



Application for Public Hearing VARIANCE

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): Owner Slawek LESNY

Address/Location of Property in Question: 1044 S. Grove Ave.

Property Identification Number(s)(PIN): 16-18-315-015-0000

Name of Property Owner(s): Slawek Lesny

Address of Property Owner(s): 1102 S GROVE OAK PARK IL 60304

E-Mail of Property Owner(s): slesney@yahoo.com Phone: 708-712-6133

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Name of Applicant(s) (if different than Property Owner): Thomas Donalek, AIA

Applicant's Address: 2011 W Ohio St., Chicago, IL 60612

Applicant's Contact Information: Phone 312-361-1137 E-Mail thdonalek@thdarch.com

Other: cell: 773-793-1057

Property Interest of Applicant: Owner Legal Representative Contract Purchaser Other

(If Other - Describe): _____

Property Type: 1 or 2 Family Residential Multiple-Family Commercial Mixed-Use Hospital Institutional

Zoning District: R-1 R-2 R-3(50) R-3(35) R-4 R-5 R-6 R-7
 DT (1 - 2 - 3) GC HS MS NA NC RR
 H OS I

Describe Variance Proposal:

Provide relief from restriction of Article 15.2-B to allow for the creation of one additional residential unit within the existing structure, which would otherwise comply with the requirements of the existing Article 4 Residential. With this additional unit and the classification of the existing unit located over the garage as an Accessory Dwelling unit, the provision of one additional on-site parking space would bring the property into compliance with the requirements of Article 10 parking.

Size of Parcel (from Plat of Survey): 6847 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	<u>R-4</u>	<u>Single Family Residential</u>
To the South:	<u>R-4</u>	<u>Single Family Residential</u>
To the East:	<u>R-7</u>	<u>Multi-Family Residential</u>
To the West:	<u>R-4</u>	<u>Single Family Residential</u>

To the South-West: 1 - Institutional - Grammar School

Is the property in question currently in violation of the Zoning Ordinance? Yes No

If Yes, how? 2 Unit plus ADU requires 4 parking spaces. Currently 2 exist in garage

Is the property in question currently subject to any zoning relief? Yes No

If Yes, how? _____

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? Yes No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: 15 Section: 2-B

Article: _____ Section: _____

Article: _____ Section: _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

We propose to remodel the lowest level of an long-standing non-conforming multi-unit residential building into a new 2 bedroom unit and add one surface parking space. This will bring the property into alignment with current parking requirements for a property with 3 or more units and an ADU. The property appears to have been originally built in accordance with the Village code which was then in effect, it has subsequently been incorporated into a large, contiguous single family zone along with a good number of other non-conforming buildings along Harvard St. and elsewhere in the zone. While the neighborhood is primarily higher density single-family primary structures, the diversity of uses and types, particularly along Harvard, establishes the character of the neighborhood as somewhat eclectic including multi-family uses, thus this proposed use is consistent with the actual character of this distinctive area within the Village. This variance process provides the "relief valve" to maintain the distinctive character of the neighborhood while balancing the strategy of maintaining large, contiguous areas of specific zone types.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Thomas Donalek, AIA _____
(Printed Name) Applicant

Thomas Donalek
(Signature) Applicant

12/22/2023 _____
Date

SLAWEK LESNY
(Printed Name) Owner

[Signature]
(Signature) Owner

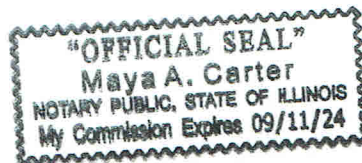
12-27-2023
Date

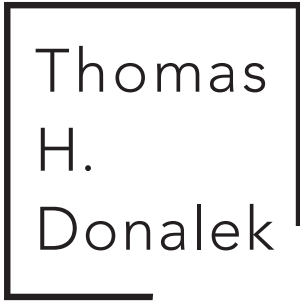
Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

27th DAY OF Dec, 2023

Maya A. Carter
(Notary Public)





ARCHITECTURE

2011 W. Ohio St
Chicago, IL 60612
phone (312)361-1134
cell (773)793-1057
thdonalek@thdarch.com
www.thdarch.com

28 December 2023

Attention:

Village of Oak Park
Zoning Administrator

Michael Bruce
123 Madison St.
Oak Park, IL 60302

Revised 2024

Project Summary - Response to Approval Standards

1044 S. Grove
Oak Park, IL 60304

Project Description:

This is an existing multi-family property which has been placed in a single-family zone which seeks to add one additional garden level unit which would require relief from Article 15.2-B to allow this use. The addition of this third unit in the main building and the above garage coach house, and new surface parking on the site would bring the property into compliance with the current zoning parking requirements.

The owner of the property realized the potential available in this existing structure to provide a more easily accommodating residential opportunity when his elderly father-in-law was recently widowed, which made a traditional single-family home less appropriate for his situation.

Existing property was built circa 1920 and consists of a main building near the front of the lot, at the corner of Harvard and Grove with two units and partial-depth basement along with a coach house garage at the alley. The property is not within any Oak Park Historic District.

The changes over time made to the Oak Park Zoning Code and Map have come to place this long-standing multi-unit property and several nearby non-conforming properties into a large contiguous R-4 single family district. The property as it exists today is clearly built to provide multiple residential apartments, but the changes over time to the applicable zoning have placed the property into a situation where it is a non-conforming use, the parking possible on the site can not conform to the current zoning requirements and the current zoning prevents the full use of the structure to house members of the community.

The proposed improvement is to utilize the large, well-lit lowest level for a two-bedroom garden unit and to provide one additional surface parking space off the alley which would harmonize the property with the current zoning code requirements as described below. The proposed improvement does not expand the existing structure and is not an addition to that structure.

The proposed interior changes would have a negligible exterior impact visible from the street. As such, the proposed improvement would in no way be detrimental to the community. It would make no changes to the light or air available to neighboring properties or pose any other substantially detrimental impact on the community.

When we examined the costs and potential benefit of significantly modifying the structure to expand a unit into the lower level, this was found to be too great to be economically viable, and may have also run afoul of the same Article 15 limitation.

The proposed improvements, as modifications to an existing multi-unit property, do not exceed any of the limitations of Article 4.

The regulatory barrier to making these improvements is the limitation in Article 15.2-B which prohibits the expansion or enlargement of a non-conforming use. This prevents the owner from making better use of the existing structure and providing the community with additional housing which may better suit some members in terms of

cost, maintenance requirements and accessibility.

Response to Standards:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

This formerly complying multi-unit property was placed into a single-family district when zoning was changed over the years. There is logic in the current approach to zoning, including mapping out large contiguous districts of one zoning type, as we see here. But the unique and historic character of Oak Park means that some long-standing properties may be folded into large districts of any type, and to maintain the Village's character, these idiosyncratic discontinuities need to be addressed individually.

Under the current approach in the existing zoning code and the existing size of the lot, the property cannot be subdivided into individual single-family properties, It is unavoidably non-compliant. The overlaying of the single-family zoning onto this pre-existing property, rendering it non-conforming, imposes limitations that differ dramatically from the vast majority of properties in the district which are, in fact, single family houses. Allowing the variance for this additional unit to be built out within the existing, currently unutilized space of the multi-unit building is unique to this property, unlike the vast majority of properties in the district.

Part of the burden that exists for this property is the ever-increasing property taxes levied against the property versus the housing needs of the community. As the property taxes have increased over the years, the taxes alone are coming closer to equaling the amount brought in by rent of the units at the current rates. This puts pressure on the owner to potentially significantly increase the rents charged for the units which would have the effect of further reducing the attainable housing available to residents of the Oak Park community and this neighborhood within the Village, potentially pushing those who earn lower incomes or survive on fixed incomes out of the neighborhood or Oak Park entirely.

