



# Application for Public Hearing VARIANCE

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): \_\_\_\_\_

Address/Location of Property in Question: 833 S East Ave

Property Identification Number(s)(PIN): 16-18-227-017-0000

Name of Property Owner(s): Christopher Neuman

Address of Property Owner(s): 833 S East Ave Oak Park IL 60304

E-Mail of Property Owner(s): christopher.neuman@gmail.com Phone: 4405705361

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) \_\_\_\_\_

Name of Applicant(s) (if different than Property Owner): \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Applicant's Contact Information: Phone \_\_\_\_\_ E-Mail \_\_\_\_\_

Other: \_\_\_\_\_

Property Interest of Applicant:  Owner \_\_\_\_\_ Legal Representative \_\_\_\_\_ Contract Purchaser \_\_\_\_\_ Other

(If Other - Describe): \_\_\_\_\_

Property Type:  1 or 2 Family Residential  Multiple-Family  Commercial  Mixed-Use  Hospital  Institutional

Zoning District:  R-1  R-2  R-3(50)  R-3(35)  R-4  R-5  R-6  R-7

DT (1 - 2 - 3)  GC  HS  MS  NA  NC  RR

H  OS  I

Describe Variance Proposal: Propose to replace the garage, current footprint is 21x20. 17x20 is actually useable for parking. Propose new foot print 24x22. Request for variance for maximum roof structure alotment.

Size of Parcel (from Plat of Survey): 3884.3 Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	_____	_____
To the South:	_____	_____
To the East:	_____	_____
To the West:	_____	_____

Is the property in question currently in violation of the Zoning Ordinance?  Yes  No  
If Yes, how? The new structure would take the roof structures to 52% for the plot.

Is the property in question currently subject to any zoning relief?  Yes  No  
If Yes, how? \_\_\_\_\_  
If Yes, please provide relevant Ordinance No.'s \_\_\_\_\_

Is the subject property located within any Historic District?  Yes  No

If Yes:  Frank Lloyd Wright  Ridgeland/Oak Park  Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: \_\_\_\_\_ Section: 4.3 (Table 4-1: Residential District Dimensional Standards).  
Article: \_\_\_\_\_ Section: \_\_\_\_\_  
Article: \_\_\_\_\_ Section: \_\_\_\_\_

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

Garage us in poor condition, rotting roof, comprimised supports, cracked slabs, etc. Requesting modest increase in size to safely fit two full size vehicles, room to use and exit from the service door for better safety, and a place to store lawn equipment and bicycles.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Christopher Neuman  
(Printed Name) Applicant



Christopher Neuman  
(Signature) Applicant

8/3/2022  
Date

\_\_\_\_\_  
(Printed Name) Owner

Christopher Neuman  
(Signature) Owner

8/3/2022  
Date

**Owner's Signature must be notarized**

SUBSCRIBED AND SWORN TO BEFORE ME THIS

17 DAY OF August, 2022



Linda Deviller  
(Notary Public)

## 833 S East Ave Variance Request

### Section 14.3 Variation Standards

A written response to each of the following standards that must be met in order for a variation to be granted (Section 14.3 E of the Village of Oak Park Zoning Ordinance) must be submitted. Each standard must be quoted from the Zoning Ordinance and then followed by a reasoned response to the standard. Please note that all three standards must be met in order for the ZBA to grant any variances.

#### Approval Standards

1. The Zoning Board of Appeals decision must make findings to support each of the following:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

**Requesting a variance to safely fit two full size vehicles and have a place to store lawn equipment. Current garage is falling apart, without the variance there is no place to store lawn equipment and cant use the service door safely with two vehicles in the garage.**

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

**Lawn equipment would have to be carried up a half flight of stairs and stored inside. The service door can not be safely used with two vehicles in the garage.**

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

**The current garage has been compromised far longer than I have owned the property.**

2. The Zoning Board of Appeals, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate:

a. The granting of the variation will not be detrimental to the public health, safety, and welfare in the neighborhood in which the property is located.

**It will not be detrimental to the neighborhood. This is a modest increase in size for better functionality.**

b. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

**No it will not impair any of the factors listed above and will improve property values.**

c. The proposed variation is consistent with the spirit and intent of this Ordinance and the adopted land use policies.

**Correct**

### 833 S East Ave Garage Build

Garage needs to be replaced. Requesting a modest size increase to safely fit two full size vehicles and room to exit through the service door for better safety. Will also allow room for lawn care equipment and bicycle storage. The current structure does not have enough space to allow this.



