

203 S. Marion

Planned Development Application
January 22, 2021

Oak Park, IL

 FOCUS  BOOTH HANSEN



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Planned Development Application





Petition for Public Hearing

PLANNED DEVELOPMENTS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Development : 203 S Marion Street

Address/Location of Property in Question: 203 S Marion Street, Oak Park, IL

Property Identification Number(s)(PIN): 16-07-308-008-0000, 16-07-308-009-0000, 16-07-308-010-0000, 16-07-308-011-0000

Name of Property Owner(s): Charles and Lynne Williams on behalf of 203 S. Marion Street Corporation

Address of Property Owner(s): 203 S Marion Street, Oak Park, IL

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) N/A

Name of Applicant(s): Focus Acquisition Company, LLC

Applicant's Address: 100 S Wacker Drive, Suite 2100, Chicago, IL

Applicant's Phone Number: Office (847)441-0474 E-Mail contact@workwithfocus.com

Other: _____

Project Contact: (if Different than Applicant) Courtney Brower

Contact's Address: 100 S Wacker Drive, Suite 2100, Chicago, IL

Contact's Phone Number: Office (224)255-6175 E-Mail courtneyb@workwithfocus.com

Other: _____

Property Interest of Applicant: Owner Legal Representative Contract Purchaser Other

(Describe): The applicant has a fully executed purchase and sale agreement as of December 18, 2019.

Existing Zoning: DT-3

Describe Proposal: _____

203 S Marion Street is an investment by Focus Acquisition Company LLC for the re-development of a 34,000sf site located in a desirable location of Oak Park. This transit-oriented development will consist of approximately 1,200sf of retail, 153 apartment units, 6 maisonette units, 123 covered parking spaces, resident community amenities, along with resident amenities on the outdoor terrace. The design provides for quality housing at an excellent location and will serve as a gateway to the commercial corridor to the North. The development is 7 stories tall with (2) floors of podium and (5) floors of courtyard style structure reminiscent of the vintage apartment buildings of Oak Park.

Proposed Planned Development Type:

Residential PD

Non-Residential PD

Mixed Use PD

Size of Parcel (from Plat of Survey): 34,141 Square Feet

Adjacent: Zoning Districts

Land Uses

To the North: DT-3

hotel and retail

To the South: DT-3

surface parking lot

To the East: DT-3

commercial

To the West: R-7

condominium

How the property in question is currently improved?

Residential Non-Residential Mixed Use OTHER: _____

Describe Improvement: funeral home and garage

Is the property in question currently in violation of the Zoning Ordinance? Yes No

If Yes, how? a funeral home is not a permitted use under DT zoning.

Is the property in question presently subject to a Special Use or Planned Development? Yes No

If Yes, how? _____

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? Yes No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

see attached

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;
see attached

PD Application Form Continued:

What section of the zoning ordinance are we seeking relief?

Allowed based on As of right condition:

- D. U.s allowed above first floor
 - The applicant is requesting (6) residential maisonette units on the first floor.
- 1 parking space per dwelling unit
 - The applicant is requesting 123 parking space or 0.77 covered parking spaces per unit.
- Maximum building height of 60 ft
 - The applicant is requesting a 84'-10" tall building measured to the top of the roof
- Setbacks built to 0' lot line on street sides
 - The applicant is requesting a 10' setback for approximately 64 linear feet along Marion Street.
- A 9'-0" turn around area is required at the end of parking stalls
 - The applicant is requesting relief from the 9'-0" turn around requirement to provide additional parking spaces on site. The parking stalls will be assigned to dwelling units.

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the zoning ordinance or comprehensive plan.

203 S Marion will strengthen and complete the corner of Marion and Pleasant Street by replacing a site that is over 50% surface parking with development that complements the neighboring commercial structures that are built to the lot lines on Marion Street and Pleasant Street. The building is designed by award winning architecture firm Booth Hansen and the materiality is selected to complement the neighboring buildings. The proposed development advances the Envision Oak Park Comprehensive plan by providing TOD housing within one of the focus areas identified by the Future Land Use Plan.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Tim Anderson

(Printed Name) Applicant

[Signature]

(Signature) Applicant

10/20/2020

Date

CHARLES M. WILLIAMS

(Printed Name) Owner

[Signature]

(Signature) Owner

LYNNE M. WILLIAMS

10/20/2020

Date

[Signature]

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

20 DAY OF October, 2020

[Signature]
(Notary Public)



1. Narrative

Project Intent

The primary objective of the 203 S. Marion Street development is to create an attractive and sustainable apartment building at the corner of Pleasant and Marion Streets. The development will contribute positively to both the Oak Park Pleasant Historic District and downtown Oak Park by connecting the commercial corridors to the north to the existing residential fabric to the south. It will also support transit-oriented development principals given its proximity to the CTA Green Line and Metra transport.

The development team hosted a virtual neighborhood meeting on October 29, 2020 to gather feedback from the neighbors in the community. In the meeting, matters such as traffic, parking, height, density and design impacts were discussed. As a result of neighborhood feedback, the design team is submitting a revised design scheme that reduces the unit count by 32 units and reduces the height by 13'-2".

Project Description

203 S Marion Street is an investment by Focus Acquisition Company LLC for the redevelopment of a 34,141sf site located in a desirable location of Oak Park. This transit-oriented development will consist of 153 apartment units, 6 maisonette units, 123 covered parking spaces, resident community amenities, along with resident amenities on the outdoor terrace. The design provides for quality housing at an excellent location and will serve as a gateway to the commercial corridor to the North. The development is 7 stories tall with (2) floors of podium and (5) floors of courtyard style structure reminiscent of the historic courtyard buildings in Oak Park.

The ground floor will provide approximately 1,200 sf of retail along with (6) maisonette homes with direct access to Marion Street. The ground floor will also include the leasing office and covered parking with access from the alley. The second story will provide amenities for the tenants and another floor of covered parking. The third floor will provide additional tenant amenities as well as amenities on the terrace that are accessible to all the tenants. The upper 4th-7th floor will provide apartment units. There is a 10'-0" setback on the 7th floor along Marion Street to accommodate private terraces for the top floor units.



1. Narrative

Project Benefits

The following project benefits advance the following objectives from Oak Parks Comprehensive Plan “Envision Oak Park”.

- Objective 4.3.4 Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle and pedestrian access throughout the village.
- Objective 4.4.1 Promote mixed-use development within the village to maximize the use of land and to foster more compact, walkable, and vibrant neighborhoods.
- Replaces a lot that is over 50% asphalt paving with an attractive building designed by award winning architecture firm Booth Hansen.
- The Future Land Use Plan identifies 203 S Marion within one of the TOD Housing Development Focus Areas identified as the Harlem/Lake Transit area. Additionally, the Future Land Use Plan envisions 203 S Marion as a location appropriate for Neighborhood Commercial/ Mixed Use Development.

Zoning Ordinance Relief Request

Article 5 Commercial Districts

Sub-section 5.3 Dimensional Standards allows a maximum building height of 60 feet, where a 84 foot 10 inch building measured to the top of the roof is proposed.

Table 5-1 Requires a building setback along streets to be built to a zero (0) foot lot line where a request for a (10) foot setback be allowed for approximately 64 linear feet along Marion Street.

Article 8 - Uses

Table 8-1 Use Matrix allows dwelling units above the first floor only, where six (6) residential maisonette units are proposed on the first floor.

Article 10 Off-Street Parking and Loading

Table 10-2 Multi-family dwelling calls for 1 per dwelling unit requirement for a total of 159 parking spaces. The applicant is requesting 123 parking spaces for 159 units which is .77 parking spaces per dwelling unit. The parking required for the retail space is allowed as on-street parking abutting the development site.

Sub-section 10.3 Off Street Parking Design Standards requires a nine (9) foot turnaround at the end of the parking stalls. The applicant is requesting to not provide them in order to provide additional parking spaces on site. The parking stalls will be assigned to the apartment units.



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Compensating Benefits

Additionally, the proposed development offers the following compensating benefits:

Economic Benefits:

- Proposed development will conservatively generate approximately \$750,000 of additional annual property taxes and sales taxes when compared to the property's current use.
- Proposed development will directly benefit the existing retail and commercial uses on Marion Street by providing more patrons and visitors.
- Proposed development will create at least five permanent jobs.

Community Benefits:

- Proposed development will provide \$1,590,000 to Oak Park's affordable housing efforts.
- Focus Construction, Inc., in conjunction with their subcontractors, will hire five Oak Park minority residents to participate in the construction of the proposed development. This will provide a training and growth opportunity within an active construction project.
- The inclusion of smaller studio and one-bedroom apartments will provide a more affordable and unique residential offering when compared to existing apartment product in Oak Park.

Sustainability:

- The proposed development will be designed and certified as a National Green Building Standard (NGBS 2015) Bronze building.
- The proposed development includes infrastructure to support electric vehicle charging in 10% of the parking stalls. Chargers will be installed based on actual demand.
- The proposed development will work with the immediate neighbors to attract and retain a car sharing program that can be housed within the proposed development. We believe that this will be attractive to residents, neighbors, and visitors of The Carlton of Oak Park.
- The proposed development will provide a green roof.

Design

- Award winning Booth Hansen architects has been commissioned to design the proposed development. This commitment to quality design is indicative of the team's goal of positively impacting the built environment.
- The proposed development includes work-from-home provisions in both the



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proposed apartments and common spaces. This programming does not currently exist throughout Chicagoland and provides Oak Park with a unique housing option coming out of Covid-19.

Neighbors & Utilities

- During our due diligence, we discovered that the neighboring Pleasant Maple Condominium Association (PMCA) has slow and unreliable internet service. The development team is committed to bringing the best internet service available to the proposed development including fiberoptics if available. As part of this effort, we will use our buying power to extend new internet service to a cabinet on the exterior wall of the PMCA building. This will allow PMCA to tap into this service and distribute reliable internet to their residents.
- The proposed development will eliminate the existing power poles at the rear of the subject property in the alley and bury all utilities to the benefit of both the residents of the proposed development and the existing neighbors. This will also allow the PMCA garages to function better.
- The proposed development contemplates a community parking space on the alley for service vehicles and quick drop offs. Currently these activities require vehicles to double park in the alley which restricts access to the PMCA garages.
- The development team has committed to offering any surplus leased parking within the proposed parking to the PMCA before contemplating any other leasing arrangements.

Village Improvements

- Streetscape improvements throughout the perimeter of the property including additional green space in the public right of way and extending the bluestone pavers and curbs to the southern boundary of the property. In addition, site lighting and security improvements will occur at the perimeter of the project for the benefit of all pedestrians.
- The applicant will resurface the alley at the west side of the property from Pleasant Street to the southern boundary of 203 S Marion Street.



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Neighborhood Meeting Information

Recipients of Notices

SERVICE KING PAINT & BODY LLC 1023 SOUTH BOULEVARD OAK PARK, IL 60302	OAK PARK CHIROPRACTIC CARE SPECIALIST LTD 1031 SOUTH BOULEVARD OAK PARK, IL 60302	THE SACHEM COMPANY 1033 SOUTH BOULEVARD - #243 OAK PARK, IL 60302
CROSS FUNCTION LLC 1033 SOUTH BOULEVARD OAK PARK, IL 60302	INSTANT PRODUCTS OF AMERICA, INCORPORATED DBA KRUGER NORTH AMERICA INC. 1033 SOUTH BOULEVARD - #200 OAK PARK, IL 60302	URBAN RESOURCE INC DBA URBAN RESOURCE 1033 SOUTH BOULEVARD - #14 OAK PARK, IL 60302
THE KARBIN AGENCY 1033 SOUTH BOULEVARD - #4 OAK PARK, IL 60302	JOHN THORPE ARCHITECTS 1033 SOUTH BOULEVARD OAK PARK, IL 60302	SKIN ABRASIONS 1037 SOUTH BOULEVARD OAK PARK, IL 60302
SECOND HAND ROSE SHOP 1039 SOUTH BOULEVARD OAK PARK, IL 60302	OAK PARK REGIONAL HOUSING CENTER 1041 SOUTH BOULEVARD OAK PARK, IL 60302	CTA STATION 1108 SOUTH BOULEVARD OAK PARK, IL 60302
CAJUN SEAFOOD DBA CAJUN BOIL AND BAR 1107-1109 SOUTH BOULEVARD OAK PARK, IL 60302	THE ONION PUB AND BREWERY INC DBA THE WILD ONION TIED HOUSE 1111 SOUTH BOULEVARD OAK PARK, IL 60302	GENE ARMSTRONG & ASSOC. 1111 SOUTH BOULEVARD OAK PARK, IL 60302
OAK MINI MART 1111 SOUTH BOULEVARD OAK PARK, IL 60302	ADVANCED EAR NOSE & THROAT SPECIALIST, PLLC DBA ADVENT – OAK PARK 1133 SOUTH BOULEVARD - #3 OAK PARK, IL 60302	MILLS PARK TOWER 1025 PLEASANT STREET OAK PARK, IL 60302
CARNIVORE INCORPORATED DBA CARNIVORE 1042 PLEASANT STREET OAK PARK, IL 60302	SERENITEA, INC. DBA SERENITEA 1046 PLEASANT STREET OAK PARK, IL 60302	CARLETON HOTEL, LLC DBA CARLETON HOTEL 1110 PLEASANT STREET OAK PARK, IL 60302



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Neighborhood Meeting Information

Recipients of Notices

<p>BIODYNAMIC HEALTH SYSTEMS, LLC 1119 PLEASANT STREET OAK PARK, IL 60302</p>	<p>FOX PARTNERS LLC DBA BARCLAY'S AMERICAN GRILL 1120 PLEASANT STREET OAK PARK, IL 60302</p>	<p>MECOLLARI INC DBA SALON 212 109 S MARION STREET OAK PARK, IL 60302</p>
<p>B. A. FELLER CO. 113 S MARION STREET OAK PARK, IL 60302</p>	<p>THRIVE COUNSELING CENTER 120 S MARION STREET OAK PARK, IL 60302</p>	<p>L'ALBERELLO, INC. DBA ANFORA 128 S MARION STREET OAK PARK, IL 60302</p>
<p>POOR PHIL'S, INC. DBA POOR PHIL'S OYSTER BAR & GRILL 139 S MARION STREET OAK PARK, IL 60302</p>	<p>JACK CARPENTER REALTORS 200 S MARION STREET OAK PARK, IL 60302</p>	<p>DAVIS CHIROPRACTIC 202 S MARION STREET OAK PARK, IL 60302</p>
<p>203 SOUTH MARION CORP. DBA DRECHSLER-BROWN-WILLIAMS FUNERAL HOME 203 S MARION STREET OAK PARK, IL 60302</p>	<p>VIACLAY LLC 208 S MARION STREET OAK PARK, IL 60302</p>	<p>GILBERT CREATIVE STUDIO OF ILLINOIS, LLC DBA SONYA GILBERT PHOTOGRAPHY LLC 210 S MARION STREET OAK PARK, IL 60302</p>
<p>OAK PARK AREA ASSOC. OF REALTORS 212 S MARION STREET OAK PARK, IL 60302</p>	<p>CONTRACT ALLIANCE LTD DBA CONTRACT ALLIANCE 212 S MARION STREET - #27 OAK PARK, IL 60302</p>	<p>JWSC, LLC 212 S MARION STREET - #10 OAK PARK, IL 60302</p>
<p>GRAND DESIGNS LLC 212 S MARION STREET OAK PARK, IL 60302</p>	<p>HUGH LIGHTING DESIGN, LLC 212 S MARION STREET - #23 OAK PARK, IL 60302</p>	<p>JHF CONSULTING INC 212 S MARION STREET - #2 OAK PARK, IL 60302</p>
<p>TEMPLE OF THE SPIRIT OF DIVINE HEALING, INC. DBA ARCHE INTERNATIONAL 212 S MARION STREET - #23 OAK PARK, IL 60302</p>	<p>WRESCO DBA WARDEN REALTY 212 S MARION STREET - #3 OAK PARK, IL 60302</p>	<p>EDWARD JONES & CO., L.P. #03465 DBA EDWARD JONES & CO #03465 214 S MARION STREET OAK PARK, IL 60302</p>



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Neighborhood Meeting Information

Recipients of Notices

MICHAEL GOGGIN AND CHRISTOPHER CRONSON 216 S MARION STREET OAK PARK, IL 60302		PILLAR FINANCIAL ADVISORS LLC DBA PILLAR FINANCIAL 224 S MARION STREET OAK PARK, IL 60302		ROCIO MUNOZ, PHD LLC 224 S MARION STREET OAK PARK, IL 60302
EBERT STUDIO 227 S MARION STREET OAK PARK, IL 60302		WEST COOK YMCA CHILD CARE 255 S MARION STREET OAK PARK, IL 60302		SACHEM FOOD, INC 1033 SOUTH BOULEVARD OAK PARK, IL 60302



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Recipients of Notices

<p>16-07-300-002-0000 1133 OP LLC 1110 JORIE BLVD. 300 OAK BROOK, IL 60523</p>	<p>16-07-300-003-0000 1133 OP LLC 1110 JORIE BLVD. 300 OAK BROOK, IL 60523</p>	<p>16-07-300-004-0000 NAUTILUS INVESTMNT LLC 1130 S WABASH #503 CHICAGO, IL 60605</p>
<p>16-07-300-005-0000 NAUTILUS INVESTMNT LLC 1130 S WABASH #503 CHICAGO, IL 60605</p>	<p>16-07-300-006-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-300-007-0000 EDDIE SWIFT 121 S MAPLE AVE OAK PARK, IL 60302</p>
<p>16-07-300-008-0000 M TAKIGUCHI 125 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-300-009-0000 ROSEMARY TRIVELLI 31 W230 WOODLAND TR SO WAYNE, IL 60184</p>	<p>16-07-301-002-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-003-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-004-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-005-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-010-0000 NDERIM MEHMETI 563 N ELLSWORTH AVE ADDISON, IL 60101</p>	<p>16-07-301-012-0000 R P FOX ASSOC INC 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-013-0000 CARLETON HOTEL 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-014-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-016-0000 B H FELLER CO 113 S MARION ST OAK PARK, IL 60302</p>	<p>16-07-301-017-0000 115 S MARON LC 1110 PLEASANT OAK PARK, IL 60302</p>
<p>16-07-302-002-0000 FAY F WONG 45 E WOODWORTH PL ROSELLE, IL 60172</p>	<p>16-07-302-003-0000 SACHEM BUILDING LLC 1033 S BOULEVARD OAK PARK, IL 60302</p>	<p>16-07-302-004-0000 ROBERT LORO CO KEA TAX 1900 DALROCK RD ROWLETT, TX 75088</p>
<p>16-07-302-005-0000 LORO VENTURE KEA TAX 1900 DALROCK RD ROWLETT, TX 75088</p>	<p>16-07-302-009-0000 EXEMPT</p>	<p>16-07-302-010-0000 PURPLE MONKEY PROP LLC 124 S MARION AVE OAK PARK, IL 60302</p>



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Neighborhood Meeting Information

Recipients of Notices

<p>16-07-302-011-0000 TARA REALTY J B RIFIS PO BOX 3637 OAK PARK, IL 60303</p>	<p>16-07-302-012-0000 MARIA ARANDA MARIA E 1032 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-013-0000 LYNN RAYMOND TOTZKE 840 FOREST AVE OAK PARK, IL 60302</p>
<p>16-07-302-020-1001 GARBIEL WHITEHOUSE 1020 PLEASANT ST 1 OAK PARK, IL 60302</p>	<p>16-07-302-020-1002 JAMES KUTILL 1020 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-020-1003 CLAIRE MOSSHAMER 1020 PLEASANT #3 OAK PARK, IL 60302</p>
<p>16-07-302-020-1004 STETSON M SILER 1024 PLEASANT ST#4 OAK PARK, IL 60302</p>	<p>16-07-302-020-1005 JESSICA CALLICOAT 1024 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-020-1006 FRANCISCO CORDERO 1024 PLEASANT ST#6 OAK PARK, IL 60302</p>
<p>16-07-302-020-1007 APPRSL RSCH CNSLR 400 E RANDOLPH #715 CHICAGO, IL 60601</p>	<p>16-07-302-023-1001 ANTHONY GRAEFE 110 S MARION ST#203 OAK PARK, IL 60302</p>	<p>16-07-302-023-1002 R N SHANNON 110 S MARION 204 OAK PARK, IL 60302</p>
<p>16-07-302-023-1003 KEN HUSKE 110 S MARION ST #205 OAK PARK, IL 60302</p>	<p>16-07-302-023-1004 LINDA C MURCHISON 110 S MARION ST #206 OAK PARK, IL 60302</p>	<p>16-07-302-023-1005 CHUNYE MA LIPING SUN 110 S MARION ST #207 OAK PARK, IL 60302</p>
<p>16-07-302-023-1006 OAK PARK OPERA LLC 1010 LAKE ST #200 OAK PARK, IL 60301</p>	<p>16-07-302-023-1007 MARY CZAJA 110 S MARION ST#301 OAK PARK, IL 60302</p>	<p>16-07-302-023-1008 I ROCK 110 S MARION #302 OAK PARK, IL 60302</p>
<p>16-07-302-023-1009 MATTHEW DOMINSKI 110 S MARION ST 303 OAK PARK, IL 60302</p>	<p>16-07-302-023-1010 ANDREW FOLLETT 163 LINDEN AVE OAK PARK, IL 60302</p>	<p>16-07-302-023-1011 DOUGLAS E BURKE 910 HAYES AVE OAK PARK, IL 60302</p>
<p>16-07-302-023-1012 P M C C SAGE 110 S MARION ST 306 OAK PARK, IL 60302</p>	<p>16-07-302-023-1013 ROBERT O WYATT TERRI 110 S MARION ST#307 OAK PARK, IL 60302</p>	<p>16-07-302-023-1014 CAROL E MILBURN 110 S MARION ST#308 OAK PARK, IL 60302</p>



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Neighborhood Meeting Information

Recipients of Notices

<p>16-07-302-023-1015 KATHLEEN BUENIK 110 S MARION ST#401 OAK PARK, IL 60302</p>	<p>16-07-302-023-1016 GLORIA W RAYBURN 110 S MARION ST #402 OAK PARK, IL 60302</p>	<p>16-07-302-023-1017 DANA K PETERSON 2072 N CHARTER POINT D ARLINGTON HTS, IL 60004</p>
<p>16-07-302-023-1018 CHRISTIANE ALUEN 110 S MARION #404 OAK PARK, IL 60302</p>	<p>16-07-302-023-1019 ROBERTA E ARNOLD 110 S MARION ST #405 OAK PARK, IL 60302</p>	<p>16-07-302-023-1020 PIERO FAGIOLO 1955 N NEWLAND AV CHICAGO, IL 60707</p>
<p>16-07-302-023-1021 TOM MACMILLIAN 110 S MARION ST 407 OAK PARK, IL 60302</p>	<p>16-07-302-023-1022 BARBARA G MONTEJO 110 S MARION ST#408 OAK PARK, IL 60302</p>	<p>16-07-302-023-1023 C MARTINEZ I WIDILIA 110 S MARION ST #501 OAK PARK, IL 60302</p>
<p>16-07-302-023-1024 CAREN VAN SLYKE TRUST 110 S MARION ST#502 OAK PARK, IL 60302</p>	<p>16-07-302-023-1025 JUSTIN RATH 110 S MARION ST #503 OAK PARK, IL 60302</p>	<p>16-07-302-023-1026 ZACHARY SCHNELL 110 S MARION 504 OAK PARK, IL 60302</p>
<p>16-07-302-023-1027 DAVID MANGLESS 110 S MARION ST #505 OAK PARK, IL 60302</p>	<p>16-07-302-023-1028 JEFFREY S FORT 110 S MARION AV #506 OAK PARK, IL 60302</p>	<p>16-07-302-023-1029 SALLY J NIETO LIVING T 110 S MARION ST#507 OAK PARK, IL 60302</p>
<p>16-07-302-023-1030 LUIS P NIETO JR SALL 110 S MARION ST#508 OAK PARK, IL 60302</p>	<p>16-07-302-023-1031 T HARRY GIESCHEN 110 S MARION 601 OAK PARK, IL 60302</p>	<p>16-07-302-023-1032 SUSAN JOHNSON 110 S MARION ST #602 OAK PARK, IL 60302</p>
<p>16-07-302-023-1033 MICHAEL A LEX MACNEIL 110 S MARION ST #603 OAK PARK, IL 60302</p>	<p>16-07-302-023-1034 DAINA JAKOFSKY 110 S MARION ST#604 OAK PARK, IL 60302</p>	<p>16-07-302-023-1035 JUDITH ARADO 110 S MARION ST#605 OAK PARK, IL 60302</p>
<p>16-07-302-023-1036 OAK PARK OPERA LLC 1010 LAKE ST #200 OAK PARK, IL 60301</p>	<p>16-07-302-023-1038 100 MARION PARTNERS 551 S YORK ST ELMHURST, IL 60126</p>	<p>16-07-302-023-1039 100 MARION PARTNERS 551 S YORK ST ELMHURST, IL 60126</p>



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Neighborhood Meeting Information

Recipients of Notices

16-07-302-023-1040 ANNA GUSHCHIN 110 S MARION ST #201 OAK PARK, IL 60302	16-07-302-023-1041 JUDITH A SCULLY JULIE 110 S MARION ST#202 OAK PARK, IL 60302	16-07-302-023-1042 JAMES J ANGAROLA 110 S MARION ST#608 OAK PARK, IL 60302
16-07-302-023-1043 SALLY J NIETO TRUSTEE 110 S MARION STREET OAK PARK, IL 60302		16-07-307-017-0000 DAVID RECHS 221 A SOUTH MAPLE OAK PARK, IL 60302
16-07-307-018-0000 DANIEL C CLEARWATER 221 S MAPLE B OAK PARK, IL 60302	16-07-307-019-0000 RICHARD HAMERSMA 221 S MAPLE C OAK PARK, IL 60302	16-07-307-020-0000 CANDICE A MACIS 223 S MAPLE AVE APT A OAK PARK, IL 60302
16-07-307-021-0000 RILEY CARRIER 223 S MAPLE AVE APT B OAK PARK, IL 60302	16-07-307-022-0000 DIANE COLCHAMIRO 223 S MAPLE AVE APT C OAK PARK, IL 60302	16-07-307-023-0000 JOYCE BURIN 225 S MAPLE AVE APT A OAK PARK, IL 60302
16-07-307-024-0000 RICHARD SABATINO 225 S MAPLE AVE B OAK PARK, IL 60302	16-07-307-025-0000 SHOBHANA A PATEL 2201 BOEGER AVE WESTCHESTER, IL 60154	16-07-307-026-0000 CHRISTINE D DONAKER 227 S MAPLE AV A OAK PARK, IL 60302
16-07-307-027-0000 MICHAEL L HINING 227 S MAPLE #B OAK PARK, IL 60302	16-07-307-028-0000 THOMAS A BRISCOE 227 S MAPLE AVE APT C OAK PARK, IL 60302	16-07-307-029-0000 PATRICIA ROMERO 297 NORTH WOOD RD RIVERSIDE, IL 60546
16-07-307-030-0000 ERIC LARSON 231 S MAPLE #B OAK PARK, IL 60302	16-07-307-031-0000 SARAH L GUERIN 231 S MAPLE AVE APT A OAK PARK, IL 60302	16-07-307-032-0000 MICHAEL A RODRIGUEZ 229 C S MAPLE ST OAK PARK, IL 60302
16-07-307-033-0000 SMITH SHIMON 229 S MAPLE B OAK PARK, IL 60302	16-07-307-034-0000 R R DALY 229 S MAPLE AVE A OAK PARK, IL 60302	16-07-307-035-1001 SHARON KOROVESIS 217 -A S MAPLE AVE OAK PARK, IL 60302



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Recipients of Notices

16-07-307-035-1002 MERRILL D PAYTON 217 S MAPLE B OAK PARK, IL 60302	16-07-307-035-1003 JOSEPH T CAHILL 217 S MAPLE AV C OAK PARK, IL 60302	16-07-307-035-1004 DENGPING YIN 219 -A S MAPLE AV OAK PARK, IL 60302
16-07-307-035-1005 JOSEPH SIMMONS 219 S MAPLE B OAK PARK, IL 60302	16-07-307-035-1006 N WINTER A RICHARDS 219 S MAPLE AVE C OAK PARK, IL 60302	
16-07-307-036-1001 LESLIE P FULTON 235 S MAPLE AVE #1 OAK PARK, IL 60302	16-07-307-036-1002 MICHELLE MURPHY 235 S MAPLE AVE UNIT 2 OAK PARK, IL 60302	16-07-307-036-1003 WILLIAM J KERN 237 S MAPLE OAK PARK, IL 60302
16-07-307-036-1004 MICHAEL DONAHUE 237 S MAPLE AVE UNIT 2 OAK PARK, IL 60302	16-07-307-036-1005 KATHRYN L IVSIN 239 S MAPLE AV 1 OAK PARK, IL 60302	16-07-307-036-1006 RICHARD L KOLZOW 239 S MAPLE 2 OAK PARK, IL 60302
16-07-307-036-1007 EDWARD KULIESIS 241 S MAPLE AVE 1 OAK PARK, IL 60302	16-07-307-036-1008 AIMEE J LUGAY 241 S MAPLE AVE 2 OAK PARK, IL 60302	16-07-307-037-0000 SUZARAH GUEVARA 243 S MAPLE A OAK PARK, IL 60302
16-07-307-038-0000 ROBERT MARIE ROCK 243 S MAPLE AV B OAK PARK, IL 60302	16-07-307-039-0000 ARPINE KOSTANDYAN 243 S MAPLE AVE APT C OAK PARK, IL 60302	16-07-307-040-0000 HOWARD A BRUNDAGE III 243 D MAPLE OAK PARK, IL 60302
16-07-307-041-0000 M N MORRIS 243 S MAPLE E OAK PARK, IL 60302	16-07-307-042-0000 JAIME 243 S MAPLE AVE OAK PARK, IL 60302	16-07-307-043-0000 SUZARAH GUEVARA 243 S MAPLE OAK PARK, IL 60302
16-07-307-044-0000 SUZARAH GUEVARA 243 S MAPLE A OAK PARK, IL 60302	16-07-307-045-0000 M C C DEVELOPING 419 RANDOLPH ST OAK PARK, IL 60302	16-07-307-046-1001 GARY M ARNOLD 201 S MAPLE AVE#101 OAK PARK, IL 60302



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Recipients of Notices

<p>16-07-307-046-1002 JEHAD AMMRA 201 S MAPLE AVE#102 OAK PARK, IL 60302</p>	<p>16-07-307-046-1003 CANAM VENTURES LLC 834 FAIR OAKS OAK PARK, IL 60302</p>	<p>16-07-307-046-1004 REGINALD F LEVY 201 S MAPLE #104 OAK PARK, IL 60302</p>
<p>16-07-307-046-1005 MICHAEL A ALRDO 201 S MAPLE 105 OAK PARK, IL 60302</p>	<p>16-07-307-046-1006 RICHARD BERNACCHI 201 S MAPLE AV 106 OAK PARK, IL 60302</p>	<p>16-07-307-046-1007 LAUREN JOHNSON 201 S MAPLE AVE#107 OAK PARK, IL 60302</p>
<p>16-07-307-046-1008 CATHERINE M SPYR 201 S MAPLE AVE #108 OAK PARK, IL 60302</p>	<p>16-07-307-046-1009 NORMAN VALERIE PARISH 201 S MAPLE #109 OAK PARK, IL 60302</p>	<p>16-07-307-046-1010 DELACY P SARANTOS 201 S MAPLE AVE OAK PARK, IL 60302</p>
<p>16-07-307-046-1011 MARIANNE BRYJA 2433 S 4TH AVE RIVERSIDE, IL 60546</p>	<p>16-07-307-046-1012 ANDREW J STYRCULA 201 S MAPLE #112 OAK PARK, IL 60302</p>	<p>16-07-307-046-1013 DOUGLAS HAMMER 201 S MAPLE # OAK PARK, IL 60302</p>
<p>16-07-307-046-1014 MARY ATKINS 201 MAPLE 202 OAK PARK, IL 60302</p>	<p>16-07-307-046-1015 SYLVIA B ARJONA 201 S MAPLE #203 OAK PARK, IL 60302</p>	<p>16-07-307-046-1016 RONALD KOZIL 2304 GLEN EAGLES LN RIVERWOODS, IL 60015</p>
<p>16-07-307-046-1017 ANTHONY R FOLINO 201 S MAPLE AV #205 OAK PARK, IL 60302</p>	<p>16-07-307-046-1018 TRENT LARSON 1834 NORTH DALE AVENUE ARLINGTON HTS, IL 60004</p>	<p>16-07-307-046-1019 ANETA JONKOWIAK 201 S MAPLE 207 OAK PARK, IL 60302</p>
<p>16-07-307-046-1020 LOVICE MCCOY 201 S MAPLE AVE 208 OAK PARK, IL 60302</p>	<p>16-07-307-046-1021 WILLIE M POLITE 201 S MAPLE #209 OAK PARK, IL 60302</p>	<p>16-07-307-046-1022 MARY POKORNY 201 S MAPLE AV APT 210 OAK PARK, IL 60302</p>
<p>16-07-307-046-1023 HENRIK MILA SOLINA 201 S MAPLE ST 211 OAK PARK, IL 60302</p>	<p>16-07-307-046-1024 JULIA PRIMS 201 S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-307-046-1025 RYAN K Y LAM 201 S MAPLE #302 OAK PARK, IL 60302</p>



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Recipients of Notices

16-07-307-046-1026 HOME FIRST IL LLC 1 N LASALLE ST #700 CHICAGO, IL 60602	16-07-307-046-1027 ANNA M RAISOR 201 S MAPLE UNIT304 OAK PARK, IL 60302	16-07-307-046-1028 ADA FOURNIER 170 N RIDGELAND AVE OAK PARK, IL 60302
16-07-307-046-1029 SUSAN MACLEAN 201 S MAPLE 306 OAK PARK, IL 60302	16-07-307-046-1030 ANN WARDWELL TANNER 201 S MAPLE AVE#307 OAK PARK, IL 60302	16-07-307-046-1031 RT WUNDER CM RYMAS 201 S MAPLE AVE 308 OAK PARK, IL 60302
16-07-307-046-1032 CHGO TITLE LAND TRUST 201 S MAPLE 309 OAK PARK, IL 60302	16-07-307-046-1033 GREGG R NEWBERRY 201 S MAPLE AV OAK PARK, IL 60302	16-07-307-046-1034 HOME FIRST IL LLC 1 N LASALLE ST CHICAGO, IL 60602
16-07-307-046-1035 NAYSON KHOSHNOOD 1238 FRANKLIN AVE RIVER FOREST, IL 60305	16-07-307-046-1036 RUTH H LAUX 201 S MAPLE AV 402 OAK PARK, IL 60302	16-07-307-046-1037 VERONICA ARMENTA 205 S MAPLE #403 OAK PARK, IL 60302
16-07-307-046-1038 BAI KABBA 201 S MAPLE AVE#404 OAK PARK, IL 60302	16-07-307-046-1039 HUONG NGA L HOANG 733 FOREST GLEN LN OAK BROOK, IL 60523	16-07-307-046-1040 RODNEY D BROWN 201 S MAPLE #406 OAK PARK, IL 60302
16-07-307-046-1041 FRED G AGUSTIN 3445 W CARMEN CHICAGO, IL 60625	16-07-307-046-1042 SHEILA MULDOON 201 S MAPLE AV 408 OAK PARK, IL 60302	16-07-307-046-1043 NAYSON KHOSHNOOD 1238 FRANKLIN AVE RIVER FOREST, IL 60305
16-07-307-046-1044 HOME FIRST ILLINOIS 1 N LASALLE ST STE 700 CHICAGO, IL 60602	16-07-307-046-1045 ROBERT KELLER 201 S MAPLE AVE #411 OAK PARK, IL 60302	16-07-308-004-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302
16-07-308-008-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302	16-07-308-009-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302	16-07-308-010-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302



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Recipients of Notices

<p>16-07-308-011-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302</p>	<p>16-07-308-012-0000 R P FOX ASSOC 1110 PLEASANTST OAK PARK, IL 60302</p>	<p>16-07-308-013-0000 ROBERT H EBERT 227 S MARION OAK PARK, IL 60302</p>
<p>16-07-308-014-0000 ROBERT H EBERT 227 S MARION ST OAK PARK, IL 60302</p>	<p>16-07-308-023-0000 EXEMPT</p>	<p>16-07-308-028-1001 L SLOTKOWSKI 5709 2 1123 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-308-028-1002 METROPOLITAN REAL EST 47 WEST POLK ST STE321 CHICAGO, IL 60605</p>	<p>16-07-308-028-1003 ANNE HAGERTY 1123 PLEASANT ST APT 3 OAK PARK, IL 60302</p>	<p>16-07-308-028-1004 DOUG JANET VARN 1123 PLEASANT AVE OAK PARK, IL 60302</p>
<p>16-07-308-028-1005 JENNIFER BELL 1123 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-308-028-1006 MICHAEL C FOX 1123 PLEASANT ST 6 OAK PARK, IL 60302</p>	<p>16-07-308-028-1007 PATRICK PAMELA DEADY 200 S MAPLE #7 OAK PARK, IL 60302</p>
<p>16-07-308-028-1008 FRED G WALKER III 200 S MAPLE AV #8 OAK PARK, IL 60302</p>	<p>16-07-308-028-1009 STEPHANIE FERRERA 200 S MAPLE AV 9 OAK PARK, IL 60302</p>	<p>16-07-308-028-1010 CRAIG KREUTZER 200 S MAPLE AVE APT 10 OAK PARK, IL 60302</p>
<p>16-07-308-028-1011 TAYLOR RATHJE 200 S MAPLE AVE #11 OAK PARK, IL 60302</p>	<p>16-07-308-028-1012 WILLIAM E FLYNN 200 S MAPLE AVE APT 12 OAK PARK, IL 60302</p>	<p>16-07-308-028-1013 D L G SCHULTE 204 S MAPLE AVE #13 OAK PARK, IL 60302</p>
<p>16-07-308-028-1014 NWC FULLERTON ASHLAND 204 S MAPLE AVE APT 14 OAK PARK, IL 60302</p>	<p>16-07-308-028-1015 JOHN/ CHRISTIE SERGO 204 S MAPLE #15 OAK PARK, IL 60302</p>	<p>16-07-308-028-1016 SCHEFTEL ANDERSON 204 S MAPLE #16 OAK PARK, IL 60302</p>
<p>16-07-308-028-1017 LOIS HARB 204 S MAPLE 17 OAK PARK, IL 60302</p>	<p>16-07-308-028-1018 REISHA WILLIAMS REVOCA 204 S MAPLE AVE APT 18 OAK PARK, IL 60302</p>	<p>16-07-308-028-1019 JANE E SAMUELSON 208 S MAPLE AVE 19 OAK PARK, IL 60302</p>



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Recipients of Notices

<p>16-07-308-028-1020 MICHELLE J CHESEBRO 208 S MAPLE AVE 20 OAK PARK, IL 60302</p>	<p>16-07-308-028-1021 MARTIN GOLUB 208 S MAPLE 21 OAK PARK, IL 60302</p>	<p>16-07-308-028-1022 ANDRIY P GOVORUNOV 208 S MAPLE AVE APT 22 OAK PARK, IL 60302</p>
<p>16-07-308-028-1023 MATTHEW R CEBULAK SA 208 S MAPLE AVE APT 23 OAK PARK, IL 60302</p>	<p>16-07-308-028-1024 WATTS NANCY 208 S MAPLE AVE 24 OAK PARK, IL 60302</p>	<p>16-07-308-028-1025 JAMES LINDA HEFFERNA 212 S MAPLE AVE #25 OAK PARK, IL 60302</p>
<p>16-07-308-028-1026 PHIL BERMAN JR TRUSTEE 212 S MAPLE AVE APT 26 OAK PARK, IL 60302</p>	<p>16-07-308-028-1027 F HAYES V ENGELHARDT 212 S MAPLE AVE 27 OAK PARK, IL 60302</p>	<p>16-07-308-028-1028 IRENE WORLEY 783 N 4TH STREET H MANISTIQUE, MI 49854</p>
<p>16-07-308-028-1029 MICHAEL G BASS 212 S MAPLE AVE 29 OAK PARK, IL 60302</p>	<p>16-07-308-028-1030 MARY ELLEN EADS 212 S MAPLE #30 OAK PARK, IL 60302</p>	<p>16-07-308-028-1031 ALLEN JOHNNIE M 216 S MAPLE AV 31 OAK PARK, IL 60302</p>
<p>16-07-308-028-1032 ALEXANDER F LIPPITT JR 216 S MAPLE AVE APT 32 OAK PARK, IL 60302</p>	<p>16-07-308-028-1033 RUTH J HUET 216 S MAPLE AV 33 OAK PARK, IL 60302</p>	<p>16-07-308-028-1034 LAWRENCE S OLIVE 216 S MAPLE #34 OAK PARK, IL 60302</p>
<p>16-07-308-028-1035 S J KOLAR LLC 120 W MADISON ST#20010 CHICAGO, IL 60602</p>	<p>16-07-308-028-1036 SHEILA HASLEY 216 S MAPLE AVE APT 36 OAK PARK, IL 60302</p>	<p>16-07-308-028-1037 PETER MAUL 220 S MAPLE AVE 37 OAK PARK, IL 60302</p>
<p>16-07-308-028-1038 KATHRYN L MCLAIN 220 S MAPLE AVE APT 38 OAK PARK, IL 60302</p>	<p>16-07-308-028-1039 C A ZIELINSKI 220 S MAPLE AVE 39 OAK PARK, IL 60302</p>	<p>16-07-308-028-1040 JOSH L GERTZ 220 S MAPLE AVE APT 40 OAK PARK, IL 60302</p>
<p>16-07-308-028-1041 DOUGLAS E GILBERT 220 S MAPLE 41 OAK PARK, IL 60302</p>	<p>16-07-308-028-1042 CATHERINE ARIAS 2236 LINCOLN PARK WEST CHICAGO, IL 60614</p>	<p>16-07-308-028-1043 JOHN JUDITH METZGAR 224 S MAPLE AV 43 OAK PARK, IL 60302</p>