While the existing buildings are not specifically listed as historic structures, they have unique and strong historic character contributing to the neighborhood and the Village of Oak Park. The proposed improvements to the building would include replacing the existing lead water service line and upgrading the HVAC system of the building from the existing low efficiency natural gas burning boiler. If the property continues to return less and less revenue, ongoing improvements will be impossible and it will fall further behind in terms of issues such as energy efficiency. Eventually, market forces may make the units particularly undesirable turning this property from an asset to the community to one that is outdated and obsolete compared with the needs of then-contemporary residents. This direction could lead to the existing historic buildings on the property being demolished and replaced, thus degrading the historic character of the area and Oak Park overall.

In contrast to these concerns, the proposed improvement of adding one two-bedroom, garden level apartment would create an additional unit of housing at a rent level that can be better afforded by working class members of the community. The strict imposition of the zoning code which has been implemented after the construction of the property negatively impacts the community of Oak Park.

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

As mentioned above, given the limitations of the zoning code as it has been changed since the construction of the existing buildings, it would be impossible to sub-divide this lot to create individual single-family lots. There are two existing buildings, the front apartment building and the rear garage with coach house above.

Separate from the limitation on the number of units permitted since the single-family district was mapped onto this property, the current zoning code would only allow for a small expansion of any structures on the property due to its dimensions.

The proposed improvement of adding one two-bedroom garden level unit entirely within existing under utilized space of the front apartment building would not expand the bulk of the building, would not build closer to the property boundaries and would not substantively increase the impermeable area on the surface of the lot.

Specifically, the proposed improvements entirely comply with all of the requirements of Article 4 - Residential Districts.

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

The burdens preventing the proposed improvement are the result of the decision to place this pre-existing multi-unit property within a larger single-family zoning district, and this was a creation of the owner.

Since it was built in the early 1920s, the existing property has most recently been placed into current zoning categories and the current map.

The proposed improvement to the property would have essentially no visible impact on the exterior when seen from the streets. The most significant visual impact would be preparing a currently open portion of the lot behind the existing garage/coach house for a surface parking space. In addition, some new window wells and replacement of existing window units may be required.

We would like to reinforce that the proposed improvements to add this one garden level unit are completely in line with the explicit requirements and limitations of the existing zoning in Article 4. It is only the limitation on intensification of existing non-conforming uses that contradicts this work.

We can infer that the building was in compliance with the Oak Park Zoning Code at the time of its construction. Over the last century, changes have been made to the details of zoning in the village and the conceptual framework. Under the current "Euclidian Zoning" approach, there are a limited number of possible zoning categories, which limits the ability of the current zoning to perfectly align with the full variety of uses of existing buildings. Also, inherent in this approach is the goal of having as large and consistent patches of each zoning type as possible on the map, which further limits the flexibility to address the range of existing use types and arrangement in the village.

A block away from this site, there are a variety of zones along South Oak Park Avenue consistent with the variety of uses found along that street. But along Harvard Street, both east and west of Oak Park Avenue, a range of uses and building types also exist. These range from a large school, a park, a church and several other smaller scale multi-unit residential, in addition to single-family primary structures. This variety of uses creates a distinct character for this neighborhood. At some point, the choice was

made to place nearly all those existing properties and uses into a large, contiguous single-family zone consistent with the traditional "Euclidian" approach, but in conflict with the actual uses that define the neighborhood.

Granting minor variations such as this provides a means of both preserving this distinct neighborhood character and accommodating the choice to implement the village's overall planning system with a conventional "Euclidian" system.

While the Village's Zoning Code and Map do not specifically consider transportation access in this zone or area, the location is well-positioned for good transportation options, making it well suited to accommodate slightly higher residential density. For auto access, the site is close to the Interstate and major arterial streets. It is also walking distance to the Oak Park Blue Line stop and several bus routes.

A garden unit like this provides the opportunity for members of the community to live in the area without the difficulties of maintaining a single family house and lot.

While the proposed unit is not fully accessible, it will be well suited for people who may have some limited ability where older single-family houses pose greater challenges.

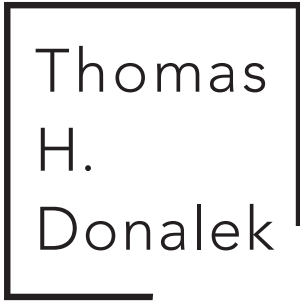
The more attainable price allows people from the neighborhood to remain in the neighborhood who might not be able to afford to purchase a detached single family house, or who may work nearby such as at the school, but at a pay level that doesn't permit the purchase of a single-family detached house.

Sincerely,

A handwritten signature in black ink that reads "Thomas H. Donalek". The signature is written in a cursive, flowing style.

Thomas H. Donalek

Illinois Licensed Architect



ARCHITECTURE

2011 W. Ohio St
Chicago, IL 60612
phone (312)361-1134
cell (773)793-1057
thdonalek@thdarch.com
www.thdarch.com

28 December 2023

Attention:

Village of Oak Park
Zoning Administrator

Michael Bruce

123 Madison St.
Oak Park, IL 60302

Revised

Project Summary - Zoning Variation

1044 S. Grove
Oak Park, IL 60304

We are writing to apply for a use variance to the Zoning Code. The owner of the existing building at 1044 S. Grove wishes to add one two-bedroom unit in the currently unutilized lower level of the building. As an existing multi-unit building, it is a non-conforming use within the R-4 zone. As such, this requires relief from Article 15.2-B which prohibits expansion or intensification of non-conforming uses. The proposed improvements otherwise entirely comply with the requirements and limitations of Article 4. Additionally, the property in its current state does not align with the parking requirements of the current Zoning Code as there are only two parking spaces on site, while the code would require four.

This application packet includes the following documents, plans and exhibits to support the appeal:

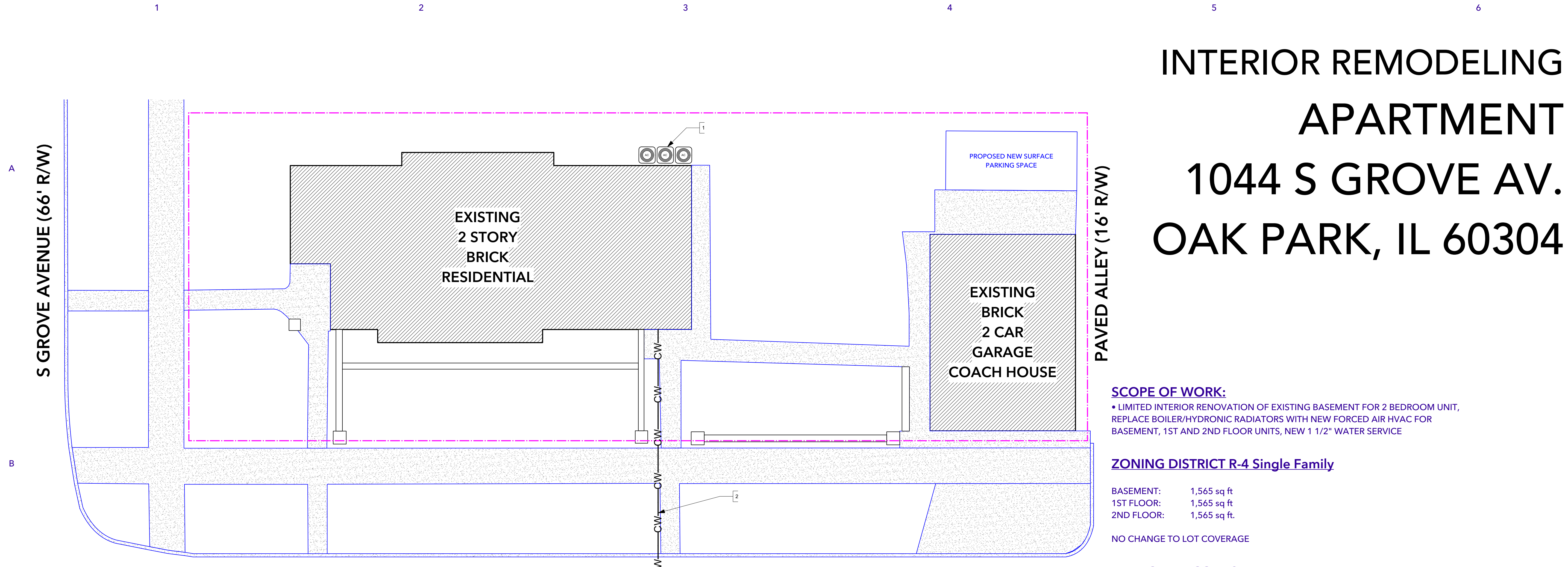
- A copy of the Zoning Administrator's Decision: PDF file of the e-mail sent by Michael Bruce on 5/18/2023 in response to our submittal for a building permit which appears to deny Zoning approval.
- Proof of Ownership - Trustee's Deed dated 8/31/2022 for the Property.
- Response to Approval Standards - attached letter in PDF form.
- Plat of Survey - PDF file
- Location Map - PDF drawing of surrounding zoning, buildings, streets, etc.
- Area Map - PDF drawing of the surrounding quarter mile radius.
- Area Photos - PDF drawing of nearby area with photos of existing buildings.
- Architectural Plan Sheets - one Site Plan indicating no exterior/site change other than allocating a surface parking space and a Floor Plan indicating the proposed buildout of the lower level as a new apartment.
- Application for Variance - completed, notarized and signed by Owner.