Van Buren St

Van Buren St

Wesley Ave

Wesley Ave

Wesley Ave

Wesley Ave

Wesley Ave

Harrison St

Clarence Ave

Clarence Ave

Clarence Ave

Clarence Ave

Harrison St

S East Ave

S East Ave

S East Ave

S East Ave

Harrison St

S Scoville Ave

S Scoville Ave

S Scoville Ave

S Scoville Ave

Harrison St

Harrison St

Ascension Catholic Elementary School

Ascension Catholic Church

Ascension Religious Education

Bigger Table

Cathy's Day Care Home

Inspiration At Work  
Temporarily Closed

800 S East Ave  
Oak Park, IL 60304

Clarence and Harrison Apartments

La Casa Montessori School

GTC Financial Services

Olympic Structural Engineering

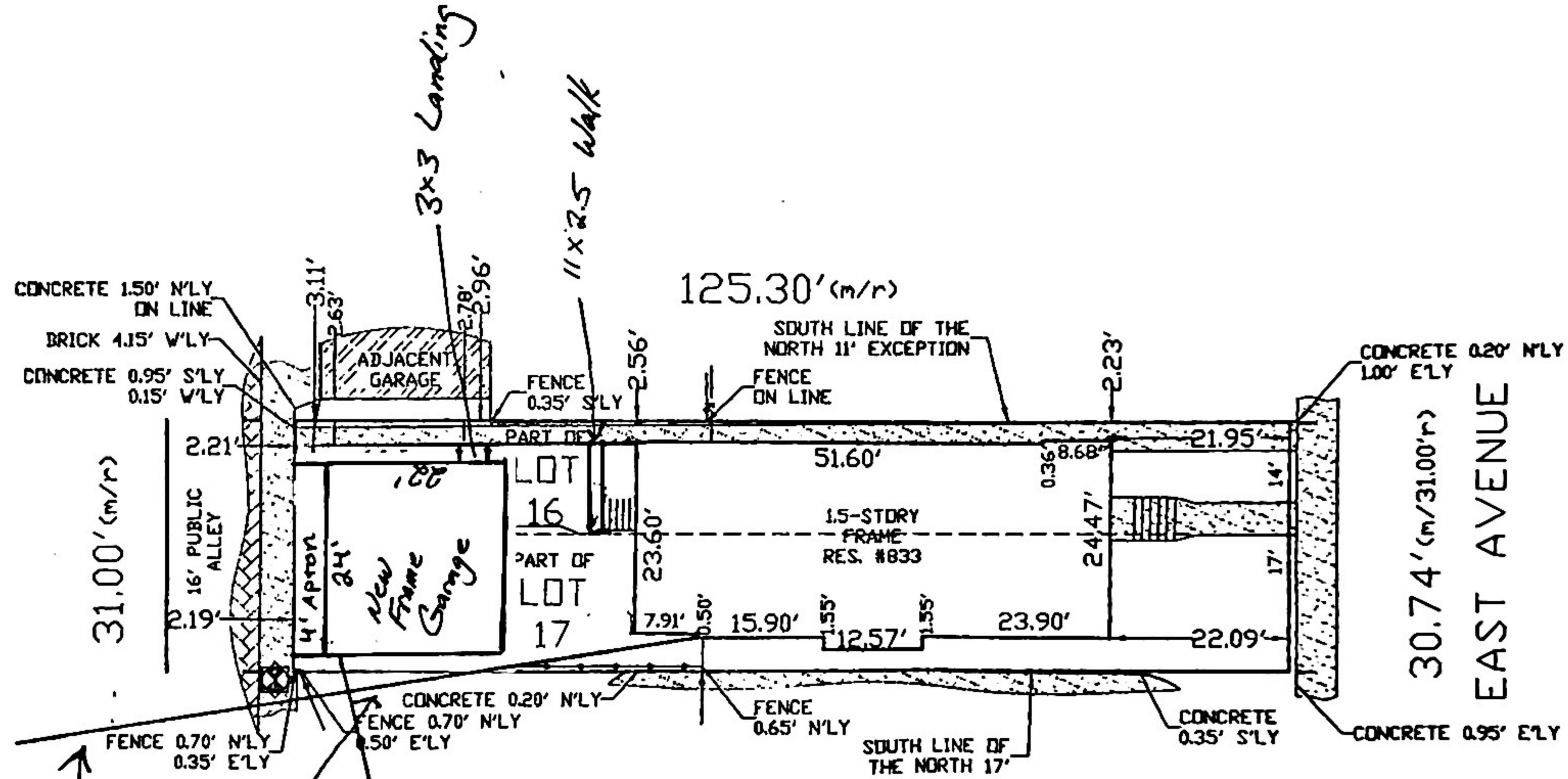
Jodiann Pacer Law Office

Rocket Education Group

Bonneville West Apartments  
Temporarily Closed

The 801

A Hair Delight

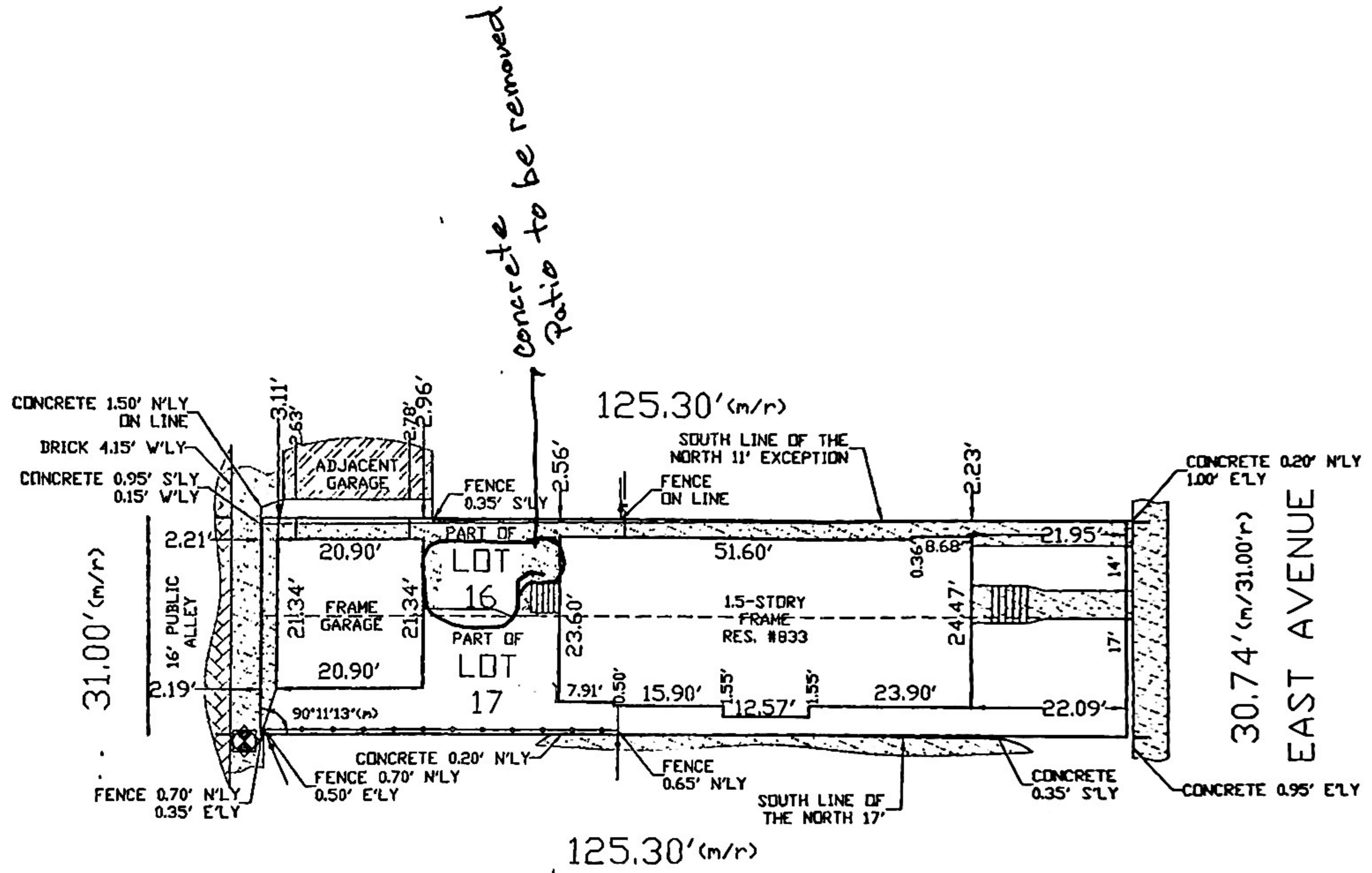


Overhead electric is 5' + From New Garage

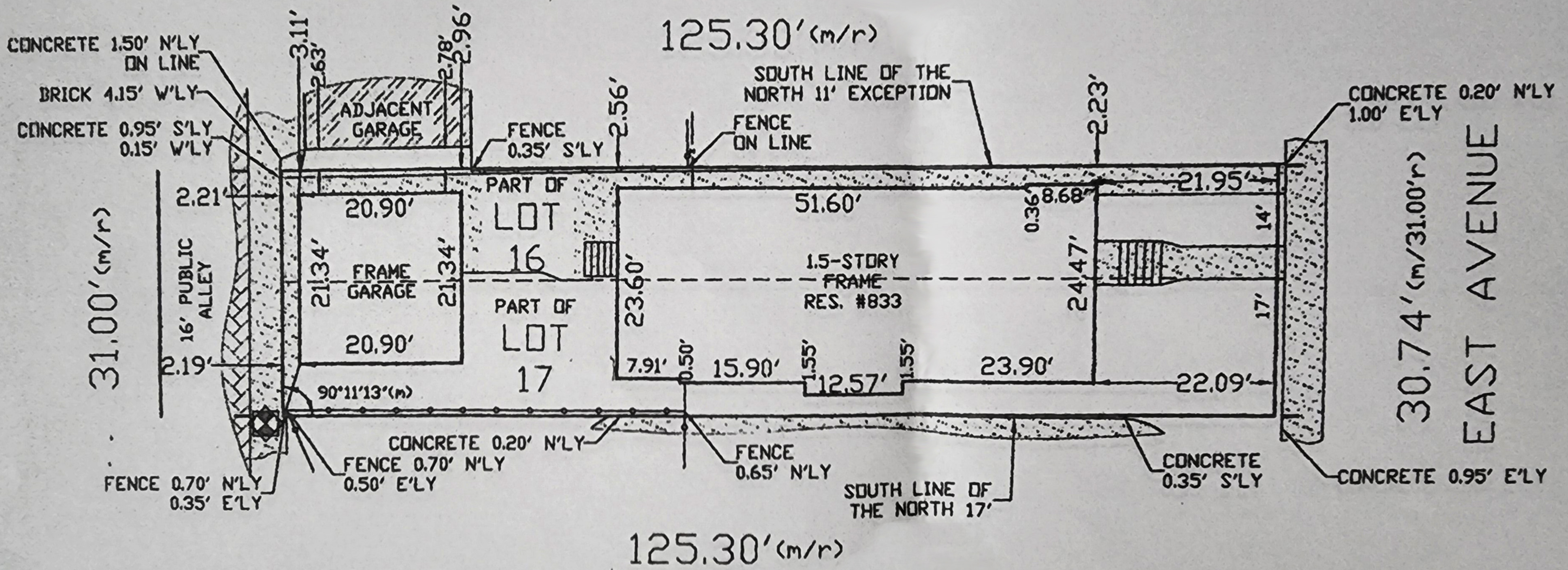
2' From Property Line w/ 1 hr. Firewall + Eave

Lot =	3,868.01 s.f.
40%	= 1,547.20 s.f.
Allowed =	2,320.81 s.f.
Sidewalks + stairs =	228.35 s.f.
House =	1,464.94 s.f.
Garage =	528 s.f.
Apron =	96 s.f.
Total =	2,315.29 s.f.
Under =	5.52 s.f.

