professional land surveying services to meet the demands of businesses, developers, law firms, architects, engineers and contractors. Our surveying team utilizes state-of-the-art equipment, including Global Positioning Systems (GPS), Robotic Total Stations, and High Definition Scanning (HDS) for the most efficient and cost-effective systems for delivering timely, accurate results. Our computer-aided operators enjoy the benefit of utilizing high performance workstations running a vast array of software packages including the latest version of Autodesk and Microstation products for post process of field data. Gewalt Hamilton is a member of the Illinois Society of Professional Land Surveyors.

We are continuously expanding our surveying operations to include a diverse spectrum of services employing the latest technological advances.



SIGNAL COORDINATION & TIMING

Using system review, optimization, implementation, and field refinement, Gewalt Hamilton performs timely, cost-effective reviews of intersection operations in all traffic signal platforms, helping reduce delays, emissions, and energy costs. We offer monitoring of traffic signal operations and maintenance; temporary and permanent traffic signal coordination, timing, and optimization; transit signal priority; adaptive control strategies, and railroad interconnect studies.



DATA COLLECTION

Gewalt Hamilton provides a wide range of traffic data collection services to clients throughout the United States, including volume and classification counts, turning movement counts, speed and congestion studies, origin-destination and travel time studies, and parking counts. With nearly 20 years of experience collecting traffic and parking data, Gewalt Hamilton has one of the largest inventories of road tubes, plate counters, and video collection units in the country – we have the equipment and trained technical staff to handle any size project, and the processes to complete the work quickly, efficiently and accurately. We have partnered with Miovision Technologies to collect video data, using the most advanced video processing capabilities for quick and accurate counts.



CONSTRUCTION

Our field staff represents clients in dealings with contractors, cooperating governmental agencies, the traveling public and the taxpayer. It is our practice to collaborate with the construction industry to achieve maximum efficiency in producing a quality product. We are devoted to being proactive and keeping an open line of communication with you and the community. Each of our construction staff is equipped with state-of-the-art equipment required for the most efficient and cost-effective systems for delivering timely, budget-sensitive results. Our construction phase services are provided by licensed professional engineers, career-degreed professionals and technicians with a wealth of experience and knowledge in all types of public and private site construction.



Our engineering team works tirelessly on behalf of our clients and is dedicated to careful project management, the latest technological advances and monitoring of the construction process.

SITE DESIGN

Our site design team approaches every site improvement project with the intent that it will serve as an example of stewardship within the community. We take pride in our work and the legacy each project leaves behind.



Our familiarity with the approval process allows us to prepare plans that address regulatory requirements up front and facilitate quick turnaround. While keeping our clients' goals in mind, we work closely with local officials and county, state and federal agencies to ensure compliance with stormwater management, floodplain development, zoning and other applicable regulations.

Projects range from development and implementation of campus- or district-wide improvement programs to building additions, flood reduction and drainage improvements, and new developments for public and private sector clients.

WATER RESOURCES

For nearly every project, the competing concerns of site drainage, offsite impacts and preservation of water quality must all be addressed in compliance with overlapping and sometimes conflicting federal, state and local regulations.



Gewalt Hamilton is thoroughly familiar with the requirements of Chicago-area county and municipal stormwater ordinances, and we regularly prepare documentation and permit submittals to meet these regulatory requirements. Our strategies combine proven stormwater management approaches with innovative naturalized systems to both reduce stormwater runoff volume and enhance downstream water quality.

Our engineering staff combines design expertise with thorough regulatory understanding to provide clients superior water resources solutions.

MUNICIPAL

For more than 30 years, Gewalt Hamilton has partnered with municipalities, county and state agencies, transportation agencies, stormwater commissions, and townships. We are particularly aware of the potentially controversial nature of public projects, planning issues, and the need to maintain a positive relationship with local residents and businesses.



A number of our professionals currently serve as full-time municipal engineers for 13 Chicago-area municipalities and on an as-needed basis for more than 40 additional communities. Our wide range of services allows communities access to the resources of a full-service engineering firm without having to fund these services on a full-time basis.

SUSTAINABLE DESIGN

Gewalt Hamilton focuses on designing solutions with enduring results. Our relationship with sustainable design is fostered not only through ordinance provisions and best management practices, but also through our commitment to making positive impacts on the world around us.