A "Disclosure of Beneficiaries of Land Trust" is not included as the property is not owned as a Trust.

Sincerely,

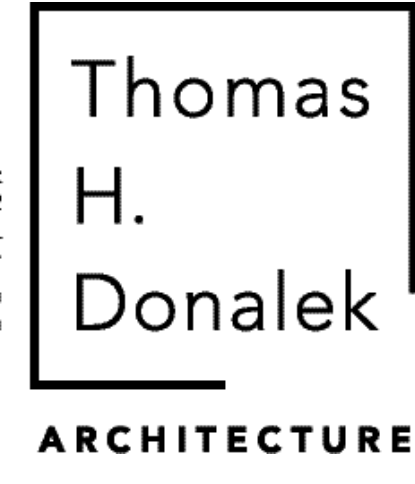
Thomas H. Donalek

Illinois Licensed Architect



INTERIOR REMODELING APARTMENT 1044 S GROVE AV. OAK PARK, IL 60304

FOR CODE AUTHORITY USE



2011 W. Ohio St
Chicago, IL 60612
phone (312)361-1134
cell (773)793-1057
thdonalek@thdarch.com
www.thdarch.com

SCOPE OF WORK:

- LIMITED INTERIOR RENOVATION OF EXISTING BASEMENT FOR 2 BEDROOM UNIT, REPLACE BOILER/HYDRONIC RADIATORS WITH NEW FORCED AIR HVAC FOR BASEMENT, 1ST AND 2ND FLOOR UNITS, NEW 1/2" WATER SERVICE

ZONING DISTRICT R-4 Single Family

- BASEMENT: 1,565 sq ft
- 1ST FLOOR: 1,565 sq ft
- 2ND FLOOR: 1,565 sq ft.

NO CHANGE TO LOT COVERAGE

APPLICABLE CODES:

- 2018 International Residential Code (IRC) with local amendments
- 2018 International Existing Building Code (IEBC) with local amendments
- 2008 National Electric Code (NEC) with local amendments
- 2018 International Energy Conservation Code (IECC) with IL State and local amendments
- 2018 International Fuel Gas Code (IFGC) with local amendments
- 2018 International Fire Code (IFC) with local amendments
- 2014 Illinois State Plumbing Code with local amendments

MINIMUM REQUIREMENTS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ IL State and Village Amendments for Zone 5

IECC TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT:

Fenestration U-factor	0.30
Skylight U-factor	0.55
Roof-Attic & Other R-value	49
Wood Frame Wall R-value	20 or R13 + R5
Mass Wall R-value	13/17
Hot water piping	R3
Ducts (supply and return in attics) (air-leakage test)	R-8 where 3" Ø or greater, R-6 where less than 3" Ø R-6 where 3" Ø or greater, R-4 where less than 3" Ø Ducts shall be pressure tested per 2018 IECC Section R403.3.3 and R403.3.4
Floors-Joist/framing	R30
Basement/Crawl space walls	R-15 (continuous) or R-19 (cavity)
Slab R-value & Depth	R-10/2 ft

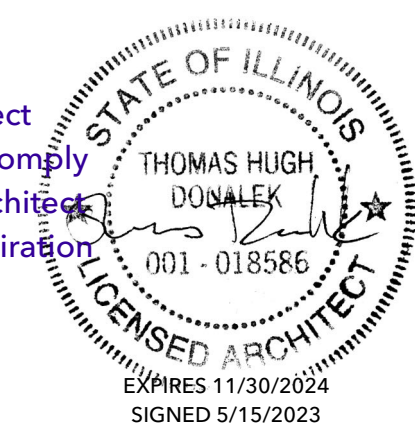
- A. R-values are minimums. U-factors and SHGC are maximums. R-19 baits compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
- B. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- C. Provide occupancy sensors in space less than 300 sf, where lights shall shut off within 30 minutes after occupants leave space.
- D. There are no SHGC requirements in the Marine zone. (NOT APPLICABLE)
- E. Where a floor covers any unconditioned space, it must have R30 OR insulation sufficient to completely fill the framing cavity, R19 minimum.
- F. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- G. The second R-value applies when more than half the insulation is on the interior of the wall.

ADDITIONAL IECC REQUIREMENTS:

- 1. A permanent certificate, completed by the builder, shall be posted on a wall where the furnace/electrical service panel is located. The certificate shall list the predominant R-values of insulation throughout the house, ducts outside conditioned spaces, and U factors for fenestrations. (Section: R401.3)
- 2. The building shall be tested and verified as having an air leakage rate of not exceeding four air changes per hour. (Section: R402.4.1.2 as amended)