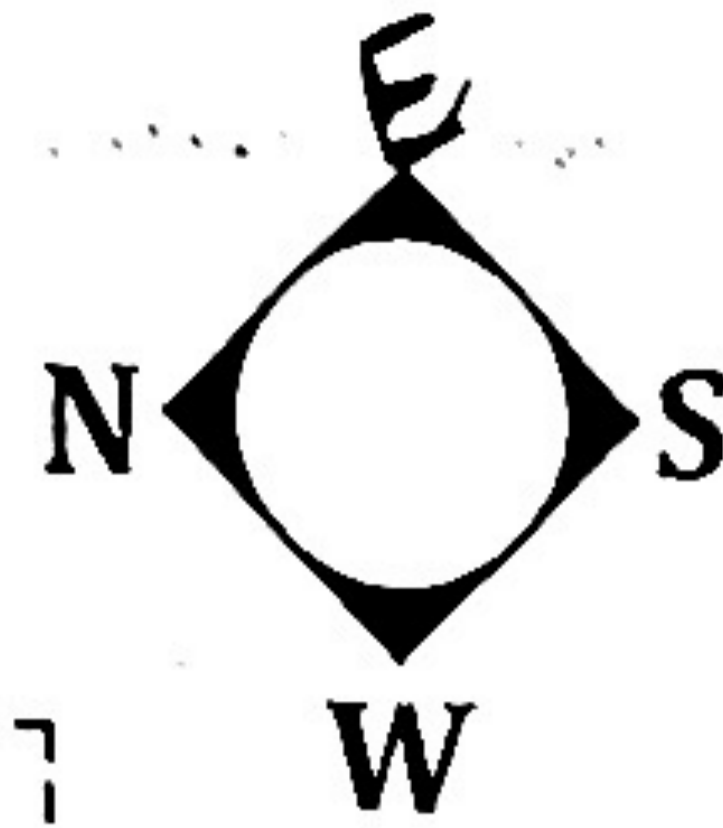




*concrete patio to be removed*

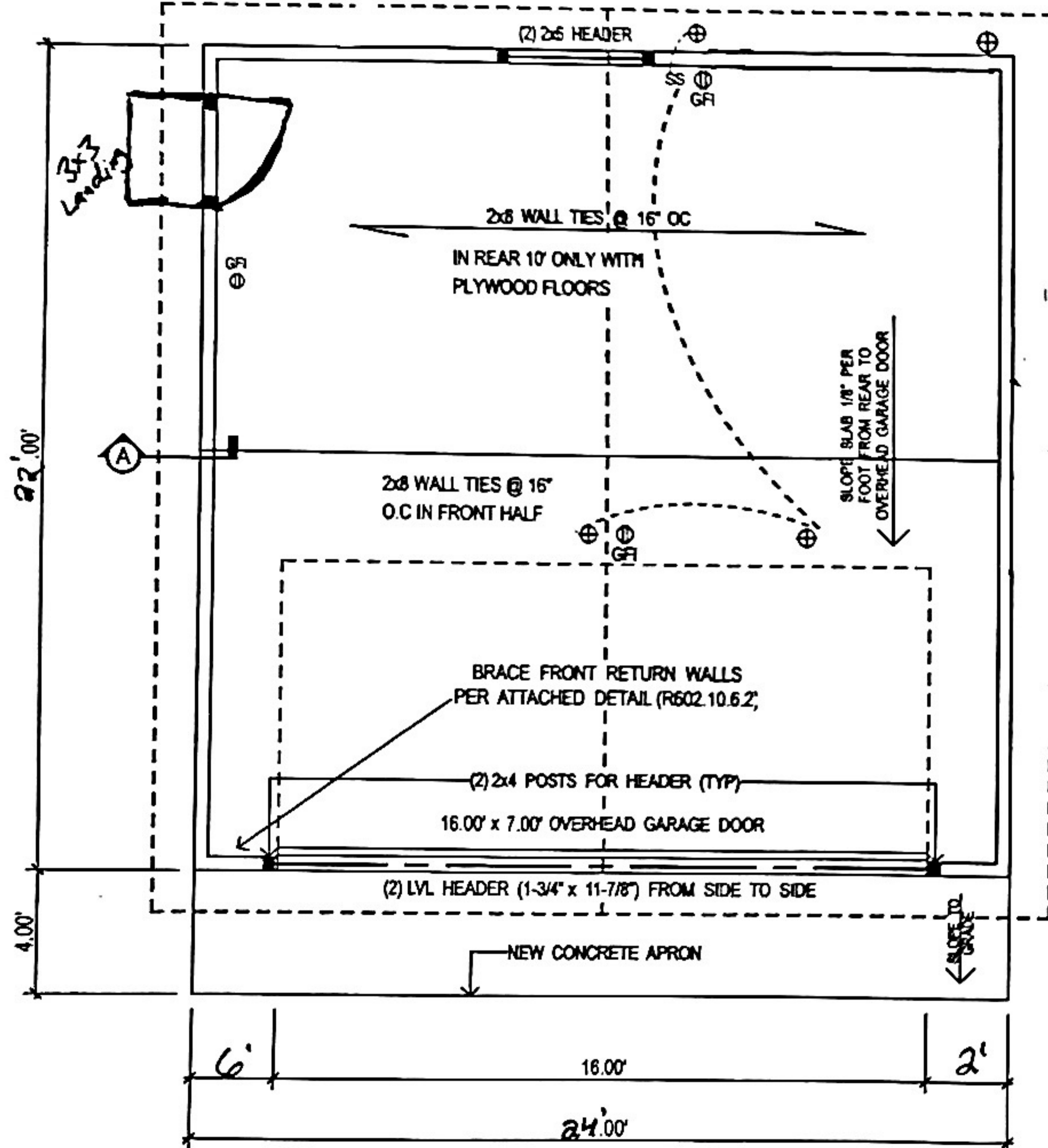


1 Hour Firewall + Eave on South  
Elevation Per U305 Attached Spec

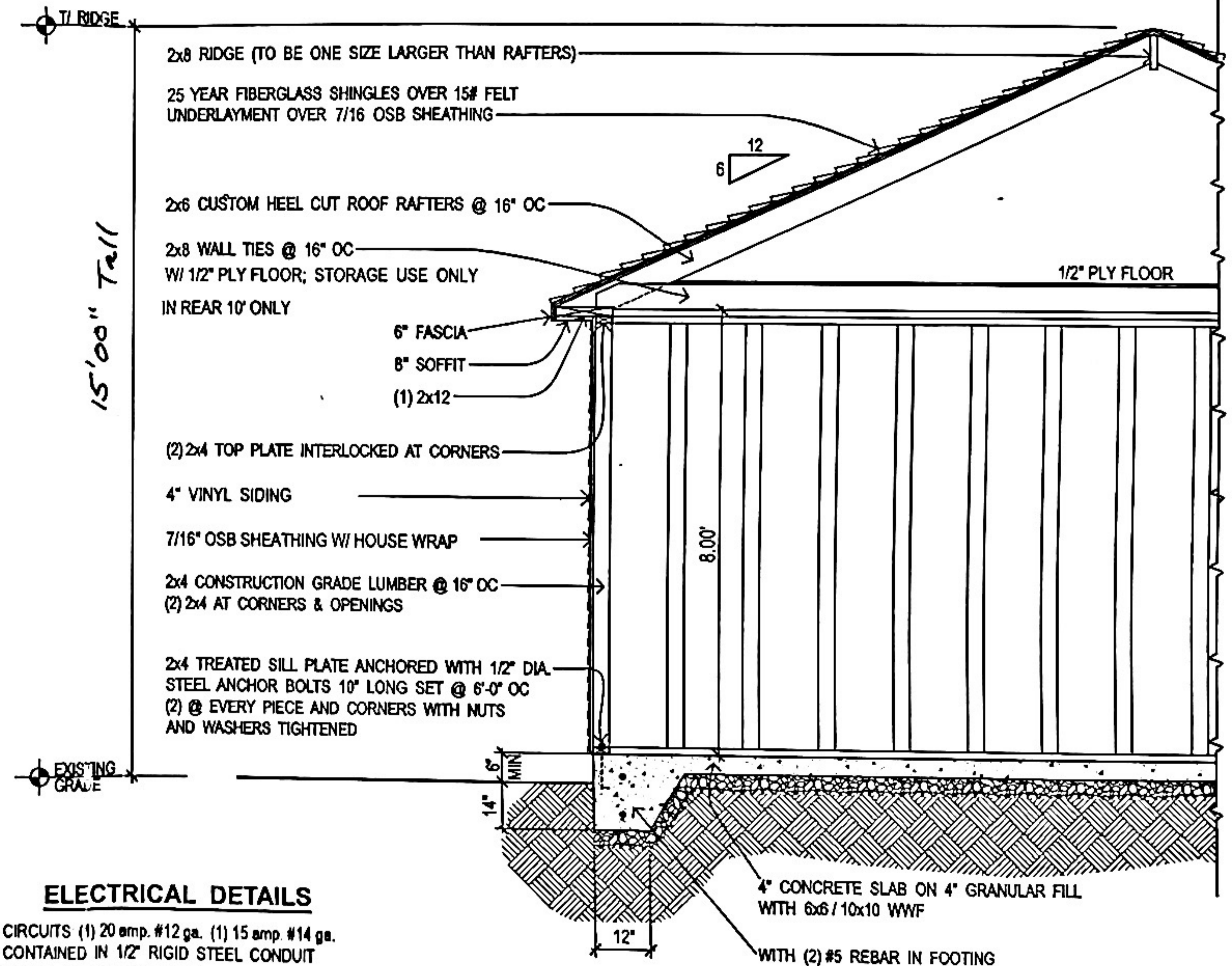


THIS DESIGN MEETS THE FOLLOWING CODES:

- INTERNATIONAL RESIDENTIAL CODE (2018) WITH AMENDMENTS
- NATIONAL ELECTRIC CODE (2018) WITH AMENDMENTS
- INTERNATIONAL EXISTING BUILDING CODE (2018)



FLOOR PLAN



**ELECTRICAL DETAILS**

- CIRCUITS (1) 20 amp. #12 ga. (1) 15 amp. #14 ga.
- CONTAINED IN 1/2" RIGID STEEL CONDUIT
- BURIAL DEPTH: 18 INCHES
- WIRING: SEPARATE CIRCUITS TO SERVICE PANEL

BUILDING SECTION

NOTE: DRAWINGS ARE NOT TO SCALE

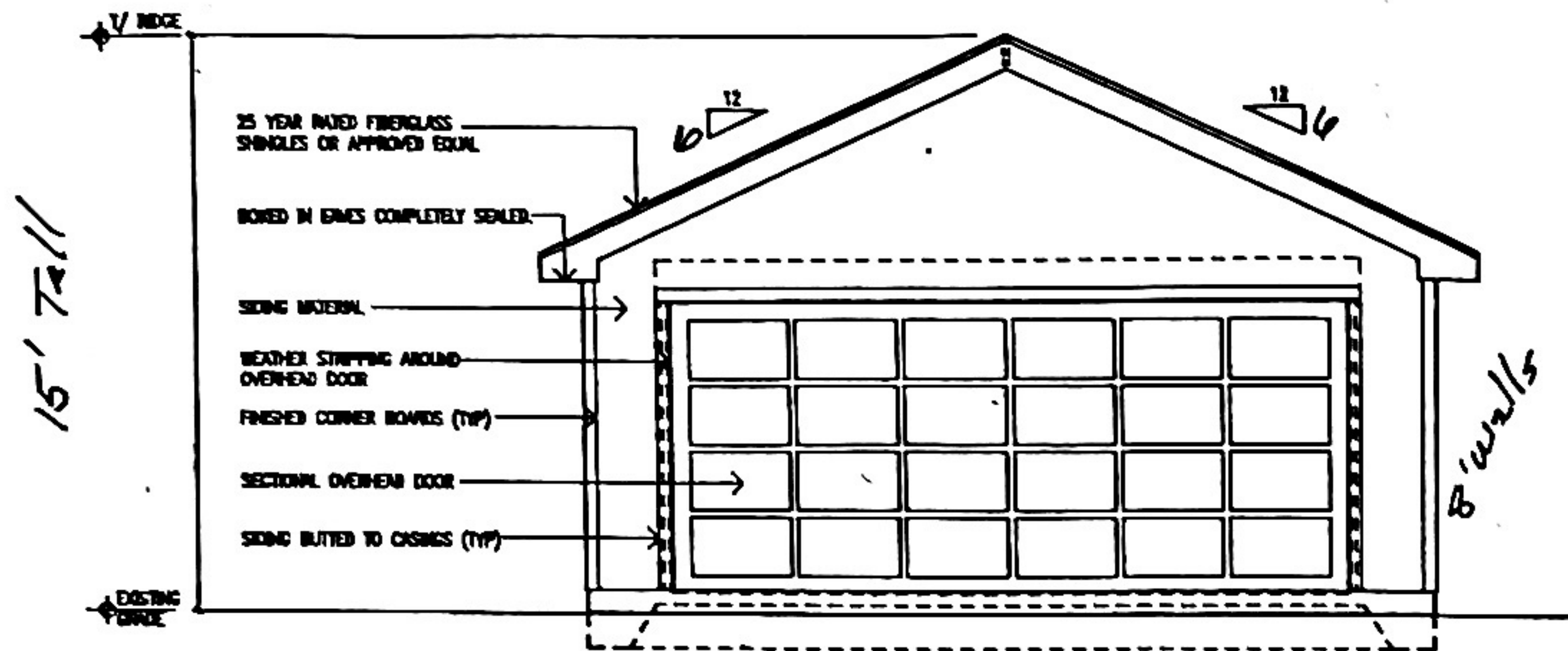


**DETACHED GARAGE - GABLE ROOF**

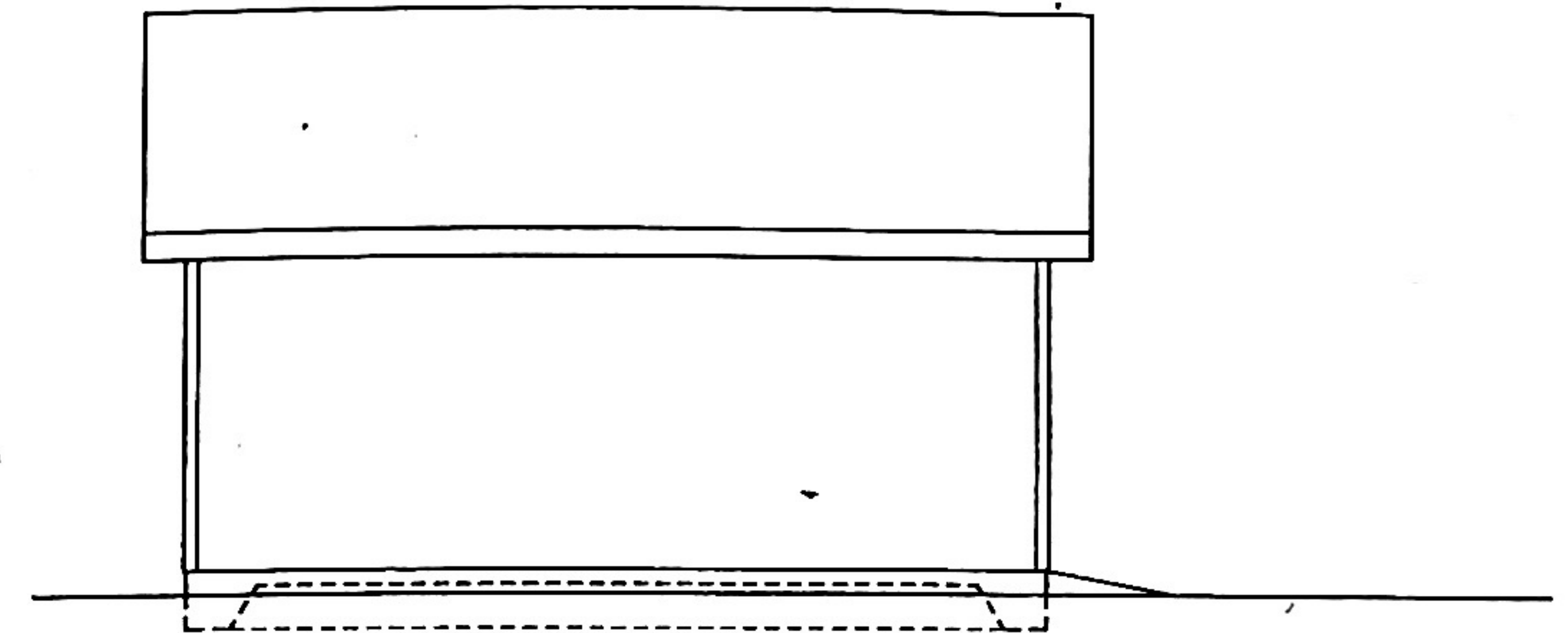
Christopher Neuman 833 S. East Ave Oak Park