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Recipients of Notices

<p>16-07-308-028-1044 SHEILA A MASE 224 S MAPLE #44 OAK PARK, IL 60302</p>	<p>16-07-308-028-1045 MONICA DOMAGALA 224 S MAPLE #45 OAK PARK, IL 60302</p>	<p>16-07-308-028-1046 BYRON REED 224 S MAPLE #46 OAK PARK, IL 60302</p>
<p>16-07-308-029-0000 BETHANY FISHER SUNDAR 228 S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-308-030-0000 XIAOPING JIA 228 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-308-031-0000 JOSEPH SELBKA 507 N PINE AVE ARLINGTON HTS, IL 60004</p>
<p>16-07-308-032-0000 JOSHUA E ALVAREZ 228 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-308-033-0000 DANIEL PATRICK MCHUGH 228 S MAPLE AV #E OAK PARK, IL 60302</p>	<p>16-07-308-034-0000 PETER F NAOOM 228 S MAPLE AVE APT F OAK PARK, IL 60302</p>
<p>16-07-308-036-0000 JUDITH A ALEXANDER 226 MAPLE AV B OAK PARK, IL 60302</p>	<p>16-07-308-037-0000 ROBERT R DOLAN 226 -C S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-308-038-0000 MARGARET M HAAS 226 S MAPLE AVE UNIT D OAK PARK, IL 60302</p>
<p>16-07-308-039-0000 M MEIMBAN 226 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-308-041-0000 MATTHEW T KUEHL 226 S MAPLE AVE UNIT A OAK PARK, IL 60302</p>	<p>16-07-308-042-0000 SHEILA R BROWN 226 F S MAPLE OAK PARK, IL 60302</p>
<p>16-07-308-043-0000 KENNETH S SHINER 235 S MARION ST A OAK PARK, IL 60302</p>	<p>16-07-308-044-0000 DONALD ANDERSON TULL 235 S MARION #B OAK PARK, IL 60302</p>	<p>16-07-308-045-0000 PAWEL GROCHOLSKI 235 S MARION ST UNIT C OAK PARK, IL 60302</p>
<p>16-07-308-046-0000 MICHAEL NANCY LCARR 235 S MARION ST UNIT D OAK PARK, IL 60302</p>	<p>16-07-308-047-0000 AMY S GURALNICK 830 N ASHLAND AVE RIVER FOREST, IL 60305</p>	<p>16-07-308-048-0000 RICHARD VOSS 235 S MARION F OAK PARK, IL 60302</p>
<p>16-07-308-049-0000 GREGORY C MUMM 235 S MARION AV OAK PARK, IL 60302</p>	<p>16-07-308-050-0000 ELIZABETH E WILSON 235 S MARION H OAK PARK, IL 60302</p>	<p>16-07-308-051-0000 PHILLIP DECHRISTOPHER 235 S MARION OAK PARK, IL 60302</p>



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Recipients of Notices

16-07-308-052-0000 AMEET KINI 235 S MARION J OAK PARK, IL 60302	16-07-308-053-0000 J E STAFFELDT 235 S MARION ST K OAK PARK, IL 60302	16-07-308-054-0000 MEREDITH GRAHAM 2467 HERMITAGE HILL LN ST LOUIS, MO 63131
	16-07-308-055-1001 BURNEY SIMPSON 240 S MAPLE #G OAK PARK, IL 60302	16-07-308-055-1002 MAYRA R MAGANA 240 S MAPLE AVE APT 1E OAK PARK, IL 60302
16-07-308-055-1003 DEREK D DOBSON 240 S MAPLE AVE APT 1W OAK PARK, IL 60302	16-07-308-055-1004 JOHN MEILINK 240 S MAPLE #2E OAK PARK, IL 60302	16-07-308-055-1005 GEORGE HOGANSON 240 S MAPLE AVE#2W OAK PARK, IL 60302
16-07-308-055-1006 GINA M KENNEDY 240 S MAPLE UNIT 3E OAK PARK, IL 60302	16-07-308-055-1007 G K CHISHMARK 240 S MAPLE OAK PARK, IL 60302	16-07-308-055-1008 JAMES M HETTINGER 242 S MAPLE AV #1E OAK PARK, IL 60302
16-07-308-055-1009 JULIA E COLLINS 242 MAPLE #1W OAK PARK, IL 60302	16-07-308-055-1010 KATELYN M POWER 242 S MAPLE AVE APT 2E OAK PARK, IL 60302	16-07-308-055-1011 KEVIN COLEMAN 242 S MAPLE AVE #2W OAK PARK, IL 60302
16-07-308-055-1012 LAILA MOURAD 242 S MAPLE #3E OAK PARK, IL 60302	16-07-308-055-1013 CHRISTIAN BEAUDOIN 242 S MAPLE 3W OAK PARK, IL 60302	16-07-308-055-1014 DURKIN ELIZABETH 242 1/2 MAPLE AV #1N OAK PARK, IL 60302
16-07-308-055-1015 GABIJA GASIUNAITE 242 1/2 S MAPLE AVE 1S OAK PARK, IL 60302	16-07-308-055-1016 SILVIA MERCADO 5815 N KOLMAR AVENUE CHICAGO, IL 60646	16-07-308-055-1017 DAWN H KOSTER 242 S MAPLE AVE APT 2S OAK PARK, IL 60302
16-07-308-055-1018 HEIDI WAGREICH 242 1/2 S MAPLE #3N OAK PARK, IL 60302	16-07-308-055-1019 MATTHEW G OLECH 221 HERRICK RD RIVERSIDE, IL 60546	16-07-308-055-1020 LAURA DURKIN 244 S MAPLE AV #1E OAK PARK, IL 60302



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Recipients of Notices

16-07-308-055-1021 MARY H DOYLE 244 S MAPLE AVE #1W OAK PARK, IL 60302	16-07-308-055-1022 VANESSA S MATHENY 244 S MAPLE AVE APT 2E OAK PARK, IL 60302	16-07-308-055-1023 SHUNBIN XU 244 S MAPLE AVE #2W OAK PARK, IL 60302
16-07-308-055-1024 CONCEPCION N SCHNEIDER 244 S MAPLE AVE #3E OAK PARK, IL 60302	16-07-308-055-1025 RUPA BABU 244 S MAPLE AVE APT 3W OAK PARK, IL 60302	16-07-308-055-1026 CHUAN HE 246 1E S MAPLE OAK PARK, IL 60302
16-07-308-055-1027 BRADLEY ANTONACCI 246 S MAPLE AV 1W OAK PARK, IL 60302	16-07-308-055-1028 KIMBERLY WATKINS 246 S MAPLE AVE APT 2E OAK PARK, IL 60302	16-07-308-055-1029 CL CORGAN CMKANE 2012 DIAL COURT SPRINGFIELD, IL 62704
16-07-308-055-1030 BRIDGET C MAHER 246 S MAPLE#3E OAK PARK, IL 60302	16-07-308-055-1031 RYAN RENIFF 246 S MAPLE AVE APT 3W OAK PARK, IL 60302	16-07-308-055-1032 CANDICE M KANE 246 S MAPLE #2W OAK PARK, IL 60302
16-07-308-055-1033 BIEGLER 503 S FAIR AVE ELMHURST, IL 60126	16-07-308-055-1034 LAURA G DURKIN 244 S MAPLE AVE1E OAK PARK, IL 60302	16-07-309-001-0000 200 S MARION LLC 1110 PLEASANT OAK PARK, IL 60302
16-07-309-002-0000 KUSHNER MGMT 8501 N LOTUS APT 103 SKOKIE, IL 60077	16-07-309-004-0000 MICHAEL GOGGIN 216 S MARION OAK PARK, IL 60302	16-07-309-005-0000 R P FOX ASSOC 1110 PLEASANT ST OAK PARK, IL 60302
16-07-309-006-0000 PILLAR 224 LLC 224 S MARION ST OAK PARK, IL 60302	16-07-309-015-0000 EXEMPT	16-07-309-043-0000 EXEMPT
16-07-309-044-0000 EXEMPT	16-07-309-045-1001 DARLENE S LEVIN 248 S MARION #1 OAK PARK, IL 60302	16-07-309-045-1002 DONALD A GORDON 248 S MARION ST APT 2 OAK PARK, IL 60302



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Recipients of Notices

<p>16-07-309-045-1003 DEEPAK B BAKANE 12755 QUAILS ROOST DR NEW LENOX, IL 60451</p>	<p>16-07-309-045-1004 SHUO QI 248 S MARION ST APT 4 OAK PARK, IL 60302</p>	<p>16-07-309-045-1005 ANDREA R BARTLETT 248 S MARION 5 OAK PARK, IL 60302</p>
<p>16-07-309-045-1006 MARIA JUAREZ 248 S MARION #6 OAK PARK, IL 60302</p>	<p>16-07-309-045-1007 NATALIA PENA WEBB 248 S MARION ST#101 OAK PARK, IL 60302</p>	<p>16-07-309-045-1008 STEPHEN D SALMON 248 S MARION ST #102 OAK PARK, IL 60302</p>
<p>16-07-309-045-1009 JOHN P BENJAMIN 248 S MARION 103 OAK PARK, IL 60302</p>	<p>16-07-309-045-1010 MITRA T MOHABBAT KHA 248 S MARION ST#104 OAK PARK, IL 60302</p>	<p>16-07-309-045-1011 ABBY M CLARK 248 S MARION ST#105 OAK PARK, IL 60302</p>
<p>16-07-309-045-1012 ANDRE L HOLMES 248 S MARION ST #106 OAK PARK, IL 60302</p>	<p>16-07-309-045-1013 LESLIE W BRETTMAN 415 FRANKLIN AVE 3G RIVER FOREST, IL 60305</p>	<p>16-07-309-045-1014 JASON MCGOEY 248 S MARIOL ST #201 OAK PARK, IL 60302</p>
<p>16-07-309-045-1015 SKYLAR GARLAND 248 S MARION ST#202 OAK PARK, IL 60302</p>	<p>16-07-309-045-1016 KEVIN MCCAULEY 248 S MARION ST #203 OAK PARK, IL 60302</p>	<p>16-07-309-045-1017 ANDA LEITIS 248 S MARION ST-204 OAK PARK, IL 60302</p>
<p>16-07-309-045-1018 JOSE A DONES 248 S MARION ST 205 OAK PARK, IL 60302</p>	<p>16-07-309-045-1019 PATRICIA CRAWFORD 248 S MARION ST#206 OAK PARK, IL 60302</p>	<p>16-07-309-045-1020 ROBERT GOESLING 248 S MARION ST#207 OAK PARK, IL 60302</p>
<p>16-07-309-046-0000 RUBY DEVELOPMENT CO 242 S MARION ST OAK PARK, IL 60302</p>		<p>16-07-309-047-1001 CLARE M HASKETT 240 S MARION ST 1N OAK PARK, IL 60302</p>
<p>16-07-309-047-1002 ELIZABETH HETHERINGTON 242 S MARION 1S OAK PARK, IL 60302</p>	<p>16-07-309-047-1003 JEAN STARCZAK 240 S MARION 2N OAK PARK, IL 60302</p>	<p>16-07-309-047-1004 PATRICIA L MCBRIDE 242 S MARION 2S OAK PARK, IL 60302</p>



1. Narrative

Neighborhood Meeting Information

Recipients of Notices

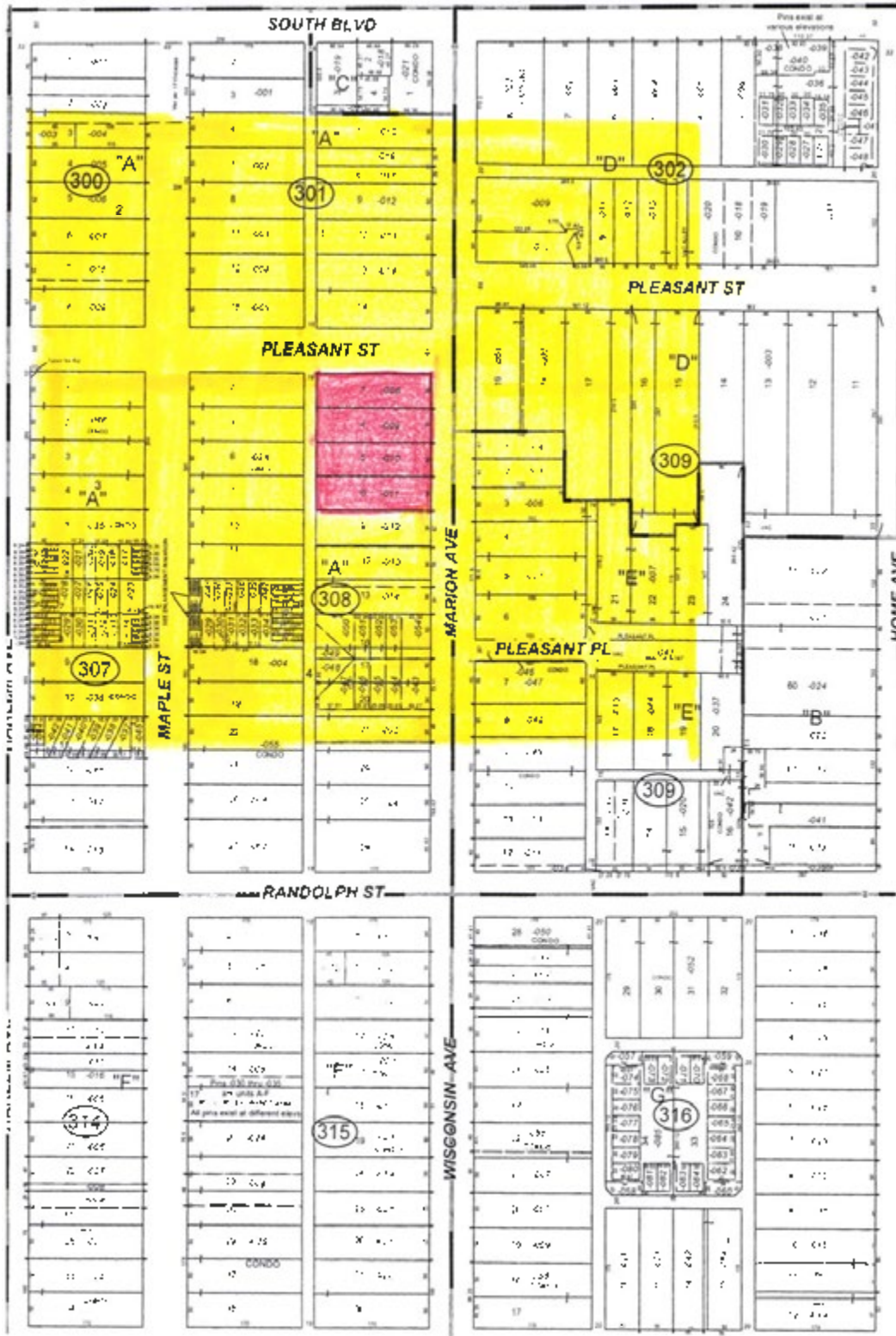
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1. Narrative

Neighborhood Meeting Information

Map of Taxpayers



1. Narrative

Neighborhood Meeting Information

Mailed Notices

NOTICE OF NEIGHBORHOOD MEETING

Date: Thursday - October 29th, 2020

Time: 7:00 - 8:30 PM

Location: Virtual Zoom Meeting

Subject Property Address(es): 203 South Marion Street, Oak Park, IL

Proposed Development: Focus Acquisition Company LLC is proposing to construct a multi-family apartment building on the site located at 203 S. Marion Street. Join us virtually to see how the plans for the development are progressing and to get a preview of what will be submitted to the Village of Oak Park for consideration. Stop by at 7:00 PM to view the presentation by the development team.

Please reach out to the meeting moderator below with your name and address by October 28th to request a link to the zoom meeting. There will be a Q&A session at the end of the presentation. If you would like to ask the development team a question, please inform the meeting moderator via e-mail by 5:00 PM on October 29th. We look forward to hearing from you.

Purpose of Meeting: Pre-Planned Development Submittal Discussion

Contacts:

Jim Prescott, Meeting Moderator
jprescott@prescottgroupllc.com, (708)613-5855

Sally Prescott, Community Outreach
sprescott@prescottgroupllc.com, (708)613-5855

Courtney Brower, Focus
courtneyb@workwithfocus.com, (224)255-6175

 FOCUS  BOOTH HANSEN



1. Narrative

Neighborhood Meeting Information

Signage



Marion Street Signage



Pleasant Street Signage



1. Narrative

Neighborhood Meeting Information

Advertisements for Meeting

Certificate of the Publisher

Wednesday Journal, Inc. certifies that it is the publisher of the Wednesday Journal. Wednesday Journal is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the City/Village of Oak Park, County of Cook, Township of Oak Park, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published one time(s) in Wednesday Journal, namely one time per week for one successive weeks. The first publication of the notice was made in the newspaper, dated and published on June 27, 2018, and the last publication of the notice was made in the newspaper dated and published on June 27, 2018. The notice was also placed on a statewide public notice website as required by 715 ILCS 5/2.1.

In witness, the Wednesday Journal, Inc. has signed this certificate by Dan Haley, its publisher, at Oak Park, Illinois, on June 27, 2018.

Wednesday Journal, Inc.

By: _____

Dan Haley

Publisher

Focus Acquisition 101420 NOTICE OF NEIGHBORHOOD MEETING

PUBLIC NOTICES

PUBLIC NOTICE NOTICE OF NEIGHBORHOOD MEETING

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Courtney Brower, Focus
courtneyb@workwithfocus.com,
(224)255-6175

Published in Wednesday Journal
10/14/2020



1. Narrative

Neighborhood Meeting Information

Affidavit of Notice

Affidavit of Notice


The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

Tim Anderson
(Printed Name of Applicant)


(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

20th DAY OF October, 2020


(Notary Public)



1. Narrative

Neighborhood Meeting Information

Presentation

**Oak Park
Neighborhood Meeting**

203 S. Marion Street

Focus
100 S Wacker Dr, Suite 2100
Chicago, IL 60606
847.441.0474
workwithfocus.com

Project Team: Focus

- Chicago-based developer and general contractor, that since 1993, has utilized an integrated delivery model to produce a diverse portfolio of distinctive real estate.
- Our vertically integrated approach uniquely aligns development and construction to create places and spaces for people to experience a better life.
- Responsible for distinctive developments in the Chicago market that value over \$1.8 billion.
- Portfolio of completed work includes projects in communities such as: Chicago, Oak Park, Evanston, Lake Forest.



FOCUS BOOTH HANSEN 203 S. Marion Meeting 1/3/20 2



1. Narrative

Neighborhood Meeting Information

Presentation



The Mews | Oak Park, IL

The Terraces | Oak Park, IL

Euclid Commons | Oak Park, IL

FOCUS BOOTH HANSEN 203 S. Marion Meeting 11/3/20 3

Project Team: Booth Hansen

- Founded in 1980, Booth Hansen is an award-winning architecture firm with over 93 architectural awards and a reputation for great design and innovative solutions.
- Booth Hansen's designs strive for a timeless quality that respects its place within contextual architecture.
- Booth Hansen works with material selections, energy efficiencies and efficient development of space to create sustainable architecture to minimize negative environmental impacts of buildings



1. Narrative

Neighborhood Meeting Information

Presentation

Why Oak Park?

- Diverse social/ economic/ residential market
 - Singles/ Couples/ Empty-nesters
- Proximity to downtown Oak Park
 - Walkable access to amenities
- Transit Oriented Location
 - Proximity to Green Line and Metra

Why Now?

- We believe Oak Park will overcome today's economic and public health crises.
- Invest now in Oak Park as it regenerates and revitalizes.
- Reflects our continued belief in Oak Park, our commitment and its potential.



1. Narrative

Neighborhood Meeting Information

Presentation

Site Location – 203 S Marion St.



Current Zoning

Base Zoning	
Zoning District	DT-3 Pleasant Sub-District
Landmark/ Historic District	Ridgeland-Oak Park Historic District
Lot Area	34,000 sf
Permitted Uses	Dwelling Units above 1 st floor, retail sales
Units	
Minimum Lot Area/ Dwelling Unit	750sf/ Dwelling Unit
Maximum units	45.0 units
Parking	
Residential Minimum Required	1.0/ Dwelling Unit
Retail	1/ 500sf Gross Floor Area
Required Bike Stalls	.25 bikes/ unit



1. Narrative

Neighborhood Meeting Information

Presentation

Current Zoning

Loading	
Residential	1.0 berth
Retail	1.0 berth
Setbacks	
Street Setback	Build to line of 0.0 ft
Interior Side Setback	0.0 ft (none required)
Rear Setback	15.0 ft
Maximum Building Height	
Height	60.0 ft

FOCUS BOOTH HANSEN 203 S. Marion Meeting 1/3/20
9

Neighborhood Context

FOCUS BOOTH HANSEN 203 S. Marion Meeting 1/3/20
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1. Narrative

Neighborhood Meeting Information

Presentation

Design Influence



1. Narrative

Neighborhood Meeting Information

Presentation



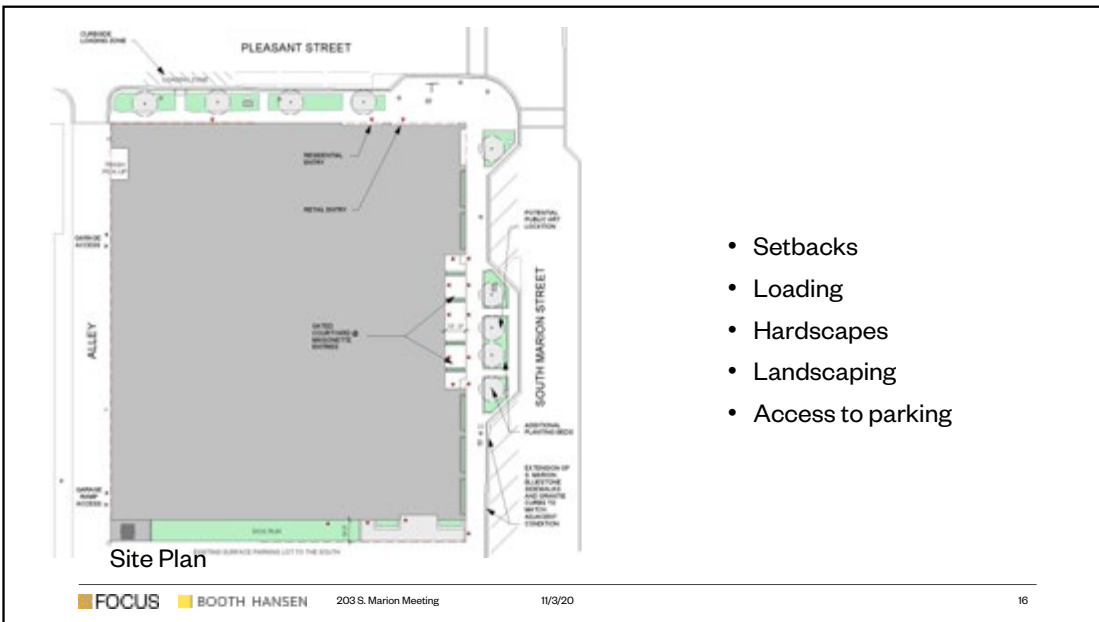
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Neighborhood Meeting Information

Presentation



FOCUS BOOTH HANSEN 203 S. Marion Meeting 11/3/20 16



- Setbacks
- Loading
- Hardscapes
- Landscaping
- Access to parking

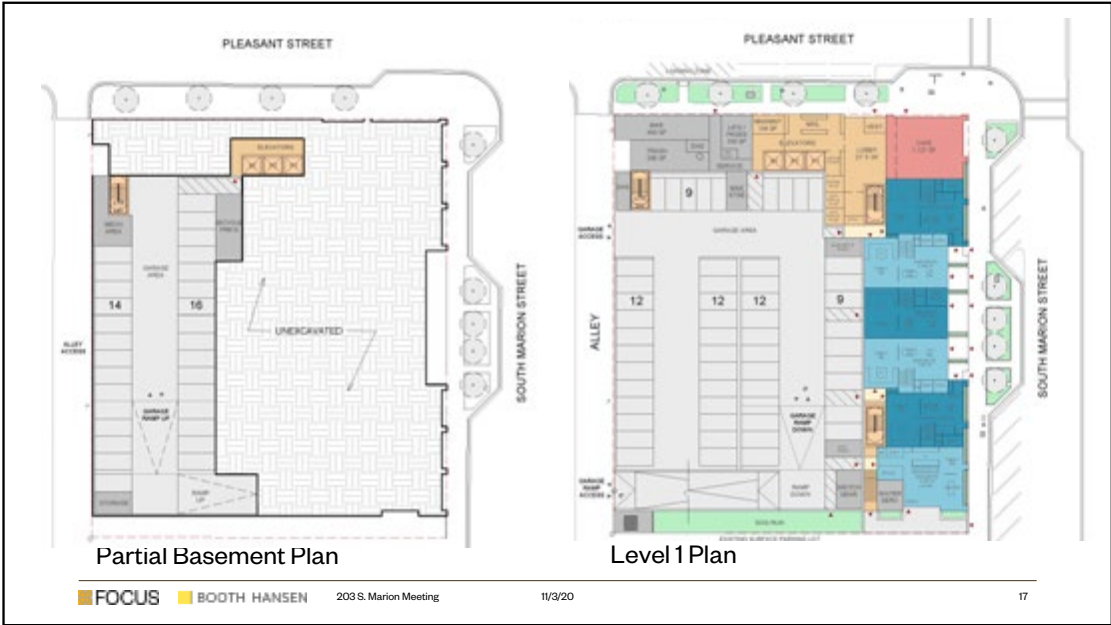
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1. Narrative

Neighborhood Meeting Information

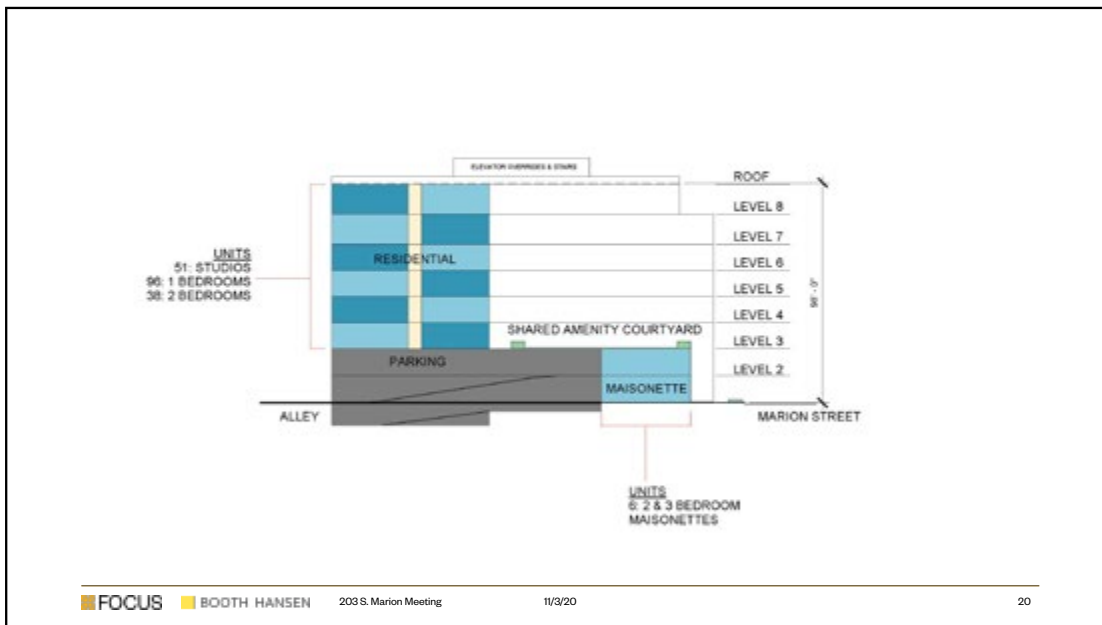
Presentation



1. Narrative

Neighborhood Meeting Information

Presentation



1. Narrative

Neighborhood Meeting Information

Presentation

Development Overview

- 8 stories
- 185 Rental Units
- 6 Rental Maisonettes
- 149 enclosed parking spaces
- 0.78 parking spaces per dwelling unit
- 1,127 sf retail
- 98 feet to the roof
- Enclosed bike storage off Pleasant Street
- Amenities include fitness, lounge, dog run, private co-working spaces, and outdoor amenity terrace with pool



Parking and Traffic

- KLOA is providing a traffic and parking study that will be submitted with the planned development application. Per KLOA's preliminary study, 0.70 parking spaces per dwelling unit are required to service this development.
- The proposed development is providing 0.78 parking spaces per dwelling unit.
- The existing funeral home is an active traffic generator. While we are finalizing our traffic study, the initial feedback suggest that traffic added from the proposed development will be negligible and the impacted intersection within the study area will continue to operate at similar levels of service as the existing conditions.
- Approximately 40% of residents use other modes of transportation.



1. Narrative

Neighborhood Meeting Information

Presentation



Benefits

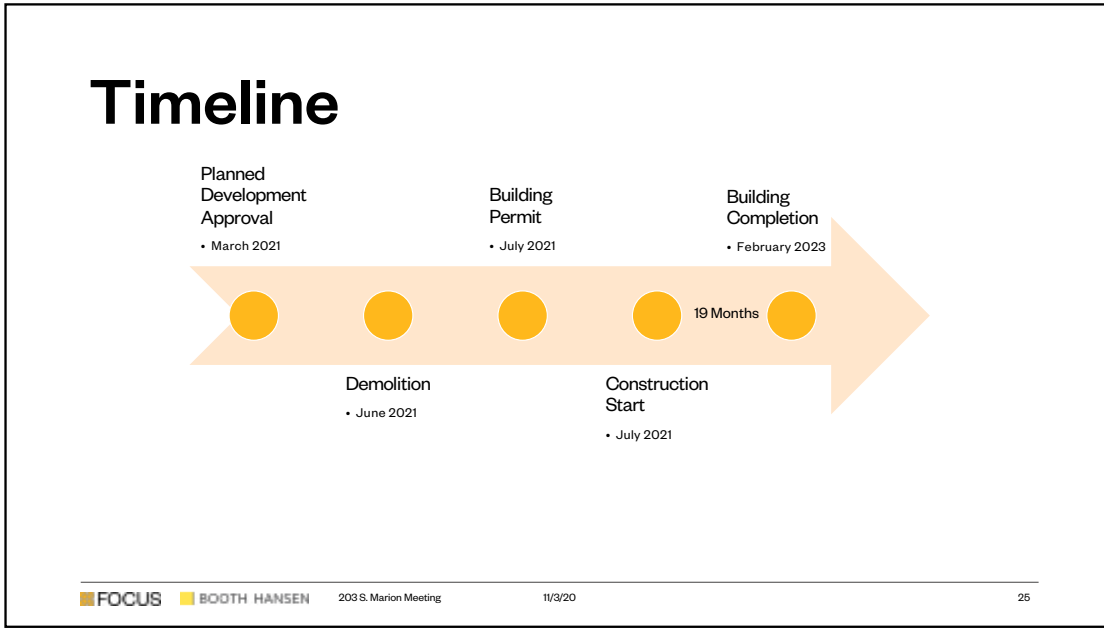
1. Increased pedestrian foot traffic which supports local businesses
2. TOD/ Environmental Sustainability
3. Quality Design
4. Enhanced Streetscapes
5. Additional Property Tax Revenue
6. Affordable Housing Contribution per Ordinance
7. Integrated Construction and Development Team



1. Narrative

Neighborhood Meeting Information

Presentation



Q&A – Design Related

1. How tall is the building and will it extend to the end of the current parking lot?
2. Assuming the building includes a parking garage, where are the ventilation fans placed, how often will they operate and for how long?
3. If there is to be retail on the first floor, is there a generator on the roof, or at some placement other than ground level? These days it is unlikely there will be a branch bank, but if there is, they require their own generator.
4. How much of a setback will you have from Pleasant Street and Marion Street?
5. Will you be using floor-to-ceiling glass in the units? If so, will you be following guidelines to use bird-friendly glass?
6. How many people are expected to live in the building?



1. Narrative

Neighborhood Meeting Information

Presentation

Q&A – Market Related

1. What research was conducted to determine the density of this structure in relationship to the surrounding neighborhood and community?
2. Do you plan to have affordable units? If so, will they be classified as "affordable" for the time the building is an apartment building?
3. As a developer, I assume you will sell the building once it is occupied. Will you require the buyer to maintain those units as "affordable" according to local income data?
4. What is being done about parking and traffic in the area?
5. How big are the units and what is the rent for them?
6. What is the occupancy of the new buildings in Oak Park (Vantage, Albion, Emerson and 1133)?
7. Is the new construction planned for 203 S. Marion to be condo or rental?

Q&A – Construction Related

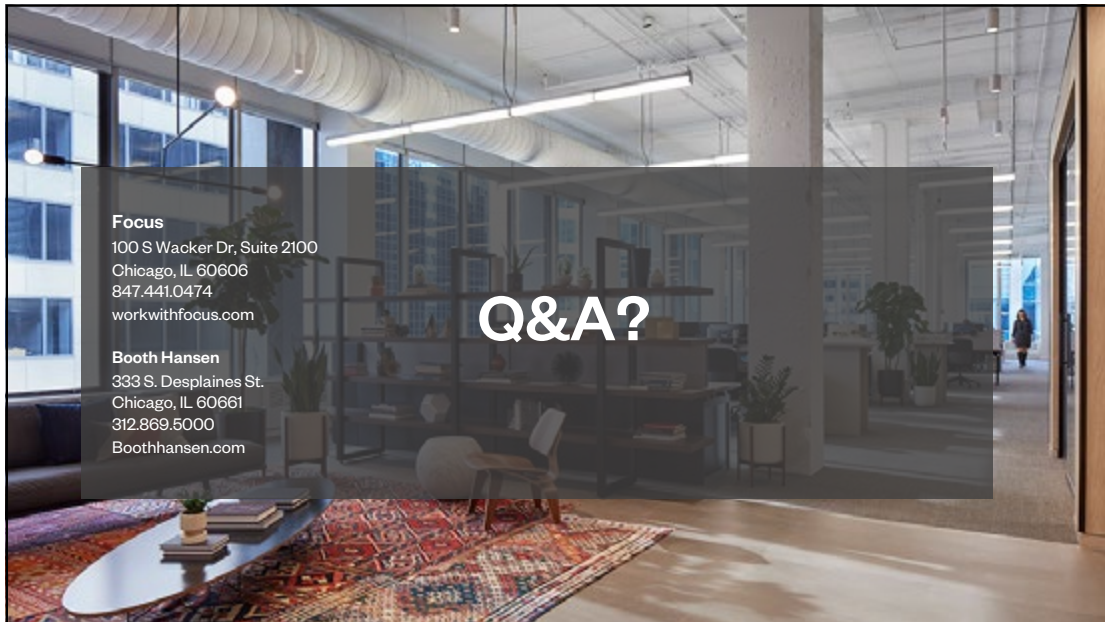
1. What is the schedule for demolition and construction?
2. The Village spent a great deal of money installing bluestone sidewalks, planters, and plantings on the north and east of the property. Will these all be preserved?
3. There are beautiful trees on the east side of the property-especially a large, old chestnut tree. What will happen to these trees?
4. How long will the construction take place?
5. Our parking spaces (in a nearby apartment building) come out to the alley. How do you protect our building from dust, debris, etc., during construction?
6. Where will contractors and deliveries occur?



1. Narrative

Neighborhood Meeting Information

Presentation



1. Narrative

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Meeting Notes

Design Related

How tall is the building and will it extend to the end of the current parking lot?

— The Building is 98' tall measured to the roof. It does not extend to the end of the parking lot to the south.

Assuming the building includes a parking garage, where are the ventilation fans placed, how often will they operate and for how long each time?

— We want to provide a naturally vented garage so there should be no fans. To the extent we do need to provide fans, they would be located on the south side of the building.

If there is to be retail on the first floor, is there room for an emergency generator on the roof, or at some placement other than ground level? These days it is unlikely there will be a branch bank, but if there is, they require their own generator.

— We will have room for the generator in the building and we will exhaust it through the south wall but the retail is only 1,127 sf so we likely will not need a generator. We are looking at a small café in that space and Focus may even hire an operator to run the café.

How much of a setback will you have from Pleasant Street and Marion Street?

— The zoning calls for 0 setback as-of right but we are providing a 10' setback in the mid part of the building on Marion, and 0' setback on Pleasant.

Will you be using floor-to-ceiling glass in the units? If so, will you be following guidelines to use bird-friendly glass?

— We are not using floor to ceiling glass in the units or bird-friendly glass. We have punched openings in the building which should help birds identify the building as an object.

How many people are expected to live in the building?

— It's hard to say because we don't know how many people will be living in the units. For example, a single person may rent a 2 bedroom unit because they want their own private office. We are estimate 219 people. That assumes 1 person/studio; 1 person/IBR; 1.5 people/2 BR and 2.5 people/maisonette. It's hard to predict.

Market Related

What research was conducted to determine the density of this structure in relationship to the surrounding neighborhood and community?

— Within a 3 block radius we have a variety of building types and heights. We looked towards the neighborhood for context. We also have a marketing consultant produce a report and they determined that Oak Park can absorb an addition 245 units per year.

Do you plan to have affordable units? If so, will they be classified as "affordable" for the time the building is an apartment building?



1. Narrative

Neighborhood Meeting Information

Meeting Notes

— We are following the ordinance and providing a fee in lieu in the amount of \$1.9M per the ordinance.

As a developer, I assume you will sell the building once it is occupied. Will you require the buyer to maintain those units as "affordable" according to local income data?

— We are proposing fee in lieu per the ordinance

What is being done about parking and traffic in the area?

— This site was identified by the village's land use plan as an location for a TOD development due to its proximity to public transportation and other walkable amenities. This is part of the village's overall strategy to provide housing that is less dependant on cars. The site also has a walk score of 95/100.

How big are the units and what is the rent for them?

Unit Type	Unit count	Avg. Size	Avg. Rent w/ Floor Premiums	Price per SF w/ Floor Premiums
Studios	51	489	\$1,570	\$3.21
1 Bedroom	96	717	\$2,086	\$2.92
2 Beds	38	980	\$2,735	\$2.79
Maisonettes (2 and 3 BR units)	6	1,908	\$5,020	\$2.63
Total	191	755	\$2,225	\$2.95

What is the occupancy of the new buildings in Oak Park (Vantage, Albion, Emerson and 1133)?

— Albion and Eleven33 are still in lease-up

— We don't know the exact occupancy but as of June 2020 our market consultant reported The Emerson at 96% occupied and Vantage at 94% occupied.

Is the new construction planned for 203 S. Marion to be condo or rental?

— Rental

Construction Related

What is the schedule for demolition and construction?

— 2 weeks for demo in June

— 19 months for construction starting in July



1. Narrative

Neighborhood Meeting Information

Meeting Notes

The Village spent a great deal of money installing bluestone sidewalks, planters, and plantings on the north and east of the property. Will these all be preserved?

- Yes, it will be preserved. We are also extending the bluestone pavers and filling in the ROW with a new planting bed in the location of the current driveway curb cut on Marion.

There are beautiful trees on the east side of the property-especially a large, old chestnut tree. What will happen to these trees?

- Unfortunately, the trees must be removed. We are looking into ways the trees can be repurposed and used on site. We have a relationship with Icon modern, they do sustainable custom furniture. It's too early to say how the trees will be used but it could be repurposed into a custom furniture piece or potentially a public art piece in the public ROW.

How long will the construction take place?

- 19-month construction timeline

Our parking spaces (in a nearby apartment building) come out to the alley. How do you protect our building from dust, debris, etc., during construction?

- There will be some dust during foundation work but we are happy to sit down with neighbors prior to construction to come up with a plan. One of the benefits of Focus is that our construction team is in house so we are connected to the team. We are not disconnected from the general contractor and the activities that are happening on site.

Where will contractors and deliveries occur?

- We will sit down with the village to develop the construction logistics plan.



1. Narrative

PRT Review Responses



January 21, 2021

Village of Oak Park

Development Customer Services Department
Attn: Craig Failor, Village Planner

Re: 203 S. Marion Street, Oak Park, IL – Planned Development Application Review

Dear Craig:

Thank you for conducting a preliminary review of the planned development application for the proposed development at 203 S. Marion Street. Listed below are responses to the preliminary comments from the village staff Project Review Team.

1. Please ensure all of your plans are consistent with each other.
 - *The applicant will ensure all plans are consistent.*
2. The tree spacing along Marion Street does not meet the village's tree spacing requirement. Please contact Rob Sproule, Village Forestry Supervisor for more information rsproule@oak-park.us.
 - *The applicant will ensure the tree spacing as depicted on the landscape plan meets the village's tree spacing requirements. See Tab 8b.*
3. Please provide a tree conservation plan, per the Zoning Ordinance for those significant trees currently on site.
 - *The applicant is not providing a tree conservation plan because the significant trees, along with the trees in the public right of way, must be removed due to building construction and access into the construction site.*
 - *The applicant engaged an arborist to complete a tree survey. The arborist identified (3) significant trees that must be removed due to building construction. The (3) trees amount to 56" of caliper that need to be replaced or mitigated.*
 - *The applicant is providing (2) trees on-site in the 10 foot setback along Marion Street. The applicant is also providing (4) ornamental trees on the third floor terrace. The remaining caliper will be provided per tree restitution payment as determined by the village. See Tab 8b.*
 - *The non-significant trees in the public right of way must be removed due to building construction. The applicant will replace those trees with species and caliper that is acceptable to the village.*
4. Any balcony that is projected over a right of way will need a right of way encroachment easement.
 - *The applicant will work with village staff to execute a right of way encroachment easement for the balconies that are projected over the property line. See Tab 5a*
5. Please dimension your site plan with stall and aisle information. Also look at the requirement for dead-end turn around requirements at the end of each aisle.

- *The applicant will ensure that the parking stall and aisle information is dimensioned. See Tab 8a.*
 - *The applicant is requesting relief on the zoning requirement for dead-end turn around space at the end of each aisle. The request is included in the project narrative. See Tab 1.*
6. A fire command room is required. Please contact Fire Chief Tom Ebsen at tebsen@oak-park.us for any questions.
- *The design team discussed the requirements of the fire command room with the Fire Chief. Our highest occupiable floor is under 75'-0" therefore ICC does not require a fire command room in the building.*
7. You may want to mention in the application that the parking required for the retail space is allowed as on-street parking abutting the development site.
- *The applicant included this in the Project Narrative. See Tab 1.*
8. Complete address assignment application as main doorway is on Pleasant Street and 203 S. Marion address most likely not appropriate.
- *The applicant completed the assignment application. The address assignment for the main building entry will be 1105 Pleasant Street and the retail address will be 1103 Pleasant Street.*
 - *The six maisonette units provided on site will have individual addresses. 205, 207, 209, 211, 213 and 215 S Marion Street. Mail will be delivered directly to the units.*
9. 5a. Restrictions – the village will provide template easement agreements for the requested caisson bell easement. The applicant will need to complete the agreement (using track changes), prepare draft exhibits and legal descriptions, so the applicant and Village can agree to easement. Easement will need to be recorded after construction so the applicant can verify dimensions prior to recording.
- *The applicant will compete the easement agreement with draft exhibits and legal descriptions. See Tab 5a.*
- a. The applicant will be responsible for maintaining ROW frontage. The Village will maintain curbed planters and irrigation system on Marion. If applicant proposed other responsibilities, please indicate desired maintenance responsibilities.
- *The applicant will maintain the ROW frontage. The applicant may provide the public art contribution in the ROW frontage and will be responsible for maintenance and upkeep. See Tab 5a.*
- b. Balconies overhanging Pleasant Street will reduce opportunities for parkway tree canopies since they will only leave about 5-6 feet of parkway in these areas. Please consider setting back areas with the 5 feet balconies. The village will provide template easement agreements for the requested balcony and canopy easements. The applicant will need to complete the agreement (using track changes), prepare draft exhibits and legal descriptions, so the applicant and Village can agree to easement in principle. Easement will need to be recorded after construction so the applicant can verify dimensions prior to recording.
- *The applicant cannot setback the balconies but coordinated the location of the balconies with the tree canopies located in the public ROW. See Tab 8b.*
 - *The applicant will complete the easement agreement for the balconies. See Tab 5a.*
10. 5b. Provide pdf of full-sized plat of survey (tab 5B) along with title commitment and pdfs of documents being referred to in title commitment and any plats from surveyor.
- *The applicant included the plat of survey with the final application. See Tab 5b*
 - *The applicant also provided the title commitment for the property. See Tab 4b.*

11. 6b. Village Services - send a letter on letterhead requesting the Village perform a fire flow test on Marion Street to determine available fire flow. Provide proposed sewer sizing and storm water flow calculations meeting MWRD requirements. The Village will need this information (along with a final traffic study) in order to provide letter from Public Works indicating impacts to the Village.