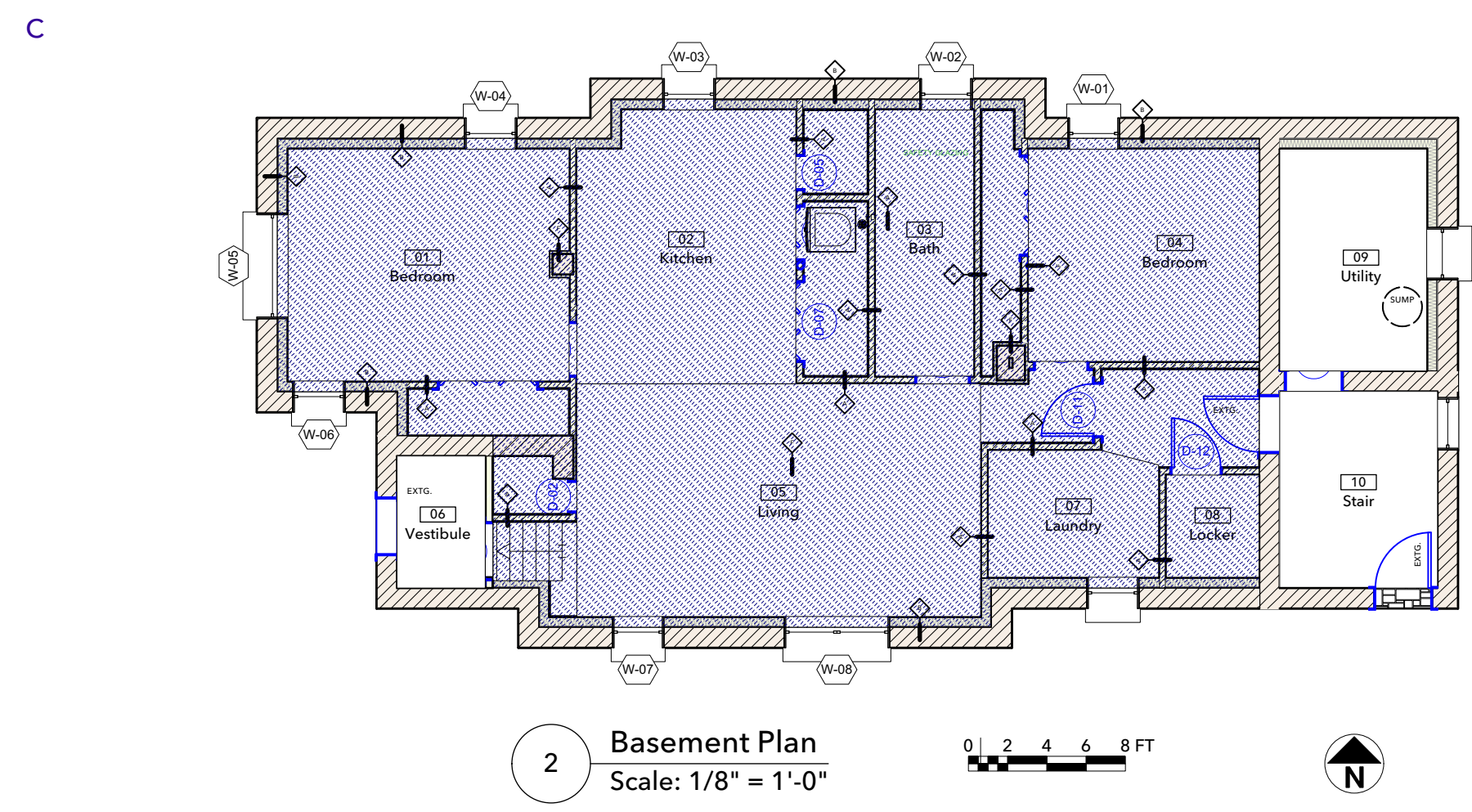
PROFESSIONAL CERTIFICATION

I certify that these documents were prepared by me or under my direct supervision, and have been approved by me, that these documents comply with applicable laws, codes and ordinance, and that I am a licensed architect under the laws of the State of Illinois, license number 001-18586, expiration date 30 November 2024.



- Site Plan Notes:**
- NEW AC CONDENSERS ON CONC. PADS
 - NEW 1/2" WATER SERVICE LINE UNDERGROUND. CLEAR OF EXISTING TREES.

1 Site Plan
Scale: 1/8" = 1'-0"



Level 2 work this floor:
- Insulate around occupied basement perimeter with framing, insulation and drywall.
- New Bedrooms, Bath Family Room, Kitchen and Laundry

Bsmt Floor Area 1,565 sq ft
Level 2 area - Bsmt 1,136 sq ft

2 Basement Plan
Scale: 1/8" = 1'-0"

Sheet List

- C-01 Cover Sheet
- C-02 Project Notes
- A-01 Floor Plan Sheet 1
- A-02 Details
- A-03 Schedules: Door, Window
- E-01 Electrical Notes
- P-01 Plumbing Sheet

INTERNATIONAL EXISTING BUILDING CODE 2018 COMPLIANCE

HATCHING INDICATES AREAS OF "RECONFIGURED SPACE" AS REQUIRED BY THE DEFINITION OF "WORK AREA" IN CHAPTER 2, THUS "LEVEL 2" (603.2) ALTERATIONS GREATER THAN 50% OF FLOOR AREA, NEW WORK SHALL COMPLY WITH IBC 2018. OVERALL WORK LESS THAN 50% OF TOTAL BUILDING AREA (24.2%).

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All Rights Reserved. All Drawings and Associated Documents, and Copies Thereof are Instruments of Service and as such Remain the Property of the Architect. The Drawings and Documents are to be used Only with Respect to This Project.

No.	Date	Appr	Revision Notes
1	5/15/2023		ISSUED FOR PERMITS

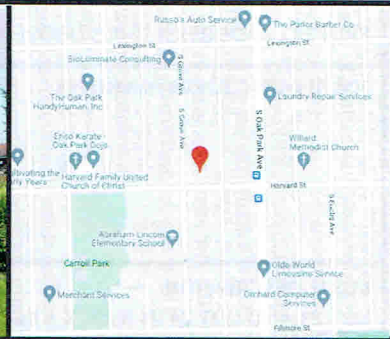
No.	Date	Issue Notes
Project Title Basement Apartment Remodeling 1044 S Grove Ave Oak Park, IL		
Sheet Title Cover Sheet-1		

Project Manager	CAD File Name 1044S_Grove_Bsmt1_OakPk_Lensy_202304.vwx
Drawn By	Page 1 of 7 total pages
Reviewed By	Sheet No.
Plot Date	5/15/2023
Issue No.	1
Project ID	1044SGroveOPBsm1

C-01



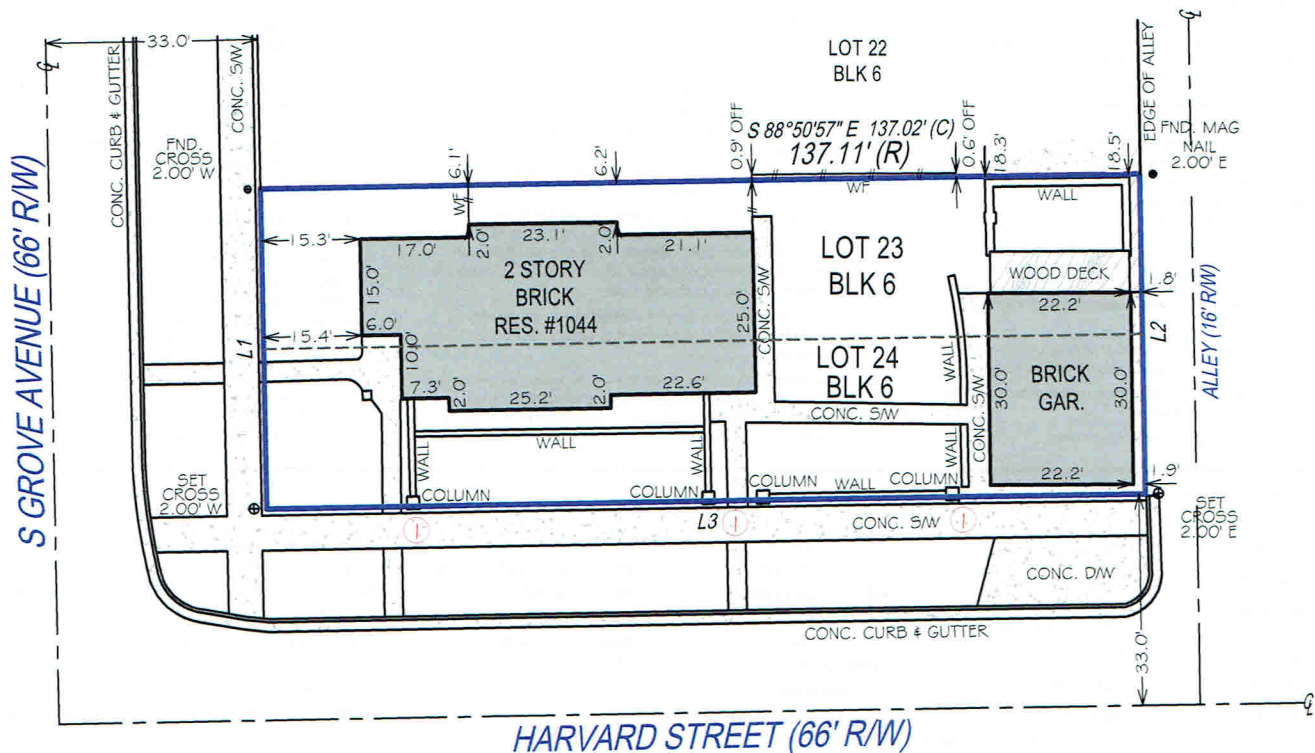
www.exactalands.com | office: 773.305.4011