For every project, we analyze the potential for applied best management practices and sustainable design. Whether you are considering rain gardens, restoring natural areas or installing permeable pavement, we strive to achieve effective sustainable benefits while providing exceptional site functionality. To forward our commitment, our firm actively participates in sustainability discussions and our associates sit on various committees focused on sustainable goals. We often look to increase the feasibility of sustainable design by searching for and winning grant monies for our clients.

ENVIRONMENT & FORESTRY CONSULTING

Our environmental staff works closely with civil design and water resources teams to incorporate sustainable design elements that minimize the impact of development on the environment.

Gewalt Hamilton helps clients understand and abide by the often complicated range of federal, state and local regulations relating to wetlands and environmentally sensitive areas. We consistently produce designs that balance project function and economics with natural resource preservation, increasing project appeal to both the public and regulatory agencies.



Many of our clients have been with us for years, providing us with the most authentic assurance that our work consistently meets expectations – their loyalty. Both public and private agencies have come to rely on the professional, personal and timely service we provide. At Gewalt Hamilton, we treat every project as just one shared experience in what we hope will be a long-term relationship. We work with our clients, not for them, bringing a team approach to every assignment. Our clients trust us to listen to their needs, provide honest and thoughtful feedback, and deliver exceptional results.

We invite you to experience the Gewalt Hamilton difference and find out why dozens of repeat clients choose Gewalt Hamilton for their civil engineering and surveying projects, large and small.

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About JCSA





JCSA is a full service architectural design firm, bringing a wealth of varied qualifications and experiences to every project taken on. The firm offers a unique blend of architectural design plus the proven ability to ensure development clients realize their project visions. In addition to years of design excellence, including award-winning designs, JCSA has over 20 years of success in helping their clients gain necessary governmental approvals such as discretionary permits, historic preservation certificates and land use entitlements.

JCSA specializes in a collaborative approach that includes working with neighborhood groups, municipal staff, and policy makers to build consensus and turn project visions into reality.



John Conrad Schiess, president of JCSA, is licensed to practice

architecture in both California and Illinois, and is also a LEED Accredited Professional. He is fluent in both English and Spanish, his native language. Over the years he has served on numerous community advisory commissions in Oak Park, Illinois, a Chicago suburb, including the Historic Preservation Commission. John also taught architecture for 10 years at a local Chicago area community college.

Triathlon training and competition brings joy to John's life. He is an accomplished Triathlete having successfully competed in 20 triathlons in Chicago, Wisconsin, Montana, California and London since 2011.

John Conrad Schiess Architect also designs energy efficient and sustainable homes for MiGreen Home Corporation. Visit www.migreenhome.com to see exciting single family home designs.

Press

"Schiess' style has been one of the more successful in Oak Park and should in many ways be viewed as a model".

A Planning Process That Works
The Wednesday Journal

"This development (presented by JCSA) shows the exact creativity that the Plan Development Ordinance calls for."

Gail Moran, Plan Commissioner, Village of Oak Park Record of Public
Hearing

Plan Commission 2015

"The work of Oak Park Architect John Schiess ...
points to a world that is changing rapidly".

A House Without Studs

The Wednesday Journal

john conrad schiess architect, ltd. 2019

Website and video by [Textbook Productions](#)

EXHIBIT L

Neighborhood Meeting Notes

October 18, 2019

On Tuesday, October 8, 2019 the Developer and their Design Team hosted a meeting of neighbors for a presentation discussion of the proposed development as listed in this Application. Neighbors were notified using the list of addresses as provided by Real Info, Inc. The list and certificate of mailings is attached to this Application. The presentation was held in the meeting room of The Haze Branch Library on Gunderson Street in Oak Park. The items listed below are a summary of the comments and questions from the attendants at the meeting. Please note that while the list below is not a transcript of comments and questions, the author has made every effort to faithfully transmit the items.

1. Is this a done deal?

Response: No. This is not a done deal. We are at the beginning stages of the approval process. We will explain later when we talk about the Plan Development process.

2. What is the name of the developer? Is he here?

Response: The developer is Michigan Avenue Real Estate Group. Yes, he is present. Tom Meador raised his hand.

3. Have you observed the traffic Gunderson Street?

Response: Yes. In addition, our traffic Consultant, Gewalt Hamilton is taking a detailed look at traffic on Madison and Gunderson. They will submit their recommendations to the Village as part of this process.

4. Why is the driveway on Gunderson?

Response: We believe, given our internal auto circulation and knowing details of the Madison Plan, best location of the driveway to the building is on Gunderson.

5. Why is the driveway not on Madison?

Response: Again, we believe given all of the choices, the best location for the driveway is on Gunderson.