- *The applicant requested a fire flow test from the village on December 14, 2020. The village provided the final report for the fire flow test on December 21, 2020.*

12. 7a & b. Parking & Traffic Study – a detailed review of the traffic study has not been completed at this time. Detailed comments will be sent separately.

a. Include crash analysis of the Pleasant & Marion intersection. Include a 4-way stop sign warrant analysis for this intersection including line of sight diagrams. Include and recommendation for or against implementing a 4-way stop at this intersection based on existing and proposed conditions.

- *[KLOA] Based on the following, it is recommended that the intersection of Marion Street/Pleasant Street/Franklin Street should continue to operate as a two-way stop sign controlled intersection with Pleasant Street and Franklin Street under stop sign control.*
 - *A review of the Year 2026 total volumes and the MUTCD warrants for all-way stop sign control shows that the weekday evening and Saturday midday peak hour vehicle, pedestrian, and bicycle volumes just meet the minimum volume thresholds. However, the MUTCD states that the average hourly volumes over an eight-hour period on an average day must meet the minimum volume thresholds. As such, since the peak hour volumes just meet the thresholds, it is unlikely that the average volumes over an eight-hour period will meet the minimum thresholds.*
 - *Crash data obtained from the Illinois Department of Transportation (IDOT) has shown that the subject intersection has experienced only one crash between 2014 and 2018. As such, the intersection has experienced a very low number of crashes which indicates that it is providing an efficient and orderly operation. Further, the crash data experienced does not meet the MUTCD crash warrant which requires “five or more reported crashes in a 12-month period that are susceptible to correction by a multi-way stop installation”.*
 - *It should be noted that the motorists stopped at the stop signs on Marion Street and Pleasant Street have limited sight distance looking north and south along Marion Street. However, appropriate sight distance is available once the motorists pull closer to the edge of Marion Street after first stopping at the stop signs. This situation is common at many intersections in Oak Park and other similar urban areas. The low number of crashes at the intersection would indicate that the sight distance at this intersection is not an issue.*

b. Estimated directional distribution needs to be shown for adjacent alley and local streets in the diagram.

- *[KLOA] The directional distribution will be modified as part of the revised traffic study.*

c. 40% trip reduction is pretty high even though supported by census data for the area. Staff will review to determine appropriateness of this for use in the study as it is not a conservative approach.

- *[KLOA] Noted. As stated in the traffic study, the trip reduction was based on census data and is similar to the reduction assumed for other studies in the area. It is important to*

note that the development is considered a Transit Oriented Development (TOD) given its proximity in downtown Oak Park and the public transportation and alternative modes of transportation serving the downtown area.

d. Include parking study. A 0.78 space per unit ratio will likely not be supported by staff. Also indicate on-street parking space loss and gain by proposed loading.

- *The proposed loading zone will occupy two parking spaces on Pleasant Street however two additional spaces will be provided on Marion Street. There will be a net loss of zero on-street parking spaces. See Tab 8a.*
- *See attached letter addressing the parking ratio.*
- *See addendum to marketing study by Tracy Cross & Associates. See Tab 8c.*

13. 8a, b, & c. Site Plan, Landscaping & Civil Plans– show locations of garage doors on the west side of the alley, especially the garage doorway leading to the underground garage (by the 3 manholes with a white doorway) on site and civil plans

- *The applicant will include the garage doors on the plans.*

a. Indicate dimensions of proposed curbside loading zone on Pleasant and indicate how many parking spaces are being removed as a result.

- *The applicant will include the dimensions on the site plan and indicate that two parking spaces will be removed as a result. The applicant is providing two additional parking spaces on Marion Street so the net loss of on-street parking is zero. See Tab 8a.*

b. Show removing and replacing bump out and planters on Marion to align better with building layout and shrink overall bump out area to gain back parking spaces being removed on Pleasant with curbside loading zone. South planter houses irrigation controller & system for Marion Street which will need modifications. As-builts will be sent to your engineer

- *The applicant will remove and replace the bump out on Marion Street so it aligns with the symmetry of the courtyard. The bump out area will shrink overall and two additional on street metered parking spaces will be provided on Marion Street. See Tab 8a.*
- *The irrigation controller and system will be removed for construction access and will be modified and restored after construction.*

c. Site, landscaping, and civil plans conflict with 8k Construction Traffic Plan. Revise all plans to indicate that all of the right of way from at least curb to building along your frontages of Pleasant and Marion will need full replacement to account for the construction of the development. this includes items such as lighting controllers, street lighting, removal of trees, irrigation systems, bluestone sidewalks, etc.

- *The applicant and the general contractor (Focus Construction) discussed the details of the construction traffic plan with village staff on 1/4/21. See Tab 8k.*
- *The applicant will restore all of the right of way from the curb to the property line along the Pleasant and Marion Street frontages.*

d. Include full alley replacement from Randolph to Pleasant

- *The applicant cannot provide full alley replacement but the applicant will commit to re-surfacing the alley from Pleasant Street to the southern boundary of the 203 S Marion Street property line. It is approximately 200 feet long and 18 feet in width. See Tab 8c.*

e. Include proposed storm water management on civil and landscaping plans meeting MWRD requirements. If a green roof is proposed also show on floor plans.

- *The applicant will provide a green roof. See Tab 8e.*

f. Confirm location and size of switch gear room with ComEd for vehicular access and minimum sizing requirements.

- *The applicant cannot engage ComEd until after the PD is approved however the applicant is working with a utility consultant to make conservative assumptions on transformer sizing, transformer clearances, the size and location of the switchgear room and vehicular access.*
- g. Confirm location of proposed transformer with ComEd considering there are no restrictions to adjacent property that can build or fence to lot line in future
- *The clearances required around the proposed transformer will be provided on site and will not impact the constructability of the adjacent property.*
- h. Setback parking garage entrances to allow for better lines of sight and turning radii
- *The applicant will setback the north parking garage entry 4 feet. The applicant cannot setback the parking garage entrance on the south side however the applicant will provide a window on the south elevation adjacent to the parking ramp so cars/pedestrians have better visibility.*
14. 8B Landscape Plan – include a removal sheet clearly showing all tree and landscaping removals on public and private property and identify diameter of all trees being removed.
- *The applicant provided a removal sheet with the landscape plan that depicts all landscaping removals on public and private property. See Tab 8b.*
 - *The applicant also provided a tree survey from an arborist that identifies the diameter, species, and condition of all trees being removed. See Tab 5b.*
- a. 5' balconies will require revised tree spacing or columnar trees in these areas
- *The applicant coordinated the tree spacing and sizing with the locations of the 5' balcony easements.*
15. 8c Civil Plans - Indicate sizes of proposed water & sewer services and show abandonment of existing services for the property
- *The applicant noted this on the civil plans. See Tab 8c.*
- a. Remove all labels “by others” on civil plans (C-300)
- *The applicant removed this from the civil plans. The note regarding ComEd relocation will remain because the relocation design will be provided by ComEd.*
- b. Include lighting and electrical plans for replacing lighting on Marion & Pleasant impacted by the construction of the building
- *The applicant provided on the plans.*
- c. Show replacing bluestone sidewalk on Pleasant frontage impacted by construction (bluestone extends to alley)
- *The applicant noted on the civil plans. The bluestone sidewalks will be restored.*
- d. Show patching trenches from utility work
- *The applicant noted on the civil plans. The trench locations for utility work will be provided by the utility companies. What is depicted on the plans is our assumption based on information from our utility consultant.*
- e. Show removing and burying existing aerial power, ATT, Comcast, etc. in alley and removing power poles.
- *The applicant noted on the civil plans. The power pole removals and relocations as depicted on the plans is our assumption based on information from our utility consultant.*
16. 8e Floor Plans – dimension parking stalls and aisles for garage and show handicapped parking stalls.
- *The applicant dimensioned parking stalls and aisles and depicted handicapped parking stalls. See Tab 8e.*
- a. Indicate clear height of garage floors

- *The applicant noted the clear height of the garage floors on the floor plan.*
- b. Indicate if parking stalls are assigned to units. There is no turn around space at end of parking stalls
- *The parking stalls will be assigned to individual units. The applicant is requesting zoning relief on the 9'-0" turn around requirement.*
- c. Include fire command room
- *The is not required. Our highest occupiable floor is under 75'-0" therefore ICC does not require a fire command room in the building.*
17. Provide lighting and photometrics for the building
- *The applicant provided a lighting and photometrics plan for the outside of the building. See Tab 8d.*
18. 8i- Shadow Study – extend limits of shadow study beyond limits of shadows being cast by building
- *The applicant provided a revised shadow study. See Tab 8i.*
19. 8f Building Elevations – dimension balconies over ROW and canopy over ROW
- *The applicant provided dimensions for balconies over the ROW and for the canopy over the ROW on the floor plans. See Tab 8f.*
20. 8k Construction Traffic Plan – show truck routing to and from the site to at least Harlem.
- *The applicant noted the truck routing on the revised construction logistics plan. See Tab 8k.*
- a. Construction logistics indicates you will use Pleasant parking lane, parkway, and sidewalk for truck access and similar areas on Marion for storage. All of these areas will need to be completely replaced with the project. Numerous conflicts need to be relocated and replaced (lighting controller, lights, trees, parking pay station, irrigation, etc). Temp lighting will be required.
- *All the areas on Pleasant Street and Marion Street will be restored. The conflicts in the ROW will be relocated and replaced. The general contractor will provide temp lighting on the canopy on Marion Street. No temporary lighting will be provided on Pleasant because the sidewalk will be closed and there is lighting on the north side of the road. See Tab 8k.*
- b. Show a 5' wide ADA complaint walkway around the site for Marion Street or using a canopy. Marion sidewalk cannot be closed for the duration of the project. Show revised pedestrian route and signage for closing Pleasant sidewalk.
- *This is provided on the revised construction traffic plan. See Tab 8k.*
- c. Gate 2 is in a bad location for conflicts with trucks and pedestrians and vehicles at the intersection. Shift gate 2 west and a flagger may be required.
- *This is provided on the revised construction logistics plan. See Tab 8k.*
- d. Indicate how the catenary lighting at the Marion & Pleasant intersection will be protected, removed and replaced, etc.
- *This is noted on the revised construction logistics plan. See Tab 8k.*
- e. Will project require a permanent crane or skip hoist? If so, indicate on logistics plan.
- *There will not be a skip hoist. The project may require a crane which will be discussed with village staff.*
21. PUBLIC ART: Please contact Tammie Grossman, Development Customer Services Director regarding your Public Art contribution. She can be reached at 708/358-5422 or tgrossman@oak-park.us.
- *The applicant contacted Tammie Grossman regarding the public art contribution and scheduled an introductory call with the Oak Park Area Arts Council on 12/14/2020. The applicant is committed to working with the Oak Park Area Arts Council to develop the public art contribution.*

22. PUBLIC NOTICE: Planned Development applications require three (3) types of notice for public hearings; a.) Newspaper notice, b.) Signs posted on the subject property (one on each street frontage) and c.) Mailed notices to property owners within 300 feet of the subject property sent by regular mail. The applicant is responsible for the signs and mailed notices. Staff will prepare the notice for the newspaper and send for your review and approval. Please see Article 13 Application Procedures of the Oak Park Zoning Ordinance for further explanation. Note: The invoice for the newspaper notice will be sent to you from the Village for payment, upon receipt from the newspaper.

- *The applicant posted signs and the property and mailed notices to property owners within 300 feet.*

23. Items to consider as you approach the building permit stage;

- A fire sprinkler system will be required. Please send your request for the fire flow test on your company letter head to Orlando Velasquez in Public Works. His email is ovelasquez@oak-park.us. You may need a fire pump if water flow is insufficient.
 - *The applicant reached out to Public Works and the fire pump test was received on 12/21/20.*
- A fire alarm system will be required.
 - *The applicant will provide a fire alarm system as required by code.*
- We are requiring access to all four sides of the building. Emergency vehicle access shall be a minimum of 15 feet. Please contact the Fire Chief regarding this statement.
 - *The applicant reached out to the Fire Chief regarding this statement and the Fire Department has access on three sides of the development which is sufficient. The Fire Department will not require a 15' setback on the south side of the building.*

Yours truly,

Courtney Brower

Senior Development Manager

January 28, 2021

Tammie Grossman
Development Customer Services Director
Village of Oak Park
123 Madison Street
Oak Park IL 60302

Sent Via: E-mail

Re: Parking Ratio at 203 S. Marion Street, Oak Park, IL

Dear Tammie:

As you know, village staff has reviewed Focus's request for a Planned Development Application Review for the proposed project at 203 S. Marion Street. This letter is in response to staff's comment #12d regarding the proposed parking space per unit ratio.

It is worth mentioning that Covid-19 has driven up demand for parking spaces as renters are not comfortable utilizing ride sharing services or public transportation during the pandemic. The proposed development at 203 S. Marion will open in 2023 and we believe the demand at that time will be aligned with the pre-pandemic demand. We recognize we cannot know what will happen so we propose the following marketing strategies to curb parking demand at the property:

- Compared to our competitors, the majority of the studios and 1-bedrooms are smaller and less expensive. We look to attract "value-oriented" renters who are less likely to own a car and whom are choosing the development because of its accessibility to public transit.
- We will not provide concessions that offer free parking during lease-up unless parking demand is less than 0.77 per unit. It is important to note that other class A apartments in Oak Park are currently offering concessions that include free parking. For example, the Development at 1000 Lake Street is offering a concession with 9 months of free parking despite having no available on-site parking.
- At any point during lease-up, if the predicted parking demand approaches 0.77 per unit, a concession of one month of free rent will be offered to applicants without vehicles.
- We are in the process of establishing a private partnership with management at 1133 S Boulevard to lease approximately 36 spaces in their parking garage. If we lease up all the available parking at our property we will utilize 1133 for overflow parking.

If you have any questions about our response to staff comments regarding parking, please contact me anytime. Thank you very much for your attention to this matter.

Yours truly,

Courtney Brower
Senior Development Manager

2. Fee

Drag a column header and drop it here to group by that column

Bank Account	Check Number	Status ▲	Entity ID	Vendor	Vendor ID	Payment Method	Amount	Proof of Payment
Northview Bank & Trust (8218)	102732	Processing	FOCUS DEVELOP... INC.	VILLAGE OF OAK PARK	VILOAK123	AvidPay Check	\$2,000.00	
▼ Payment Detail								
Invoice Number ▲	Invoice Date	Invoice Amount	Discount Amount	Payment Status				
▲ AvidPay Check (1) - \$2,000.00								
CR-649-012021	1/20/2021	\$2,000.00	\$0.00	Processing				
		\$2,000.00						



3. Standards

A. Planned Development Standards

Outlined below are the reasons why the proposed development meets the planned development standards set forth in the zoning ordinance:

1. The proposed development and the use or combination of uses is consistent with the goals and objectives of the Comprehensive Plan and has been considered in relation to any other plans adopted by the Village Board.

The proposed development advance the following objectives from Oak Parks Comprehensive Plan “Envision Oak Park”:

- Objective 4.3.4 Encourage the growth of transit-oriented development (TOD) in order to provide greater access to local goods and services, expand the variety of housing options, and maximize transit, bicycle and pedestrian access throughout the village.
- Objective 4.4.1 Promote mixed-use development within the village to maximize the use of land and to foster more compact, walkable, and vibrant neighborhoods.
- The Future Land Use Plan identifies 203 S Marion within one of the TOD Housing Development Focus Areas identified as the Harlem/Lake Transit area. Additionally, the Future Land Use Plan envisions 203 S Marion as a location appropriate for Neighborhood Commercial/ Mixed Use Development.

2. The establishment, maintenance, or operation of the use or combination of uses will not be materially detrimental to or endanger the public health, safety, and welfare of the Village.

The proposed development will be managed by a professional property management company with on-site staff. The maintenance and operation of the building will not endanger the public health, safety, and welfare of the Village. The applicant will secure sign-offs from fire, police, and public works to further demonstrate that uses of the building will not endanger the public health, safety and welfare of the Village.

3. Adequate utilities, road access, parking, drainage, police and fire service, and other necessary facilities already exist or will be provided to serve the proposed development, including access for fire, sanitation, and maintenance equipment.

The applicant will provide a Village Services Report with letters from police, fire, and public works. The utilities in the area are adequate to support this development.

4. Adequate ingress and egress to the planned development site already exists or will be provided in a manner that adequately addresses additional traffic congestion in the public streets and promotes a safe and comfortable pedestrian environment.

The development site is located on a corner parcel that abuts an alley. Vehicular ingress and egress from the alley, along with pedestrian access from Marion Street and Pleasant Street, will provide adequate access to the development site without jeopardizing safety or pedestrian comfort.



3. Standards

5. The proposed use or combination of uses will not substantially diminish the use or enjoyment of other property in the vicinity for those uses or combination of uses that are permitted by the Zoning Ordinance of the Village.

The proposed development will not substantially diminish the use or enjoyment of other property in the vicinity.

6. The proposed use or combination of use will not have a substantial or undue adverse effect upon property values in the vicinity.

The proposed development will not have substantial effects on property values in the vicinity. The property will be developed and constructed with the utmost quality and maintained by a professional property management company.

7. The proposed design and use or combination of uses will complement the character of the surrounding neighborhood

As set forth in the enclosed plans and documents, the proposed development will use materials such as masonry to complement the existing character of the surrounding neighborhood. The proposed development will provide a C-shaped mid-rise structure that is reminiscent of early 20th century courtyard style buildings that exist in the vicinity of the development parcel.

8. The applicant has the financial and technical capacity to complete the proposed use or combination of uses.

The applicant has a successful track record of financing and completing similar projects over the last 25 years. The applicant will secure the funding sources required to complete the proposed development prior to the demolition of the existing structures.

9. The proposed development is economically feasible and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the Village from the proposed use.

The proposed development does not rely on subsidies or incentives that could pose an economic threat to the Village. Conversely, the real estate taxes created by the development will have a positive economic impact for the Village. In addition, the proposed development will add residents and visitors to the Village that will have a positive impact on retail sales and thus retail tax generation.

Compensating Benefits

Additionally, the proposed development offers the following compensating benefits:

Economic Benefits:

- Proposed development will conservatively generate approximately \$750,000 of additional annual property taxes and sales taxes when compared to the property's current use.
- Proposed development will directly benefit the existing retail and commercial uses on Marion Street by providing more patrons and visitors.



3. Standards

- Proposed development will create at least five permanent jobs.

Community Benefits:

- Proposed development will provide \$1,590,000 to Oak Park's affordable housing efforts.
- Focus Construction, Inc., in conjunction with their subcontractors, will hire five Oak Park minority residents to participate in the construction of the proposed development. This will provide a training and growth opportunity within an active construction project.
- The inclusion of smaller studio and one-bedroom apartments will provide a more affordable and unique residential offering when compared to existing apartment product in Oak Park.

Sustainability:

- The proposed development will be designed and certified as a National Green Building Standard (NGBS 2015) Bronze building.
- The proposed development includes infrastructure to support electric vehicle charging in 10% of the parking stalls. Chargers will be installed based on actual demand.
- The proposed development will work with the immediate neighbors to attract and retain a car sharing program that can be housed within the proposed development. We believe that this will be attractive to residents, neighbors, and visitors of The Carlton of Oak Park.
- The proposed development will provide a green roof.

Design

- Award winning Booth Hansen architects has been commissioned to design the proposed development. This commitment to quality design is indicative of the team's goal of positively impacting the built environment.
- The proposed development includes work-from-home provisions in both the proposed apartments and common spaces. This programming does not currently exist throughout Chicagoland and provides Oak Park with a unique housing option coming out of Covid-19.

Neighbors & Utilities

- During our due diligence, we discovered that the neighboring Pleasant Maple Condominium Association (PMCA) has slow and unreliable internet service. The development team is committed to bringing the best internet service available to the proposed development including fiberoptics if available. As part of this effort, we will use our buying power to extend new internet service to a cabinet on the exterior wall of the PMCA building. This will allow PMCA to tap into this service and distribute reliable internet to their residents.
- The proposed development will eliminate the existing power poles at the rear of the subject property in the alley and bury all utilities to the benefit of both the residents of the proposed development and the existing neighbors. This will also allow the PMCA garages to function better.
- The proposed development contemplates a community parking space on the alley for service vehicles and quick drop offs. Currently these activities require vehicles to double park in the alley



3. Standards

which restricts access to the PMCA garages.

- The development team has committed to offering any surplus leased parking within the proposed parking to the PMCA before contemplating any other leasing arrangements.

Village Improvements

- Streetscape improvements throughout the perimeter of the property including additional green space in the public right of way and extending the bluestone pavers and curbs to the southern boundary of the property. In addition, site lighting and security improvements will occur at the perimeter of the project for the benefit of all pedestrians.
- The applicant will resurface the alley at the west side of the property from Pleasant Street to the southern boundary of 203 S Marion Street.

Public Art Contribution

- The applicant is working with the Village of Oak Park and the Oak Park Area Arts Council to develop the public art contribution for 203 S Marion Street.



3. Standards

B. Sustainability Standards

The applicant is proposing an alternative sustainability rating system called the National Green Building Standard (NGBS) in lieu of LEED certification. The American National Standards Institute (ANSI) has determined that the NGBS has undergone thorough public review and meets the requirements of a true consensus standard. After reviewing multiple rating systems, the applicant selected NGBS because it has been designed specifically for multi-family projects and provides a focus on the most impactful sustainability strategies. The applicant is pursuing the NGBS 2015 Bronze Rating and intends to complete certification.

Included with the planned development application is a NGBS 2015 checklist that has been completed by Energy Diagnostics, Inc. The applicant will coordinate with Energy Diagnostics to ensure that the NGBS requirements are fulfilled. Energy Diagnostics is a green verifier/energy rating and provides sustainability consulting services.



3. Standards

B. Sustainability Standards



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Summary of Results of the Design Phase

Project Name: 203 S. Marion

Location: 203 S Marion, Oak Park, Illinois 60302

✓ No Mandatory items missing on the "Overview (Design)" page

	Points Required				Points Claimed
	Bronze	Silver	Gold	Emerald	
Chapter 5: Lot Design, Preparation, and Development	50	64	93	121	77
Chapter 6: Resource Efficiency	43	59	89	119	77
Chapter 7: Energy Efficiency	30	45	60	70	57
Chapter 8: Water Efficiency	25	39	67	92	47
Chapter 9: Indoor Environmental Quality	25	42	69	97	38
Chapter 10: Operation, Maintenance, and Building Owner Education	8	10	11	12	8
Additional Points required	50	75	100	100	
Additional points required due to SF over 4000 (601.1)	0	0	0	0	
Total points required	231	334	489	611	304

Mandatory Practices	No Errors
✓	✓
✓	✓
✓	✓
✓	✓
✓	✓


Additional Points Claimed	123	45	(85)	(207)
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Overall Level Achieved for Design	Bronze
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3. Standards

B. Sustainability Standards

Goal Level:		Points Available			Points Claimed			Points Awarded			Status				
Goal Level: None Chosen, Overall Level: None		15			10			0			Certified Site:				
Points to Goal Level: Ch5: 0, Ch6: 0, Ch7: 0, Ch8: 0, Ch9: 0, Ch10: 0		10			6			0			<input type="checkbox"/>				
Add'l Pts above goal level: Ch5: 0, Ch6: 0, Ch7: 0, Ch8: 0, Ch9: 0, Ch10: 0		10			3			0			<input type="checkbox"/>				
Report Phase:		15			5			0			<input type="checkbox"/>				
													© Home Innovation Research Labs, Inc., 2017. All rights reserved.		
													Home Address:		
													Community/Lot #:		
Practice #	Practice	Points Available	Points Claimed	Points Awarded	Status										
501 LOT SELECTION															
501.1	501.1 Lot. A lot is selected within a site certified to this Standard or equivalent, Or the lot is selected to minimize environmental impact by one or more of the following:	15	10	0											
(1)	An infill lot is selected.	10			<input type="checkbox"/>										
(2)	A lot is selected that is a greyfield.	10			<input type="checkbox"/>										
(3)	An EPA-recognized brownfield lot is selected.	15			<input type="checkbox"/>										
501.2	501.2 Multi-modal transportation. A range of multi-modal transportation choices are promoted by one or more of the following:														
(1)	A lot is selected within one-half mile (805 m) of pedestrian access to a mass transit system	6	6	0	<input type="checkbox"/>										
(2)	A lot is selected within five miles (8,046 m) of a mass transit station with provisions for parking.	3	3	0	<input type="checkbox"/>										
(3)	Walkways, street crossings, and entrances designed to promote pedestrian activity are provided. New buildings are connected to existing sidewalks and areas of development.	5	5	0	<input type="checkbox"/>										
(4)	A lot is selected within one-half mile (805 m) of six or more community resources. No more than two each of the following use category can be counted toward the total: Recreation, Retail, Civic, and Services. Examples of resources in each category include, but are not limited to the following:				<input type="checkbox"/>										
	Recreation: recreational facilities (such as pools, tennis courts, basketball courts), parks.	4	4	0											
	Retail: grocery store, restaurant, retail store.														
	Civic: post office, place of worship, community center.														
	Services: bank, daycare center, school, medical/dental office, laundromat/dry cleaners.														
	NOTE: List the 6 community resources in the Notes field.														
502 PROJECT TEAM, MISSION STATEMENT, AND GOALS															
503 LOT DESIGN															
503.3	503.3 Soil disturbance and erosion. Soil disturbance and erosion are minimized by one or more of the following: (also see Section 504.3)														
	Note: Points must be earned in 503.3 in order for points in 504.1 to be available														
(3)	Limits of clearing and grading are demarcated on the lot plan.	5	5	0	<input type="checkbox"/>										
503.5	503.5 Landscape plan. A plan for the lot is developed to limit water and energy use while preserving or enhancing the natural environment.														
(2)	Non-invasive vegetation that is native or regionally appropriate for local growing conditions is selected to promote biodiversity.	0	7	0	<input type="checkbox"/>										
503.7	503.7 Environmentally sensitive areas. The lot is in accordance with one or both of the following:														
(1)	The lot does not contain any environmentally sensitive areas that are disturbed by the construction.	4	4	0	<input type="checkbox"/>										
504 LOT CONSTRUCTION															
504.1	504.1 On-site supervision and coordination. On-site supervision and coordination is provided during on-the-lot clearing, grading, trenching, paving, and installation of utilities to ensure that specified green development practices are implemented. (also see Section 503.3)	4	4	0	<input type="checkbox"/>										
	NOTE: Points must be taken in 503.3 to claim points in 504.1.														
504.3	504.3 Soil disturbance and erosion implementation. On-site soil disturbance and erosion are minimized by one or more of the following in accordance with the SWPPP or applicable plan: (also see Section 503.3)														
(2)	Limits of clearing and grading are staked out on the lot.	5	5	0	<input type="checkbox"/>										
505 INNOVATIVE PRACTICES															
505.1	505.1 Driveways and parking areas. Driveways and parking areas are minimized or mitigated by one or more of the following:														
(1)	Off-street parking areas are shared or driveways are shared. Waivers or variances from local development regulations are obtained to implement such practices, if required.	5	5	0	<input type="checkbox"/>										
(2)	In a multifamily project, parking capacity does not exceed the local minimum requirements.	5	5	0	<input type="checkbox"/>										
(3)	Structured parking is utilized to reduce the footprint of surface parking areas.		6	0	<input type="checkbox"/>										
	(a) 25 percent to less than 50 percent	4													
	(b) 50 percent to 75 percent	5													
	(c) greater than 75 percent	6													
505.3	505.3 Density. The average density on the lot on a net developable area basis is:		8	0	<input type="checkbox"/>										
(1)	7 to less than 14 dwelling units per acre (per 4,047 m ²)	4													
(2)	14 to less than 21 dwelling units per acre (per 4,047 m ²)	5													
(3)	21 to less than 35 dwelling units per acre (per 4,047 m ²)	6													
(4)	35 to less than 70 dwelling units per acre (per 4,047 m ²)	7													
(5)	70 or greater dwelling units per acre (per 4,047 m ²)	8													
601 QUALITY OF CONSTRUCTION MATERIALS AND WASTE															
601.1	601.1 Conditioned floor area. Finished floor area of a dwelling unit is limited. Finished floor area is calculated in accordance with ANSI Z765 for single family and ANSI/BOMA Z65.4 for multifamily buildings. Only the finished floor area for stories above grade plane is included in the calculation.		14	0	<input type="checkbox"/>										



3. Standards

B. Sustainability Standards

(1)	less than or equal to 700 square feet (65 m ²)	14			
(2)	less than or equal to 1,000 square feet (93 m ²)	12			
(3)	less than or equal to 1,500 square feet (139 m ²)	9			
(4)	less than or equal to 2,000 square feet (186 m ²)	6			
(5)	less than or equal to 2,500 square feet (232 m ²)	3			
(6)	greater than 4,000 square feet (372 m ²)	N/A			
(For every 100 square feet (9.29 m ²) over 4,000 square feet (372 m ²), one point is to be added to rating level points shown in Table 303, Category 7 for each rating level.)					
601.4	601.4 Framing and structural plans. Detailed framing or structural plans, material quantity lists and on-site cut lists for framing, structural materials, and sheathing materials are provided.	4	4	0	<input type="checkbox"/>
601.5	601.5 Prefabricated components. Precut or preassembled components, or panelized or precast assemblies are utilized for a minimum of 90 percent for the following system or building:	13 Max			
(1)	floor system	4	4	0	<input type="checkbox"/>
(2)	wall system	4	4	0	<input type="checkbox"/>
(3)	roof system	4	4	0	<input type="checkbox"/>
601.6	601.6 Stacked stories. Stories above grade are stacked, such as in 1½-story, 2-story, or greater structures. The area of the upper story is a minimum of 50 percent of the area of the story below based on areas with a minimum ceiling height of 7 feet (2,134 mm).	8 Max	8	0	<input type="checkbox"/>
(1)	first stacked story	4			
(2)	for each additional stacked story	2			
601.7	601.7 Prefinished materials. Prefinished building materials or assemblies listed below have no additional site-applied finishing material are installed. (Points awarded for each type of material or assembly.)	12 Max	10	0	
(a)	interior trim not requiring paint or stain				<input type="checkbox"/>
(b)	exterior trim not requiring paint or stain				<input type="checkbox"/>
(c)	window, skylight, and door assemblies not requiring paint or stain on one of the following surfaces: i. exterior surfaces ii. interior surfaces				<input type="checkbox"/>
(d)	interior wall coverings or systems, floor systems, and/or ceiling systems not requiring paint or stain or other type of finishing application				<input type="checkbox"/>
(e)	exterior wall coverings or systems, floor system, and/or ceiling systems not requiring paint or stain or other type of finishing application				<input type="checkbox"/>
(1)	90 percent or more of the installed building materials or assemblies listed above:	5			
(2)	50 percent to less than 90 percent of the installed building material or assembly listed above:	2			
(3)	35 percent to less than 50 percent of the installed building material or assembly listed above:	1			
602 ENHANCED DURABILITY AND REDUCED MAINTENANCE					
602.1	602.1 Moisture Management – Building Envelope				
602.1.1	602.1.1 Capillary breaks				
602.1.1.1	602.1.1.1 Capillary breaks A capillary break and vapor retarder are installed at concrete slabs in accordance with ICC IRC Sections R506.2.2 and R506.2.3 or ICC IBC Sections 1907 and 1805.4.1.	Mandatory			<input type="checkbox"/>
602.1.3	602.1.3 Foundation drainage				
602.1.3.1	602.1.3.1 Where required by the ICC IRC or IBC for habitable and usable spaces below grade, exterior drain tile is installed.	N/A			<input type="checkbox"/>
602.1.4	602.1.4 Crawlspace				
602.1.4.1	602.1.4.1 Vapor retarder in unconditioned vented crawlspace is in accordance with the following, as applicable. Joints of vapor retarder overlap a minimum of 6 inches (152 mm) and are taped.				
(2)	Walls. Dampproof walls are provided below finished grade.	N/A			<input type="checkbox"/>
602.1.4.2	602.1.4.2 Crawlspace that is built as a conditioned area is sealed to prevent outside air infiltration and provided with conditioned air at a rate not less than 0.02 cfm (.009 L/s) per square foot of horizontal area and one of the following is implemented:				
(2)	6 mil polyethylene sheeting, or other Class I vapor retarder installed in accordance with Section 408.3 or Section 506 of the International Residential Code	N/A			<input type="checkbox"/>
602.1.7	602.1.7 Moisture control measures				
602.1.7.1	602.1.7.1 Moisture control measures are in accordance with the following:				
(1)	Building materials with visible mold are not installed or are cleaned or encapsulated prior to concealment and closing.	2	2	0	<input type="checkbox"/>
(2)	Insulation in cavities is dry in accordance with manufacturer's instructions when enclosed (e.g., with drywall). NOTE: If "N/A" is selected, explain why in the assigned Notes area.	Mandatory 2	2	0	<input type="checkbox"/>
(3)	The moisture content of lumber is sampled to ensure it does not exceed 19 percent prior to the surface and/or cavity enclosure.	4	4	0	<input type="checkbox"/>
602.1.7.2	602.1.7.2 Moisture content of subfloor, substrate, or concrete slabs is in accordance with the appropriate industry standard for the finish flooring to be applied.	2	2	0	<input type="checkbox"/>
602.1.8	602.1.8 Water-resistive barrier. Where required by the ICC, IRC, or IBC, a water-resistive barrier and/or drainage plane system is installed behind exterior veneer and/or siding. NOTE: If "N/A" is selected, explain why in the assigned Notes area.	Mandatory			<input type="checkbox"/>
602.1.9	602.1.9 Flashing. Flashing is provided as follows to minimize water entry into wall and roof				



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assemblies and to direct water to exterior surfaces or exterior water-resistive barriers for drainage. Flashing details are provided in the construction documents and are in accordance with the fenestration manufacturer's instructions, the flashing manufacturer's instructions, or as detailed by a registered design professional.

(1)	Flashing is installed at all of the following locations, as applicable:	Mandatory				<input type="checkbox"/>
(a)	around exterior fenestrations, skylights, and doors					
(b)	at roof valleys					
(c)	at all building-to-deck, -balcony, -porch, and -stair intersections					
(d)	at roof-to-wall intersections, at roof-to-chimney intersections, at wall-to-chimney intersections, and at parapets					
(e)	at ends of and under masonry, wood, or metal copings and sills					
(f)	above projecting wood trim					
(g)	at built-in roof gutters, and					
(h)	drip edge is installed at eave and rake edges.					
(2)	All window and door head and jamb flashing is either self-adhered flashing complying with AAMA 711-13 or liquid applied flashing complying with AAMA 714-15 and installed in accordance with fenestration or flashing manufacturer's installation instructions.	2	2	0		<input type="checkbox"/>
602.1.11	602.1.11 Tile backing materials. Tile backing materials installed under tiled surfaces in wet areas are in accordance with ASTM C1178, C1278, C1288, or C1325.	Mandatory				<input type="checkbox"/>
602.1.13	602.1.13 Ice barrier. In areas where there has been a history of ice forming along the eaves causing a backup of water, an ice barrier is installed in accordance with the ICC IRC or IBC at roof eaves of pitched roofs and extends a minimum of 24 inches (610 mm) inside the exterior wall line of the building.	Mandatory				<input type="checkbox"/>
602.1.14	602.1.14 Architectural features. Architectural features that increase the potential for water intrusion are avoided:					
(1)	All horizontal ledgers are sloped away to provide gravity drainage as appropriate for the application.	Mandatory 1	1	0		<input type="checkbox"/>
(2)	No roof configurations that create horizontal valleys in roof design.	2	2	0		<input type="checkbox"/>
(3)	No recessed windows and architectural features that trap water on horizontal surfaces.	2	2	0		<input type="checkbox"/>
602.3	602.3 Roof water discharge. A gutter and downspout system or splash blocks and effective grading are provided to carry water a minimum of 5 feet (1524 mm) away from perimeter foundation walls.	4	4	0		<input type="checkbox"/>
602.4	602.4 Finished grade.					
602.4.1	602.4.1 Finished grade at all sides of a building is sloped to provide a minimum of 6 inches (150 mm) of fall within 10 feet (3048 mm) of the edge of the building. Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches (152 mm) of fall within 10 feet (3048 mm), the final grade is sloped away from the edge of the building at a minimum slope of 2 percent.	Mandatory				<input type="checkbox"/>
603 REUSED OR SALVAGED MATERIALS						
604 RECYCLED-CONTENT BUILDING MATERIALS						
605 RECYCLED CONSTRUCTION WASTE						
606 RENEWABLE MATERIALS						
607 RECYCLING AND WASTE REDUCTION						
608 RESOURCE-EFFICIENT MATERIALS						
608.1	608.1 Resource-efficient materials. Products containing fewer materials are used to achieve the same end-use requirements as conventional products, including but not limited to:					<input type="checkbox"/>
(1)	lighter, thinner brick with bed depth less than 3 inches and/or brick with coring of more than 25 percent	9 Max 3 per material	3	0		<input type="checkbox"/>
(2)	engineered wood or engineered steel products					
(3)	roof or floor trusses					
	NOTE: In the assigned Notes area, describe the types of products that comply with 608.1.					
609 REGIONAL MATERIALS						
610 LIFE CYCLE ASSESSMENT						
611 INNOVATIVE PRACTICES						
611.3	611.3 Universal design elements. Dwelling incorporates one or more of the following universal design elements. Conventional industry construction tolerances are permitted.	12 Max	5	0		<input type="checkbox"/>
(1)	Any no-step entrance into the dwelling which (1) is accessible from a substantially level parking or drop-off area (no more than 2%) via an accessible path which has no individual change in elevation or other obstruction of more than 1-1/2 inches in height with the pitch not exceeding 1 in 12 and (2) provides a minimum 32-inch wide clearance into the dwelling.	3				<input type="checkbox"/>
(2)	Minimum 36-inch wide accessible route from the no-step entrance into at least one visiting room in the dwelling and into at least one full or half bathroom which has a minimum 32-inch clear door width and a 30-inch by 48-inch clear area inside the bathroom outside the door swing.	3				<input type="checkbox"/>
(3)	Minimum 36-inch wide accessible route from the no-step entrance into at least one bedroom which has a minimum 32-inch clear door width.	3				<input type="checkbox"/>
(4)	Blocking or equivalent installed in the accessible bathroom walls for future installation of grab bars at water closet and bathing fixture, if applicable.	1				<input type="checkbox"/>
(5)	All interior and exterior door handles are levers rather than knobs.	1				<input type="checkbox"/>
(6)	All sink faucet controls are single-handle controls of both volume and temperature.	1				<input type="checkbox"/>
(7)	Interior convenience Power receptacles, communication connections (for cable, phone, Ethernet, etc.) and switches are placed between 15" and 48" above the finished floor. Additional switches	1				<input type="checkbox"/>



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	to control devices and systems (such as alarms, home theaters and other equipment) not required by the local building code may be installed as desired.	1	<input type="checkbox"/>
(8)	All light switches are rocker-type switches or other similar switches that can be operated by pressing them (with assistive devices). Toggle-type switches may not be used.	1	<input type="checkbox"/>
(9)	Any of the following can be controlled with a (wireless) mobile device such as a smartphone, tablet or laptop computer: HVAC, lighting, alarm system or door locks	1	<input type="checkbox"/>
701 MINIMUM ENERGY EFFICIENCY REQUIREMENTS			
701.1	701.1 Mandatory requirements. The building shall comply with Section 702 (Performance Path), Section 703 (Prescriptive Path), or Section 704 (HERS Index Target Path). Items listed as "mandatory" in Section 701.4 apply to all Paths. Unless otherwise noted, buildings in the Tropical Climate Zone shall comply with Climate Zone 1 requirements.		Select Path: <input type="checkbox"/>
701.1.1	701.1.1 Minimum Performance Path requirements. A building complying with Section 702 shall include a minimum of two practices from Section 705.		
701.1.2	701.1.2 Minimum Prescriptive Path requirements. A building complying with Section 703 shall obtain a minimum of 30 points from Section 703 and shall include a minimum of two practices from Section 705.		
701.1.3	701.1.3 HERS Index Target Path requirements. A building complying with Section 704 shall obtain a minimum of 30 points from Section 704 and shall include a minimum of two practices from Section 705.		
701.1.4	701.1.4 Alternative bronze and silver level compliance. As an alternative, any building that qualifies as an ENERGY STAR Version 3.0 Certified Home or ENERGY STAR Multifamily High Rise Version 1.0 Rev. 03 building achieves the bronze level for Chapter 7. As an alternative, any building that qualifies as an ENERGY STAR Version 3.1 Certified Home or ENERGY STAR Multifamily High Rise Version 1.0 Rev. 03 (with the baseline at ASHRAE 90.1-2010) building achieves the silver level for Chapter 7. As an alternative in the Tropical Climate Zone, any building that meets all of the requirements in IECC Section R401.2.1 (Tropical Zone) achieves the silver level for Chapter 7. The buildings achieving compliance under Section 701.1.4 are not eligible for achieving a rating level above silver.	0 0	Alternative: <input type="checkbox"/>
701.2	701.2 Emerald level points. The Performance Path shall be used to achieve the emerald level.	Emerald Not Available	
701.3	701.3 Adopting Entity review. A review by the Adopting Entity or designated third party shall be conducted to verify design and compliance with Chapter 7. NOTE: List the reviewer in the assigned Notes field.		<input type="checkbox"/>
701.4	701.4 Mandatory practices.		
701.4.1	701.4.1 HVAC systems.		
701.4.1.1	701.4.1.1 HVAC system sizing. Space heating and cooling system is sized according to heating and cooling loads calculated using ACCA Manual J, or equivalent. Equipment is selected using ACCA Manual S or equivalent.	Mandatory	<input type="checkbox"/>
701.4.1.2	701.4.1.2 Radiant and hydronic space heating. Where installed as a primary heat source in the building, radiant or hydronic space heating system is designed, installed, and documented, using industry-approved guidelines and standards (e.g., ACCA Manual J, AHRI I=B=R, ACCA 5 QI-2010, or an accredited design professional's and manufacturer's recommendations).	Mandatory	<input type="checkbox"/>
701.4.2	701.4.2 Duct systems.		
701.4.2.1	701.4.2.1 Duct air sealing. Ducts are air sealed. All duct sealing materials are in conformance with UL 181A or UL 181B specifications and are installed in accordance with manufacturer's instructions.	Mandatory	<input type="checkbox"/>
701.4.2.2	701.4.2.2 Ducts and Plenums. Building framing cavities are not used as ducts or plenums.	Mandatory	<input type="checkbox"/>
701.4.2.3	701.4.2.3 Duct system sizing. Duct system is sized and designed in accordance with ACCA Manual D or equivalent.	Mandatory	<input type="checkbox"/>
701.4.3	701.4.3 Insulation and air sealing.		
701.4.3.1	701.4.3.1 Building Thermal Envelope Air Sealing. The building thermal envelope is durably sealed to limit infiltration. The sealing methods between dissimilar materials allow for differential expansion and contraction. The following are caulked, gasketed, weather-stripped or otherwise sealed with an air barrier material, suitable film, or solid material: (a) All joints, seams and penetrations. (b) Site-built windows, doors, and skylights. (c) Openings between window and door assemblies and their respective jambs and framing. (d) Utility penetrations. (e) Dropped ceilings or chases adjacent to the thermal envelope. (f) Knee walls. (g) Walls and ceilings separating a garage from conditioned spaces. (h) Behind tubs and showers on exterior walls. (i) Common walls between dwelling units. (j) Attic access openings. (k) Rim joist junction. (l) Other sources of infiltration.	Mandatory	701.4.3.3 Exception: <input type="checkbox"/>
701.4.3.2	701.4.3.2 Air sealing and insulation. Grade II and III insulation installation is not permitted. Building envelope air tightness and insulation installation is verified to be in accordance with Section 701.4.3.2(1) and 701.4.3.2(2).	Mandatory	
(1)	Testing. Building envelope tightness is tested. Testing is conducted in accordance with ASTM E-779 using a blower door at a test pressure of 1.04 psf (50 Pa). Testing is conducted after rough-in and after installation of penetrations of the building envelope, including penetrations for utilities, plumbing, electrical, ventilation, and combustion appliances. Testing is conducted under the following conditions: (a) Exterior windows and doors, fireplace and stove doors are closed, but not sealed; (b) Dampers are closed, but not sealed, including exhaust, intake, makeup air, backdraft and flue	(If applying multifamily exception and ceiling joints)	ACH50: <input type="checkbox"/> ELR50 (optional): <input type="checkbox"/>