PROPERTY ADDRESS: 1044 S GROVE AVENUE, OAK PARK, ILLINOIS 60304

SURVEY NUMBER: 2207.4445

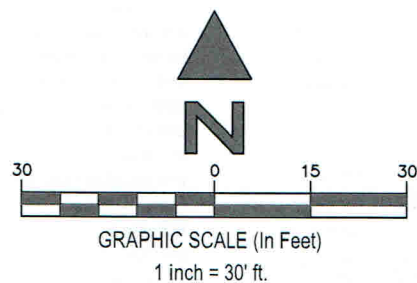
2207.4445
BOUNDARY SURVEY
COOK COUNTY



LINE TABLE:

L1	50.00' (R)
	N 1°11'24" W 49.99' (C)
L2	S 1°04'07" W 49.98' (C)
L3	137.11' (R)
	N 88°50'47" W 136.91' (C)

TOTAL AREA OF PROPERTY SURVEYED 6847 SQ.FT.±



STATE OF ILLINOIS }
COUNTY OF GRUNDY } SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Kenneth Kennedy

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:
1. COLUMN OVER PROPERTY LINE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 08/15/22
FIELD WORK DATE: 8/12/2022
REVISION DATE(S): (REV.0 8/15/2022)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:

LOT 23 AND LOT 24 IN BLOCK 6 IN KEARNEY'S OAK PARK SUBDIVISION OF BLOCKS 5, 6, 7 AND 8 IN SHIPPENS ADDITION TO OAK PARK, A SUBDIVISION OF BLOCKS 1, 2, 3 AND 4 OF LOT 7 IN THE SUBDIVISION OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE WEST 1/2 OF THE SOUTHWEST 1/4 THEREOF) IN COOK COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
- Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
- THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

LINETYPES	
	Boundary Line
	Center Line
	Chain Link or Wire Fence
	Easement
	Edge of Water
	Iron Fence
	OHL - Overhead Lines
	Structure
	Survey Tie Line
	Vinyl Fence
	Wall or Party Wall
	Wood Fence
SURFACE TYPES	
	Asphalt
	Brick or Tile
	Concrete
	Covered Area
	Water
	Wood
SYMBOLS	
	Benchmark
	Center Line
	Central Angle or Delta
	Common Ownership
	Control Point
	Catch Basin

	Elevation
	Fire Hydrant
	Find or Set Monument
	Guywire or Anchor
	Manhole
	Tree
	Utility or Light Pole
	Well

ABBREVIATIONS

(C)	- Calculated
(D)	- Deed
(F)	- Field
(M)	- Measured
(P)	- Plat
(R)	- Record
(S)	- Survey
A/C	- Air Conditioning
AE	- Access Easement
ANE	- Anchor Easement
ASBL	- Accessory Setback Line
B/W	- Bay/Box Window
BC	- Block Corner
BFP	- Backflow Preventer
BLDG	- Building
BLK	- Block
BM	- Benchmark
BR	- Bearing Reference
BR/L	- Building Restriction Line
BSMT	- Basement
C	- Curve
C/L	- Center Line

C/P	- Covered Porch
C/S	- Concrete Slab
CATV	- Cable TV Riser
CB	- Concrete Block
CH	- Chord Bearing
CHIM	- Chimney
CLF	- Chain Link Fence
CME	- Canal Maintenance Easement
CO	- Clean Out
CONC	- Concrete
COR	- Corner
CS/W	- Concrete Sidewalk
CUE	- Control Utility Easement
CVG	- Concrete Valley Gutter
D/W	- Driveway
DE	- Drainage Easement
DF	- Drain Field
DH	- Drill Hole
DUE	- Drainage & Utility Easement
ELEV	- Elevation
EM	- Electric Meter
ENCL	- Enclosure
ENT	- Entrance
EOP	- Edge of Pavement
EOW	- Edge of Water
ESMT	- Easement
EUB	- Electric Utility Box
F/DH	- Found Drill Hole
FCM	- Found Concrete Monument
FF	- Finished Floor
FIP	- Found Iron Pipe
FIPC	- Found Iron Pipe & Cap

FIR	- Found Iron Rod
FIRC	- Found Iron Rod & Cap
FN	- Found Nail
FN&D	- Found Nail & Disc
FRRSPPK	- Found Rail Road Spike
GAR	- Garage
GM	- Gas Meter
ID	- Identification
IE/EE	- Ingress/Egress Easement
ILL	- Illegible
INST	- Instrument
INT	- Intersection
IRRE	- Irrigation Easement
L	- Length
LAE	- Limited Access Easement
LB#	- License No. (Business)
LBE	- Limited Buffer Easement
LE	- Landscape Easement
LME	- Lake/Landscape Maintenance Easement
LS#	- License No. (Surveyor)
MB	- Map Book
ME	- Maintenance Easement
MES	- Mitered End Section
MF	- Metal Fence
MH	- Manhole
MHWL	- Mean High Water Line
NR	- Non-Radial
NTS	- Not to Scale
NAVD88	- North American Vertical Datum 1988
NGVD29	- National Geodetic Vertical Datum 1929
OG	- On Ground

ORB	- Official Records Book
ORV	- Official Record Volume
O/A	- Overall
O/S	- Offset
OFF	- Outside Subject Property
OH	- Overhang
OHL	- Overhead Utility Lines
OHWL	- Ordinary High Water Line
ON	- Inside Subject Property
P/E	- Pool Equipment
PB	- Plat Book
PC	- Point of Curvature
PCC	- Point of Compound Curvature
PCP	- Permanent Control Point
PI	- Point of Intersection
PLS	- Professional Land Surveyor
PLT	- Planter
POB	- Point of Beginning
POC	- Point of Commencement
PRC	- Point of Reverse Curvature
PRM	- Permanent Reference Monument
PSM	- Professional Surveyor & Mapper
PT	- Point of Tangency
PUE	- Public Utility Easement
R	- Radius or Radial
R/W	- Right of Way
RES	- Residential
RGE	- Range
ROE	- Roof Overhang Easement
RP	- Radius Point

S/W	- Sidewalk
SBL	- Setback Line
SCL	- Survey Closure Line
SCR	- Screen
SEC	- Section
SEP	- Septic Tank
SEW	- Sewer
SIRC	- Set Iron Rod & Cap
SMWE	- Storm Water Management Easement
SN&D	- Set Nail and Disc
SQFT	- Square Feet
STL	- Survey Tie Line
STY	- Story
SV	- Sewer Valve
SWE	- Sidewalk Easement
TBM	- Temporary Bench Mark
TEL	- Telephone Facilities
TOB	- Top of Bank
TUE	- Technological Utility Easement
TWP	- Township
TX	- Transformer
TYP	- Typical
UE	- Utility Easement
UG	- Underground
UP	- Utility Pole
UR	- Utility Riser
VF	- Vinyl Fence
W/C	- Witness Corner
W/F	- Water Filter
WF	- Wood Fence
WM	- Water Meter/Valve Box
WV	- Water valve

CERTIFIED TO:

SLAWEK LESNEY; NORGLER AND O'LEARY, LLC; CHICAGO TITLE INSURANCE COMPANY;

DATE SIGNED: 08/15/22

BUYER: SLAWEK LESNEY

LENDER:

TITLE COMPANY: NORGLER AND O'LEARY, LLC

COMMITMENT DATE:

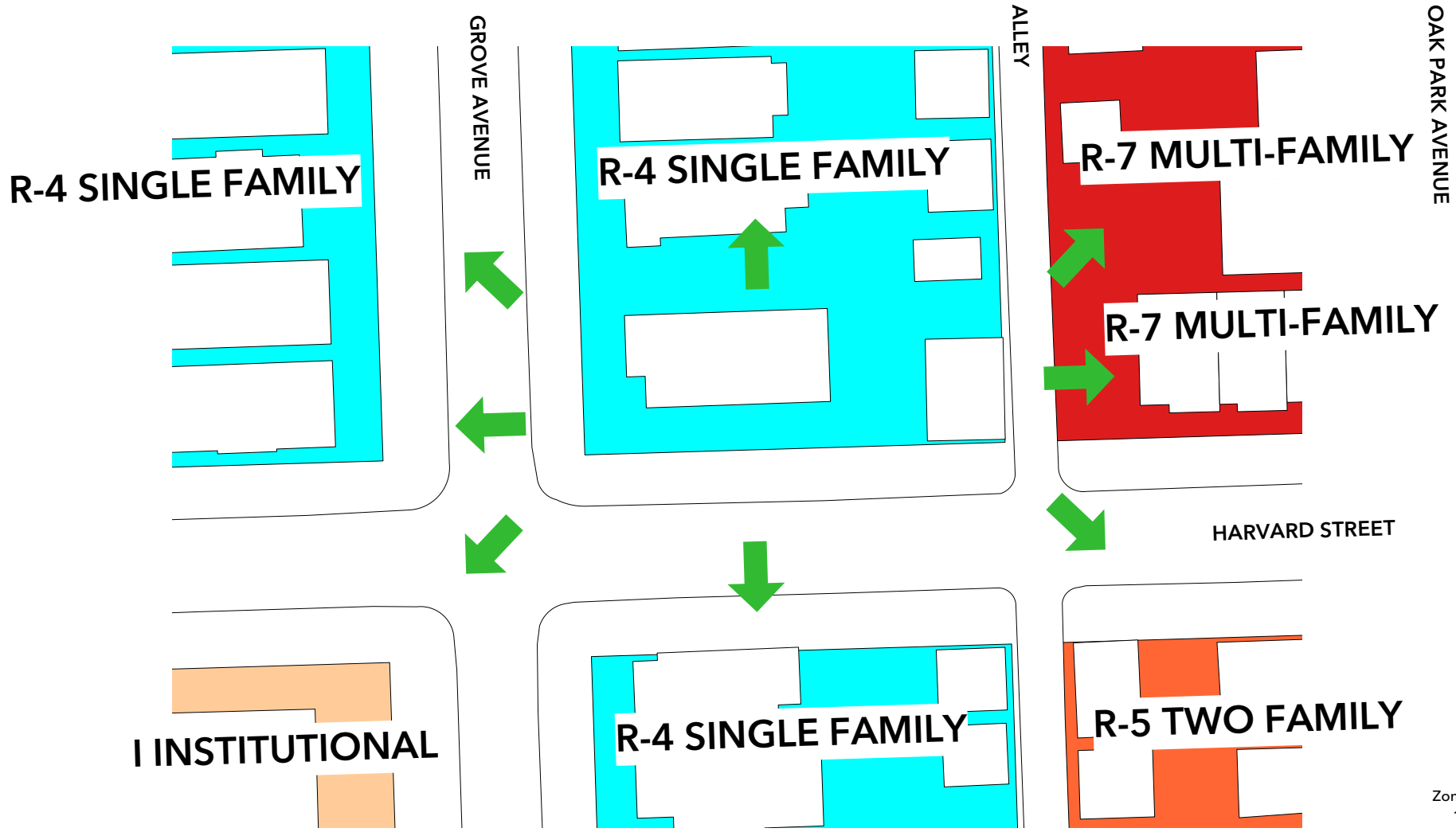
CLIENT FILE NO: 22GSA229428NA

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

FLOOD ZONE INFORMATION:

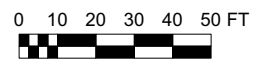


Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



Zoning Variation
 1044 S Grove
 12/22/2023

1 **Mix of Adjacent Zoning**
 Scale: 1" = 50'-0"



2011 W. Ohio St
 Chicago, IL 60612
 phone (312)361-1134
 cell (773)793-1057
 thdonalek@thdarch.com
 www.thdarch.com

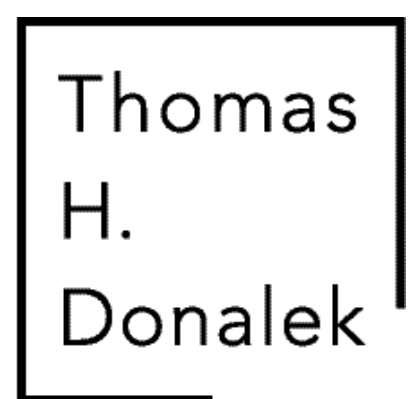
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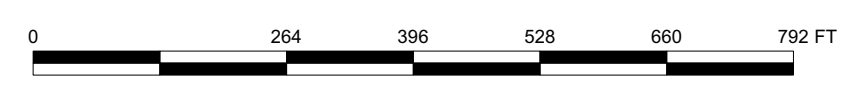
Zoning Variation
 1044 S Grove
 12/22/2023

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1 Quarter Mile Surroundings
 Scale: 1 inch = 200'



Photographs of Surrounding Buildings:



1046 S CLINTON



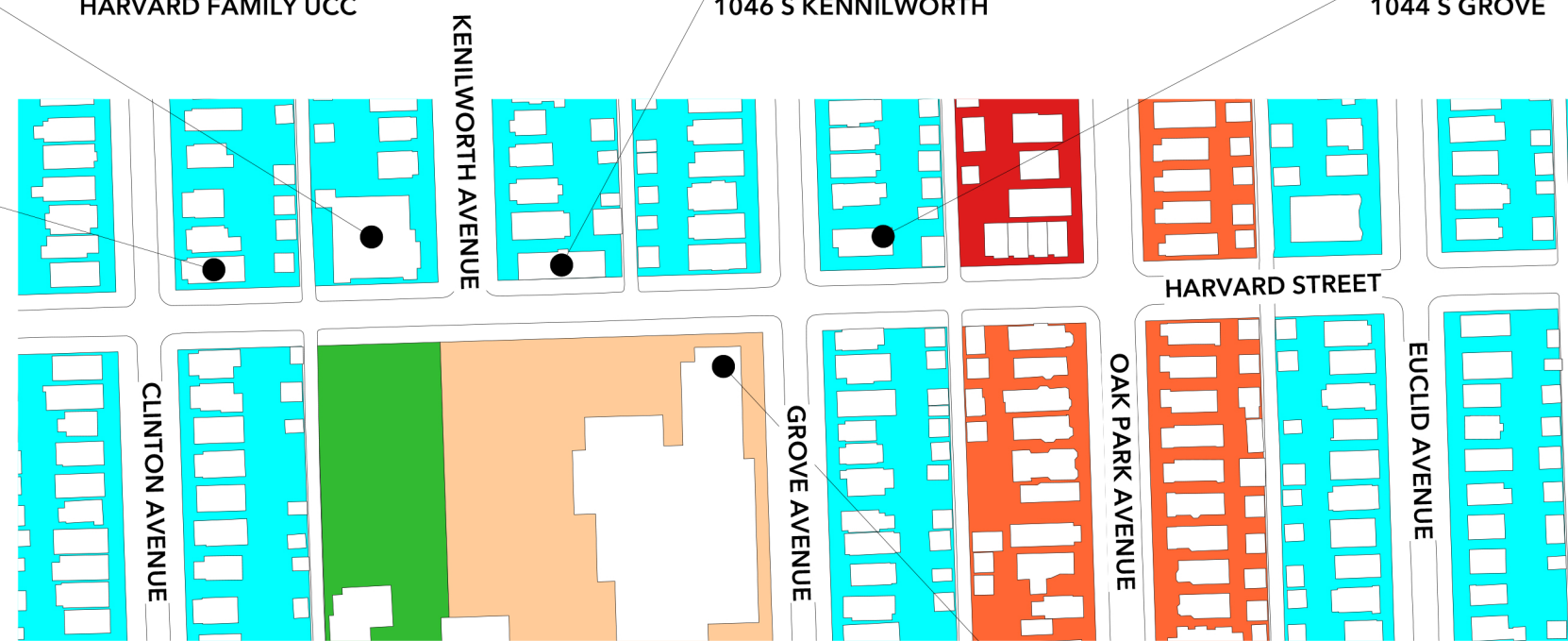
HARVARD FAMILY UCC



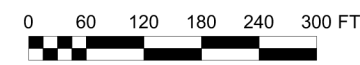
1046 S KENILWORTH



1044 S GROVE



2 Harvard Street Diversity
Scale: 1" = 200'



Zoning Variation
1044 S Grove
12/22/2023

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LINCOLN ELEMENTARY

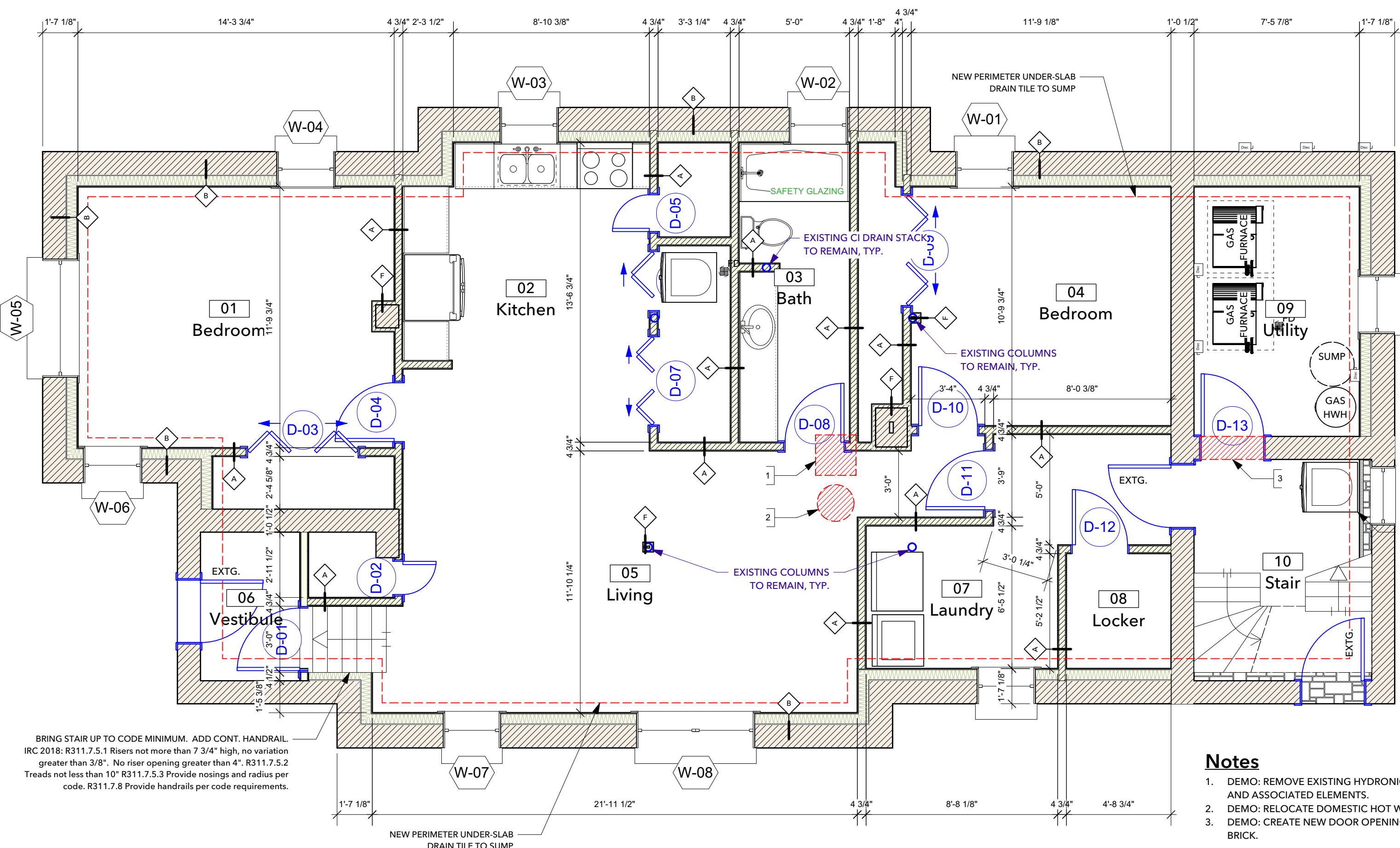
ELECTRICAL SYMBOLOGY LEGEND:

- LIGHT SWITCH, 125V, 48" A.F.F. UNO
- DUPLEX RECEPTACLE, 125V, 3 POLE 15A RATING, 18" A.F.F. UNO
- GFCI GFCI DUPLEX RECEPTACLE, 125V, 3 POLE 20A RATING
- CEILING SURFACE MOUNTED LIGHT WITH JUNCTION BOX IN CEILING - BOX SHALL BE FOR CEILING FAN AND BRACED TO FRAMING.
- CEILING SURFACE MOUNTED PENDANT LIGHT WITH JUNCTION BOX IN CEILING - BOX SHALL BE FOR CEILING FAN AND BRACED TO FRAMING.
- WALL-MOUNTED LIGHT FIXTURE WITH JUNCTION BOX IN WALL
- CEILING MOUNTED LED STRIP FIXTURE
- EXHAUST FAN WITH LIGHT. DUCT EXHAUST TO EXTERIOR.
- RECESSED CAN LIGHT
- SMOKE DETECTOR W/ BATTERY BACK UP. INTERCONNECT TO OTHER DETECTORS THROUGHOUT HOUSE.
- CARBON MONOXIDE + SMOKE DETECTOR W/ BATTERY BACK UP. INTERCONNECT TO OTHER DETECTORS THROUGHOUT HOUSE
- DOOR BELL

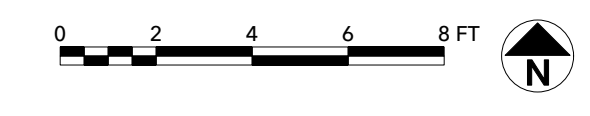
NOTE:
ALL RECESSED FIXTURES SHALL BE "IC" TYPE