CONTRACTOR:  
**STEELE AND LOEBER**  
801 Mannheim Road  
Bellwood IL 60104  
Phone: (708) 544 - 8383  
Fax: (773) 483- 8010

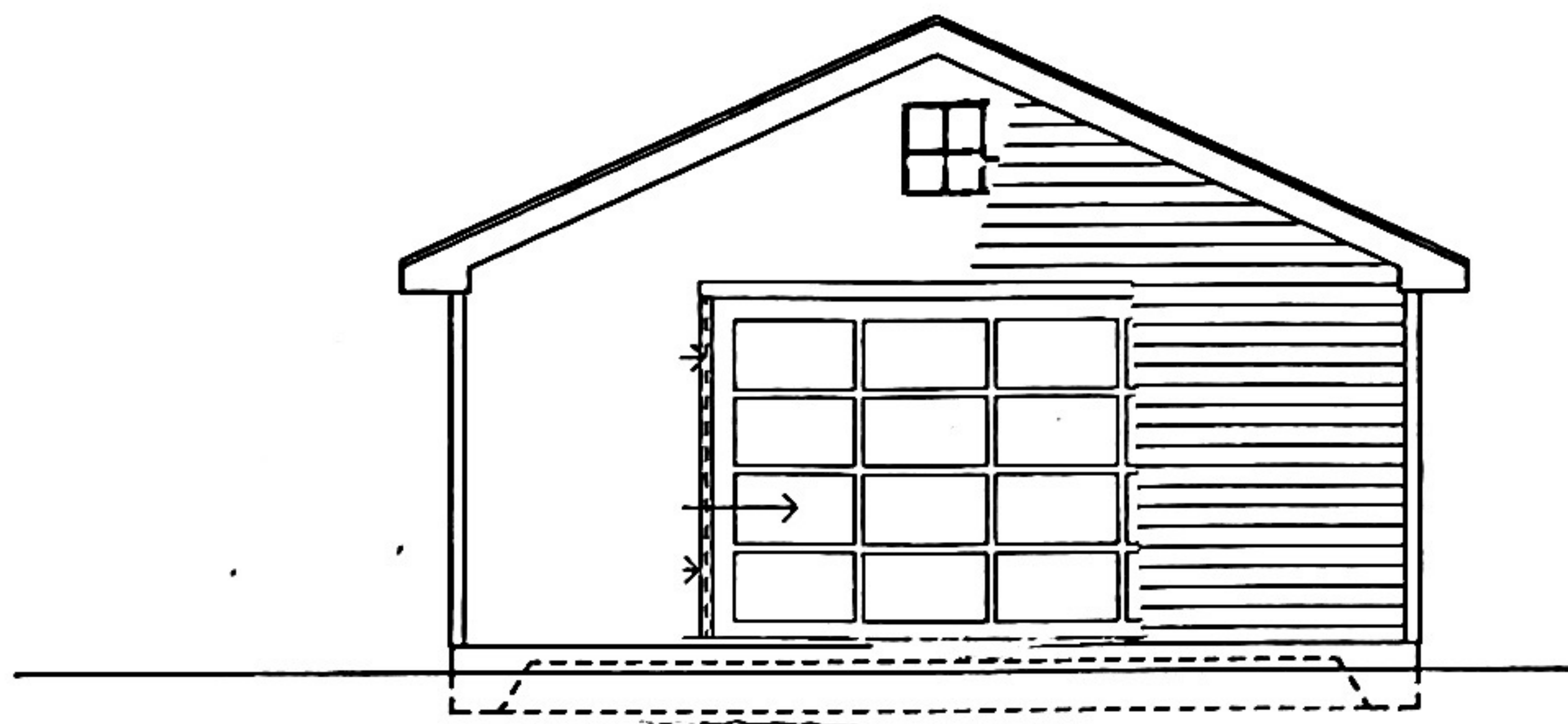
SHEET NAME:  
**FLOOR PLAN & BUILDING SECTION**  
SHEET NUMBER:  
**1 OF 2**



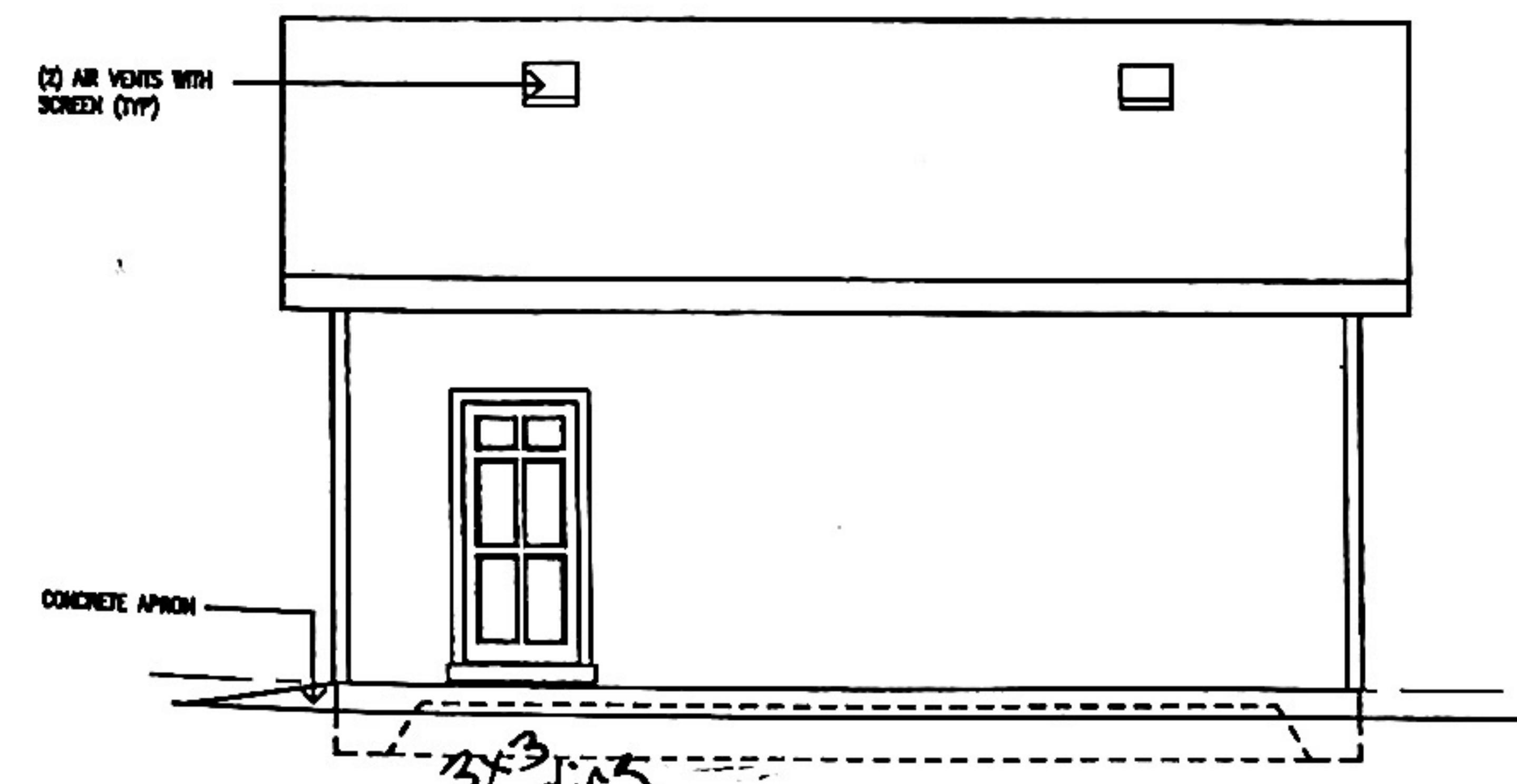
West ELEVATION



South ELEVATION