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	dampers;				
	(c) Interior doors are open;				
	(d) Exterior openings for continuous ventilation systems and heat recovery ventilators are closed and sealed;				
	(e) Heating and cooling systems are turned off;				
	(f) HVAC duct terminations are not sealed; and				
	(g) Supply and return registers are not sealed.				
	Multifamily Building Note: Testing by dwelling units, groups of dwelling units, or the building as a whole is acceptable.				
(2)	Visual inspection. The air barrier and insulation items listed in Table 701.4.3.2(2) are field verified by visual inspection. See Table 701.4.3.2(2)				<input type="checkbox"/>
701.4.3.2.1	701.4.3.2.1 Grade I insulation installations are in accordance with the following:	Mandatory			<input type="checkbox"/>
(1)	Grading applies to field-installed insulation products.				
(2)	Grading applies to ceilings, walls, floors, band joists, rim joists, conditioned attics basements and crawlspaces, except as specifically noted.				
(3)	Inspection is conducted before insulation is covered.				
(4)	Air-permeable insulation is enclosed on all six sides and is in substantial contact with the sheathing material on one or more sides (interior or exterior) of the cavity. Air permeable insulation in ceilings is not required to be enclosed when the insulation is installed in substantial contact with the surfaces it is intended to insulate.				
(5)	Cavity insulation uniformly fills each cavity side-to-side and top-to-bottom, without substantial gaps or voids around obstructions (such as blocking or bridging).				
(6)	Cavity insulation compression or incomplete fill amounts to 2 percent or less, presuming the compressed or incomplete areas are a minimum of 70 percent of the intended fill thickness; occasional small gaps are acceptable.				
(7)	Exterior rigid insulation has substantial contact with the structural framing members or sheathing materials and is tightly fitted at joints.				
(8)	Cavity insulation is split, installed, and/or fitted tightly around wiring and other services.				
(9)	Exterior sheathing is not visible from the interior through gaps in the cavity insulation.				
(10)	Faced batt insulation is permitted to have side-stapled tabs, provided the tabs are stapled neatly with no buckling, and provided the batt is compressed only at the edges of each cavity, to the depth of the tab itself.				
(11)	Where properly installed, ICFs, SIPs, and other wall systems that provide integral insulation are deemed in compliance with the Grade 1 insulation installation requirements.				
701.4.3.3	701.4.3.3 Multifamily air leakage alternative. Multifamily buildings four or more stories in height and in compliance with IECC section C402.5 (Air leakage-thermal envelope) are deemed to comply with Sections 701.4.3.1 and 701.4.3.2.				See 703.4.3.1
701.4.3.4	701.4.3.4 Fenestration air leakage. Windows, skylights and sliding glass doors have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m ²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m ²), when tested in accordance with NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled. This practice does not apply to site-built windows, skylights, and doors.	Mandatory			<input type="checkbox"/>
701.4.3.5	701.4.3.5 Recessed lighting. Recessed luminaires installed in the building thermal envelope are sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires are IC-rated and labeled as meeting ASTM E283 when tested at 1.57 psf (75 Pa) pressure differential with no more than 2.0 cfm (0.944 L/s) of air movement from the conditioned space to the ceiling cavity. All recessed luminaires are sealed with a gasket or caulk between the housing and the interior of the wall or ceiling covering.	Mandatory			<input type="checkbox"/>
701.4.4	701.4.4 High-efficacy lighting. Lighting efficacy in dwelling units is in accordance with one of the following:	Mandatory			
(1)	A minimum of 75 percent of the total hard-wired lighting fixtures or the bulbs in those fixtures qualify as high efficacy or equivalent				<input type="checkbox"/>
(2)	Lighting power density, measured in watts/square foot, is 1.1 or less.				<input type="checkbox"/>
701.4.5	701.4.5 Boiler supply piping. Boiler supply piping in unconditioned space is insulated.	N/A			<input type="checkbox"/>
702 PERFORMANCE PATH					
702.2	702.2 Energy performance levels.				
702.2.1	702.2.1 ICC IECC analysis. Energy efficiency features are implemented to achieve energy cost or source energy performance that meets the ICC IECC. A documented analysis using software in accordance with ICC IECC, Section R405, or ICC IECC Section C407.2 through C407.5, applied as defined in the ICC IECC, is required.	N/A			<input type="checkbox"/>
703 PRESCRIPTIVE PATH					
703.1	703.1 Mandatory practices.	30	30	0	<input type="checkbox"/>
703.1.1	703.1.1 UA Compliance. The building thermal envelope is in compliance with Section 703.1.1.1 or 703.1.1.2. Exception: Section 703.1.1 is not required for Tropical Climate Zone.	N/A			<input type="checkbox"/>
703.1.1.1	703.1.1.1 Maximum UA. For IECC residential, the total building UA is less than or equal to the total maximum UA as computed by 2015 IECC Section R402.1.5. For IECC commercial, the total UA is less than or equal to the sum of the UA for 2015 IECC Tables C402.1.4 and C402.4, including the U-factor times the area and C-factor or F-factor times the perimeter. The total UA proposed and baseline calculations are documented. REScheck or COMcheck is deemed to provide UA calculation documentation.				
703.1.1.2	703.1.1.2 Prescriptive R-values and Fenestration Requirements. The building thermal envelope is in accordance with the insulation and fenestration requirements of 2015 IECC Table R402.1.1 or				

seeking points under 705.6.2.1, enter testing values within 705.6.2.1 section.)



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Tables C402.1.3 and C402.4. The SHGC is in accordance with the 2015 IECC requirements.

703.1.2	703.1.2 Building Envelope Leakage. The building thermal envelope is in accordance with 2015 IECC R402.4.1.2 or C402.5 as applicable.	N/A			
	Section 703.1.2 is not required for Tropical Climate Zone or high rise multifamily				
703.1.3	703.1.3 Duct Testing. The duct system is in accordance with 2015 IECC R403.3.2 through R403.3.5 as applicable.	N/A			
703.3	HVAC equipment efficiency				
703.3.0	703.3.0 Multiple heating and cooling systems. For multiple heating or cooling systems in one home, practices 703.3.1 through 703.3.6 apply to the system that supplies 80% or more of the total installed heating or cooling capacity. Where multiple systems each serve less than 80% of the total installed heating or cooling capacity, points under Sections 703.3.1 through 703.3.6 are awarded either for the system eligible for the fewest points or the weighted average of the systems. The weighted average shall be calculated in accordance with the following equation and be based upon the efficiency and capacity of the equipment as selected in accordance with ACCA Manual S with it loads calculated in accordance with ACCA Manual J. Weighted Average = $(E_{unit 1} * C_{unit 1}) + (E_{unit 2} * C_{unit 2}) + \dots + (E_{unit n} * C_{unit n}) / (C_{unit 1} + C_{unit 2} + \dots + C_{unit n})$ where: E = Rated AHRI efficiency for unit C = Rated heating or cooling capacity for unit n = Unit count				multiple heating sys.? multiple cooling sys.?
703.3.3	703.3.3 Heat pump heating efficiency is in accordance with Table 703.3.3(1) or Table 703.3.3(2) or Table 703.3.3(3). Refrigerant charge is verified for compliance with manufacturer's instructions utilizing a method in Section 4.3 of ACCA 5 QI-2010.				
(1)	Electric Heat Pump Heating		11	0	Min. or Average HSPF:
	≥8.5 HSPF	0			
	≥9.0 HSPF	0			
	≥9.5 HSPF	0			
	≥10.0 HSPF	0			
703.3.4	703.3.4 Cooling efficiency is in accordance with Table 703.3.4(1) or Table 703.3.4(2). Refrigerant charge is verified for compliance with manufacturer's instructions utilizing a method in Section 4.3 of ACCA 5 QI-2010.				
(1)	Electric Air Conditioner and Heat Pump Cooling		3	0	Min. or Average SEER:
	≥15 SEER	0			
	≥17 SEER	0			
	≥19 SEER	0			
	≥21 SEER	0			
703.6	703.6 Lighting and appliances				
703.6.1	703.6.1 Hard-wired lighting. Hard-wired lighting is in accordance with one of the following:				
(1)	A minimum of 95 percent of the total hard-wired interior luminaires or lamps qualify as ENERGY STAR or equivalent.	0	2	0	
703.6.2	703.6.2 Appliances. ENERGY STAR or equivalent appliance(s) are installed:				
(1)	Refrigerator	1	1	0	
(2)	Dishwasher	1	1	0	
(3)	Washing machine	4	4	0	
	Multifamily Building Note: Washing machines in ALL units must comply.				
704 HERS INDEX TARGET PATH					
705 ADDITIONAL PRACTICES					
705.2	705.2 Lighting				
705.2.4	705.2.4 Recessed luminaires. The number of recessed luminaires that penetrates the thermal envelope is less than 1 per 400 square feet (37.16 m ²) of total conditioned floor area and they are in accordance with Section 701.4.3.5.	1	1	0	# of luminaires: per 0 square feet
705.6	705.6 Installation and performance verification.				
705.6.1	705.6.1 Third-party on-site inspection is conducted to verify compliance with all of the following, as applicable. Minimum of two inspections are performed: one inspection after insulation is installed and prior to covering, and another inspection upon completion of the building. Where multiple buildings or dwelling units of the same model are built by the same builder, a representative sample inspection of a minimum of 15 percent of the buildings or dwelling units is permitted.	3	3	0	By using this tool, this project automatically qualifies for this practice.
705.7	705.7 In multi-unit buildings, an advanced electric and fossil fuel submetering system is installed to monitor electricity and fossil fuel consumption for each unit. The device provides consumption information on a monthly or near real-time basis. The information is available to the occupants at a minimum on a monthly basis.	1	1	0	
706 INNOVATIVE PRACTICES					
801 INDOOR AND OUTDOOR WATER USE					
801.2	801.2 Water-conserving appliances. Energy Star or equivalent water-conserving appliances are installed.				
(1)	dishwasher	2	2	0	
(2)	washing machine, or	13	13	0	
(3)	washing machine with a water factor of 4.0 or less	24			
	NOTE: If multiple dishwashers and washing machines are installed, ALL instances must meet the above conditions to be awarded points.				
	Multifamily Building Note: Washing machines are installed in individual units or provided in common areas of multifamily buildings.				



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Standard ID	Description	Points	Weight	Score	Notes
801.3	801.3 Showerheads. Showerheads are in accordance with the following: (1) The total maximum combined flow rate of all showerheads controlled by a single valve at any point in time in a shower compartment is 1.6 to less than 2.5 gpm. Maximum of two valves are installed per shower compartment. The flow rate is tested at 80 psi (552 kPa) in accordance with ASME A112.18.1. Showerheads are served by an automatic compensating valve that complies with ASSE 1016 or ASME A112.18.1 and specifically designed to provide thermal shock and scald protection at the flow rate of the showerhead. (Points awarded per shower compartment. In multifamily buildings, the average of the points assigned to individual dwelling units may be used as the number of points awarded for this practice, rounded to the nearest whole number.)	4 for first compartment 1 for each additional compartment in dwelling 7 Max	4	0	# of compartments: [Progress Bar]
	(2) All shower compartments in the dwelling unit(s) and common areas meet the requirements of 801.3(1) and all showerheads are in accordance with one of the following: (a) 2.0 to less than 2.5 gpm (b) 1.6 to less than 2.0 gpm (c) Less than 1.6 gpm	6 Additional 10 Additional 14 Additional	10	0	[Progress Bar]
801.4	801.4 Lavatory faucets				
801.4.1	801.4.1 Water-efficient lavatory faucets with a maximum flow rate of 1.5 gpm (5.68 L/m), tested at 60 psi (414 kPa) in accordance with ASME A112.18.1, are installed: (1) a bathroom (all faucets in a bathroom are in compliance) (Points awarded for each bathroom. In multifamily buildings, the average of the points assigned to individual dwelling units may be used as the number of points awarded for this practice, rounded to the nearest whole number.)	1 3 Max	1	0	[Progress Bar]
	(2) all lavatory faucets in the dwelling unit(s)	6 Additional	6	0	[Progress Bar]
801.5	801.5 Water closets and urinals. Water closets and urinals are in accordance with the following: (1) Gold and emerald levels: All water closets and urinals are in accordance with Section 801.5. Gold/Emerald not available				
	(2) A water closet is installed with an effective flush volume of 1.28 gallons (4.85 L) or less and meets the flush performance criteria when tested in accordance with ASME A112.19.2/CSA B45.1 or ASME A112.19.14 as applicable. (Points awarded per fixture. In multifamily buildings, the average of the points assigned to individual dwelling units may be used as the number of points awarded for this practice, rounded to the nearest whole number.)	2 6 Max	2	0	[Progress Bar]
	(3) All water closets are in accordance with Section 801.5(2).	11 Additional	9	0	[Progress Bar]
801.6	801.6 Irrigation systems				
801.6.3	801.6.3 Where an irrigation system is installed, an irrigation plan and implementation are executed by a qualified professional certified by a WaterSense labeled program or equivalent program as approved by Adopting Entity. Mandatory				[Progress Bar]
802 INNOVATIVE PRACTICES					
901 POLLUTANT SOURCE CONTROL					
901.1	901.1 Space and water heating options				
901.1.2	901.1.2 Air handling equipment or return ducts are not located in the garage, unless placed in isolated, air-sealed mechanical rooms with an outside air source. Not available if there is no garage	5	5	0	[Progress Bar]
	901.1.3 The following combustion space heating or water heating equipment is installed within conditioned space: (2) all water heaters (a) power vent water heater(s) (b) direct vent water heater(s)	3 5	3	0	[Progress Bar]
901.1.4	901.1.4 Gas-fired fireplaces and direct heating equipment is listed and is installed in accordance with the NFPA 54, ICC IFGC, or the applicable local gas appliance installation code. Gas-fired fireplaces within dwelling units and direct heating equipment are vented to the outdoors. Mandatory				[Progress Bar]
901.1.6	901.1.6 The following electric equipment is installed: (1) heat pump air handler in unconditioned space (2) heat pump air handler in conditioned space	2 5	5	0	[Progress Bar]
901.2	901.2 Solid fuel-burning appliances				
901.2.1	901.2.1 Solid fuel-burning fireplaces, inserts, stoves and heaters are code compliant and are in accordance with the following requirements: (1) Site-built masonry wood-burning fireplaces use outside combustion air and include a means of sealing the flue and the combustion air outlets to minimize interior air (heat) loss when not in operation. Mandatory	4	0	0	[Progress Bar]
	(2) Factory-built, wood-burning fireplaces are in accordance with the certification requirements of UL 127 and are EPA certified or Phase 2 Qualified. Mandatory	6	0	0	[Progress Bar]
	(3) Wood stove and fireplace inserts, as defined in UL 1482 Section 3.8, are in accordance with the certification requirements of UL 1482 and are in accordance with the emission requirements of the EPA Certification and the State of Washington WAC 173-433-100(3). Mandatory	6	0	0	[Progress Bar]
	(4) Pellet (biomass) stoves and furnaces are in accordance with ASTM E1509 or are EPA certified. Mandatory	6	0	0	[Progress Bar]
	(5) Masonry heaters are in accordance with the definitions in ASTM E1602 and ICC IBC Section 2112.1. Mandatory	6	0	0	[Progress Bar]
	901.2.2 Fireplaces, woodstoves, pellet stoves, or masonry heaters are not installed. 6	6	6	0	[Progress Bar]
901.3	901.3 Garages. Garages are in accordance with the following: (1) Attached garage (a) Doors installed in the common wall between the attached garage and conditioned space are tightly sealed and gasketed. Mandatory	2	2	0	[Progress Bar]



3. Standards

B. Sustainability Standards

	(b) A continuous air barrier is provided separating the garage space from the conditioned living spaces.	Mandatory	2	2	0	
901.4	901.4 Wood materials. A minimum of 85 percent of material within a product group (i.e., wood structural panels, countertops, composite trim/doors, custom woodwork, and/or component closet shelving) is manufactured in accordance with the following:	10 Max	0	0		
	(1) Structural plywood used for floor, wall, and/or roof sheathing is compliant with DOC PS 1 and/or DOC PS 2. OSB used for floor, wall, and/or roof sheathing is compliant with DOC PS 2. The panels are made with moisture-resistant adhesives. The trademark indicates these adhesives as follows: Exposure 1 or Exterior for plywood, and Exposure 1 for OSB.	Mandatory				
	NOTE: If "N/A" is selected, please explain in the Notes area.					
901.6	901.6 Carpets. Wall-to-wall carpeting is not installed adjacent to water closets and bathing fixtures.	Mandatory				
901.9	901.9 Interior architectural coatings. A minimum of 85 percent of the interior architectural coatings are in accordance with either Section 901.9.1 or Section 901.9.3, not both. A minimum of 85 percent of architectural colorants are in accordance with Section 901.9.2.					
901.9.1	901.9.1 Site-applied interior architectural coatings, which are inside the water proofing envelope, are in accordance with one or more of the following:	5	5	0		
	(1) Zero VOC as determined by EPA Method 24 (VOC content is below the detection limit for the method)					
	(2) GreenSeal GS-11					
	(3) CARB Suggested Control Measure for Architectural Coatings (see Table 901.9.1). See Table 901.9.1					
901.12	901.12 Carbon monoxide (CO) alarms. A carbon monoxide (CO) alarm is provided in accordance with the IRC Section R315.	Mandatory				
901.13	901.13 Building entrance pollutants control. Pollutants are controlled at all main building entrances by one of the following methods:			1	0	
	(1) Exterior grilles or mats are installed in a fixed manner and may be removable for cleaning.	1				
	(2) Interior grilles or mats are installed in a fixed manner and may be removable for cleaning.	1				
901.14	901.14 Non-smoking areas. Environmental tobacco smoke is minimized by one or more of the following:					
	(1) All interior common areas of a multifamily building are designated as non-smoking areas with posted signage.	1	1	0		
902 POLLUTANT CONTROL						
902.1	902.1 Spot ventilation.					
902.1.1	902.1.1 Spot ventilation is in accordance with the following:					
	(1) Bathrooms are vented to the outdoors. The minimum ventilation rate is 50 cfm (23.6 L/s) for intermittent operation or 20 cfm (9.4 L/s) for continuous operation in bathrooms.	Mandatory				
	(2) Clothes dryers (except listed and labeled condensing ductless dryers) are vented to the outdoors.	Mandatory				
902.1.4	902.1.4 Exhaust fans are ENERGY STAR, as applicable.	12 Max	2	0		
	(1) ENERGY STAR, or equivalent, fans operating above 1 sone (Points awarded per fan.)	2				# of fans:
	(2) ENERGY STAR, or equivalent, fans operating at or below 1 sone (Points awarded per fan.)	3				
902.2	902.2 Building ventilation systems.					
902.2.1	902.2.1 One of the following whole building ventilation systems is implemented and is in accordance with the specifications of Appendix B and an explanation of the operation and importance of the ventilation system is included in either 1001.1(9) or 1002.2(11).	N/A	3	0		
	(1) exhaust or supply fan(s) ready for continuous operation and with appropriately labeled controls	3				
	(2) balanced exhaust and supply fans with supply intakes located in accordance with the manufacturer's guidelines so as to not introduce polluted air back into the building	6				
	(3) heat-recovery ventilator	7				
	(4) energy-recovery ventilator	8				
902.3	902.3 Radon control. Radon control measures are in accordance with ICC IRC Appendix F. Zones as defined in Figure 9(1).					
	(1) Buildings located in Zone 1	N/A	0	0		
	(a) a passive radon system is installed	7				
	(b) an active radon system is installed	10				
902.6	902.6 Living space contaminants. The living space is sealed in accordance with Section 701.4.3.1 to prevent unwanted contaminants.	Mandatory				
903 MOISTURE MANAGEMENT: VAPOR, RAINWATER, PLUMBING, HVAC						
903.2	903.2 Duct insulation. Ducts are in accordance with one of the following.		3	0		
	(1) All HVAC ducts, plenums, and trunks are located in conditioned space.	1				
	(2) All HVAC ducts, plenums, and trunks are in conditioned space. All HVAC ducts are insulated to a minimum of R4.	3				
904 INDOOR AIR QUALITY						
905 INNOVATIVE PRACTICES						
1001 HOMEOWNER'S MANUAL AND TRAINING GUIDELINES FOR ONE- AND TWO-FAMILY DWELLINGS						
1002 CONSTRUCTION, OPERATION, AND MAINTENANCE MANUALS AND TRAINING FOR MULTI-UNIT BUILDINGS						
1002.1	1002.1 Building construction manual. A building construction manual, including five or more of the following, is compiled and distributed in accordance with Section 1002.0.	1	1	0		
	(Points awarded per two items. Points awarded for non-mandatory items.)					
	(1) A narrative detailing the importance of constructing a green building, including a list of green					



3. Standards

B. Sustainability Standards

National Association of Home Builders

A Policymaker's Guide:

The National Green Building Standard & LEED Comparison

National Green Building Standard

Leadership in Energy & Environmental Design

NGBS

LEED

There are many credible regional and national rating systems to which policymakers can refer when developing a public green building initiative. Indeed, one way to ensure the success of a green program is to allow participants a choice among rating systems. As long as each system meets the desired sustainability goals, added flexibility will encourage broader participation without compromising the program's purpose.

The ICC 700 National Green Building Standard (NGBS) and the LEED residential rating systems (LEED-H & LEED-ND) are the two best-known green building protocols in the United States. Both provide guidance on building greener homes and communities, and both have been referenced in public green initiatives.

In many ways the two programs are quite similar. There are also several key differences that anyone considering the programs should understand.

Goal to Improve Energy & Water Efficiency, Durability, Indoor Environmental Quality, Land Development and Owner Education	✓	✓
Exceeds Code Requirements	✓	✓
Tiered System	✓	✓
ANSI Approved Standard	✓	
Single Standard Applies to All Types of Residential Buildings and Land Development Projects	✓	
Facilitates and Optimizes Sustainability in All Types of Development	✓	
Minimizes Certification Costs While Maximizing Sustainable Results	✓	
Increased Performance in All Areas Required to Achieve a Higher Rating	✓	



For More Information: www.nahbgreen.org



3. Standards

B. Sustainability Standards



- 1) **Both the National Green Building Standard (NGBS) and Leadership in Energy & Environmental Design (LEED) seek to address the same green building principals even if the terms they use differ.** Both focus on minimizing a home's impact on the land, better energy and water efficiency, durability, better indoor environmental quality and educating homeowners about proper operation and maintenance of their home's components.
- 2) **Both are "above-code" systems.** Each program rewards green building innovation and helps meet policy goals related to housing performance. Of course, homes complying with either system usually cost more to build and buy than older homes or new, non-green homes, and today's cost-conscious buyer often won't pay a premium for expected future utility and maintenance savings. Accordingly, any public green building initiatives should be voluntary in nature and provide rebates or other incentives to offset any additional costs to meet program goals.
- 3) **Both are tiered systems,** each requiring a mix of mandatory and discretionary practices related to the underlying principles of green building to achieve specific thresholds. The discretionary component of both programs helps to make them applicable across varied geographies, climates and economies.
- 4) **NGBS is ANSI approved. LEED is not.** The American National Standards Institute (ANSI) has determined that the NGBS has undergone thorough public review and meets the requirements of a true consensus standard. It complies with the National Technology Transfer and Advancement Act of 1995 (OMB Circular A-119) requiring federal agencies to recognize and incorporate existing consensus standards in policy initiatives. LEED may not.
- 5) **NGBS was designed to rate all types of residential buildings and land development. LEED-H and LEED-ND were not.** NGBS can be used to rate new single and multifamily homes as well as the renovation and remodeling of existing residential buildings. It also incorporates a standalone rating system specifically for residential land development. The LEED-H system is primarily applied to new construction and it has no standalone rating system for land developers. LEED-ND is not focused on residential development and is most readily applied to urban areas with access to comprehensive transit systems.
- 6) **NGBS is suitable for all types of residential development projects. LEED is not.** NGBS promotes environmentally sensitive site planning approaches, such as respecting natural topography and contours and using innovative wastewater treatment systems. LEED-ND is essentially an urban design guide with a narrow focus on high-density infill settings, so it is not applicable in many areas of the country. It does not award points for many recognized sustainable development practices. In fact, many of its prerequisites preclude their use.
- 7) **Certification to the NGBS was developed with affordability in mind.** For example, the fees for NGBS certification of a green community are \$2,500 for 1-10 lots, \$5,000 for 11-24 lots, and \$6,250 for more than 25 lots plus the fees established by the independent local verifier. By contrast, the base registration fee for a LEED-ND community application is \$1,500 plus a certification fee if the community achieves a certification level. These fees vary based on the acreage of the project, starting at \$18,000 for a 3.5 acre site (minimum size). For sites 300+ acres, the fee is \$123,000.
- 8) **NGBS requires increased effort in all areas to achieve higher levels. LEED does not.** Both programs have mandatory practices. And both programs require accruing more points to meet higher thresholds. However, only NGBS requires that more points be earned in all categories (energy and water efficiency, lot development, etc.) to advance to a higher level. This means that a home that achieves a Silver NGBS score is greener in every way than a home that achieves Bronze. Meanwhile, a home scoring at the higher levels in the LEED program needn't necessarily improve performance in all categories. In fact, it's possible to achieve a Platinum rating in the LEED-H program with no further emphasis on energy efficiency than is required to meet the lowest level (Certified).



4. Owner Information

A. Contact Information

Owner:

203 S. Marion Street Corporation
Charlie M. Williams
Lynne M. Williams
203 S Marion Street, Oak Park, IL

e. lynnemwilliams@comcast.net
p. (708) 309-3327

Applicant:

Focus Acquisitions Company, LLC
100 S Wacker Drive, Suite 2100, Chicago, IL

e. contact@workwithfocus.com
p. (847) 441-0474

Project Contact:

Courtney Brower

e. courtneyb@workwithfocus.com
p. (224) 255-6175



4. Owner Information

B. Title Policy and Affidavit of Ownership

ALTA COMMITMENT FOR TITLE INSURANCE

Issued By:



CHICAGO TITLE
INSURANCE COMPANY

Commitment Number:

CCHI1907069LD

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Chicago Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Chicago Title Insurance Company

By:

President

Countersigned By:

Authorized Officer or Agent

Attest:

Secretary

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

Transaction Identification Data for reference only:

ORIGINATING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Chicago Title Insurance Company 10 South LaSalle Street, Suite 3100 Chicago, IL 60603 Main Phone: (312)223-4627 Email: chicagocommercial@ctt.com	Chicago Title and Trust Company 10 South LaSalle Street, Suite 3100 Chicago, IL 60603 Main Phone: (312)223-4627 Main Fax: (312)223-3018

Order Number: CCHI1907069LD

Property Ref.: 203 S. Marion Street, Oak Park, IL

SCHEDULE A

1. Commitment Date: December 9, 2019
2. Policy to be issued:
 - (a) ALTA Owner's Policy 2006
Proposed Insured: Focus Acquisition Company LLC
Proposed Policy Amount: [REDACTED]
 - (b) ALTA Loan Policy 2006
Proposed Insured: Lender with a contractual obligation under a loan agreement with the Proposed Insured for an Owner's Policy
Proposed Policy Amount: \$10,000.00
3. The estate or interest in the Land described or referred to in this Commitment is:
Fee Simple
4. The Title is, at the Commitment Date, vested in:
203 South Marion Corporation
5. The Land is described as follows:
SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

END OF SCHEDULE A

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4. Owner Information

B. Title Policy and Affidavit of Ownership

EXHIBIT "A" Legal Description

LOTS 1, 4, 5 AND 8 IN BLOCK 4 IN SCOVILLE AND NILES ADDITION TO OAK PARK, BEING A SUBDIVISION OF THE WEST 40 ACRES OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

Name and Address of Title Insurance Company: Chicago Title Insurance Company
10 South LaSalle Street, Suite 3100
Chicago, IL 60603

SCHEDULE B, PART I REQUIREMENTS

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
6. Be advised that the "good funds" of the title insurance act (215 ILCS 155/26) became effective 1-1-2010. This act places limitations upon the settlement agent's ability to accept certain types of deposits into escrow. Please contact your local Chicago Title office regarding the application of this new law to your transaction.
7. Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
8. **The Proposed Policy Amount(s) must be increased to the full value of the estate or interest being insured, and any additional premium must be paid at that time. An Owner's Policy should reflect the purchase price or full value of the Land. A Loan Policy should reflect the loan amount or value of the property as collateral. Proposed Policy Amount(s) will be revised and premiums charged consistent therewith when the final amounts are approved.**

END OF SCHEDULE B, PART I

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

Name and Address of Title Insurance Company: Chicago Title Insurance Company
10 South LaSalle Street, Suite 3100
Chicago, IL 60603

SCHEDULE B, PART II EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

General Exceptions

1. **Rights or claims of parties in possession not shown by Public Records.**
2. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.**
3. **Easements, or claims of easements, not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **Taxes or special assessments which are not shown as existing liens by the Public Records.**
6. **We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically**
7. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
8. The Company may pay current year Cook County taxes when furnished an original tax bill at or before the time the Company is requested to make payments. If an original tax bill is not furnished, the Company will pay current taxes via ACH payment, which results in an additional \$7.00 duplicate tax bill fee payable to Cook County and collected from the taxpayer at closing.
9. Effective June 1, 2009, if any document of conveyance for Cook County Residential Real Property is to be notarized by an Illinois notary public, Public Act 95-988 requires the completion of a Notarial Record for each grantor whose signature is notarized. The Notarial Record will include the thumbprint or fingerprint of the grantor. The grantor must present identification documents that are valid; are issued by a state or federal government agency, or consulate; bear the photographic image of the individual's face; and bear the individual's signature. The Company will charge a fee of \$25.00 per Notarial Record.

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

SCHEDULE B, PART II EXCEPTIONS (continued)

10. Note: The land lies within a county which is subject to the Predatory Lending Database Act (765 ILCS 77770 et seq. as amended). A Certificate of Compliance with the act or a Certificate of Exemption therefrom must be obtained at time of closing in order for the Company to record any insured mortgage. If the closing is not conducted by the company, a certificate of compliance or a certificate of exemption must be attached to any mortgage to be recorded.

Note: for Cook, Kane, Will and Peoria counties, the act applies to mortgages recorded on or after July 1, 2010.

11. Note for additional information: the County Recorder requires that any documents presented for recording contain the following information:
- A. The name and address of the party who prepared the document;
 - B. The name and address of the party to whom the document should be mailed after recording;
 - C. All permanent real estate tax index numbers of any property legally described in the document;
 - D. The address of any property legally described in the document;
 - E. All deeds should contain the address of the grantee and should also note the name and address of the party to whom the tax bills should be sent.
 - F. Any deeds conveying unsubdivided land, or, portions of subdivided and, may need to be accompanied by a properly executed "plat act affidavit."

In addition, please note that the certain municipalities located in the County have enacted transfer tax ordinances. To record a conveyance of land located in these municipalities, the requirements of the transfer tax ordinances must be met. A conveyance of property in these cities may need to have the appropriate transfer tax stamps affixed before it can be recorded.

This exception will not appear on the policy when issued.

- H 12. 1. Taxes for the year(s) 2019
2019 taxes are not yet due or payable.
- 1A. Note: 2018 first installment was due March 1, 2019
Note: 2018 final installment was due August 1, 2019

Perm tax#	Pcl	Year	1st Inst	Stat	2nd Inst	Stat	
16-07-308-008-0000		1 of 4	2018	\$8,406.12	Paid	\$7,220.24	Paid
16-07-308-009-0000		2 of 4	2018	\$8,406.12	Paid	\$7,220.24	Paid
16-07-308-010-0000		3 of 4	2018	\$1,531.97	Paid	\$1,315.91	Paid
16-07-308-011-0000		4 of 4	2018	\$1,531.97	Paid	\$1,315.91	Paid

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

SCHEDULE B, PART II EXCEPTIONS (continued)

- A 13. Mortgage recorded February 19, 2002 as Document No. 0020194662 made by 203 South Marion Corporation to Community Bank of Oak Park River Forest to secure an indebtedness in the amount of \$1,500,000.00.
Modification of Mortgage recorded October 1, 2003 as document 0327418073.
- C 14. Assignment of Rents and Leases, assigned to Community Bank of Oak Park River Forest, assigned by 203 South Marion Corporation, recorded on February 19, 2002 as Document No. 020194663.
- B 15. Mortgage recorded November 12, 2015 as Document No. 1531634000 made by 203 South Marion Corporation to Community Bank of Oak Park River Forest to secure an indebtedness in the amount of \$100,000.00.
- D 16. Municipal Real Estate Transfer Tax Stamps (or proof of exemption) must accompany any conveyance and certain other transfers or property located in Oak Park. Please contact said municipality prior to closing for its specific requirements, which may include the payment of fees, an inspection or other approvals.
- E 17. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance by the corporation named below:
Name of Corporation: 203 South Marion Corporation
(a) A Copy of the corporation By-laws and Articles of Incorporation
(b) An original or certified copy of a resolution authorizing the transaction contemplated herein
(c) If the Articles and/or By-laws require approval by a 'parent' organization, a copy of the Articles and By-laws of the parent
(d) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created
The Company reserves the right to add additional items or make further requirements after review of the requested documentation.
- I 18. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below.
Limited Liability Company: Focus Acquisition Company LLC
a. A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member.
b. If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendment

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

SCHEDULE B, PART II EXCEPTIONS (continued)

thereto with the appropriate filing stamps.

c. If the Limited Liability Company is member-managed a full and complete current list of members certified by the appropriate manager or member.

d. A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created

e. If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- F 19. Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees.
- G 20. The Company should be furnished a statement that there is no property manager employed to manage the Land, or, in the alternative, a final lien waiver from any such property manager.

END OF SCHEDULE B, PART II

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I-Requirements;
- (f) Schedule B, Part II-Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

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4. Owner Information

B. Title Policy and Affidavit of Ownership

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. CCHI1907069LD

(continued)

- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

END OF CONDITIONS

1031 EXCHANGE SERVICES

If your transaction involves a tax deferred exchange, we offer this service through our 1031 division, IPX1031. As the nation's largest 1031 company, IPX1031 offers guidance and expertise. Security for Exchange funds includes segregated bank accounts and a 100 million dollar Fidelity Bond. Fidelity National Title Group also provides a 50 million dollar Performance Guaranty for each Exchange. For additional information, or to set-up an Exchange, please call Scott Nathanson at (312)223-2178 or Anna Barsky at (312)223-2169.

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4. Owner Information

B. Title Policy and Affidavit of Ownership



Affidavit of Ownership

COUNTY OF COOK)
) SS

STATE OF ILLINOIS)

I, CHARLES M. WILLIAMS, under oath, state that I am
(Print Name)

the sole owner of the property

an owner of the property

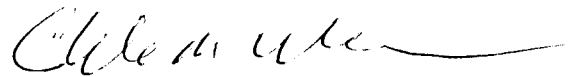
an authorized officer for the owner of the property

Commonly described as:

203 S. MARION STREET

and that such property is owned by CHARLES M. & LYNNE M. WILLIAMS
203 S. MARION STREET CORPORATION as of this
date.

(Print Name / Company)



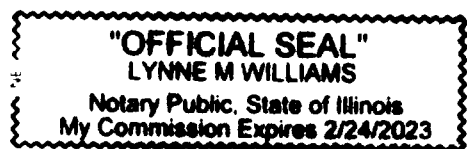
(Signature)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

20 DAY OF OCTOBER, 2020



(Notary Public)



4. Owner Information

C. Owner Statement



Drechsler, Brown & Williams

FUNERAL HOME

Since 1880

January 20, 2021

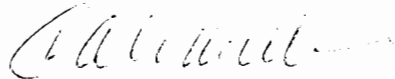
Oak Park Village Hall
Department of Zoning
123 Madison Street
Oak Park, IL 60302

Re: Owner Statement

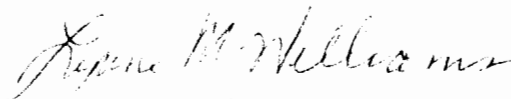
To whom it may concern:

As the current owners of 203 S. Marion St. (PIN'S 16-07-308-008-0000, 16-07-309-008-0000, 16-07-310-008-0000, 16-07-308-011-0000), 203 S. Marion St. Corporation d/b/a Drechsler, Brown & Williams Funeral Home, we approve of the filing of the Planned Development application by Focus Acquisition Company, LLC.

Sincerely,



Charles M. Williams
President/Owner



Lynne M. Williams
Secretary/Owner

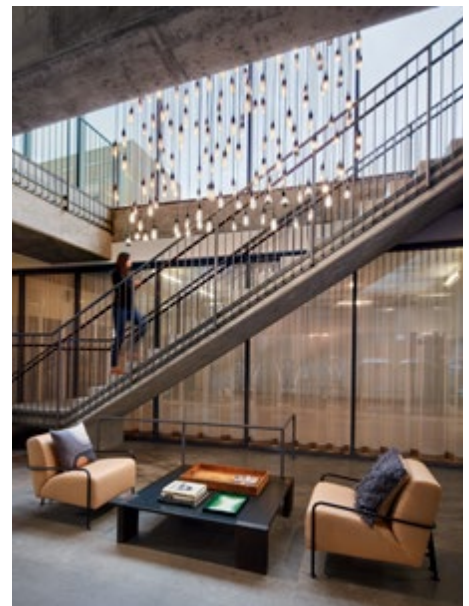
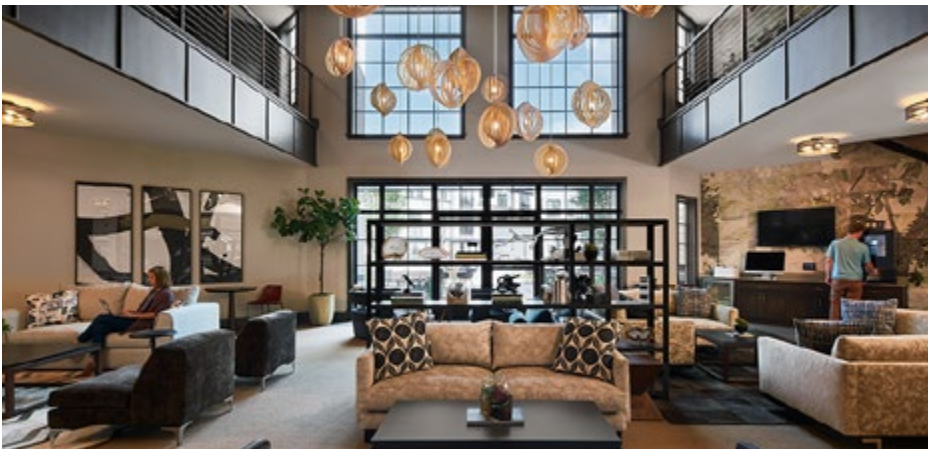
4. Owner Information

D. Professional Qualifications

Focus

Focus is a Chicago-based developer and general contractor, that since 1993, has utilized an integrated delivery model to produce a diverse portfolio of distinctive real estate. Our vertically integrated approach uniquely aligns development and construction to create places and spaces for people to experience a better life.

Guided by a passion for design and attention to detail, Focus is responsible for distinctive developments in the Chicago market that value over \$1.8 billion. These projects range from smaller, multifamily communities in historic districts to high-density, mixed-use redevelopments in thriving downtowns. Our extensive portfolio of completed work includes projects in communities such as: Chicago, Evanston, Forest Park, Highland Park, Lake Forest, Oak Park, Wheaton and Winnetka. With its multi-disciplinary team of professionals, the company has earned an exceptional reputation for credibility and competency.



4. Owner Information

D. Professional Qualifications

Booth Hansen

Founded in 1980, Booth Hansen is a nationally-recognized architecture, planning, and interiors firm. As a medium sized firm, we provide project and design leadership with experienced principal architects who are engaged and attentive to the needs of every project no matter the size. Through commercial, cultural and educational projects, as well as multi-family and single-family residences, our contribution to the built environment aims to capture the unique quality of each project. We address the functional needs of our clients while seeking a direct connection with the human spirit through architecture's timeless, poetic language.

We believe in the power of collaboration among designers, clients, and consultants to produce successful results and enduring quality. Clarity in communication leads to an equally defined design process, in which many voices come together in a single vision. With every project, Booth Hansen looks to create beautiful places that people treasure.