General Notes

- All equipment and appliances, including smoke & CO detectors, air conditioner, water heater(s) and furnace(s), shall be installed in accordance with their listings and the manufacturer's installation instructions. A copy of the manufacturer's installation instructions must be provided on site for each inspection. (Section: R106.1.1)
- All safety glass (tempered, laminated, etc.) shall be permanently labeled indicating the type of glass and the safety glass standard to which it complies. IRC R308.1
- Attics containing appliances shall be provided with an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30 inches high and 22 inches wide and not more than 20 feet long measured along the centerline of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with Chapter 5 not less than 24 inches wide. A level service space at least 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening dimensions shall be a minimum of 20 inches by 30 inches, and large enough to allow removal of the largest appliance.
- Bathtub and shower floors, and walls above bathtubs with installed shower heads and in shower compartments, shall be finished with a non-absorbent surface. Such wall surfaces shall extend a minimum of 6 feet above the floor level. IRC R307.2
- Decks shall be designed to a minimum live load of forty lbs. (40 lbs.) per square foot, and a dead load of ten lbs. (10 lbs.) per square foot. The overall deck shall be calculated at fifty lbs. (50 lbs.) per square foot. (Table R301.5)
- Enclosed accessible space under stairs shall be protected on the enclosed side with a minimum 1/2" gypsum board. (Section: R302.7)
- One new window in each sleeping room shall meet the following egress requirements:
 - All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).
 - The minimum net clear opening height shall be 24 inches (610 mm).
 - The minimum net clear opening width shall be 20 inches (508 mm).
 - Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys or tools.
 - Emergency escape and rescue openings shall have a sill height of not more than 44 inches above the floor. (Section R310)
- Provide safety glass for doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers. Safety glazing shall be provided in any part of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches above any walking surface. IRC R308.4 (5)
- Repair/patch/paint existing wall and ceiling-owner to select color install new 5/8" gyp board for paint finish-coordinate work with owner refinish existing floor + replace/re-paint existing baseboard and trim (owner to select color and finishes) paint existing baseboard and trim + replace as required (match existing)
- The contractor shall submit structural calculations for the trusses, (with a key plan noting the location of the trusses in the calculations), to the Village prior to installation. The truss design submittals shall include all of the information required by section R502.11.4 of the IRC. The structural calculations shall be signed and sealed by a Structural Engineer, licensed in the State of Illinois. IRC R106.1
- Air ducts and air handlers shall be sealed in accordance with approved methods, and shall be tested in accord with procedures required by this section. IECC R403.2.2
- All piping (Domestic Hot Water and Mechanical system piping) capable of carrying fluids above 105°F or below 55°F shall be insulated to a minimum of R-3. IECC R403.3
- Heating and cooling equipment shall be sized in accordance with ACCA Manual "S" as calculated in accordance with ACCA Manual "J". Provide manufacturers brochures showing intended equipment to verify required sizing prior to installation.
- Provide ducted air returns from each Bedroom to assure proper functioning of the forced air heating system.
- Space heating systems shall be capable of maintaining a minimum indoor temperature of 68°F at a point 3 feet above floor on the design heating day.
- Supply ducts in attics shall be insulated to a minimum of R-8, and all other ducts shall be insulated to a minimum of R-6. Ducts or portions thereof which are located completely inside the building thermal envelope are not required to be insulated. IECC R403.2.1
- The field inspector shall verify ducts shall be taped or sealed with mastic.
- The minimum Winter Design Temperature is -2°F. Village of Oak Park Amendment to IRC Table R301.2(1)
- Where the primary heating system is a forced air furnace, at least one thermostat per dwelling unit shall be programmable, capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. IECC R403.1.1
- A minimum of one handrail must comply at each stair with 4 or more risers. IRC R311.5.6
- Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches and not more than 38 inches. Handrail grip size: handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches and not greater than 2 inches. If the handrail is not circular it shall have a perimeter dimension of at least 4 inches and not greater than 6 1/4 inches with a maximum cross section of dimension of 2 1/4 inches.
- Provide continuous graspable handrail. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches and not more than 38 inches. Handrail grip size: handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches and not greater than 2 inches. If the handrail is not circular it shall have a perimeter dimension of at least 4 inches and not greater than 6 1/4 inches with a maximum cross section of dimension of 2 1/4 inches.
- Stair treads shall be at least 10 inches (10") deep, risers shall not be greater than 7 1/4 inches (7 1/4") in height and the tread or riser variance shall not exceed 3/8 inch within any flight of stairs. (Sections: R311.7.4) Treads are measured from nosing-to-nosing. Guards shall have a maximum opening such that a 4-inch (4") sphere cannot pass through. Guards along stairs shall have a maximum opening such that a 4 3/8" sphere cannot pass through. (Section: R312.3)
- Access doors from conditioned spaces to unconditioned spaces shall be weather-stripped and insulated to the level equivalent to the insulation on the surrounding surfaces. (Section: R402.2.4)
- Insulation shall be provided with a vapor retarder on the warm-in-winter side of the insulation. IRC R318.1
- Provide new insulation when existing ceiling, wall, or floor cavities are exposed during construction
- AA. Walls associated with conditioned basements, shall be insulated from the top of the basement wall down to ten feet (10') below grade or to the basement floor, whichever is less. (Section: R402.2.9)
- AB. The building thermal envelope shall be durably sealed to limit infiltration with suitable solid materials behind tubs and showers on exterior walls.
- AC. Unless a geotechnical report recommends otherwise, the Village of Oak Park uses an allowable soil bearing capacity of 1500 pcf.
- AD. The sump pump shall discharge outdoors to allow as much clear water to soak into applicant's property before allowing the overage onto an adjoining property or public way. Clear water shall not be discharged into the village sewer system.



1 Basement Plan
Scale: 1/4" = 1'-0"



WALL TYPE LEGEND:

- NEW INTERIOR WALL CONSTRUCTION
- NEW FURR/INSULATION/GYP BD ON EXT. WALL
- EXTERIOR WALL TO REMAIN

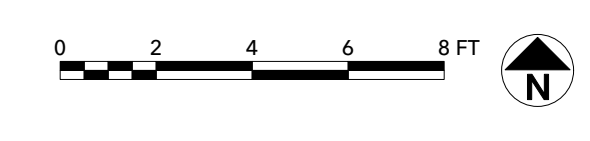
KITCHEN RANGE HOOD NOTES:

- The kitchen range hood shall discharge to the outdoors through a single-wall duct.
- The duct serving the hood shall have a smooth interior surface, shall be airtight and shall be equipped with a backdraft damper. The single-wall ducts serving range hood shall be constructed of galvanized steel or stainless steel.
- Ducts serving range hoods, clothes dryers or bath exhaust fans shall not terminate in an attic or crawl space or areas inside the building.
- If it is a re-circulatory type of unit is selected, then permit plans must be updated to indicate this change.
- Please note, if an exhaust hood system capable of exhausting in excess of 400 cubic feet per minute is installed, then it shall be provided with makeup air at a rate approximately equal to the exhaust rate. Such makeup air systems shall be controlled with a means of closure and shall be automatically controlled to start and operate simultaneously with the exhaust system. (Sections: M1502.1, M1502.2 and M1503.4)

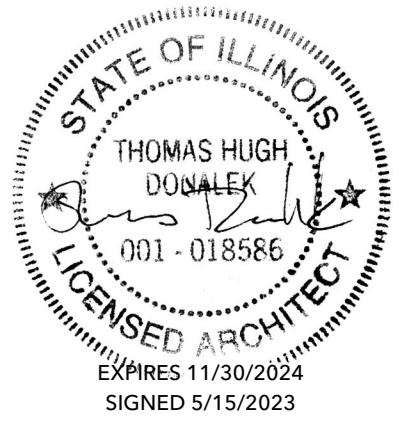
GENERAL PLAN NOTES:

- FIREBLOCKING:**
In all new walls, floors and ceilings, and where wall finishes are opened, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.
- Fireblocking shall be provided in wood-frame construction in the following locations:
- In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs; as follows:
 - Vertically at the ceiling and floor levels; and
 - Horizontally at intervals not exceeding ten feet (10').
 - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 - In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R311.2.2.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion.
 - For the fireblocking of chimneys and fireplaces, comply with requirements of Section R1003.19.
- PENETRATION OF FRAMING/STRUCTURAL MEMBERS:**
When piping or ductwork is placed in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than fifty percent (50%) of its width a galvanized metal tie of not less than 0.054 inch thick (16 ga) and one and one half inches (1-1/2") wide shall be fastened across and to the plate at each side of the opening with not less than eight (8) 16d nails at each side or equivalent.
- Notching - Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding twenty-five (25%) percent of its width. Studs in nonbearing partitions may be notched to a depth not to exceed forty (40%) percent of a single stud width; and
 - Drilling - Any stud may be bored or drilled, provided that the diameter of the resulting hole is no more than sixty (60%) percent of the stud width, the edge of the hole is no more than five eighths inch (5/8") to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior walls or bearing partitions drilled over forty (40%) percent and up to sixty (60%) percent shall also be doubled with no more than two successive doubled studs bored.

2 Basement Reflected Ceiling Plan
Scale: 1/4" = 1'-0"



FOR CODE AUTHORITY USE



Thomas H. Donalek
ARCHITECTURE

2011 W. Ohio St
Chicago, IL 60612
phone (312)361-1134
cell (773)793-1057
thdonalek@thdarch.com
www.thdarch.com

- Notes**
- DEMO: REMOVE EXISTING HYDRONIC HEATING BOILER AND ASSOCIATED ELEMENTS.
 - DEMO: RELOCATE DOMESTIC HOT WATER HEATER
 - DEMO: CREATE NEW DOOR OPENING IN EXISTING BRICK.

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No.	Date	Appr	Revision Notes
1	5/15/2023		ISSUED FOR PERMITS

No.	Date	Issue Notes
Project Title Basement Apartment Remodeling 1044 S Grove Ave Oak Park, IL		
Sheet Title Floor Plan-1		

Project Manager	CAD File Name 1044S_Grove_Bsmnt_OakPk_Lensy_202304.vwx
Drawn By	Page 3 of 7 total pages
Reviewed By	Sheet No.
Plot Date	5/15/2023
Issue No.	1
Project ID	1044SGroveOPBsmnt

A-01