Neighborhood Meeting Notes, continued

6. We would like the driveway on Madison?

Response: I understand.

7. We are concerned about traffic from the new building going south on Gunderson.

Response: I understand and are willing to work with you and Village staff to see if there are ways to mitigate this traffic. Let's see what the traffic consultant shows us in their report.

8. Show us where the balconies face.

Response: the architect showed on the plans and elevations where the balconies are. Then one resident said, that looks into my back yard.

9. Where is the loading for move ins and move outs?

Response: We are proposing for the loading area to be on Gunderson just North of the driveway – which is almost in the same location as the current driveway (vacated alley).

10. Can you make the windows to the garage frosted?

Response: Yes.

11. Can you add more windows on the Gunderson side of the garage?

Response: Yes.

12. Can you add more shadow boxes on the Gunderson side of the garage?

Response: Yes.

13. Can you provide a cul-de-sac at the new building garage entrance so that your traffic cannot go south on Gunderson?

Response: This is a creative idea. We can bring this idea to the Village to see if they would be OK with us constructing this.

14. Can you provide a "bulb out" at the new building garage entrance so that your traffic cannot go south on Gunderson?

Response: This, too, is a good idea. We can bring this idea to the Village as well to see if they would be OK with us constructing this.

Neighborhood Meeting Notes, continued

15. Did you look at buying the lot to the east for additional parking?

Response: No.

16. We are not sure that you have provided enough parking.

Response: I understand. However, the developer has a great deal of experience managing buildings similar to this in similar neighborhoods. The last thing the developer wants to do is under-park their own building. Therefore, from an operational standpoint, we believe the parking needs for the residents of the building are met.

17. What are the next steps?

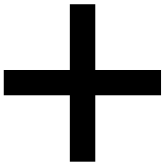
Response: The next step is for us, as representatives of the developer, to submit an application for Planned Development. As part of that process, the Village staff will review it. Once complete, we will be assigned a date to present our case in front of the Plan Commission. If you are on the mailing list, you will be invited to that hearing via mail when it is scheduled. You will get a chance to speak at that hearing. Then the Plan Commission members will vote to recommend, or not to recommend, our application to the Village Board. You will get a chance to speak at that this hearing, too. Then the Village Board will vote to accept the recommendation of the Plan Commission, or not to accept the recommendation of the Plan Commission, or to send the Application back to the Plan Commission.

Neighborhood Meeting Notes, continued

17. I am sorry if we are skeptical. We have just been through a very long process on the Madison Plan and we gave the Village so many recommendations. And, not one of them was adopted.

Response: I understand.

END of Neighborhood Meeting Notes



ZONING ANALYSIS

Prepared by: Jay Keller date: 12.20.19

A. Description:

Project Name: Madison and Gunderson Place
Location: Madison and Gunderson – Oak Park, IL

- Current Building/Property Use(s): 1 Story Commercial building
- Allowed Building/Property Use(s): Residential Multi Unit Building
- Site Area: 18,562 sf
- Lot Depth: 132.4'
- Lot Width: 140.2'

B. Zoning Requirements:

- District: MS – Madison St. District
- TOD (yes/no): No
- Floor area ratio: N/A – based on height and setbacks
- Maximum buildable area: N/A – based on height and setbacks
- Min. commercial space area: N/A – All parking and Residential Accessory uses
- Lot Area per unit: 750 sf
- Maximum number of units: 24 – **Zoning Relief required – 48 proposed**
- Maximum number of eff. units: N/A
- Maximum Building Height: 50'-0" – **Zoning Relief required – 63'-0" proposed**
- Front Yard Setback: 0'-0"
- Side Yard Setback: 0'-0"
- Rear Yard Setback: 25'-0" – **Zoning Relief required – 8'-0" proposed**
- Rear Yard Open Space: N/A
- Off Street Loading: 1 berth at 10' x 25' required - **Zoning Relief required – 0 proposed**
- Off Street Parking: 1 per DU – located at rear of bldg. –
1 per 500 gsf Comm.
 - Compact space – 7.25' x 15.5' w/ 19' aisle – **10% Allowed**
 - Regular space – 8.25' x 18.0' w/ 22' aisle
- Bicycle Parking: 1 per 4 DU's
- Landscaping Buffer: 7'-0" – **Zoning Relief required – 3'-0" proposed**
- Non-Conforming Property (yes/no): **YES**
 - Zoning Relief required – **Req'd for Density, Building height, Rear yard, Landscape Buffer, On Site Loading Space**