4. Owner Information

D. Professional Qualifications

Project Team: Focus



Tim Anderson
CEO, Founder
Industry Start: 1976
Focus Start: 1993
Industry Expertise

Strong design perspective that guides the architecture of all Focus development projects

Strategic leadership and visionary mindset

Passion and pride that promotes a strong sense of ownership among the Focus team

Substantial construction knowledge based on hands-on, in-the-field experience



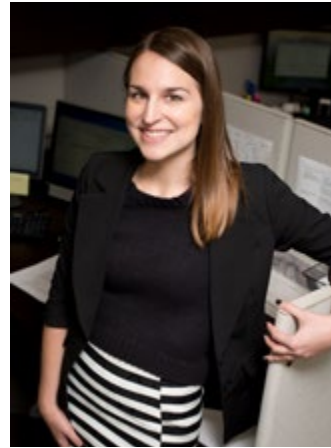
Justin Pelej
Senior VP Development
Industry Start: 2000
Focus Start: 2005
Industry Expertise

Commercial architecture

Qualification of real estate opportunities based on architectural and business merits

Lead joint venture relationships and complex real estate transactions

Manage tough approval processes in markets with high barriers to entry



Courtney Brower
Senior Development Manager
Industry Start: 2011
Focus Start: 2014
Industry Expertise

Architecture

Institutional, mixed-use, residential high-rise (with large unit counts), student housing, and preservation project types

Sustainability: LEED Accredited

Complicated projects of varying product types; large commercial spaces



4. Owner Information

D. Professional Qualifications

Project Team: Booth Hansen



Larry Booth

Director
Industry Start: 1960
Booth Hansen Start: 1980
Industry Expertise
Founder of Booth Hansen
Design principal, leads conceptual development of every project at the firm
Accredited architect in CA, IL, IN, IO, MA, MI, NV, OH, TX and WI
Fellow, American Institute of Architect
Visiting Committee MIT Department of Architecture
Clinical Professor of Civil and Environmental Engineering, Richard C. Halpern / Rise International
Distinguished Architect in Resident, Northwestern University



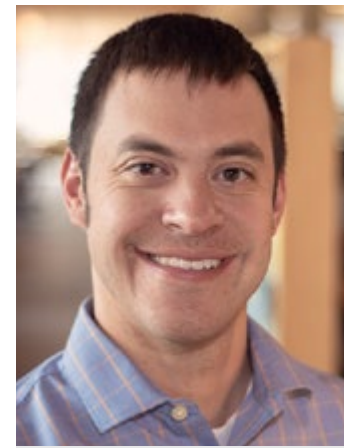
David Mann

Principal / Director
Booth Hansen Start: 1995
Industry Expertise
Public assembly, cultural, higher education and mixed-use real estate
Leadership experience with large teams solving complex programmatic challenges
Sustainability: LEED Accredited
IL licensed architect
Studio host and guest critic, Virginia Tech Chicago Studio



James Young

Principal
Industry Start: 1995
Booth Hansen Start: 2017
Industry Expertise
IL licensed architect
Dedication to design with technical construction knowledge
High-rise design focused on residential, hotel and commercial structures
Experience solving complex problems with elegant solutions
Member - AIA, ULI and City Open Workshop



Mark Pomarico

Associate Principal
Industry Start: 2008
Booth Hansen Start: 2018
Industry Expertise
IL + MA licensed architect
Process driven, inquisitive and collaborative designer
Experience teaching graduate and undergraduate architecture classes at Boston Architectural College
Focus on single family, multi-family and educational real estate
Member - AIA



4. Owner Information

D. Professional Qualifications

Relevant Experience

Kelmscott Park

Lake Forest, IL

Kelmscott Park is an elegant assortment of new luxury residences including apartments, condominiums and single family homes in Lake Forest's historic downtown. Kelmscott Park is located a short walk from the Metra line and the suburb's iconic Market Square.

The KP Apartments introduced the first luxury rental product in the Lake Forest market. With condo-quality unit finishes and architectural style indistinguishable from the neighboring condominiums, the apartments provide an exclusive outlet for significant pent-up demand. Amenities include a 3,744-square foot clubhouse with on-site management.

Kelmscott Park Condominium residents enjoy superb interior architecture, ultra-high-end finishes and appliance packages, and the option of participating in the amenity program across the lawn. Condominiums are two- and three-bedroom units ranging in size from 1,600 to 2,600 square feet.

The Single Family Homes at Kelmscott Park offer 4 different home models all featuring first floor master bedrooms and large entertaining spaces. Ranging from 3,000 to 4,500 SF homes offer between 3 and 5 bedrooms and some ability to customize with the home builder, Orren Pickell.

Control the Risk of Innovation

Lake Forest city regulations require any structure higher than two stories to be non-combustible, a regulation which required Focus to take a unique approach. All foundation walls are precast rather than poured-in-place concrete, an alternate which reduced costs and sped construction. Pre-fabricated, light-gauge steel framing was built offsite and then installed, another means by which we could reduce costs and speed completion. Together, these approaches freed time and resources for higher-quality design and construction—evident in the brick detailing on the Kelmscott Park facade.

Completion

2018

Role

Developer
General Contractor

Building Type

3-story, 111 apartments
3-story, 24 condominiums

Architect

Booth Hansen

Square Footage

240,644 SF apartment building
82,573 SF condominium building

Learn More

kelmscottapartments.com
kelmscottpark.com



4. Owner Information



4. Owner Information

D. Professional Qualifications

Relevant Experience

The Parker Fulton Market

Chicago, IL

The Parker Fulton Market is a 29-story post-tension concrete tower with 227 luxury rental apartments, 162 enclosed parking spaces, and 9,715 GSF of Class “A” ground floor retail. Designed by Booth Hansen Architects, the bullet shape of the tower, completely wrapped in glass, offers magnificent floor-to-ceiling views of both downtown Chicago and the Fulton Market district. Several sustainable elements have been included, which contribute to the development’s overall LEED Silver rating.

The residential component of the development includes studio, one-, two- and three-bedroom apartments. The bulk of the building’s residential amenities are found on the sixth floor, where a large indoor/outdoor group dining space, lounge with internet café, and outdoor pool deck are located.

In addition to the sixth-floor amenities, there is a multipurpose room located on the fifth floor as well as a fitness and yoga studio. The 29th floor of the building offers a lounge with dramatic views of the downtown skyline.

Build Value

In the Parker Fulton Market project, every step benefited from Focus’ collaborative approach, beginning with the negotiation for the price of the land. Quality architecture shaped the vision for a unique building, which we then realized using our integrated delivery method. This method enables us to value-engineer savings realized across the life of the project, resources which could be reinvested into the building’s finishes. As a result, the building’s sale realized the highest per-square-foot price in the Chicago area in 2017..

Structure/Building Method

Post Tension Concrete

Completion

2016

Role

Co-Developer
General Contractor

Building Type

29-story, 227 Apartments

Architect

Booth Hansen

Square Footage

316,078 SF
9,715 SF Retail

Learn More

theparkerchicago.com



4. Owner Information



4. Owner Information

D. Professional Qualifications

Relevant Experience

The Mews

Oak Park, IL

The Mews is a 32-unit condominium development in “The Avenue” district of Oak Park. The first phase of a three-phase project for the area, The Mews includes architectural details in keeping with the area’s ambiance: gabled roofs, bay windows, terraces, and balconies are all incorporated within the structure.

The heated indoor parking is covered by a landscaped green roof, which includes private terraces and a community patio space under a vine-covered pergola. The elevator lobby on each floor has floor-to-ceiling windows, which open to views of the green-roof courtyard and allow natural light into each floor’s corridor.

Completion

2002

Role

Co-Developer

General Contractor

Building Type

5-story, 32 Condominiums

Architect

Antunovich Associates



4. Owner Information



4. Owner Information

D. Professional Qualifications

Relevant Experience

Euclid Commons

Oak Park, IL

Originally developed as an apartment building, Focus converted Euclid Commons to luxury condominiums in 2006. Located at the corner of Lake Street and Euclid Avenue in an historic Oak Park district known as “The Avenue,” Euclid Commons consists of three stories of condominiums and over 8,000 GSF of ground floor retail. Designed to reestablish retail storefronts on Lake Street and built as the third phase of a larger project in Oak Park featuring the Mews, Terraces and Avenue Garage, the development is consistent with the historic buildings in this area of downtown. A brick-paved pedestrian walkway to the west of the building connects the Lake Street shops to the Village of Oak Park Avenue Parking Garage, which was also built by Focus.

Each home offers stainless steel appliances, granite countertops, maple cabinets, and in-unit washer and dryer. Homeowners can shop at one of the retail stores located on the first floor or in the neighborhood along Oak Park Avenue and Lake Street. The complex is a short one-and-a-half block walk from the CTA and Metra train stations.

Completion

2004

Role

Co-Developer
General Contractor

Building Type

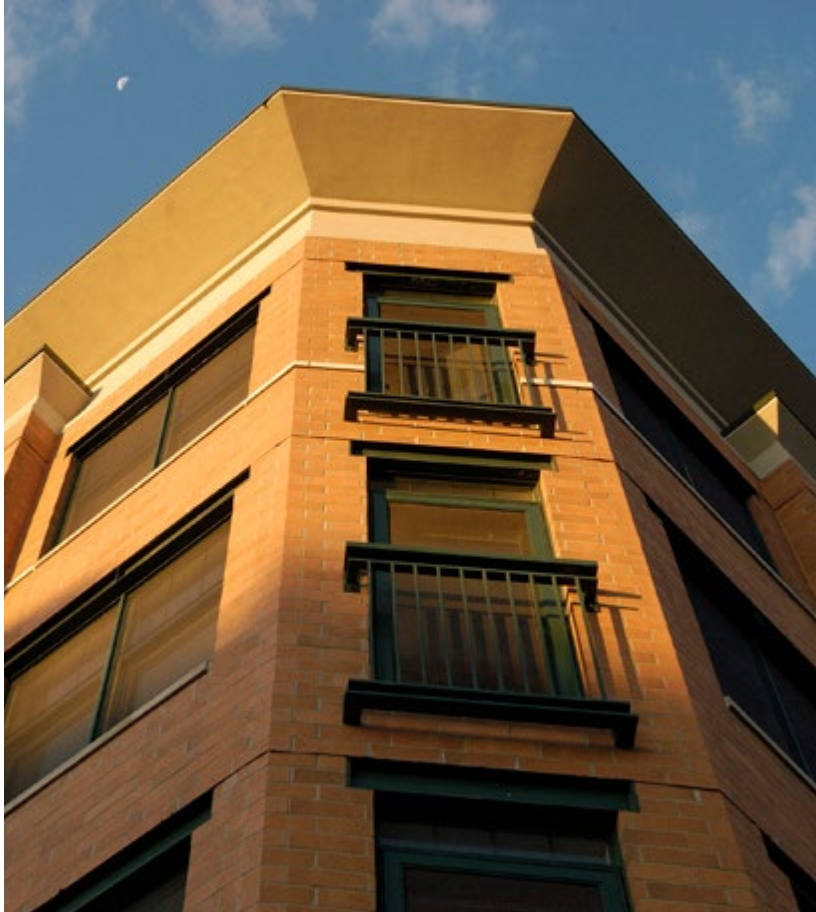
4-story, 27 Condominiums

Architect

Antunovich Associates

















4. Owner Information



4. Owner Information

D. Professional Qualifications

Additional Experience

<p>Multifamily</p>		<p>343 Schiller Chicago, IL General Contractor Client: Lakshmi Capital 9-stories 105 Apartments 105,000 SF</p>		<p>Savoy on the Park Chicago, IL General Contractor 6-stories 138 apartments</p>	
	<p>Logan Crossing Chicago, IL General Contractor 6-stories 217 apartments 35,000 SF of retail</p>		<p>Nova Chicago, IL General Contractor Co-Developer 6 and 7-stories 409 apartments 113,000 SF retail</p>		<p>The Atworth at Melody Farm Vernon Hills, IL General Contractor Co-Developer 3-stories 260 apartments</p>
	<p>Scio Chicago, IL General Contractor Co-Developer Renovation of 410 apartments Addition of amenity complex</p>		<p>Kelmscott Park Condominiums Lake Forest, IL General Contractor Developer (2) 3-stories 42 condos</p>		<p>Kelmscott Park Apartments Lake Forest, IL General Contractor Developer (3) 3-stories 111 apartments</p>
	<p>Kelmscott Park Single Family Homes Lake Forest, IL Developer 12 Single Family Homes</p>		<p>The Parker Fulton Market Chicago, IL General Contractor Co-Developer 29-stories, 227 units 9,715 SF retail 316,078 SF</p>		<p>Courthouse Square Apartments Wheaton, IL General Contractor Developer 6-stories 153 apartments</p>
	<p>The Link Evanston Evanston, IL General Contractor Co-Developer 9-stories 242 apartments 280,000 SF 2,278 SF retail</p>		<p>The Reserve at Glenview Glenview, IL General Contractor Co-Developer 3-Stories 239 apartments</p>		<p>Circa 922 Chicago, IL General Contractor Co-Developer 11-stories 149 apartments</p>

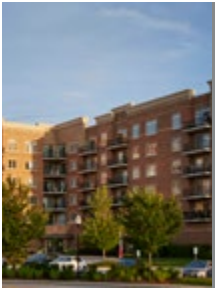




1717 Ridge
Evanston, IL
General Contractor
Co-Developer
8-stories
175 apartments



123 N. Sangamon
Chicago, IL
General Contractor
45 - loft apartments
Conversion



Vernon Hills Town Center
Vernon Hills, IL
General Contractor
Development
Manager
6-stories
84 apartments



Courthouse Square
Wheaton, IL
General Contractor
Developer
7-stories, 50 condos
Rehab Courthouse
and State's Attorney
buildings



The Residences at the Grove
Forest Park, IL
General Contractor
Co-Developer
(2) 5-stories
140 condos, 53 townhomes



Sherman Plaza
Evanston, IL
General Contractor
Co-Developer
25-stories
253 condos
156,000 SF of retail




Madison Commons
Forest Park, IL
General Contractor
Co-Developer
4-stories
66 condos
17,000 SF of retail



Euclid Commons
Oak Park, IL
General Contractor
Co-Developer
4-stories
27 condos
17,000 SF of retail



The Mews
Oak Park, IL
General Contractor
Co-Developer
4-stories
32 condos



The Terraces
Oak Park, IL
General Contractor
Co-Developer
3 buildings
34 townhomes



Church Street Station
Evanston, IL
General Contractor
Co-Developer
17-stories
105 condos
17,000 SF of retail



Lincoln Court
Skokie, IL
General Contractor
Co-Developer
30 condos
with first floor retail




2000 Green Bay Road
Highland Park, IL
General Contractor
Co-Developer
61 condos



Delacourte
Buffalo Grove, IL
General Contractor
Co-Developer
(4) buildings
136 condos



812 Oak Street
Winnetka, IL
General Contractor
Co-Developer
12 condos
8,500 SF of office



811 Chicago
Evanston, IL
General Contractor
Co-Developer
62 condos
with first floor retail



1300 Central
Evanston, IL
General Contractor
Co-Developer
4-stories
24 condos



The Laurels
Lake Forest, IL
General Contractor
Developer
30 townhomes and condos



Commercial



167 Green Street

Chicago, IL
General Contractor
Developer
750,000 SF
17-stories, Office



821 West Lake

Chicago, IL
Developer
General Contractor
5,000 SF
Stand alone retail



Soul City Church

Chicago, IL
General Contractor
Client: Soul City
Church
45,000 SF
3-story addition and
renovation



Lou Malnati's West Loop

Chicago, IL
Client: The Malnati
Organization
General Contractor
Restaurant build out



Lou Malnati's Oak Park

Oak Park, IL
Client: The Malnati
Organization
General Contractor
Restaurant build out



224 Ada

Chicago, IL
Client: Leslie Hindman
Auctioneer's, Inc.
General Contractor
Renovation of auction
facility



The Beer Market Schaumburg

Schaumburg, IL
Client: The Beer
Market
General Contractor
Restaurant build out



Tesori Restaurant

Chicago, IL
Client: Blue Plate
Catering
General Contractor
Renovation of former
Rhapsody restaurant



State Restaurant/ Bar

Chicago, IL
Client: Giannoulis
Hospitality Company
General Contractor
Renovation of existing
restaurant



Vernon Hills Town Center

Vernon Hills, IL
Client: The Taxman
Corp.
General Contractor
Co-Developer
28,900 SF retail



Lou Malnati's Gold Coast

Chicago, IL
Client: The Malnati
Organization
General Contractor
10,000 SF restaurant
build out



Berwyn Gateway

Berwyn, IL
Client: Keystone
Development
General Contractor
18,900 SF retail
shopping center



Broadway Playhouse

Chicago, IL
Client: Broadway in
Chicago
General Contractor
Renovation of former
Drury Lane Theatre



Lou Malnati's Schaumburg

Schaumburg, IL
Client: The Malnati
Organization
General Contractor
Renovation of existing
restaurant



Shops at Sherman Plaza

Evanston, IL
General Contractor
Developer
156,000 SF of retail



Madison Commons

Forest Park, IL
General Contractor
Co-Developer
17,000 SF of retail



Euclid Commons

Oak Park, IL
General Contractor
Co-Developer
27,000 SF of retail





Church Street Station

Evanston, IL
General Contractor
Co-Developer
17,000 SF of retail



812 Oak Street

Winnetka, IL
General Contractor
8,500 SF of
ground floor office
space

Hospitality



Lou Malnati's West Loop

Chicago, IL
Client: The Malnati
Organization
General Contractor
Restaurant build out



Lou Malnati's Oak Park

Oak Park, IL
Client: The Malnati
Organization
General Contractor
Restaurant build out



The Beer Market Schaumburg

Schaumburg, IL
Client: The Beer
Market
General Contractor
Restaurant build out



Tesori Restaurant

Chicago, IL
Client: Blue Plate
Catering
General Contractor
Renovation of former
Rhapsody restaurant



**State Restaurant/
Bar**

Chicago, IL
Client: Giannoulis
Hospitality Company
General Contractor
Renovation of existing
restaurant



Lou Malnati's Gold Coast

Chicago, IL
Client: The Malnati
Organization
General Contractor
10,000 SF restaurant
build out



Broadway Playhouse

Chicago, IL
Client: Broadway in
Chicago
General Contractor
Renovation of former
Drury Lane Theatre



**Lou Malnati's
Schaumburg**

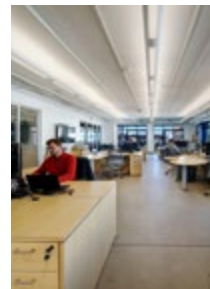
Schaumburg, IL
Client: The Malnati
Organization
General Contractor
Renovation of existing
restaurant

Interiors



100 South Wacker

Chicago, IL
General Contractor
9,000 SF
Office ,Interior



GlidePath

Elmhurst, IL
General Contractor
Client: GlidePath
3,500 SF
Office, Interior



Evanston Place

Evanston, IL
General Contractor
Client: AIMCO
49, 290 SF, 52
apartments
Interior renovations



Kaplan Saunders

Chicago, IL
General Contractor
Client: Kaplan
Saunders
12,500 SF
Office, Interiors



Broadway Playhouse

Chicago, IL
General Contractor
Client: Broadway in
Chicago
Theater, Interior
buildout



4. Owner Information

E. Financing

Since its founding in 1993, Focus has successfully developed over 3,000 multi-family units within the Chicago submarket including three developments in Oak Park. We invest our own equity in every development we pursue. We believe having a vested interest drives the best results for all stakeholders including the municipalities we work within.

Our internal team of real estate professionals manage the day to day development process including all financing and accounting activities. In addition, Focus Construction, Inc., an affiliate of Focus, constructs everything Focus develops. Therefore, the day to day management of the development is completely handled in-house. This provides municipalities, investors, and lenders a sense of comfort because there is a single source of responsibility.

Regarding financing, we anticipate partnering with an institutional partner such as a private equity fund, life insurance company, or a family office that is interested in owning a premiere apartment development in Oak Park. We are adept at this approach and have implemented it on twelve individual developments dating back to 2012. Additionally, we anticipate obtaining a construction loan from a regional bank. Historically regional banks have been attracted to Focus' projects because our deal sizes align with their lending goals and do not require syndication. Regardless of the lender, Focus and their institutional partners provide guarantees to the lender that ensure that the development is completed on time and on budget.

If it is helpful, Focus can provide a list of references to staff that include a selection of investors, lenders, and municipalities that have experienced working with the Focus team.



5. Property Information

A. Property Restrictions

Caisson Bell Easement

The applicant will complete the easement agreement provided by the village for the caisson bells located over the property line. The applicant will provide draft exhibits and legal descriptions for the agreement.

Maintenance Responsibilities

The applicant will maintain the ROW frontage. The village will maintain curbed planters and the irrigation system. The applicant may provide a public art contribution in the public ROW and will be responsible for upkeep and maintenance.

Balcony and Canopy Overhang Easement

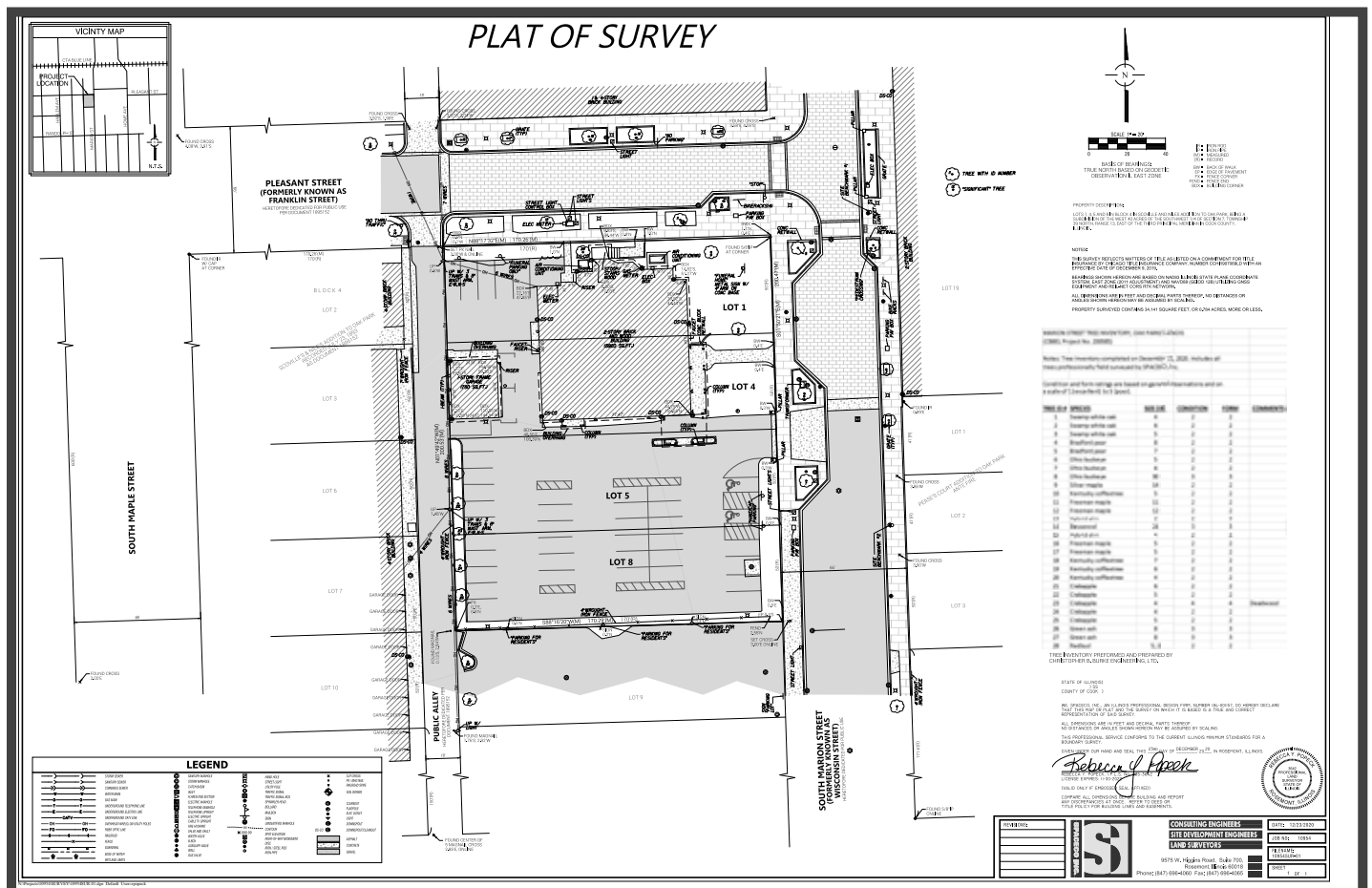
The applicant will work with village staff to execute a right of way encroachment easement for the balconies and canopies that hang over the property line on Pleasant Street.



5. Property Information

B. Plat of Survey

Enclosed is the plat of survey for the property at 203 S Marion Street. The site is 34,141 sf or 0.784 acres. The plat of survey also contains a tree survey for trees within the property line and in the public right of way. The tree survey was completed by Christopher B. Burke Engineering, Ltd and includes information on species, caliper, and condition.



5. Property Information

C. Historic Preservation Review

The proposed development site is located in the Ridgeland-Oak Park Historic District therefore the applicant is required to meet with the Historic Preservation Commission to evaluate the impact of the proposed development in the historic district. The applicant met with the Historic Preservation Commission on November 24, 2020 for a preliminary review and again on January 14, 2021 for the advisory review. Included in the application is an excerpt from the submission materials as well as specific recommendations from the commission. The applicant provided responses to the commission which are also included in the application.

The main objective of the development team is to construct an attractive building that contributes to the characteristics of the Ridgeland-Oak Park Historic District and provide a connection to the commercial corridor to the north and the residential fabric to the south.

History:

The proposed development site is currently the location of the Dreschler Brown & Williams Funeral Home. The funeral home is listed as a contributing structure to the Ridgeland-Oak Park Historic District. The development team analyzed the existing structure and considered restoring or integrating the structure into the future development. It was determined that it is not feasible to restore or integrate the existing structure and it needs to be demolished.

In order to proceed forward with demolition of the contributing structure, the applicant must receive a certificate of appropriateness (COA) for demolition. The Village Board determined that restoring the structure is not feasible and granted the applicant's request for a certificate of appropriateness for demolition on October 5, 2020.



5. Property Information

C. Historic Preservation Review



123 Madison Street, Oak Park, Illinois 60302

November 25, 2020

Re: **Preliminary Review – 203 S Marion St**

Dear Applicant:

Thank you for attending the Historic Preservation Commission (HPC) meeting on November 24, 2020. The Commission conducted a preliminary review of the proposed new construction at 203 S Marion St. As the project does not meet the definition of demolition in the Historic Preservation Ordinance, the HPC review is advisory only. Please note that you do need to return to the HPC for a final Advisory Review as based on the Ordinance.

The Architectural Review Guidelines recommend the following for new buildings:

Architectural Review Guidelines – New Building Policy

1. A new building in a historic district must be compatible with the size, scale, set-back, massing, material, and character of the buildings which surround it on the same and adjacent blocks (the zone of influence for new buildings is six blocks -- the block on which the building is proposed to be built, the two adjacent blocks on the same side of the street, and the three opposing blocks on the other side of the same street).
2. A new building shall not change the historic character of the other buildings which surround it on the same and adjacent blocks.
3. A new building shall have its front entrance facing the same direction as the majority of buildings on the same block, unless it can be shown that compatibility with adjacent buildings can be achieved better through a different orientation.
4. A new building built in a historic district shall be compatible but visually distinct from other buildings which surround it on the same and adjacent blocks.

The HPC also uses the *Secretary of the Interior's Standards* and must consider any effects of the proposed new building on the historic district and any landmarks within 250 feet.

Specific recommendations from members of the HPC included:

- Overall, the Commission found the building to be too large and out of scale with the surrounding buildings.
- Several Commissioners said they appreciated the u-court. It was recommended that the courtyard be at the ground level. One Commissioner noted that the u-court does not provide pedestrian relief from the scale of the building where currently located.
- The Commission felt the building to be too tall.
 - o One Commissioner noted the seventh-floor step back and recommended a graduated step back starting at the fifth floor so the building feels more like a four-story building at the street level.



5. Property Information

C. Historic Preservation Review

- Several Commissioners found the two-story windows at the first and second floor to be too massive in scale. One Commissioner recommended bringing down the pedestrian scale and suggested breaking up the glass and adding additional awnings. She said she likes the two-story window sections on the upper floors.
- Several Commissioners felt there was not enough greenspace around the edges of the building.
- One Commissioner suggested that additional balconies may help mitigate the substantial size of the walls.
- One Commissioner noted the details and delicacy of the nearby historic buildings and said this is a massive structure and does not pick up on the visual interest seen on nearby buildings.
- One Commissioner approved of the brick and said it is a unifying factor with the area.

A full recording of the meeting can be found at www.oak-park.us/commissiontv.

Thank you for taking the HPC's recommendations into consideration. If you have any questions, please contact Susie Trexler at strexler@oak-park.us or (708) 358-5443.

Sincerely,

Susie C. Trexler

Urban Planner
Historic Preservation
Village of Oak Park, Illinois
Direct Line: (708) 358-5443
Website: www.oak-park.us



5. Property Information

C. Historic Preservation Review



January 8, 2020

Historic Preservation Commission
Village of Oak Park
Attn: Susie Trexler, Urban Planner

Sent Via: e-mail

Re: Preliminary Review – 203 S Marion Street

Dear Commissioners:

Thank you for conducting a preliminary review of the proposed new construction at 203 S Marion Street on November 24, 2020. The Commissioners provided specific recommendations at the meeting which are addressed in the memo below. We look forward to further discussions regarding 203 S Marion Street at the final advisory review on January 14, 2021.

- Overall, the Commission found the building to be too large and out of scale with the surrounding buildings.
 - *[Focus] The design team looked towards the scale of development in context with the neighborhood when developing the proposal for 203 S Marion Street. We believe the proximity to public transportation and our commitment to quality architecture makes 203 S Marion Street an appropriate location for a development of this scale.*
- Several Commissioners said they appreciated the u-court. It was recommended that the courtyard be at the ground level. One Commissioner noted that the u-court does not provide pedestrian relief from the scale of the building where currently located.
 - *[Focus] The courtyard is located at the third floor terrace because there is a covered parking garage on floors 1-2. The design team cannot bring the courtyard to grade without removing almost all the covered parking. The current design looks towards the Carleton hotel which has courtyards that are also located above grade. The center of the courtyard at 203 S Marion Street is recessed 10 feet from the property line to provide some pedestrian relief from the building façade along Marion Street.*
- The Commission felt the building to be too tall. One Commissioner noted the seventh-floor step back and recommended a graduated step back starting at the fifth floor so the building feels more like a four-story building at the street level.
 - *[Focus] One of the design elements of the proposed project is the symmetry around the courtyard of the Marion Street elevation. The addition of a graduated setback on Pleasant Street would remove the symmetry provided on the east-west axis of the building. Further, the graduated setback would significantly reduce the amount of rentable space available in the building. As a result, the proposed development would become taller to make up for the lost rentable area.*
- Several Commissioners found the two-story windows at the first and second floor to be too massive in scale. One Commissioner recommended bringing down the pedestrian scale and suggested breaking up the glass and adding additional awnings. She said she likes the two-story window sections on the upper floors.
 - *[Focus] The design team studied the scale and fenestration detailing at the maisonette units located along Marion Street. The revised design included in the enclosed package utilizes punched windows with metal detailing in lieu of large storefront windows reminiscent of commercial design. The punched window detail provides residential character to the Marion Street elevation. The design team also*



5. Property Information

C. Historic Preservation Review

- added juliet balconies at the second level of the maisonette units which further emphasizes the division between the first and second level, bringing the maisonette openings down to a pedestrian scale.*
- *[Focus] The retail market demands high ceiling heights and it is not marketable to reduce the scale of the glass at the retail space located at the corner of Marion and Pleasant. The design team introduced horizontal metal banding into the storefront glass and a canopy to bring the height down to a pedestrian scale.*
 - Several Commissioners felt there was not enough greenspace around the edges of the building.
 - *[Focus] The design team is providing additional green space in the public ROW. There is a 10 foot landscaped setback on Marion Street that will provide relief from the building. In addition to this, landscaping that is provided on the third floor terrace in the east facing courtyard will be visible from street level. There are planters along the property line along Marion Street in front of each maisonette unit to provide additional greenery along the Property line.*
 - One Commissioner suggested that additional balconies may help mitigate the substantial size of the walls.
 - *[Focus] The design team studied this suggestion and it resulted in the building appearing more massive in width. It also increased shading on the brick facades which made the north elevation appear darker.*
 - One Commissioner noted the details and delicacy of the nearby historic buildings and said this is a massive structure and does not pick up on the visual interest seen on nearby buildings.
 - *[Focus] The design team is providing detailed banding around the windows utilizing granite and brick at the base of the building. This is a modern interpretation of the adjacent context that occurs throughout the neighborhood.*
 - One Commissioner approved of the brick and said it is a unifying factor with the area.
 - *[Focus] The design team agrees that the brick is a unifying element of the proposed design.*

Yours truly,

Courtney Brower
Senior Development Manager

Encl: 2021.01.07_HPC Submission_203 S Marion St.pdf
CC: David Mann, James Young, Justin Pelej, James Prescott, Sally Prescott



5. Property Information

C. Historic Preservation Review



BOOTH HANSEN

BEFORE AND AFTER IMAGES

203 S. MARION ST.
2020.11.16
2000'00



5. Property Information

C. Historic Preservation Review



123 Madison Street, Oak Park, Illinois 60302

January 15, 2021

Courtney Brower
100 S. Wacker Drive
Suite 2100
Chicago, IL 60606

Re: **Advisory Review – 203 S Marion St**

Dear Ms. Brower:

The proposed new building at 203 S Marion St was reviewed at the Historic Preservation Commission (HPC) meeting on January 14, 2021. As the project does not meet the definition of demolition in the Historic Preservation Ordinance, the HPC review is advisory only.

As part of this review, the HPC was required to consider the long-term compatibility of the proposed building within the character of the historic district, potential effects on the historic district, and potential effects on the Plaza Hotel, an Oak Park Landmark located approximately 170 feet to the north of the proposed site. In their analysis, the HPC used the *Secretary of the Interior's Standards for Rehabilitation* and the Oak Park Architectural Review Guidelines.

The Architectural Review Guidelines recommend the following for new buildings:

Architectural Review Guidelines – New Building Policy

1. A new building in a historic district must be compatible with the size, scale, set-back, massing, material, and character of the buildings which surround it on the same and adjacent blocks (the zone of influence for new buildings is six blocks -- the block on which the building is proposed to be built, the two adjacent blocks on the same side of the street, and the three opposing blocks on the other side of the same street).
2. A new building shall not change the historic character of the other buildings which surround it on the same and adjacent blocks.
3. A new building shall have its front entrance facing the same direction as the majority of buildings on the same block, unless it can be shown that compatibility with adjacent buildings can be achieved better through a different orientation.
4. A new building built in a historic district shall be compatible but visually distinct from other buildings which surround it on the same and adjacent blocks.

The HPC provided a preliminary review at their meeting on November 24, 2021. The HPC reiterated many of their comments at the January 14, 2021 meeting. Specific recommendations from members of the HPC included:



5. Property Information

C. Historic Preservation Review

- Overall, the Commission found the building to be too large and out of scale with the surrounding buildings.
- The Commission felt the building to be too tall. Options of stepping back upper floors were discussed at the November meeting. The Commission reiterated their concern about height at the January meeting.
- The Commission heard the applicant's issue that the parking garage on the first two levels eliminates the possibility of a ground-level u-court. However, several Commissioners reiterated their recommendation that the u-court be brought to the ground level. They felt that the u-court as designed does not provide pedestrian relief from the scale of the building.
- While some changes were made to the articulation of windows and Juliette balconies were added, one Commissioner reiterated the concern about the lack of detail as compared to the historic buildings in the surrounding neighborhood.
- The Commission recommended alterations at the November meeting to bring down the scale of the first floor to be more pedestrian friendly. One Commissioner said they appreciated the changes made to the windows to address this.
- Several Commissioners said at the November meeting that there was not enough greenspace around the edges of the building. While plantings were added, several Commissioners said these did not address their concern, which is that the building fills the entire lot.
- The Commission discussed adding balconies at the November meeting. The applicant added some Juliette balconies but found that additional full balconies seemed to add mass to the building. The Commission did not express further concerns on this item.
- The use of brick was identified at the November meeting as a unifying factor with the area. The Commission approved of the use of this material.

For reference, a full recording of the meeting can be found at www.oak-park.us/commissiontv.

Thank you for taking the HPC's recommendations into consideration. If you have any questions, please contact Susie Trexler at strexler@oak-park.us or (708) 358-5443.

Sincerely,

Susie C. Trexler

Urban Planner
Historic Preservation
Village of Oak Park, Illinois
Direct Line: (708) 358-5443
Website: www.oak-park.us



6. Reports + Studies

A. Environmental Assessment

Enclosed is the Phase 1 Environmental Site Assessment dated February 20, 2020 and completed by professional environmental engineering company Apex Companies LLC. The assessment included on-site observations, an overview of the site history, and records review.

The site contains (4) parcels of land comprising of approximately 34,000sf. The site is currently development with a two-story funeral home with a basement, single story garage, a paved parking lot, and landscaped areas. In 1895, the northern part of the site was developed with a single-family home and the southern part of the site was developed with a church. By 1908, the church had been demolished and the southern part of the site was vacant. By 1948, the former single family home was noted to be used as a funeral home and by 1962 an addition was noted as added to the west and south sides of the structure and a paved parking lot was added to the southern part of the site. The site generally has the same configuration at present day.

A heating oil UST (underground storage tank) was removed under permit and oversight of the Illinois Office of the State Fire Marshall (OSFM) on November 28, 2001. There were no indications of a release or deterioration of the tank reported during removal, therefore Apex does not consider the UST to be a Recognized Environmental Condition (REC). The assessment completed by Apex has revealed no evidence of RECs, HRECs, CRECs, BERs, or de minimis conditions in connection with the site. Apex observed suspected asbestos containing materials (ACMs) during the site visit but it was generally limited to drywall and plaster. The applicant will proceed forward with an asbestos survey prior to completing demolition on the existing building



6. Reports + Studies

B. Village Services Report + Tax Impact Study

A report on the anticipated demand on all Village and community-wide services including, but not limited to, police, fire, public works, park district, and schools. This report must include a tax impact study indicating all projected tax revenues.

Police



Members of the Plan Commission
Village of Oak Park

January 20, 2021

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed mixed-use residential proposal to be located at 203 South Marion Street by Focus Development as presented by Courtney Brower, Senior Development Manager. Pursuant to my review on Monday, January 11, 2021, I have determined that the development proposal will not have a negative impact on the Fire Department.

Sincerely,



Thomas Ebsen,
Fire Chief, Village of Oak Park



6. Reports + Studies

B. Village Services Report + Tax Impact Study

A report on the anticipated demand on all Village and community-wide services including, but not limited to, police, fire, public works, park district, and schools. This report must include a tax impact study indicating all projected tax revenues.

Fire



Members of the Plan Commission
Village of Oak Park

December 21, 2020

RE: Village Impact Review

Dear Members of the Plan Commission:

I have reviewed the proposed mixed-use residential proposal to be located at 203 South Marion Street by Focus Development as presented by Courtney Brower, Senior Development Manager. Pursuant to my review on Monday, January 11, 2021, I have determined that the development proposal will not have a negative impact on the Police Department.

Sincerely,



LaDon Reynolds
Police Chief, Village of Oak Park

6. Reports + Studies

B. Village Services Report + Tax Impact Study

Tax Impact Study

Sales Tax

The current Drechsler, Brown & Williams Funeral Home collects sales tax on merchandise such as caskets, urns, vaults, prayer cards and register books. The average annual sales tax collected between 2018 and 2020 is approximately, \$17,700 per year.

The proposed redevelopment includes a single approximately 1,200 square foot, retail space at the corner of Marion Street and Pleasant Street. The development team's preference is to attract a neighborhood coffee shop to this location. We estimate retail sales of \$350 per SF for this space (post Covid-19) with the ability for it to grow as the economy recovers. At a 10% sales tax rate, this would equate to an annual sales tax collection of \$39,445.

Therefore, we conclude that the proposed development will increase the sales taxes being generated by the property by \$21,745 or by a factor of 1.23x.

Property Taxes:

In 2020, Oak Park was reassessed by the Cook County Assessor as part of their triennial reassessment process. Tax assessments are currently being evaluated and appealed by property owners. In June 2021, commercial property tax bills, which include multi-family projects, will be distributed. These bills will contemplate a revised local tax rate and state equalizer.

Property Tax Analysis

Property	Year	Units	Total SF	Unit SF	2018/19 Actual			2012/2020 Actual			YOY Change
					Total	\$ per Unit	\$ PSF	Total	\$ per Unit	\$ PSF	2019/20 Final v. 2018/19
Evanston Place	1990	189	161,375	854	\$595,052	\$3,148	\$3.69	\$789,000	\$4,179	\$4.89	32.7%
The Park Evanston	1997	283	299,716	921	\$941,621	\$3,327	\$3.61	\$1,453,877	\$5,137	\$5.58	54.4%
The Reserve Apts.	2003	193	162,935	844	\$698,513	\$3,619	\$4.29	\$903,950	\$4,684	\$5.55	29.4%
415 Premier Apts.	2008	221	184,821	836	\$621,725	\$2,813	\$3.36	\$775,332	\$3,506	\$4.20	24.7%
AMLi at Evanston	2013	214	200,219	936	\$713,713	\$3,335	\$3.56	\$990,350	\$4,628	\$4.95	38.8%
1717 Apts.	2013	175	150,664	861	\$679,090	\$3,881	\$4.51	\$829,942	\$4,708	\$5.47	21.3%
E2 Apts.	2015	352	285,117	799	\$1,488,692	\$4,229	\$5.30	\$2,093,140	\$5,946	\$7.45	40.5%
Centrum Evanston	2017	101	93,860	890	\$347,921	\$3,445	\$3.87	\$617,566	\$6,115	\$6.67	77.5%
The Main Apts.	2018	112	124,117	899	\$392,253	\$3,502	\$3.89	\$497,420	\$4,441	\$4.94	28.8%
Total/Avg	2008	1,840	184,672	866	\$719,842	\$3,521	\$4.01	\$1,150,845	\$4,816	\$5.54	38.5%

Source: CBRE Chicago Office



6. Reports + Studies

B. Village Services Report + Tax Impact Study

Fortunately, this reassessment has already occurred in the North and Northwest Cook County suburbs. While the Village of Oak Park is unique, from a multi-family product standpoint, Evanston does offer several indicators of where real estate taxes will end up in Oak Park. Above is real estate tax data provided by CBRE showing how real estate taxes for newer multi-family product increased in Evanston to the reassessment process.

Between the actual results from Evanston, Oak Park's historical tax rates, and our knowledge of how taxes are calculated within Cook County multi-family projects; we surmise that the proposed development will produce annual real estate taxes of between \$4,900 to \$6,000 per unit in today's dollars. This equates to between \$779,100 and \$954,000 of annual real estate taxes for the proposed 159-unit development. Please note, for the sake of being conservative, that analysis does not include the additional real estate taxes that would be created by the small retail space noted above.

The current Drechsler, Brown & Williams paid \$38,275 in real estate taxes in 2020 for the 2019 tax year. Again, using the North and Northwest Cook County suburbs actual tax bills along with data from the Cook County Clerk's office, we surmise that the Drechsler, Brown & Williams Funeral home will likely see a 7.21% increase in their tax bill for 2020 paid in 2021. Therefore, we estimate that their 2020 real estate tax bill, paid in 2021, will be approximately \$41,035.

Therefore, we conclude that the proposed development will increase the real estate taxes being generated by this property by a minimum of \$738,065 or by a factor of 18x.

Conclusion:

We conclude that the proposed development of 203 S. Marion will generate a minimum of \$759,810 in additional real estate and sales taxes. This increase in taxes, combined with the limited affect the development will have on village services, will equate to a significant increase in tax revenue to the Village of Oak Park and other tax bodies.