East ELEVATION



North ELEVATION

NOTE: DRAWINGS ARE NOT TO SCALE



**DETACHED GARAGE - GABLE ROOF**  
*Christopher Neuman 833 S. East Ave Oak Park*

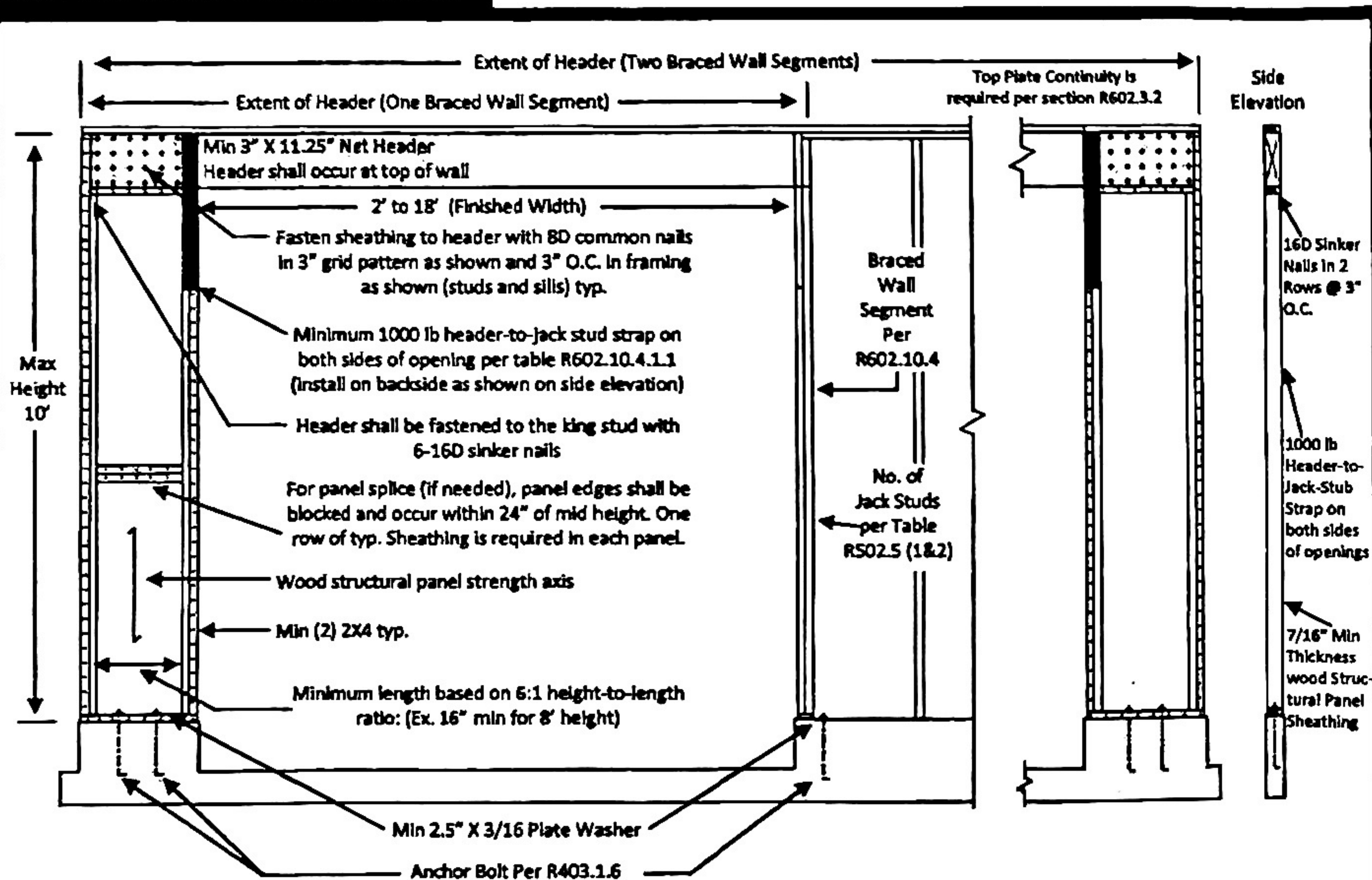
CONTRACTOR:  
**STEELE AND LOEBER**  
 801 Mannheim Road  
 Bellwood IL 60104  
 Phone: (708) 344-8383  
 Fax: (773) 493-8010