6. Reports + Studies

C. Market Feasibility Report



7. Traffic + Parking Studies

A. Traffic Impact Study



7. Traffic + Parking Studies

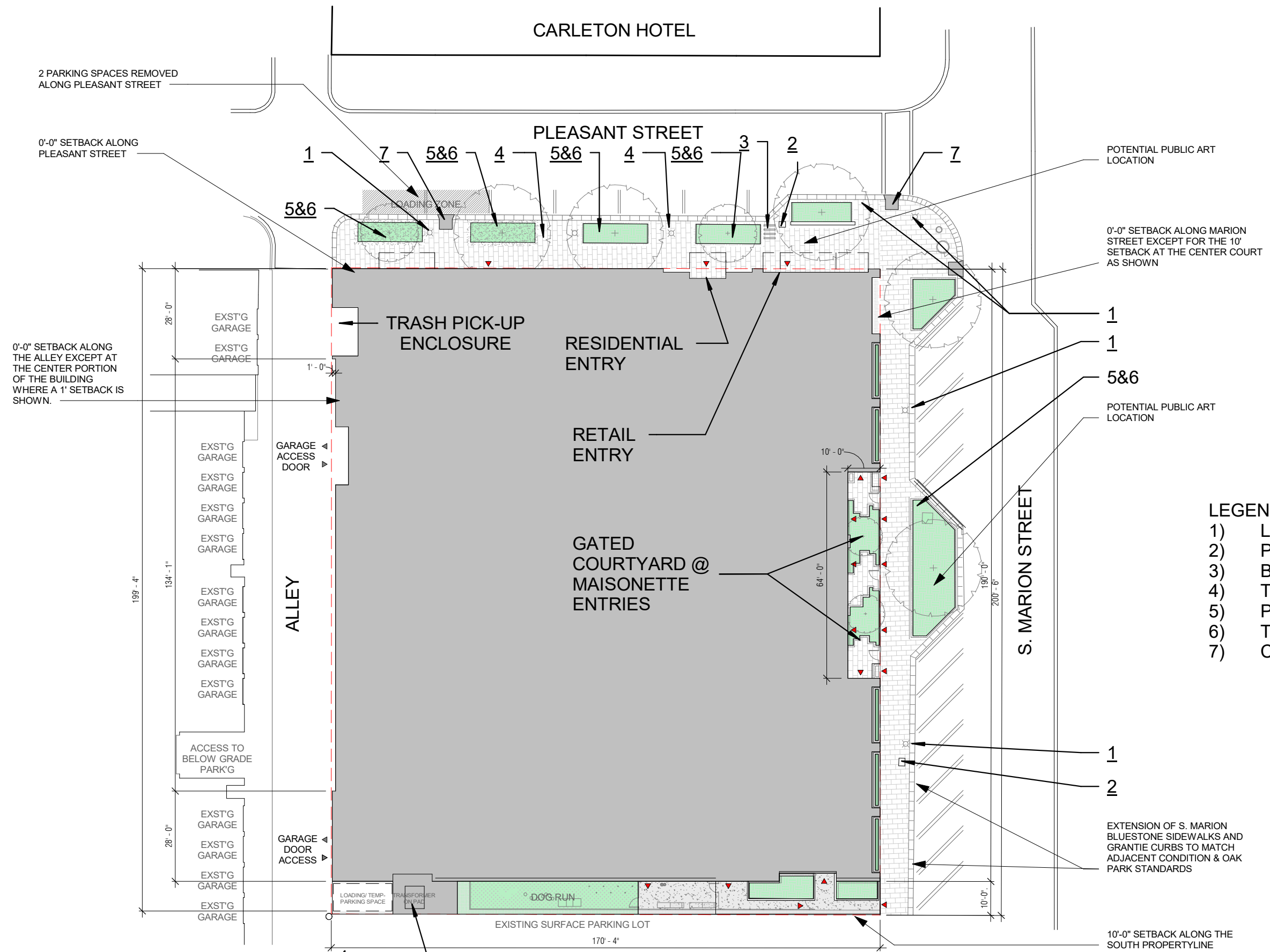
B. Parking Impact Study



8. Development Drawings

A. Site Plan





- LEGEND**
- 1) LIGHT POLE
 - 2) PARKING BOX
 - 3) BIKE RACK
 - 4) TRANSFORMER
 - 5) PLANTING BED
 - 6) TREE
 - 7) CURB CUT

1 SITE PLAN
 1/32" = 1'-0"







8. Development Drawings

B. Landscape Plan

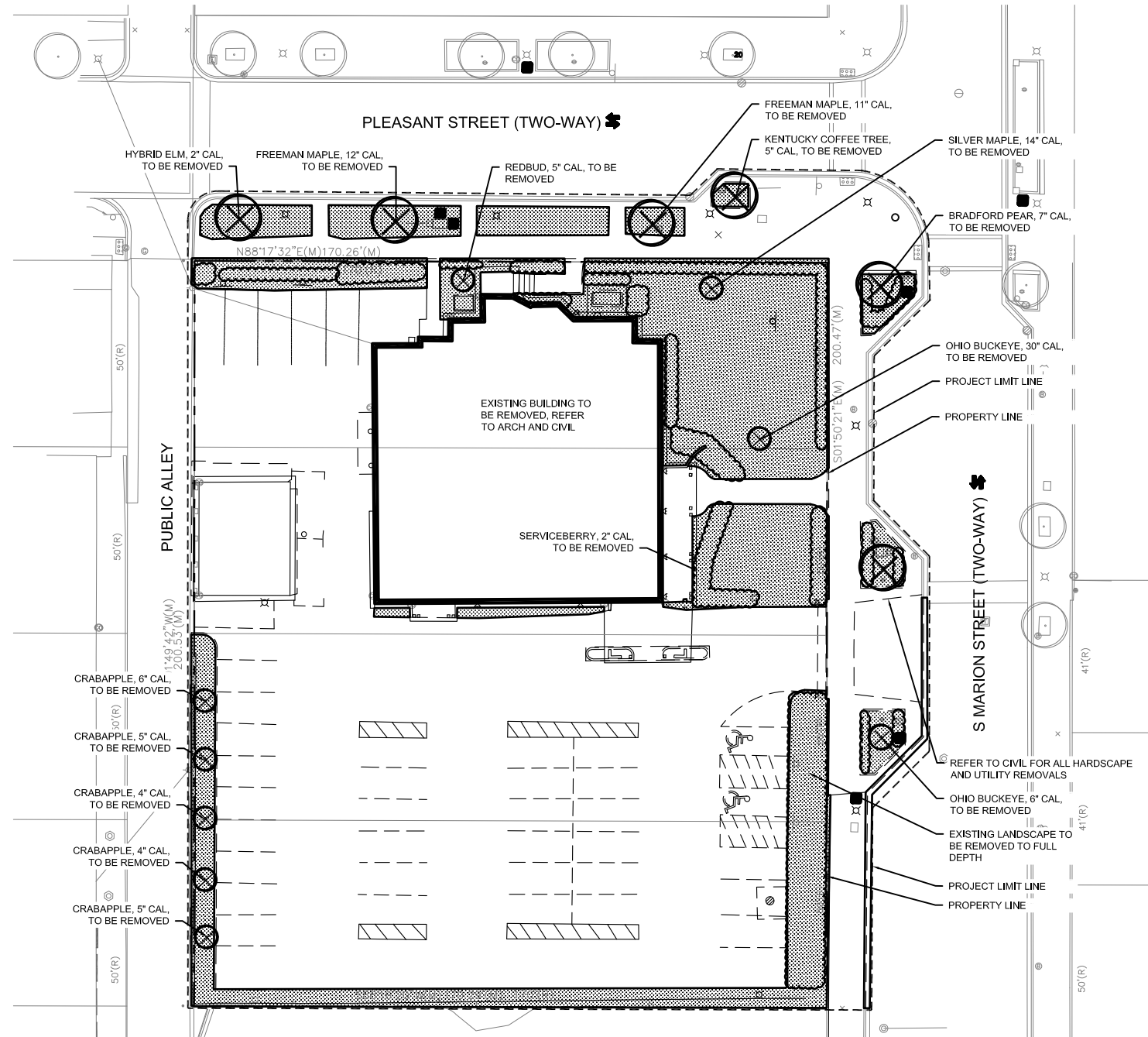


LEGEND

-  PROPERTY LINE
-  PROJECT LIMIT LINE
-  REMOVE EXISTING TREE
-  EXISTING LANDSCAPE TO BE REMOVED TO FULL DEPTH

EXISTING TREE INVENTORY

TREE ID #	SPECIES	SIZE (IN)	CONDITION	FORM	COMMENTS
5	Bradford pear	7	2	2	
6	Ohio buckeye	5	2	2	
7	Ohio buckeye	6	2	2	
8	Ohio buckeye	30	3	3	
9	Silver maple	14	2	2	
10	Kentucky coffeetree	5	2	2	
11	Freeman maple	11	2	2	
12	Freeman maple	12	2	2	
13	Hybrid elm	2	2	3	
21	Crabapple	6	2	2	
22	Crabapple	5	2	2	
23	Crabapple	4	4	4	Deadwood
24	Crabapple	4	2	2	
25	Crabapple	5	2	2	
28	Redbud	5,2	2	2	



BOOTH HANSEN

Architecture • Interiors • Planning
333 South Des Plaines Street
Chicago, Illinois 60661



NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18

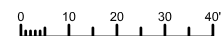
Project Status

PROJECT NUMBER 2000

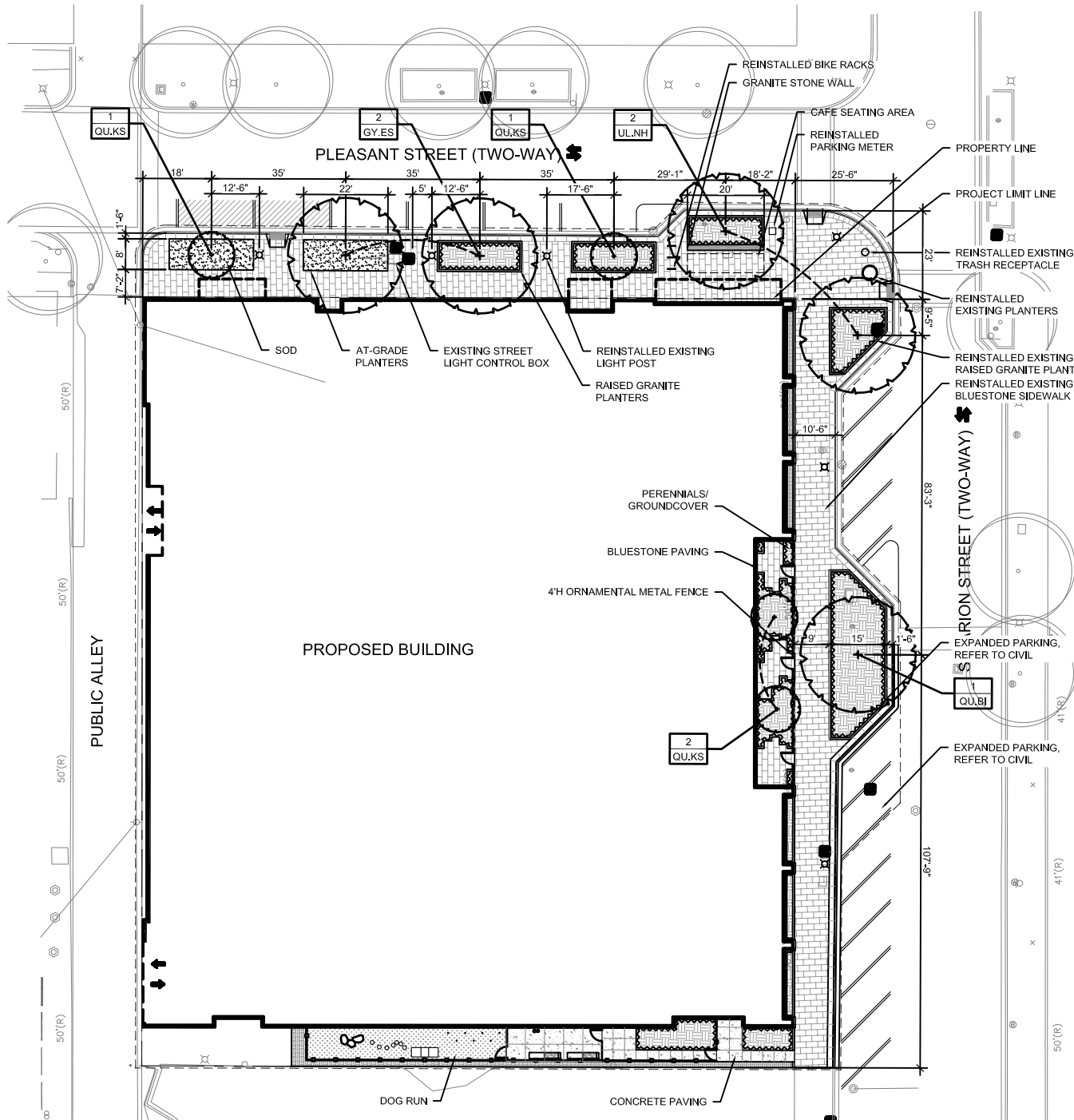
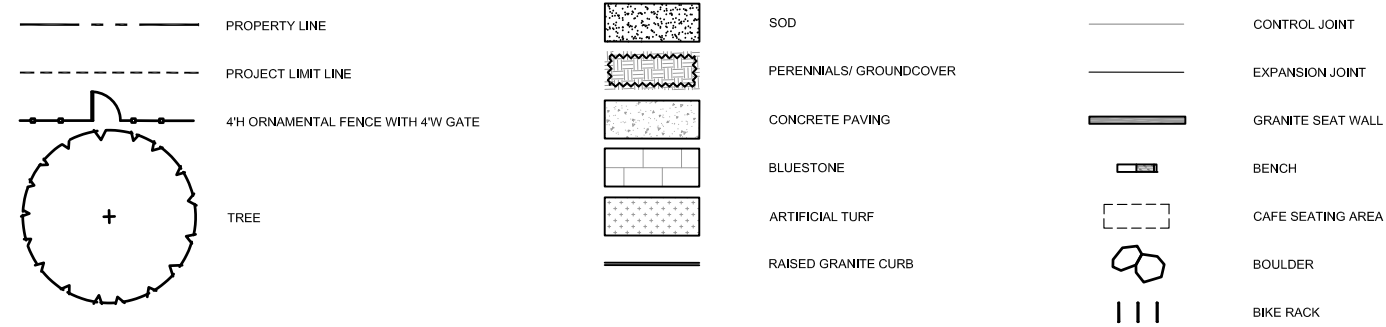
OAK PARK
RESIDENCES
203 S. MARION STREET,
OAK PARK, IL
LANDSCAPE REMOVAL PLAN

L008

1 LANDSCAPE REMOVAL PLAN
1"=40'-0"



LEGEND



1 OVERALL LANDSCAPE SITE PLAN
1"=40'-0"

PLANT SCHEDULES

ROW PLANT SCHEDULE					
CODE	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
TREES					
GY.ES	2 <i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	B&B	4" cal	min. 7' clearance
QU.BI	1 <i>Quercus brooker</i>	Swamp White Oak	B&B	4" cal	min. 7' clearance
QU.KS	2 <i>Quercus x warei</i> 'Nader'	Kindred Spirit Oak	B&B	4" cal	min. 3' clearance
UL.NH	2 <i>Ulmus</i> 'New Horizon'	New Horizon Elm	B&B	4" cal	min. 7' clearance
SHRUBS					
AR.MO	<i>Aronia melanocarpa</i> 'Morton'	Inquis Beauty Chokeberry	cont	30" ht	30" o.c.
BU.GL	<i>Buxus</i> 'Glencoe'	Chicagoland Green Boxwood	cont	16" ht x w	14" o.c., clipped hedge
HY.AB	<i>Hydrangea arborescens</i> 'Abetwo'	Incredible Smooth Hydrangea	cont	30" ht	24" o.c.
HY.SM	<i>Hydrangea paniculata</i> 'SMHPLOF'	Little Quickfire Hydrangea	cont	30" ht	24" o.c.
PH.DM	<i>Physocarpus opulifolius</i> 'Donna May'	Little Devil Ninebark	cont	30" ht	30" o.c.
PL.VC	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Dwarf Mountain Pine	cont	16" ht x w	18" o.c.
RH.BA	<i>Rhus typhina</i> 'Baltiger'	Tiger Eyes Cudleaf Staghorn Sumac	cont	36" ht	30" o.c.
TA.EV	<i>Taxus x media</i> 'Everlow'	Everlow Yew	cont	16" ht x w	24" o.c.
ORNAMENTAL GRASSES, PERENNIALS, GROUNDCOVERS					
AG.BF	<i>Agastache</i> 'Blue Fortune'	Blue Fortune Anise Hyssop	cont	#1	15" o.c.
AJ.CG	<i>Ajuga reptans</i> 'Catlin's Giant'	Catlin's Giant Bugleweed	cont	4" pot	8" o.c.
AL.SB	<i>Allium</i> 'Summer Beauty'	Summer Beauty Allium	cont	#1	12" o.c.
AM.BI	<i>Amonia faberiana</i> 'Blue Ice'	Blue Ice Blue Star	cont	#1	12" o.c.
AS.PU	<i>Astilbe chinensis</i> 'Pumila'	Pumila Astilbe	cont	#1	10" o.c.
BA.TW	<i>Baptisia x varicolor</i> 'Twilite'	Twilite Prairieblues False Indigo	cont	#3	24" o.c.
CABR	<i>Calamagrostis brachytricha</i>	Korean Feather Reed Grass	cont	#1	24" o.c.
CANE	<i>Calamintha nepeta</i> ssp. <i>nepeta</i>	Lesser Calamint	cont	#1	15" o.c.
CA.AL	<i>Carex albicans</i>	White-tinged Sedge	cont	#1	12" o.c.
CE.PL	<i>Ceratostigma plumbaginoides</i>	Plumbago	cont	4" pot	8" o.c.
EC.SP	<i>Echinacea</i> 'Prairie Splendor'	Prairie Splendor Coneflower	cont	#1	12" o.c.
GE.BV	<i>Geranium macrorrhizum</i> 'Bevan's Variety'	Bevan's Variety Bigroot Geranium	cont	#1	12" o.c.
HE.AB	<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont	#1	15" o.c.
HE.MM	<i>Heuchera</i> 'Mahogany Monster'	Mahogany Monster Heuchera	cont	#1	12" o.c.
LISP	<i>Liriope spicata</i>	Creeping Lilyturf	cont	4" pot	10" o.c.
LY.AU	<i>Lysimachia nummularia</i> 'Aurea'	Golden Moneywort	cont	2.5" pot	8" o.c.
MO.BR	<i>Monarda bradburiana</i>	Eastern Beebalm	cont	#1	12" o.c.
PA.GC	<i>Pachysandra terminalis</i> 'Green Carpet'	Green Carpet Pachysandra	cont	4" pot	8" o.c.
PE.LS	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	cont	#1	18" o.c.
SE.GH	<i>Sesleria</i> 'Greenlee Hybrid'	Greenlee's Moor Grass	cont	#1	10" o.c.
SO.FI	<i>Solidago rugosa</i> 'Fireworks'	Fireworks Goldenrod	cont	#1	15" o.c.
SY.PD	<i>Symphoricarum novae-angliae</i> 'Purple Dome'	Purple Dome New England Aster	cont	#1	15" o.c.
BULBS					
AL.GL	<i>Allium</i> 'Globemaster'	Globemaster Allium	bulb	20 cm+	12-18" spacing
AL.ME	<i>Allium</i> 'Mount Everest'	Mount Everest Allium	bulb	20 cm+	6-12" spacing
GA.EL	<i>Galanthus elwesii</i>	Snowdrops	bulb	7 cm+	3-4" spacing
NA.TE	<i>Narcissus</i> 'Tete-a-Tete'	Tete-a-Tete Daffodil	bulb	12-14 cm	3-4" spacing
NA.3D	<i>Narcissus</i> '3D Blend'	3D Daffodil Blend	bulb	16+ cm	4-6" spacing

GROUND LEVEL PLANT SCHEDULE					
CODE	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
TREES					
QU.KS	2 <i>Quercus x warei</i> 'Nader'	Kindred Spirit Oak	B&B	4" cal	min. 3' clearance
SHRUBS					
DIEL	<i>Diervilla splendens</i> 'El Madrigal'	Nightglow Bush Honeysuckle	cont	18" ht	24" o.c.
HY.SM	<i>Hydrangea paniculata</i> 'SMHPLOF'	Little Quickfire Hydrangea	cont	30" ht	24" o.c.
HY.BR	<i>Hydrangea quercifolia</i> 'Brenhill'	Catsby Gal Oakleaf Hydrangea	cont	30" ht	36" o.c.
HY.MU	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oakleaf Hydrangea	cont	24" ht	24" o.c.
IT.SP	<i>Itea virginica</i> 'Spiriti'	Little Henry Virginia Sweetspire	cont	24" ht	24" o.c.
PH.DM	<i>Physocarpus opulifolius</i> 'Donna May'	Little Devil Ninebark	cont	30" ht	30" o.c.
PL.VC	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Dwarf Mountain Pine	cont	16" ht	18" o.c.
TH.BA	<i>Rhus typhina</i> 'Baltiger'	Tiger Eyes Cudleaf Staghorn Sumac	cont	36" ht	24" o.c.
SO.SE	<i>Sorbaria sorbifolia</i> 'Sem'	Sem Ural False Spirea	cont	24" ht	24" o.c.
SP.TG	<i>Spiraea betulifolia</i> 'Tor Gold'	Glow Girl Birchleaf Spirea	cont	18" ht	24" o.c.
TA.EV	<i>Taxus x media</i> 'Everlow'	Everlow Yew	cont	16" ht x w	24" o.c.
ORNAMENTAL GRASSES, PERENNIALS, GROUNDCOVERS					
AC.WF	<i>Achillea millefolium</i> 'Walther Funcke'	Walther Funcke Yarrow	cont	#1	12" o.c.
AJ.CG	<i>Ajuga reptans</i> 'Catlin's Giant'	Catlin's Giant Bugleweed	cont	4" pot	8" o.c.
AM.BI	<i>Amonia faberiana</i> 'Blue Ice'	Blue Ice Blue Star	cont	#1	12" o.c.
BATW	<i>Baptisia x varicolor</i> 'Twilite'	Twilite Prairieblues False Indigo	cont	#3	24" o.c.
CABR	<i>Calamagrostis brachytricha</i>	Korean Feather Reed Grass	cont	#1	24" o.c.
CA.AL	<i>Carex albicans</i>	White-tinged Sedge	cont	#1	12" o.c.
CE.PL	<i>Ceratostigma plumbaginoides</i>	Plumbago	cont	4" pot	8" o.c.
GE.BV	<i>Geranium macrorrhizum</i> 'Bevan's Variety'	Bevan's Variety Bigroot Geranium	cont	#1	12" o.c.
GE.ES	<i>Geranium maculatum</i> 'Espresso'	Espresso Geranium	cont	#1	12" o.c.
HE.AB	<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont	#1	15" o.c.
HE.MM	<i>Heuchera</i> 'Mahogany Monster'	Mahogany Monster Heuchera	cont	#1	12" o.c.
LISP	<i>Liriope spicata</i>	Creeping Lilyturf	cont	4" pot	10" o.c.
LY.AU	<i>Lysimachia nummularia</i> 'Aurea'	Golden Moneywort	cont	2.5" pot	8" o.c.
SE.FI	<i>Sedum</i> 'Firecracker'	SunSparkler Firecracker Sedum	cont	2.5" pot	8" o.c.
SE.GH	<i>Sesleria</i> 'Greenlee Hybrid'	Greenlee's Moor Grass	cont	#1	10" o.c.
SY.PD	<i>Symphoricarum novae-angliae</i> 'Purple Dome'	Purple Dome New England Aster	cont	#1	15" o.c.
BULBS					
AL.GL	<i>Allium</i> 'Globemaster'	Globemaster Allium	bulb	20 cm+	12-18" spacing
AL.ME	<i>Allium</i> 'Mount Everest'	Mount Everest Allium	bulb	20 cm+	6-12" spacing
GA.EL	<i>Galanthus elwesii</i>	Snowdrops	bulb	7 cm+	3-4" spacing
NA.TE	<i>Narcissus</i> 'Tete-a-Tete'	Tete-a-Tete Daffodil	bulb	12-14 cm	3-4" spacing
NA.3D	<i>Narcissus</i> '3D Blend'	3D Daffodil Blend	bulb	16+ cm	4-6" spacing

- GENERAL NOTES:**
- ALL STREETSCAPE IMPROVEMENTS TO MATCH VILLAGE STANDARD MATERIALS AND DETAILS.
 - DEVELOPER SHALL INSTALL ANY NEW PARKING AND/OR TRAFFIC SIGNAGE REQUIRED IN R.O.W. CORRESPONDING TO THE PROPOSED DESIGN.
 - R.O.W. PLANTERS SHALL INCLUDE ELECTRICAL OUTLETS PER VILLAGE OF OAK PARK STANDARDS.
 - ALL PLANTING SHALL BE IRRIGATED, INCLUDING R.O.W. PLANTERS, PER VILLAGE OF OAK PARK STANDARDS.

BOOTH HANSEN

Architecture • Interiors • Planning
333 South Des Plaines Street
Chicago, Illinois 60661



NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18

Project Status

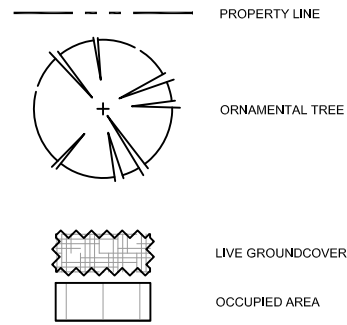
PROJECT NUMBER 2000

OAK PARK RESIDENCES
203 S. MARION STREET,
OAK PARK, IL

LANDSCAPE SITE PLAN

L101

LEGEND

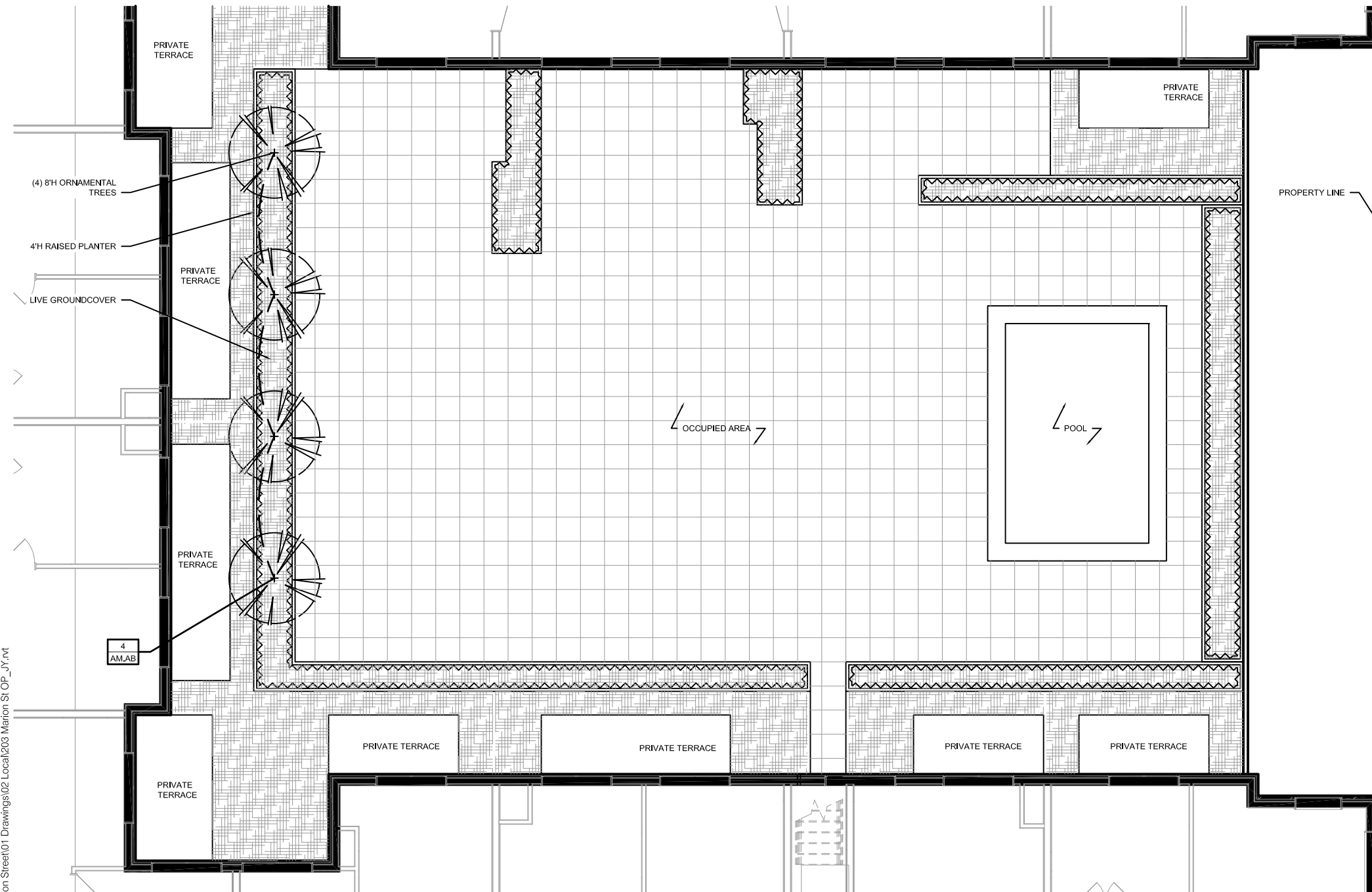


PLANT SCHEDULE

PLANT SCHEDULE CODE	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHRUBS					
AMAB 4	<i>Amelanchier × grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	POT	10'H	

BOOTH HANSEN

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333 South Des Plaines Street
Chicago, Illinois 60661



NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18

Project Status

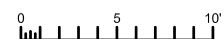
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OAK PARK RESIDENCES
203 S. MARION STREET,
OAK PARK, IL

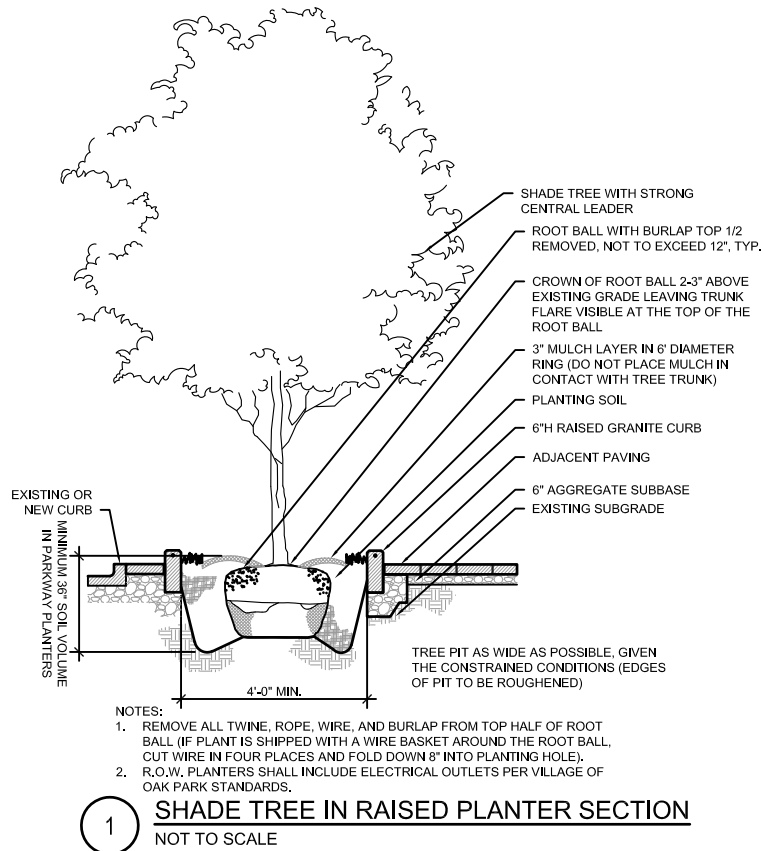
LANDSCAPE PLAN-
AMENITY DECK

L101.03

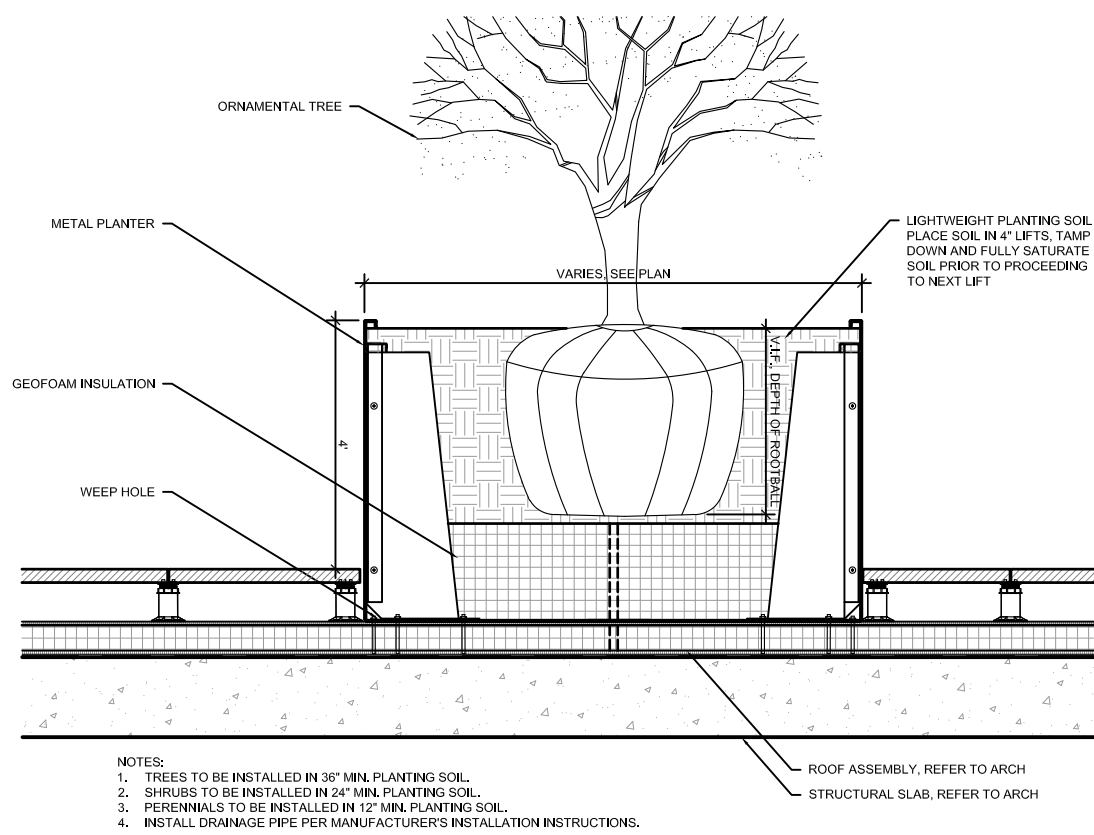
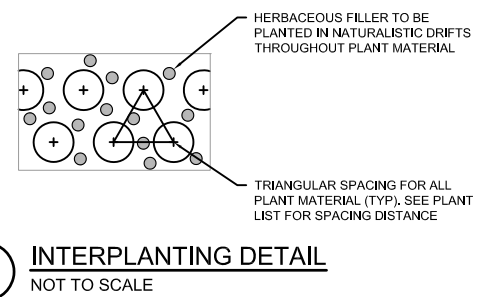
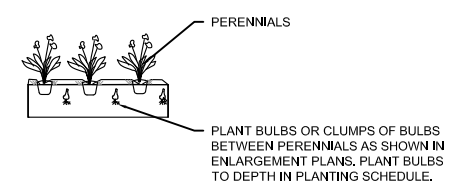
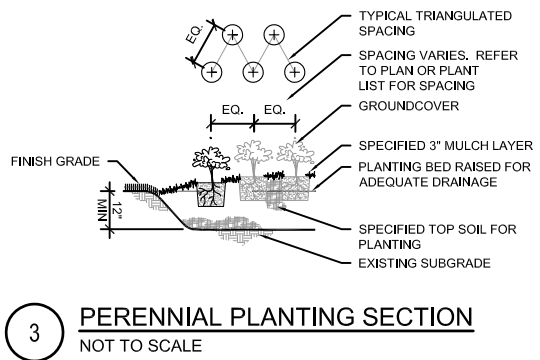
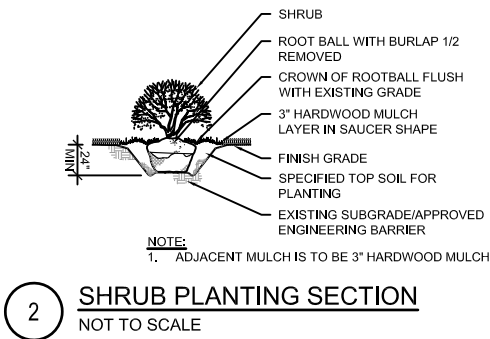
1 LANDSCAPE PLAN - AMENITY DECK
3/32" = 1'-0"



M:\Projects\2000 Marion Street\01 Drawings\02 Local\203 Marion St_OP_JY.rvt



- NOTES:
1. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT WIRE IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE).
 2. R.O.W. PLANTERS SHALL INCLUDE ELECTRICAL OUTLETS PER VILLAGE OF OAK PARK STANDARDS.



- NOTES:
1. TREES TO BE INSTALLED IN 36" MIN. PLANTING SOIL.
 2. SHRUBS TO BE INSTALLED IN 24" MIN. PLANTING SOIL.
 3. PERENNIALS TO BE INSTALLED IN 12" MIN. PLANTING SOIL.
 4. INSTALL DRAINAGE PIPE PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18

Project Status

PROJECT NUMBER 2000

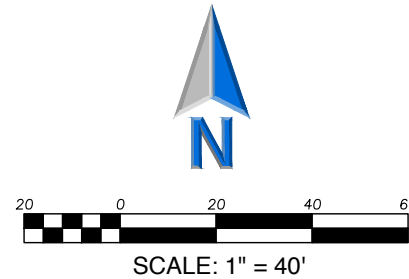
OAK PARK RESIDENCES
203 S. MARION STREET,
OAK PARK, IL
LANDSCAPE DETAILS

L506

8. Development Drawings

C. Engineering Utility Plan





LEGEND	
EXISTING	PROPOSED

DEMOLITION NOTES

- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- Coordinate Removal of Overhead Wires and Utility Poles with Authorities Having Jurisdiction and Respective Utility Providers.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- All Light Poles to Be Removed From Private Property Shall be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Drip Line of Trees to Remain. All Trenching Within the Drip Line of Existing Trees to Remain Shall be Done Radially Away From Trunk If Roots in Excess of 1" Diameter are Exposed. Roots Must be Cut by Reputable Tree Trimming Service Prior to Any Transverse Trenching. Obtain Approval of the Architect Prior to Operations For a Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall be Removed in Their Entirety and Stumps Shall be Ground to Proposed Subgrade. Use As Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

DEMOLITION LEGEND

	Utility Line Removal
	Bituminous Pavement Removal (Full Depth)

GENERAL NOTES, CONT'D

- All Streetscape Improvements to Match Village Standard Materials and Details.
- Developer Shall Install any New Parking and/or Traffic Signage Required in R.O.W. Corresponding to the Proposed Design.
- R.O.W. Planters Shall include Electrical Outlets Per Village of Oak Park Standards.
- All Planting Shall be Irrigated, including R.O.W. Planters, Per Village of Oak Park Standards.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermain, Sewers, Gas Lines, Etc., as Shown on the Plans, Has Been Determined From the Best Available Information and is Given for the Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other than Those Shown May be Encountered, and That the Actual Location of Those Which are Shown May be Different From the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different than Shown on the Drawings.
- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify the Owner, Engineer and the Village of Oak Park a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed by Construction Operations.
- These Drawings Assume That the Contractor Will Utilize an Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Media Shall Verify All Dimensions and Locations of Buildings With the Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist the User of This Information Shall Contact the Engineer Immediately.
- Provide an As-built Survey Prepared by a Licensed Professional Land Surveyor in Accordance With the Authorities Having Jurisdiction Which Shall include as a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For the Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, and All Addenda Thereto, Shall Govern the Earthwork and Paving Work Under This Contract Unless Noted Otherwise.



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCIAL DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL: INFO@EEA-LLD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

NO.	DESCRIPTION	DATE
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2	PD	2021.01.19

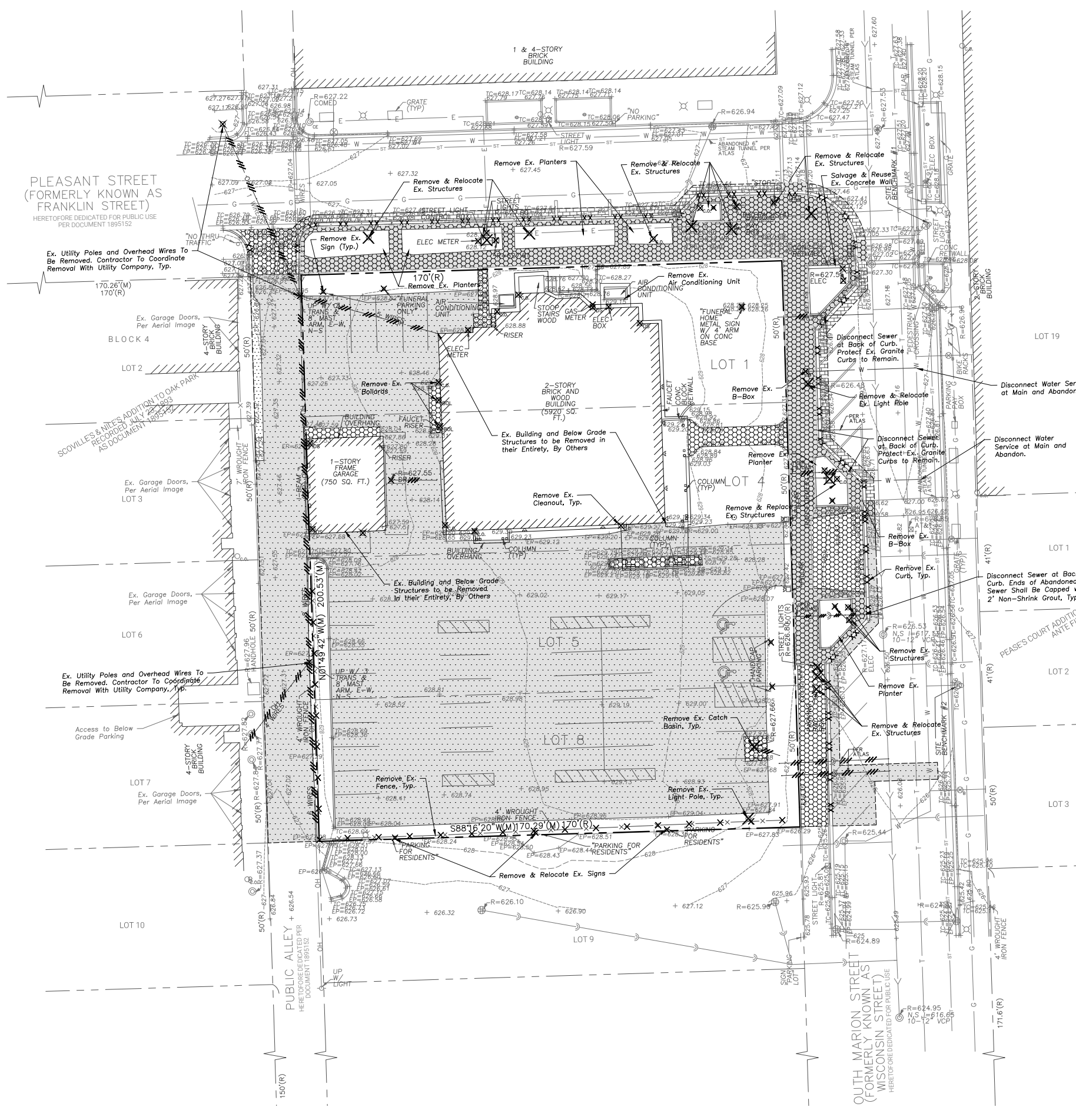
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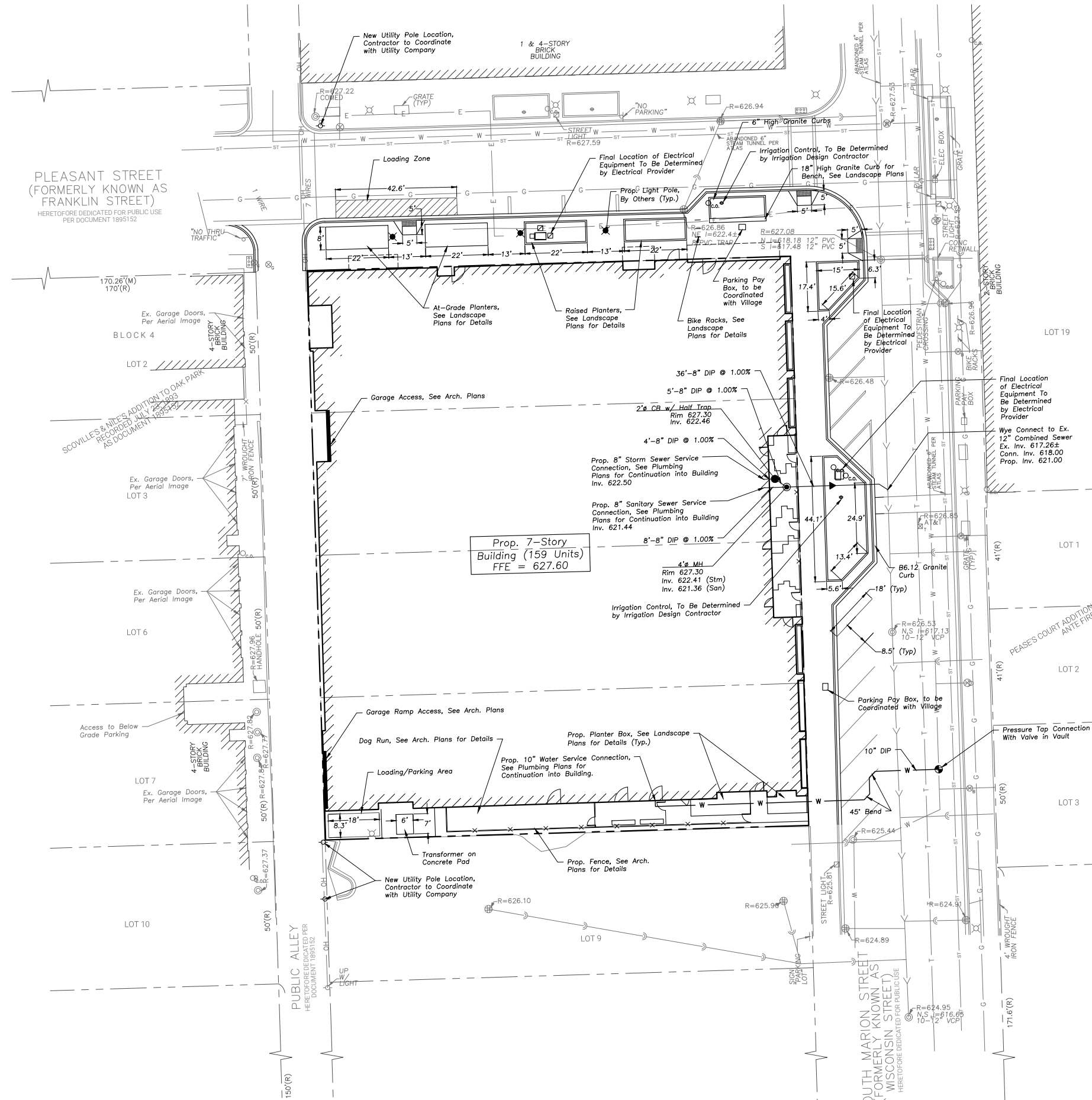
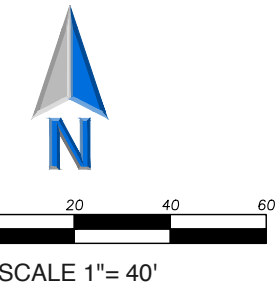
PROJECT NUMBER 2000

**OAK PARK
RESIDENCES**
203 S. MARION STREET,
OAK PARK, IL

SITE DEMOLITION PLAN

C100





LEGEND

EXISTING	PROPOSED

UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From The Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

STRUCTURE NOTES

- All Catch Basins to Be Installed in Paved Areas Shall Have Neenah R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grate Rings For Topsoil Respread. For Flat Slab Tops Install the Following Minimum Height of Grate Rings: 4" Diameter Structure- 4" 5" Diameter Structure- 6" 6" Diameter Structure- 8"
- All Catch Basins to Be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to Be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It is Intended That the Frame of the Structure is To Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Sanitary Manholes Shall Include a Chimney Seal.

GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back Of Curb, Face of Retaining Wall, Edge Of Pavement, Center of Structure and Outside Face of Building Foundation Unless Otherwise Noted.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2" x 11 Gauge Steel, Embedded 42" Minimum into Ground.

GENERAL NOTES, CONT'D

- All Streetscape Improvements To Match Village Standard Materials And Details.
- Developer Shall Install any New Parking And/or Traffic Signage Required In R.O.W. Corresponding To The Proposed Design.
- R.O.W. Planters Shall Include Electrical Outlets Per Village of Oak Park Standards.
- All Planting Shall Be Irrigated, Including R.O.W. Planters, Per Village of Oak Park Standards.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., as Shown On The Plans, Has Been Determined From The Best Available Information and the Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Shown May Be Encountered, and That The Actual Location of Those Which are Shown May Be Different From The Location as Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Oak Park A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appliance Locations.
- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



ERIKSSON ENGINEERING ASSOCIATES, LTD.
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-013220
EXPIRES: 04/30/2021

NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18
2	PD	2021.01.19

Project Status

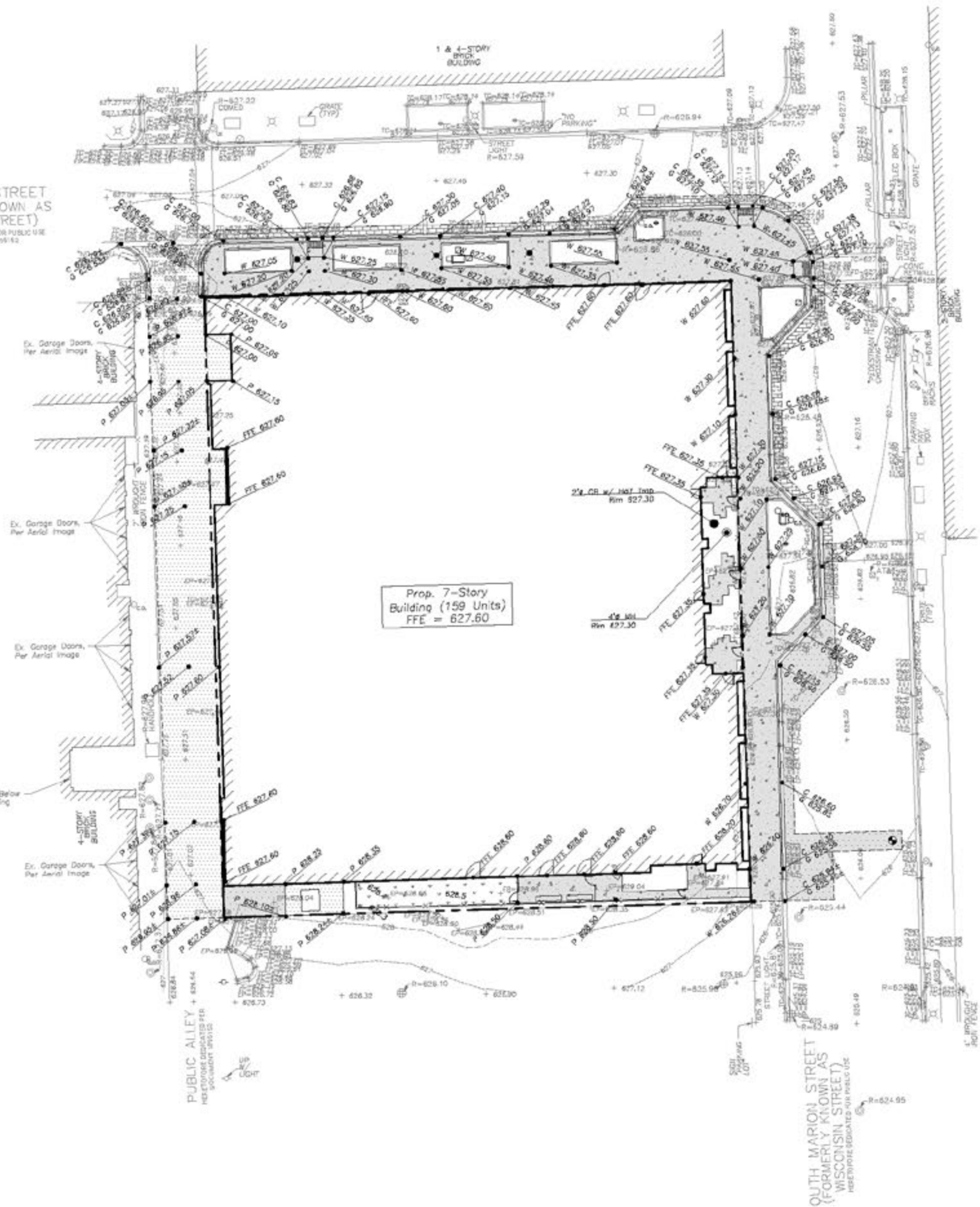
PROJECT NUMBER 2000

OAK PARK RESIDENCES
203 S. MARION STREET,
OAK PARK, IL

SITE GEOMETRY & UTILITY PLAN
C200



PLEASANT STREET
(FORMERLY KNOWN AS
FRANKLIN STREET)
HEREFORE DEDICATED FOR PUBLIC USE
PER DOCUMENT 189842



Prop. 7-Story
Building (159 Units)
FFE = 627.60

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Blank Manhole	Blank Manhole
Manhole	Manhole
Area Drain	Area Drain
Open Cut	Open Cut
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wire	Overhead Wire
Fluorescent Light (Blank)	Fluorescent Light (Blank)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Wire Vault	Wire Vault
Buttress Box	Buttress Box
Downspout	Downspout
Ballast	Ballast
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Structural Member	Structural Member
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mail Box	Light Pole w/ Mail Box
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Structure	Telephone Structure
Sign	Sign
Fence	Fence
Asphalt Paving Pad	Asphalt Paving Pad
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Extension	Curb Extension
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Surface Elevation	Surface Elevation
Grade Elevation	Grade Elevation
Type of Existing Pav. Condition	Type of Existing Pav. Condition
Spot	Spot
Center Line	Center Line
Deconstruct Tree	Deconstruct Tree
Construct Tree	Construct Tree
Tree Protection	Tree Protection
Fencing at Strip Line	Fencing at Strip Line

- GRADING NOTES**
1. Natural And Existing Soil Finishes at the Perimeter of the Construction Shall Be Maintained Unless Otherwise Indicated. All Proposed and Existing Structures Receiving Drainage From Disturbed Areas Shall Be Located Under the Lid in Not an Accessible Area in Landscaped Areas.
 2. The Grading and Distribution of Proposed Improvements Shall Be Done in a Manner Which Will Allow for Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
 3. All Landscaped Areas Disturbed by Construction Shall Be Regraded with a surface (Min.) to 12 inches (Min.) Topsoil and reseeded unless noted otherwise on the Landscape Drawings.
 4. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Slabs.

PAVING & SURFACE LEGEND

Asphalt Paving Section	1 1/2" Hot Mix Asphalt, Min. 0.1-0.5, N30
	2 1/2" Hot Mix Asphalt, 0-19.5, N30
	Prime Seal (0.25 gal/sq ft)
	6" Aggregate Base Course, Type B, Crushed, 01-4
Area Paver Section	By Others
Concrete Paving Section	8" Portland Cement Concrete
	6" #4 W2.5x2.9 Woven Wire Fabric
	6" Aggregate Base Course, Type B, Crushed
Concrete Slabwork Section	8" Portland Cement Concrete
	6" #4 W2.5x2.9 Woven Wire Fabric
	6" Aggregate Base Course, Type B, Crushed
Box Stone Concrete Slabwork Section	By Others
Dig Run Tuff	By Others
Stormwater Overhead Flow Path	
Edge Line/High Point	

- GENERAL NOTES**
1. The Location of Existing Underground Utilities, Such as Watermain, Sewers, Gas Lines, Etc., As Shown on the Plans, Has Been Determined From the Best Available Information and is Given For the Convenience of the Contractor. However, the Owner and the Engineer do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That the Actual Location of Those Utilities May Be Different From the Location As Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown on the Drawings.
 2. Notify the Engineer Without Delay of Any Discrepancies Between the Grading and Existing Field Conditions.
 3. Notify the Owner, Engineer and the Village of Oak Park a Minimum of 48 hours in Advance of Performing Any Work.
 4. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Regraded to Original Condition to the Satisfaction of the Owner at no Additional Cost to the Owner. It is incumbent upon Contractor to show that some areas have not been disturbed by Construction Operations.
 5. These Drawings Assume that the Contractor Will Utilize an Electronic Drawing File (DWG) and Show All Site Improvement Accurately.
 6. No Person May Utilize the Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
 7. The Engineer is Furnishing These Drawings for Construction Purposes As a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Matter Shall Verify All Dimensions and Locations of Buildings With the Foundation Drawings and Architectural Site Plans, and Coordinate All Dimensions and Locations of All Site Items, if Conflicts Exist the User of This Information Shall Contact the Engineer Immediately.
 8. Profile or Section Survey Prepared by a Licensed Professional Land Surveyor in Accordance with the Authority Having Jurisdiction Which Shall Include as a Minimum of Stationing, Station and Level Management Practices, Includes All Storm and Sanitary Sewers, Structures, Locations, Sizes, Rises and Invert Elevations, Final Detention Volume Calculations for the Basin(s), Watershed and Inlet and Appurtenance Locations.
 9. The Illinois Department of Transportation Standard Specifications for Road and Bridge Construction Latest Edition, and All Addenda Thereto, Shall Govern the Contract and Paving Work under this Contract unless Noted Otherwise.

NO.	DESCRIPTION	DATE
1	ISSUANCE	2001.12.19
2	NO	2001.12.19

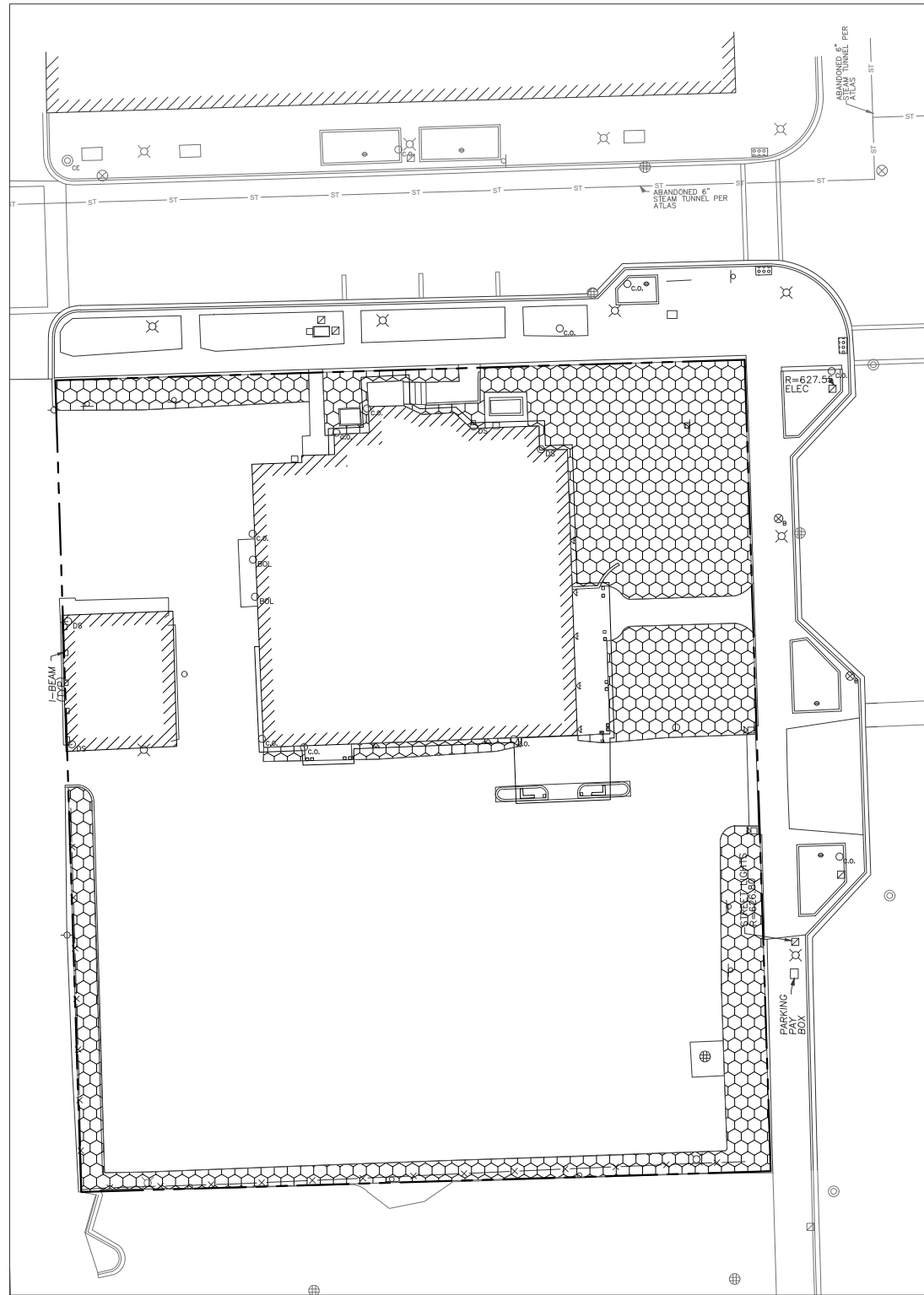
Project Status

PROJECT NUMBER 2000

OAK PARK RESIDENCES
203 S. MARION STREET,
OAK PARK, IL

GRADING & PAVING PLAN

C300

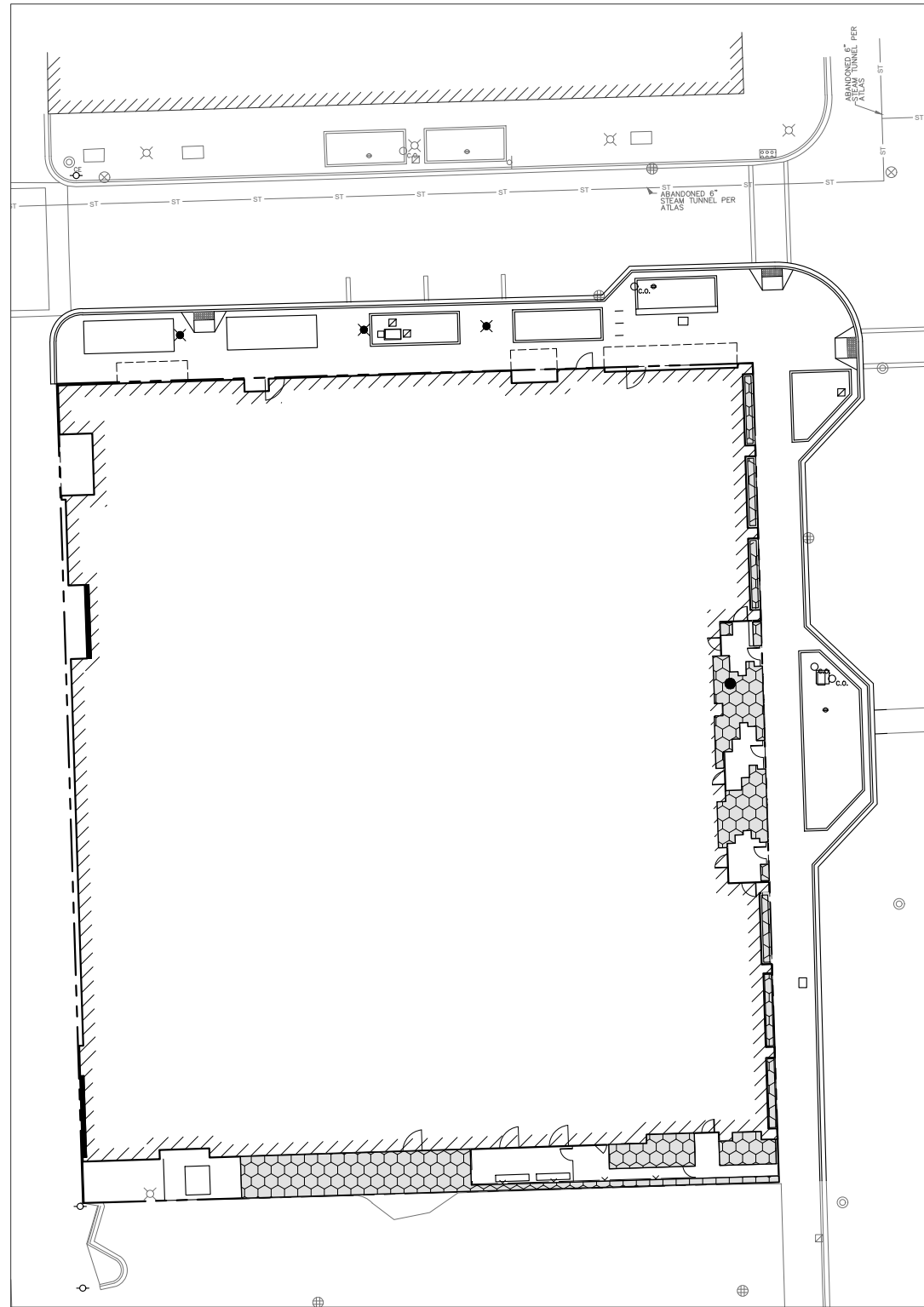


EXISTING CONDITIONS

Area Summary

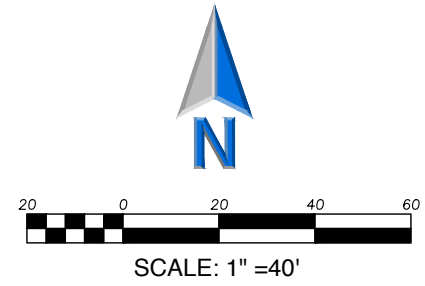
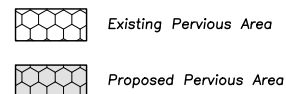
Ex. Pervious Area = 6,955 SF
 Prop. Pervious Area = 15,621 SF
 At-Grade Pervious Area = 1,521 SF
 Green Roof = 14,100 SF

Total Site Area = 34,141 SF
 % Ex. Pervious Area = 25.6%
 % Prop. Pervious Area = 45.8%
 % Net Change = +20.2%



PROPOSED CONDITIONS

PAVING & SURFACE LEGEND



LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Oak Park A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Herein Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
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- The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereof, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

BOOTH HANSEN

Architecture • Interiors • Planning
 333 South Des Plaines Street
 Chicago, Illinois 60661



**ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	2020.12.18
2	PD	2021.01.19

Project Status

PROJECT NUMBER 2000

**OAK PARK
 RESIDENCES**
 203 S. MARION STREET,
 OAK PARK, IL

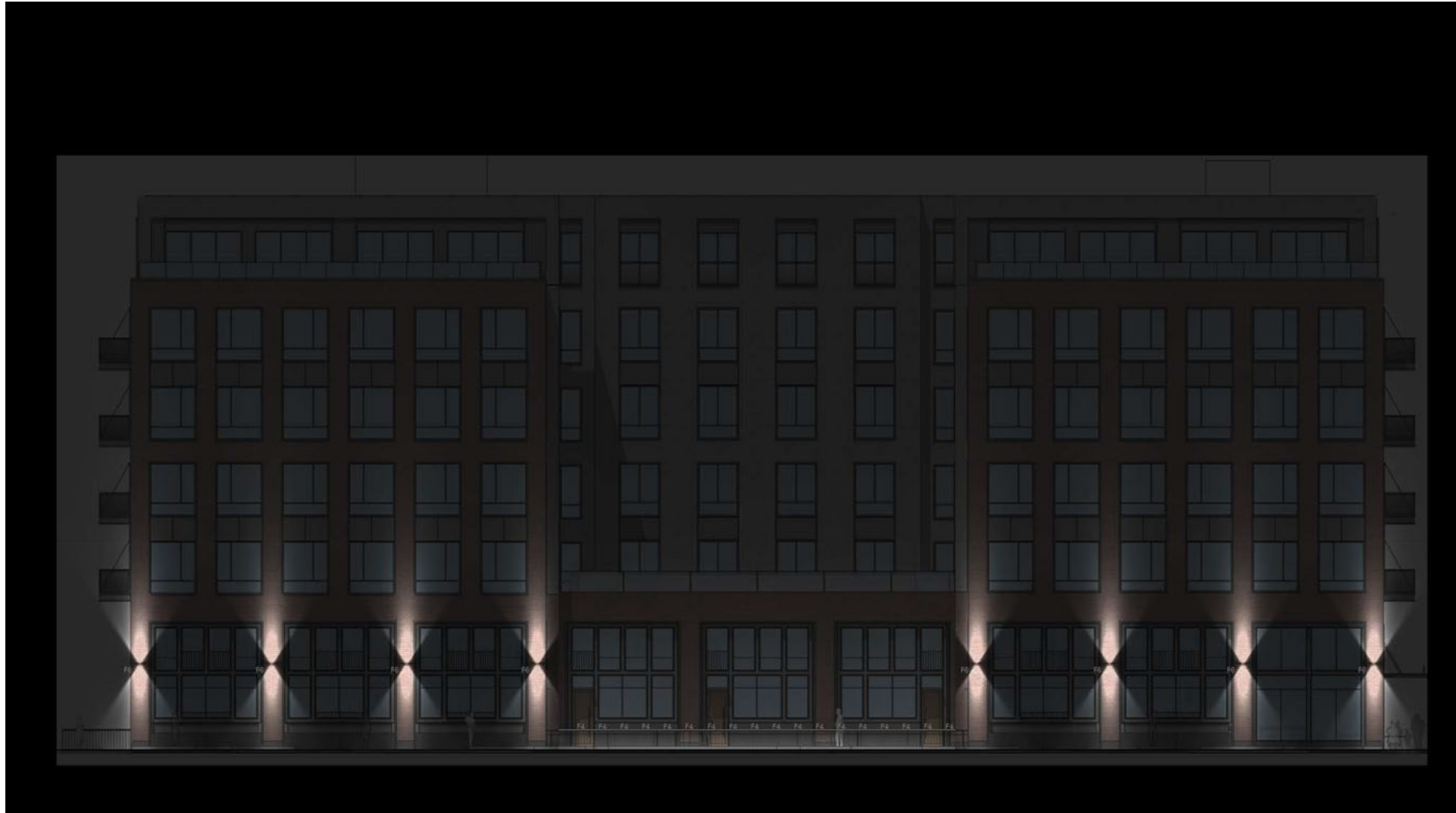
AREA EXHIBIT

C400

8. Development Drawings

D. Exterior Lighting Plan





EAST ELEVATION - MARION STREET



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
2'-0" Property Line Calc.	+	4.4 fc	23.0 fc	0.0 fc	N/A	N/A
4'-0" Property Line Calc.	+	2.0 fc	7.7 fc	0.0 fc	N/A	N/A
6'-0" Property Line Calc.	+	1.1 fc	3.6 fc	0.0 fc	N/A	N/A
8'-0" Property Line Calc.	+	0.5 fc	2.0 fc	0.0 fc	N/A	N/A
10'-0" Property Line Calc.	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
12'-0" Property Line Calc.	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A
Full Area Calc.	+	0.5 fc	36.1 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	LLF	
□	F1	2	Lithonia Lighting	WST LED P2 27K VW MVOLT	WST LED, Performance package 2, 2700 K, visual comfort wide, MVOLT	1	WST_LED_P2_27K_VW_MVOLT.ies	3201	0.93	
	F4	19	LED Linear GmbH	VarioLED HYDRA LD10 W825 C013 IP67 1000	VarioLED HYDRA LD10 W825 C013 IP67 1000	1	VarioLED_HYDRA_LD10_W825_C013_IP67_1000.ies	780	0.93	
○	F6	23	BEGA Converted by LUMCat V 07.11.2016 / H.R.	66519	66519	1	66519_BEGA_IES (1).ies	2445	0.93	

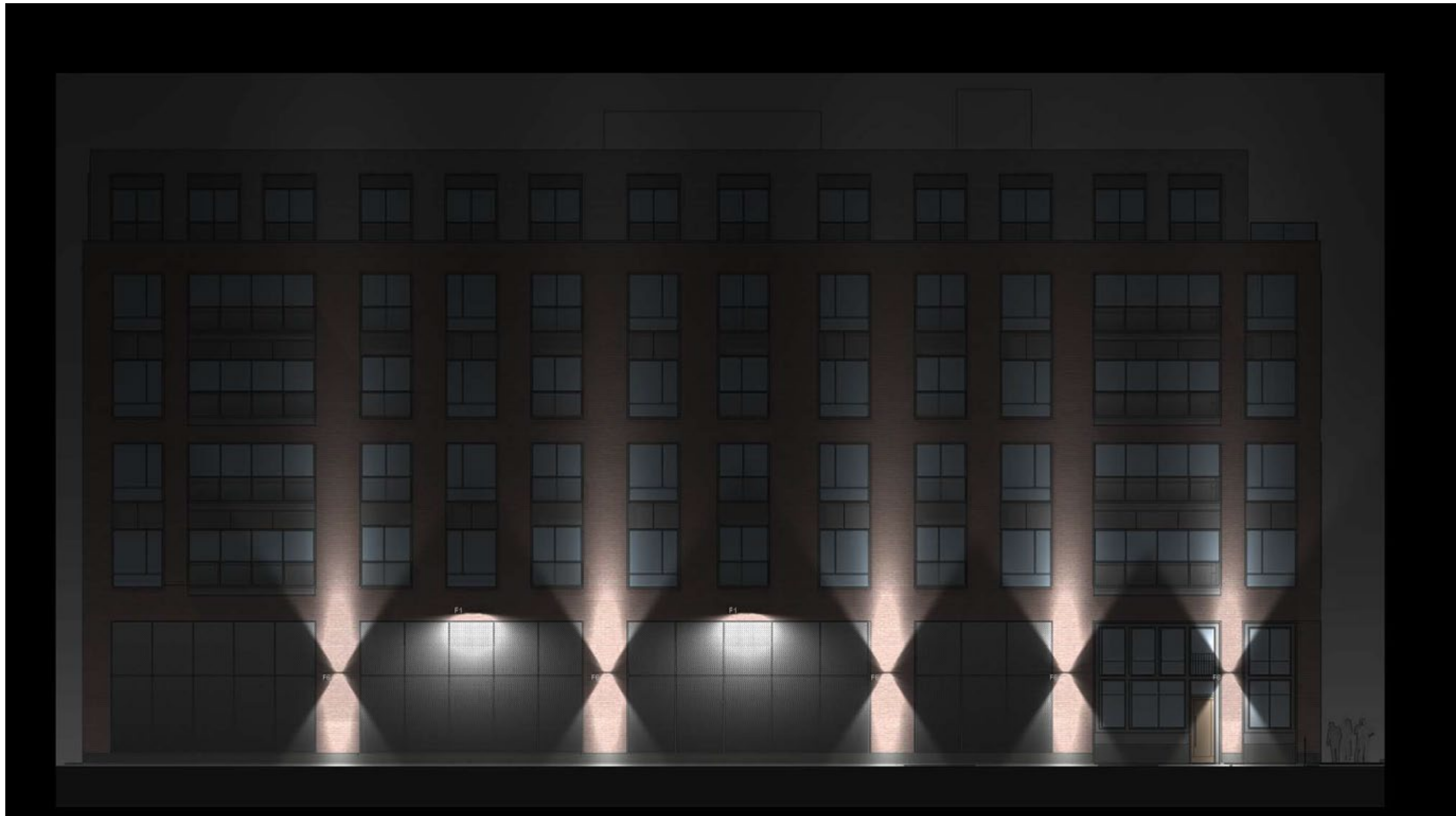
**THIS DOCUMENT CONTAINS CONFIDENTIAL AND PROPRIETARY INFORMATION OF KSA LIGHTING & CONTROLS. THIS DOCUMENT MAY ONLY BE USED BY OR FOR THE BENEFIT OF KSA LIGHTING & CONTROLS REPRESENTATIVES AND CUSTOMERS. FOR LIGHTING DESIGNS THIS LIGHTING DESIGN IS NOT A PROFESSIONAL ENGINEERING DRAWING AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, WITHOUT WARRANTY AS TO ACCURACY, COMPLETENESS, RELIABILITY OR OTHERWISE. KSA LIGHTING & CONTROLS IS NOT RESPONSIBLE FOR SPECIFYING THE LIGHTING OR ILLUMINATION REQUIREMENTS FOR ANY SPECIFIC PROJECT, INCLUDING MUNICIPAL OR BUILDING CODE REQUIREMENTS. IT IS THE OBLIGATION OF THE END-USER TO CONSULT WITH A PROFESSIONAL ENGINEERING ADVISOR TO DETERMINE WHETHER THIS LIGHTING DESIGN MEETS THE APPLICABLE PROJECT REQUIREMENTS FOR LIGHTING SYSTEM PERFORMANCE, SAFETY, SUITABILITY AND EFFECTIVENESS FOR USE IN A PARTICULAR APPLICATION. FIELD VERIFICATION IS RECOMMENDED WHEN CALCULATIONS ARE BASED ON END-USER OR CUSTOMER-PROVIDED INFORMATION. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DIRT ACCUMULATION) CAN CAUSE ACTUAL FIELD PERFORMANCE TO DIFFER FROM THE CALCULATED PHOTOMETRIC PERFORMANCE REPRESENTED IN THIS LIGHTING DESIGN. IN NO EVENT WILL KSA LIGHTING & CONTROLS BE RESPONSIBLE FOR ANY LOSS RESULTING FROM ANY USE OF THIS LIGHTING DESIGN.



View #8

Schedule								
Symbol	Label	QTY	Manufacturer	Description	Number Lamps	Filename	Lumens per Lamp	LLF
	F6	6	BEGA	66519	1	66519_BEGA_IES (1).ies	2445	0.93
	F7	8	BEGA	66975	1	66975_BEGA_IES.ies	337	0.25

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SOUTH ELEVATION

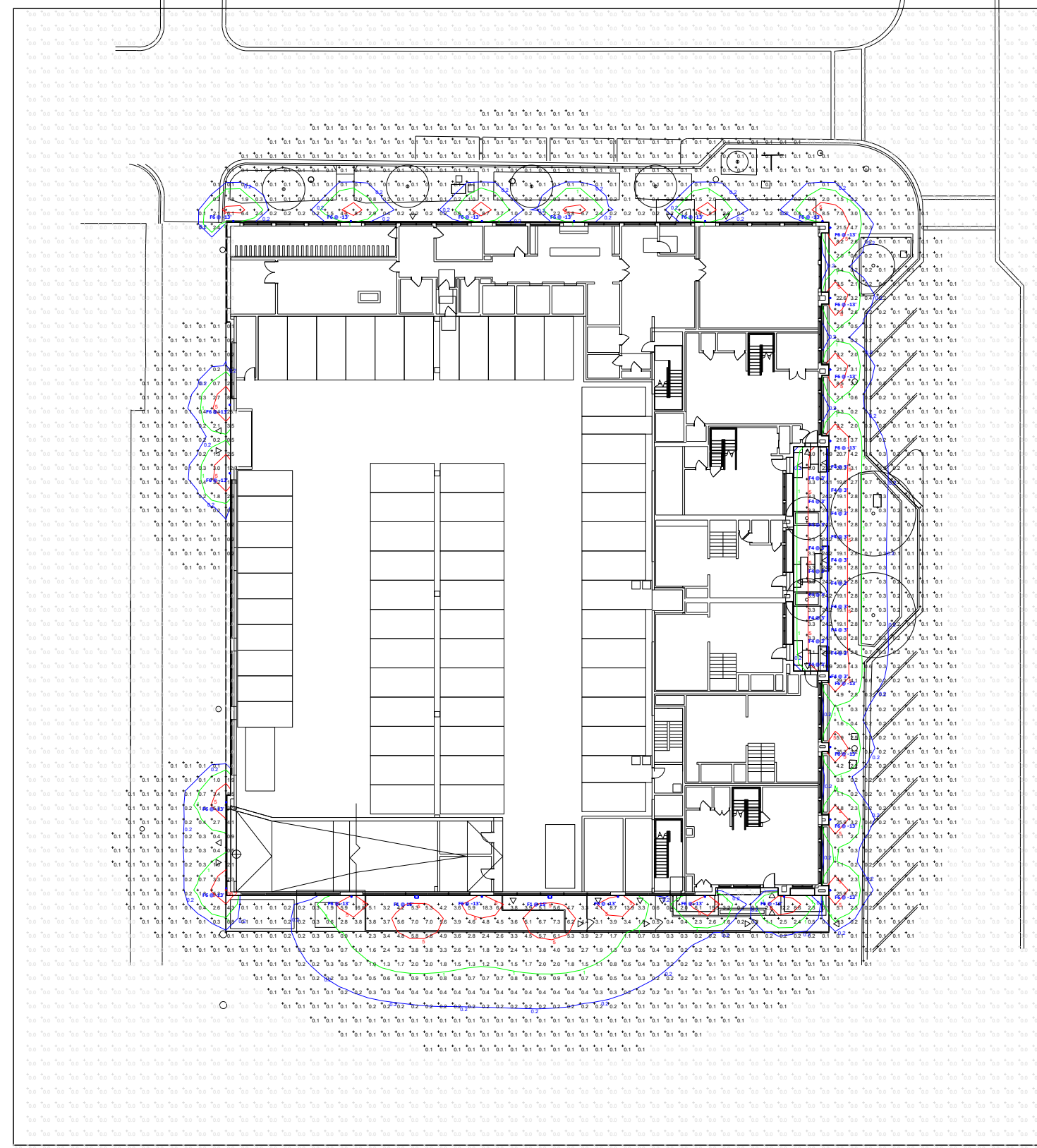
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
2'-0" Property Line Calc.	+	4.4 fc	26.8 fc	0.0 fc	N/A	N/A
4'-0" Property Line Calc.	+	2.0 fc	8.9 fc	0.0 fc	N/A	N/A
6'-0" Property Line Calc.	+	1.0 fc	3.9 fc	0.0 fc	N/A	N/A
8'-0" Property Line Calc.	+	0.5 fc	2.4 fc	0.0 fc	N/A	N/A
10'-0" Property Line Calc.	+	0.3 fc	2.1 fc	0.0 fc	N/A	N/A
12'-0" Property Line Calc.	+	0.2 fc	1.7 fc	0.0 fc	N/A	N/A
Full Area Calc.	+	0.5 fc	35.8 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	LLF
	F1	2	Lithonia Lighting	WST LED P2 27K VW MVOLT	WST LED, Performance package 2, 2700 K, visual comfort wide, MVOLT	1	WST_LED_P2_27K_VW_MVOLT.ies	3201	0.93
	F4	19	LED Linear GmbH	VarioLED HYDRA LD10 W825 C013 IP67 1000	VarioLED HYDRA LD10 W825 C013 IP67 1000	1	VarioLED_HYDRA_LD10_W825_C013_IP67_1000.ies	780	0.93
	F6	23	BEGA Converted by LUMCat V 07.11.2016 / H.R.		66519	1	66519_BEGA_IES (1).ies	2445	0.93

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Plan View
Scale: 1/4" = 1'-0"

NOTES:
 1. CALCULATION POINTS ARE AT GROUND LEVEL.
 2. ALL FIXTURE HEIGHTS ARE NOTED ON THE PLAN.
 3. CALCULATIONS POINTS ARE ON A 4' x 4' SPACING.
 4. CARS, SHRUBBERY, EQUIPMENT AND SIGNAGE CAN CAUSE REDUCED LIGHT LEVELS FROM WHAT IS EXPECTED.
 5. CALCULATIONS PROVIDED ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.
 **FIELD VERIFICATION REQUIRED.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
2'-0" Property Line Calc.	+	4.5 fc	25.6 fc	0.0 fc	N/A	N/A
4'-0" Property Line Calc.	+	2.1 fc	8.7 fc	0.0 fc	N/A	N/A
6'-0" Property Line Calc.	+	1.1 fc	4.1 fc	0.0 fc	N/A	N/A
8'-0" Property Line Calc.	+	0.5 fc	2.2 fc	0.0 fc	N/A	N/A
10'-0" Property Line Calc.	+	0.3 fc	1.4 fc	0.0 fc	N/A	N/A
12'-0" Property Line Calc.	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A
Full Area Calc.	+	0.5 fc	36.2 fc	0.0 fc	N/A	N/A