SHEET NAME:  
**ELEVATIONS**  
 SHEET NUMBER:  
**2 OF 2**

# GARAGE DETAILS

## GARAGE RETURN BRACE WALL

### Braced Wall Panel Detail



IRC FIGURE R602.10.6.3

## 1-HOUR RATED FIRE WALL



Design No. U344

BXUV.U344

Fire Resistance Ratings - ANSI/UL 263

BXUV - Fire Resistance Ratings - ANSI/UL 263

BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada

Design No. U344

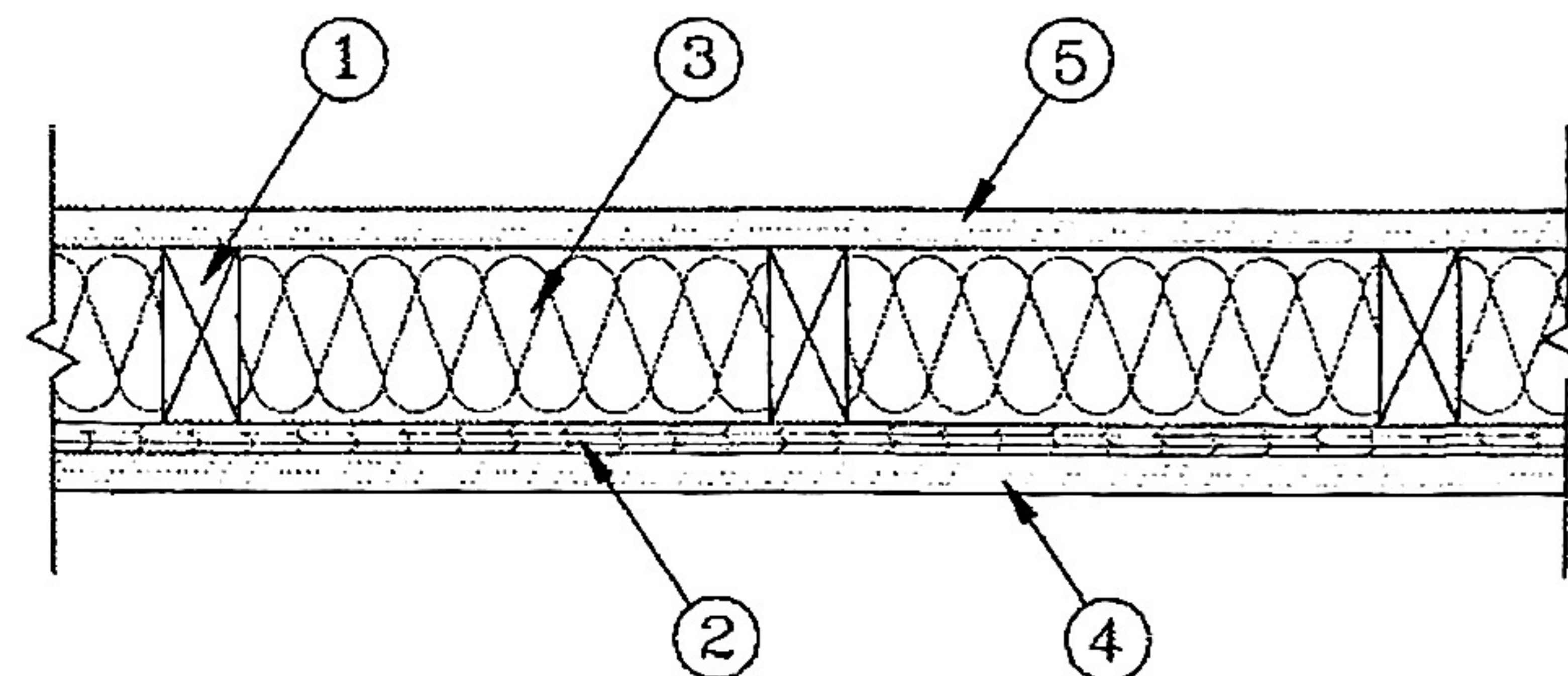
February 02, 2018

Bearing Wall Rating - 1 Hr.

Finish Rating - 26 Min.

This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used - See Guide BXUV or BXUV7

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



1. Wood Studs - Nominal 2x4 in. spaced 24 in. OC, laterally braced, and effectively fire stopped at top and bottom.

2. Wood Structural Panel Sheathing - Nominal 15/32 in. thick, 4 ft wide APA Rated Sheathing 32/16. Exposure 1, plywood or oriented strand board (OSB) per PS1, PS2 or APA Standard PRP-108. Installed with long dimension of sheet (strength axis) or face grain of plywood, parallel with studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Horizontal joints backed with nominal 2x4 in. wood backing. Attached to studs on exterior side of wall with 6d cement coated steel box nails spaced 12 in. OC along interior studs and 6 in. OC at perimeter of panels.

3. Batts and Blankets\* - 3-1/2 in. thick foil-faced glass fiber batts. Supplied in rolls 23 in. wide. Density to be nominal 0.70 pcf. Friction-fitted to completely fill the stud cavity. **NOT REQUIRED FOR GARAGE CONSTRUCTION**

4. Gypsum Board\* - 5/8 in. thick, 4 ft wide, applied horizontally or vertically. Attached to studs through plywood sheathing with 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam head nails spaced 7 in. OC along studs and at perimeter of panels. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with tape and compound.

5. Gypsum Board\* - 5/8 in. thick, 4 ft wide applied horizontally or vertically. Attached to studs or blocking at 7 in. OC with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads. When used in widths other than 48 in., wallboard to be installed horizontally. Joints exposed or covered with tape and compound.











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