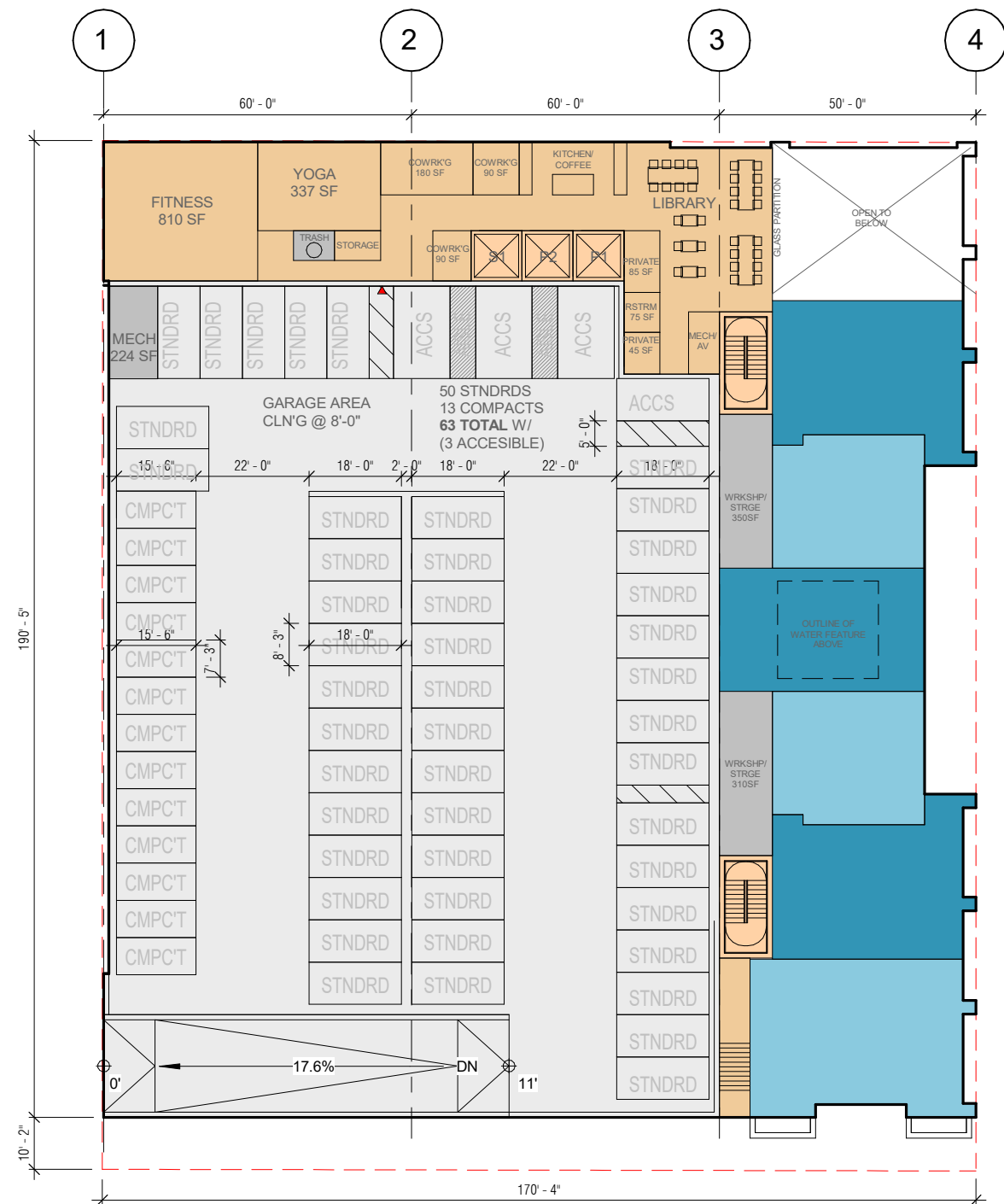
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	LLF
	F1	2	Lithonia Lighting	WST LED P2 27K VW MVOLT	WST LED, Performance package 2, 2700 K, visual comfort wide, MVOLT	1	WST_LED_P2_27K_VW_MVOLT.ies	3201.142	0.93
	F4	19	LED Linear GmbH	VarioLED HYDRA LD10 W825 C013 IP67 1000	VarioLED HYDRA LD10 W825 C013 IP67 1000	1	VarioLED_HYDRA_LD10_W825_C013_IP67_1000.ies	780.15	0.93
	F6	23	BEGA Converted by LUMCat V 07.11.2016 / H.R.		66519	1	66519_BEGA_IES (1).ies	2444.653	0.93

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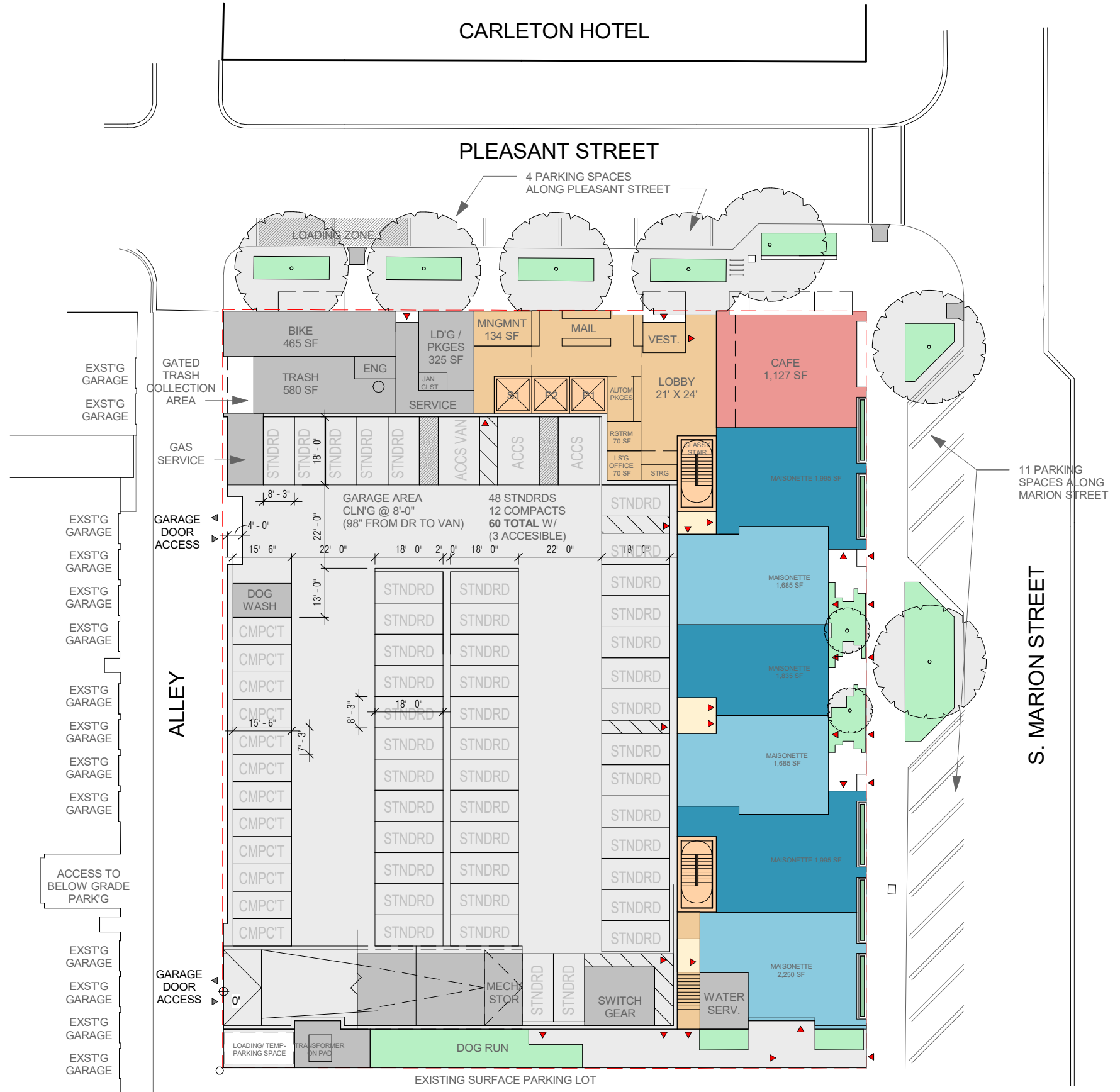
8. Development Drawings

E. Floor Plans





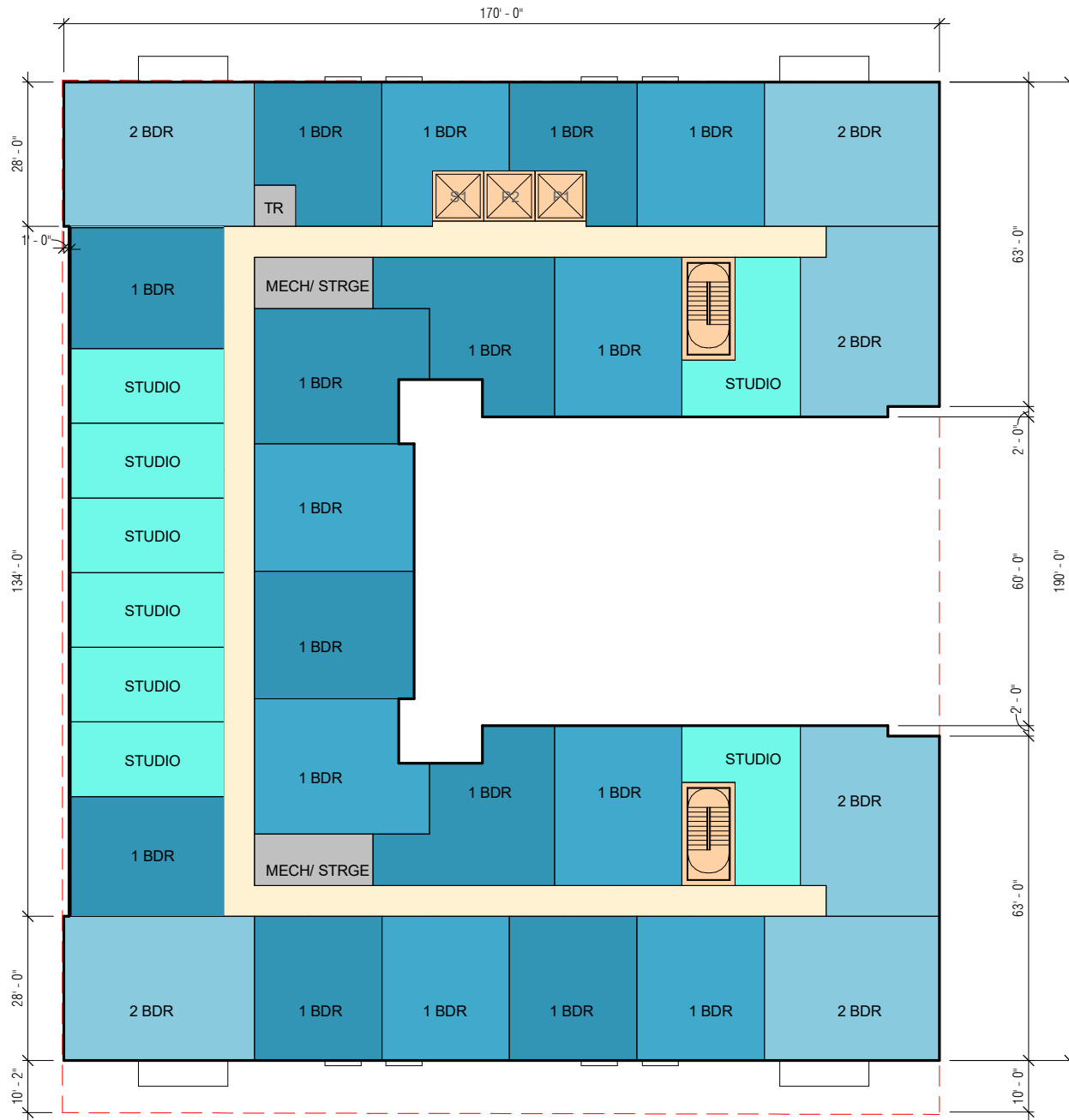
2 LEVEL 2 PLAN -
1/32" = 1'-0"



1 LEVEL 1 PLAN -
1/32" = 1'-0"

UNIT COUNT: 32

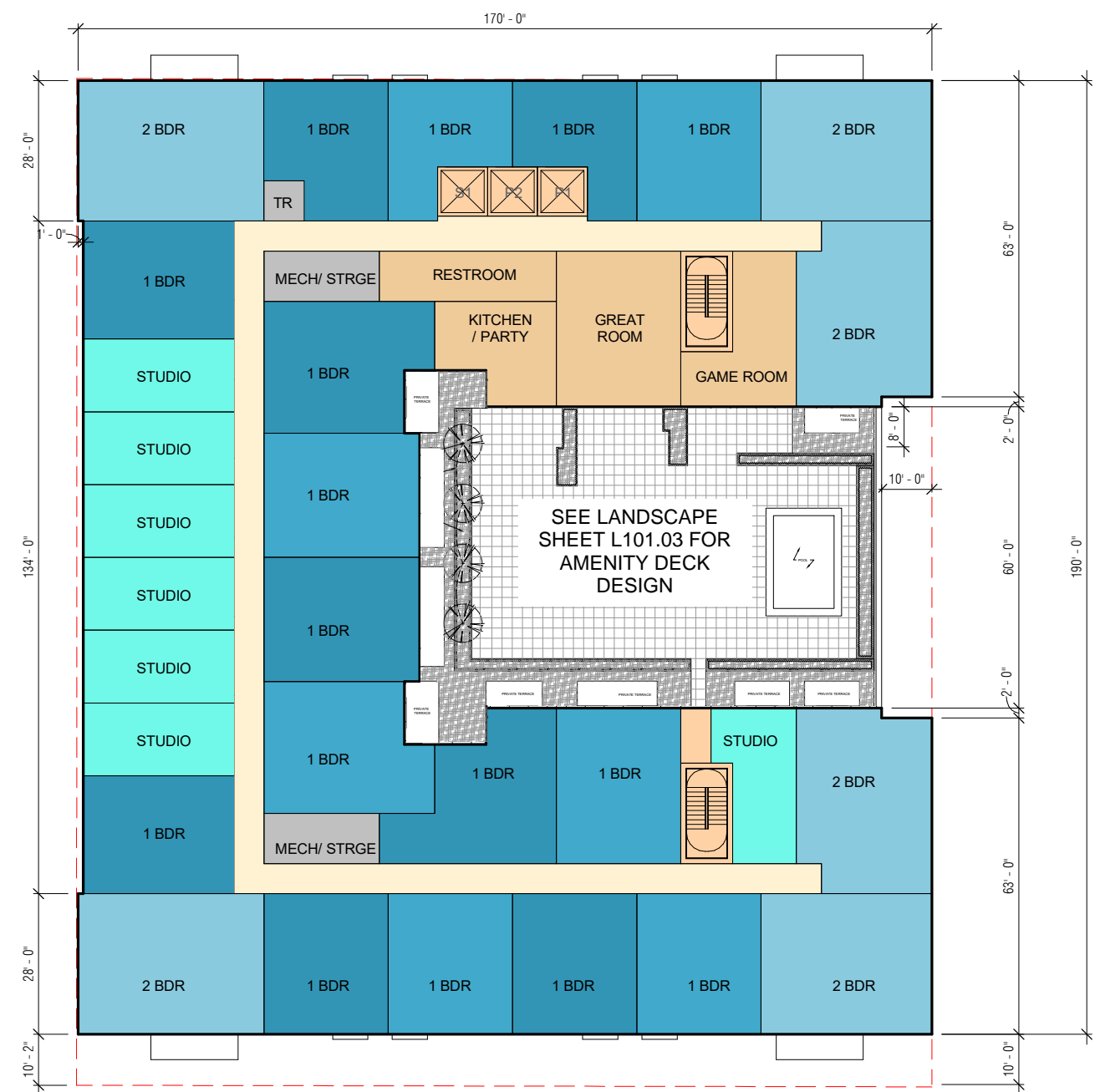
2 BEDROOM: 6
1 BEDROOM: 18
STUDIO: 8
25,738 GSF



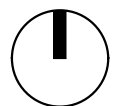
1 LEVEL 4-6 PLAN-
1/32" = 1'-0"

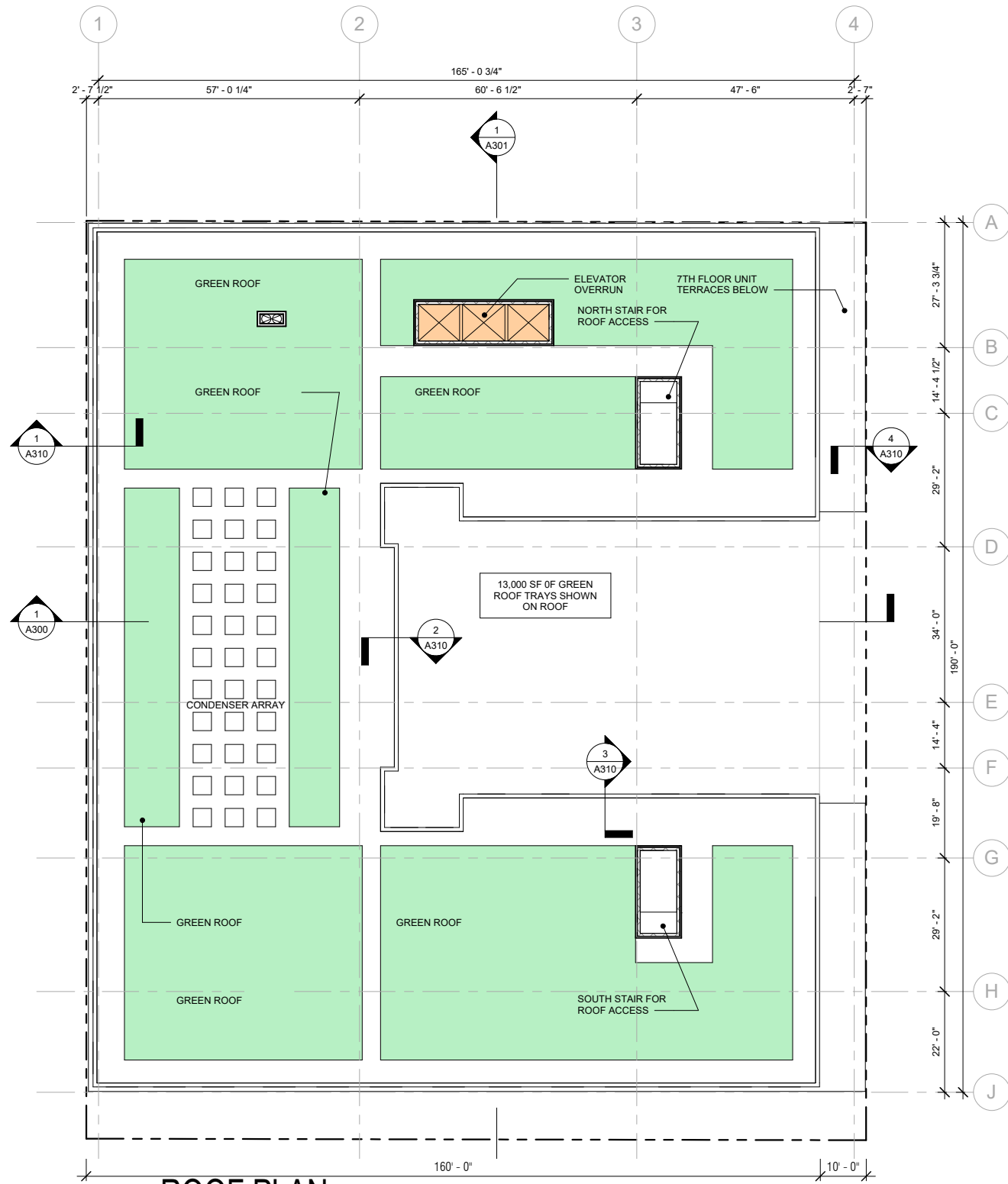
UNIT COUNT: 29

2 BEDROOM: 6
1 BEDROOM: 16
STUDIO: 7
25,738 GSF



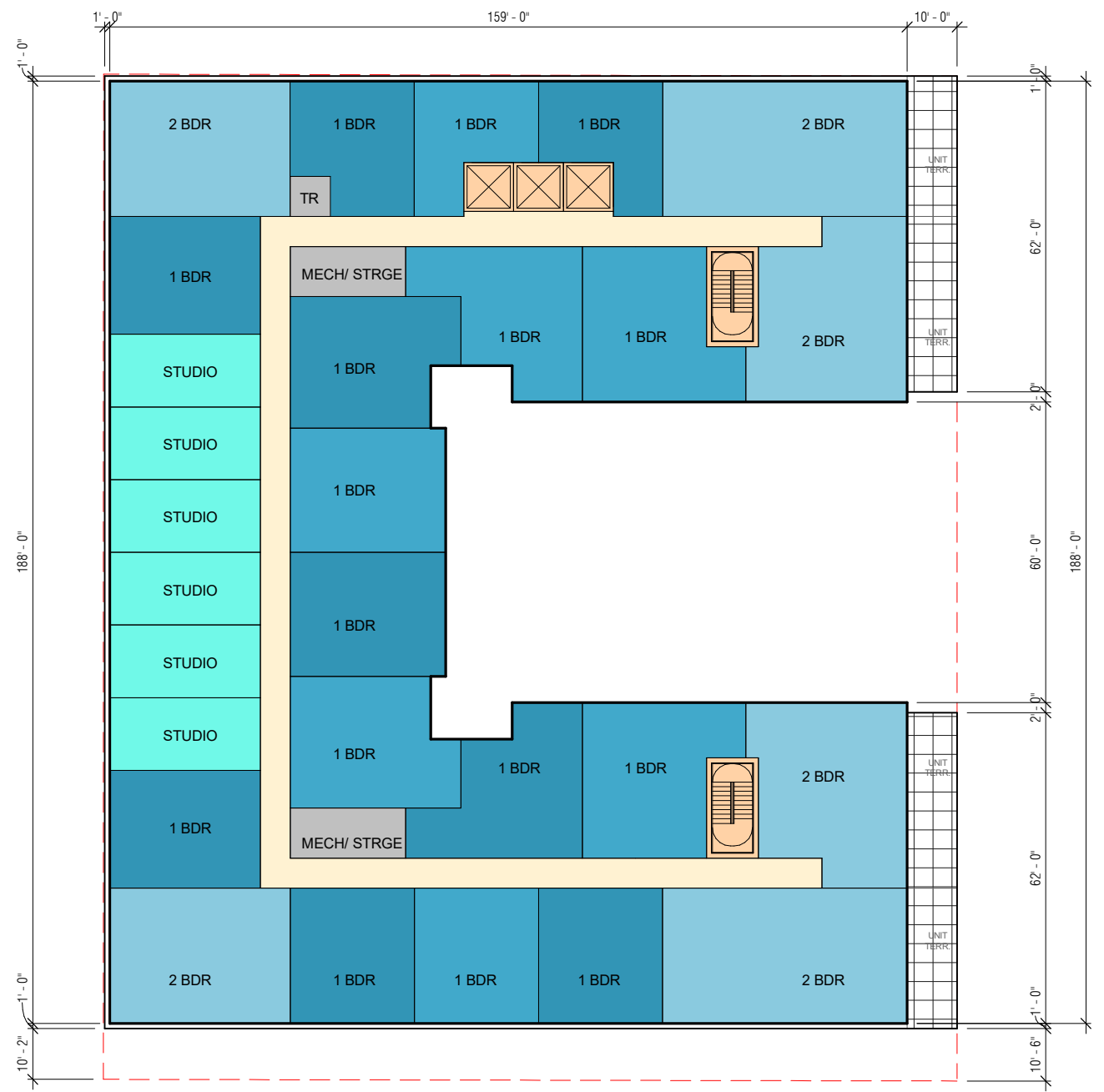
2 LEVEL 3 PLAN-
1/32" = 1'-0"





2 ROOF PLAN-
1/32" = 1'-0"

UNIT COUNT: 28
 2 BEDROOM: 6
 1 BEDROOM: 16
 STUDIO: 6
 24,104 GSF



1 LEVEL 7 PLAN-
1/32" = 1'-0"

8. Development Drawings

F. Building Elevations





4 WEST ELEVATION
1/32" = 1'-0"



3 SOUTH ELEVATION
1/32" = 1'-0"



2 EAST ELEVATION
1/32" = 1'-0"



1 NORTH ELEVATION
1/32" = 1'-0"

KEYNOTES

- | | | | | |
|---|---|-------------------|---|---|
| 01 STEEL PICKET FENCE & GATES | 04 METAL CLADDING, INTEGRATED INTO WINDOW WALL SYSTEM | 07 GRANITE BASE | 10 MASONRY CLADDING | 13 GUARDRAIL, METAL FRAME W PERFORATED METAL PANEL INFILLS |
| 02 WINDOW WALL W LOW E INSUL VISION GLASS | 05 BRICK VENEER CLADDING | 08 MASONRY VENEER | 11 METAL SCREEN WALL | 14 OVERHEAD COILING GARAGE DOOR |
| 03 WINDOW OR DOOR SYSTEM W LOW E INSUL VISION GLASS | 06 FIBER CEMENT CLADDING | 09 PLANTER BOXES | 12 GUARDRAIL, METAL FRAME W GLASS INFILL PANELS | 15 GARAGE SCREENING, METAL FRAME W PERFORATED METAL PANEL INFILLS |





3 SOUTH COURTYARD ELEVATION
1/32" = 1'-0"



2 EAST COURTYARD ELEVATION
1/32" = 1'-0"



1 NORTH COURTYARD ELEVATION
1/32" = 1'-0"

KEYNOTES

- | | |
|---|---|
| 01 STEEL PICKET FENCE & GATES | 04 METAL CLADDING, INTEGRATED INTO WINDOW WALL SYSTEM |
| 02 WINDOW WALL W LOW E INSUL VISION GLASS | 05 BRICK VENEER CLADDING |
| 03 WINDOW OR DOOR SYSTEM W LOW E INSUL VISION GLASS | 06 FIBER CEMENT CLADDING |

- | |
|-------------------|
| 07 GRANITE BASE |
| 08 MASONRY VENEER |
| 09 PLANTER BOXES |

- | |
|---|
| 10 MASONRY CLADDING |
| 11 METAL SCREEN WALL |
| 12 GUARDRAIL, METAL FRAME W GLASS INFILL PANELS |

- | |
|---|
| 13 GUARDRAIL, METAL FRAME W PERFORATED METAL PANEL INFILLS |
| 14 OVERHEAD COILING GARAGE DOOR |
| 15 GARAGE SCREENING, METAL FRAME W PERFORATED METAL PANEL INFILLS |

8. Development Drawings

G. Building Perspectives



















8. Development Drawings

H. Streetscape





2 NORTH CONTEXT ELEVATION
1" = 50'-0"

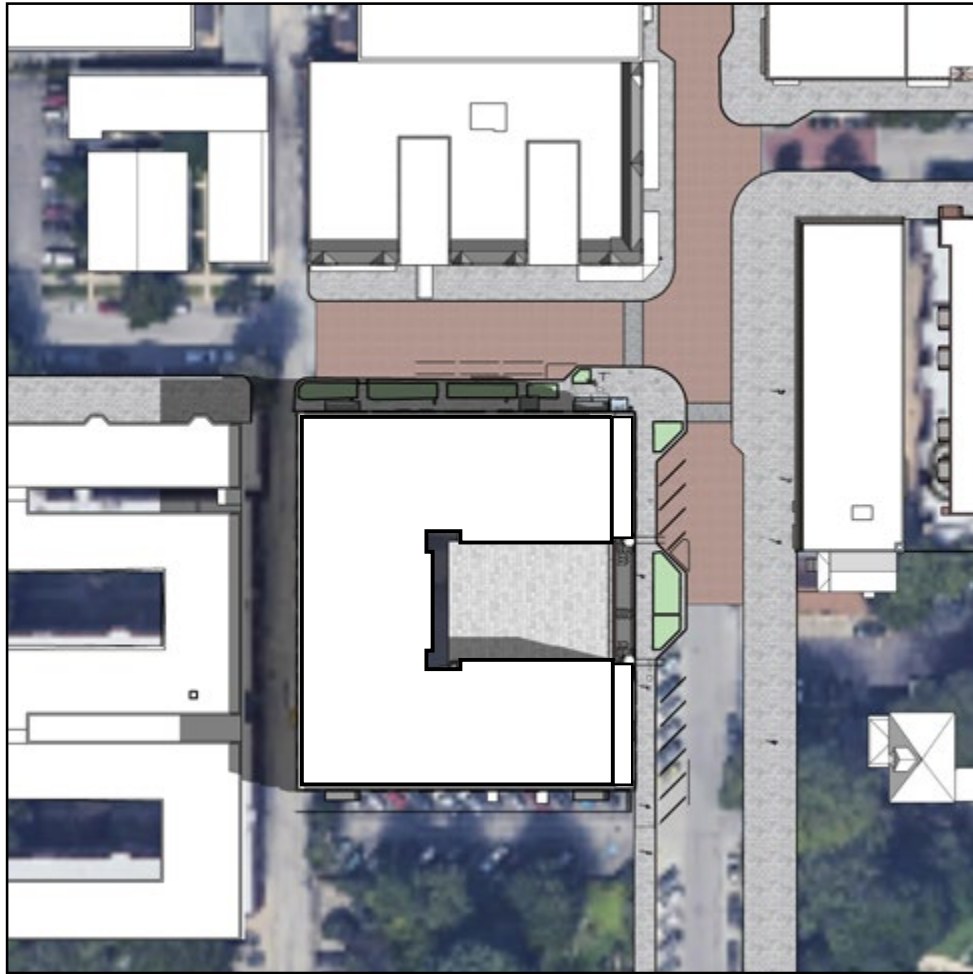


1 EAST CONTEXT ELEVATION
1" = 50'-0"

8. Development Drawings

I. Shadow Study

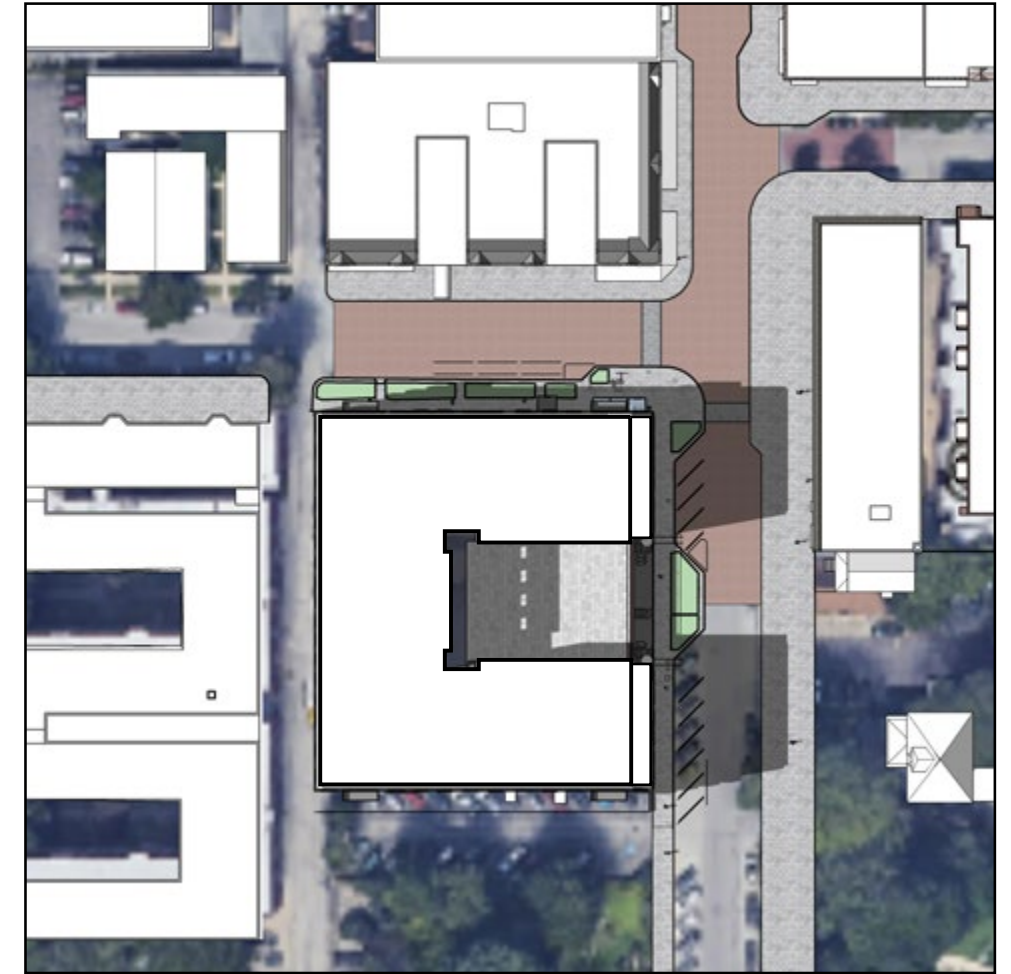




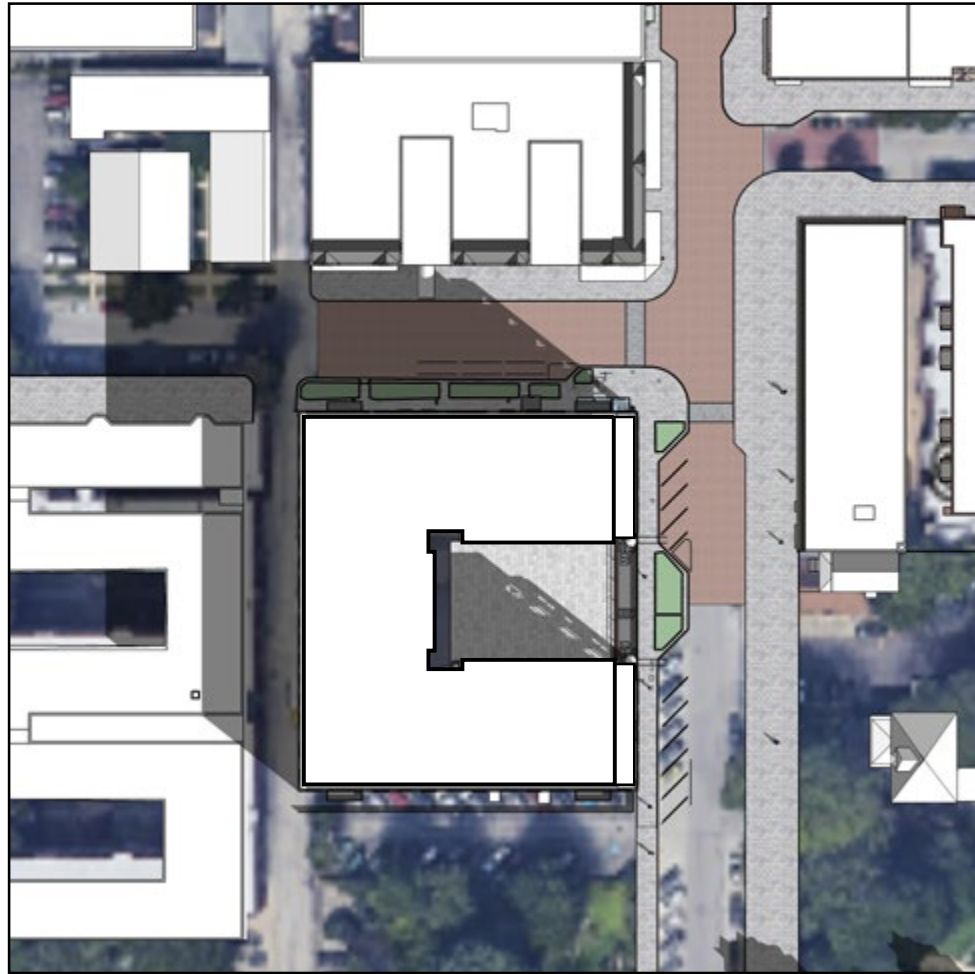
JUNE 20, 9AM



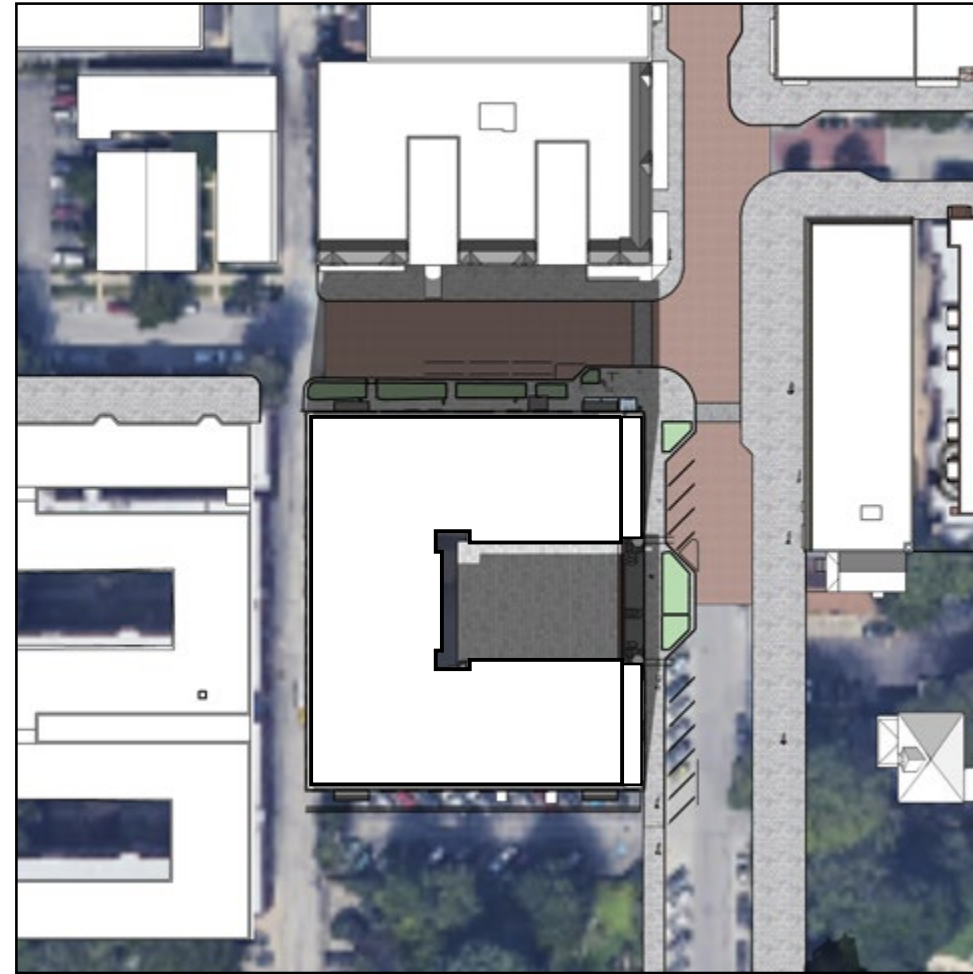
JUNE 20, 12PM



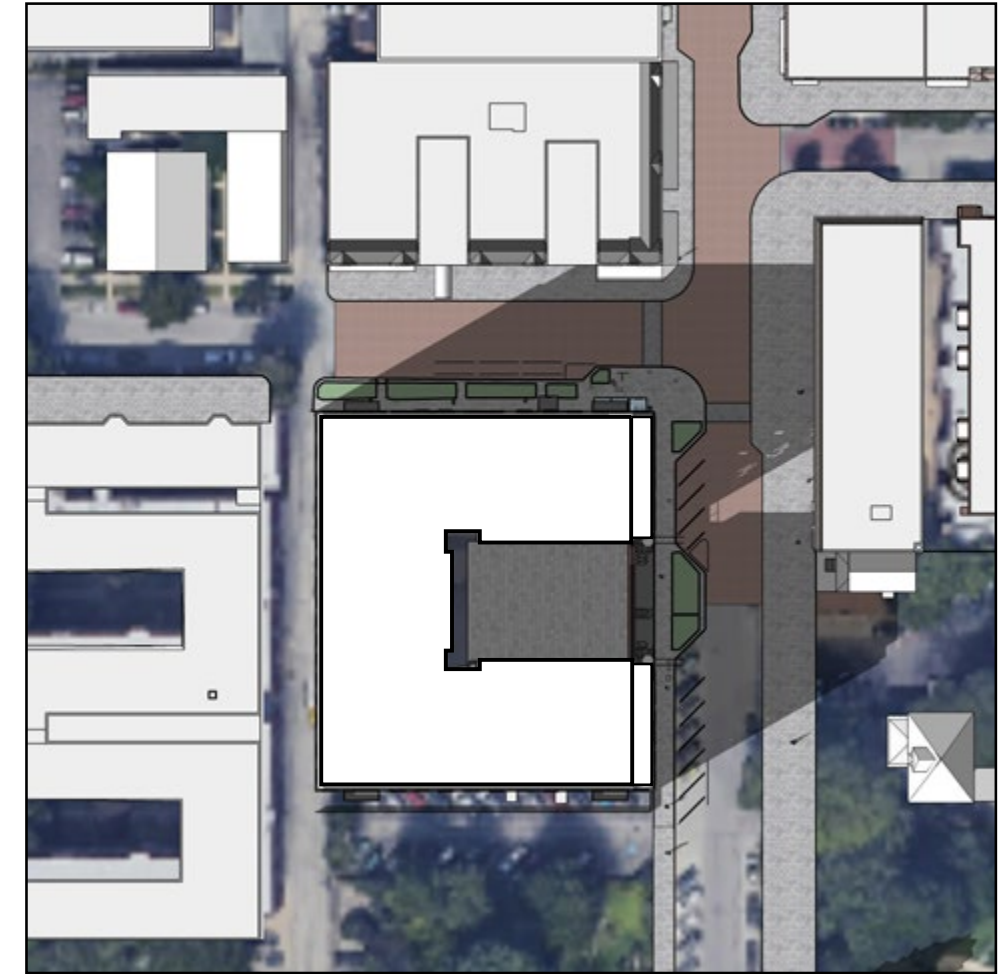
JUNE 20, 3PM



SEPTEMBER 22, 9AM
/ MARCH 20



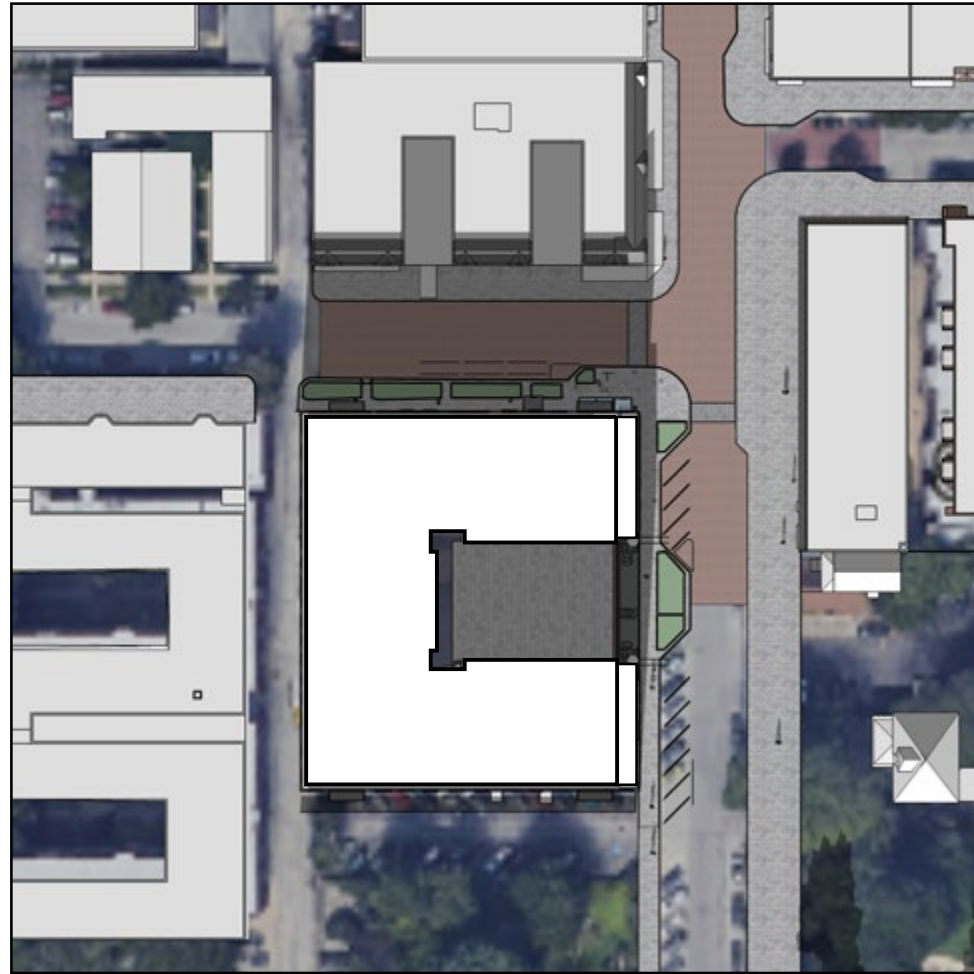
SEPTEMBER 22, 12PM
/ MARCH 20



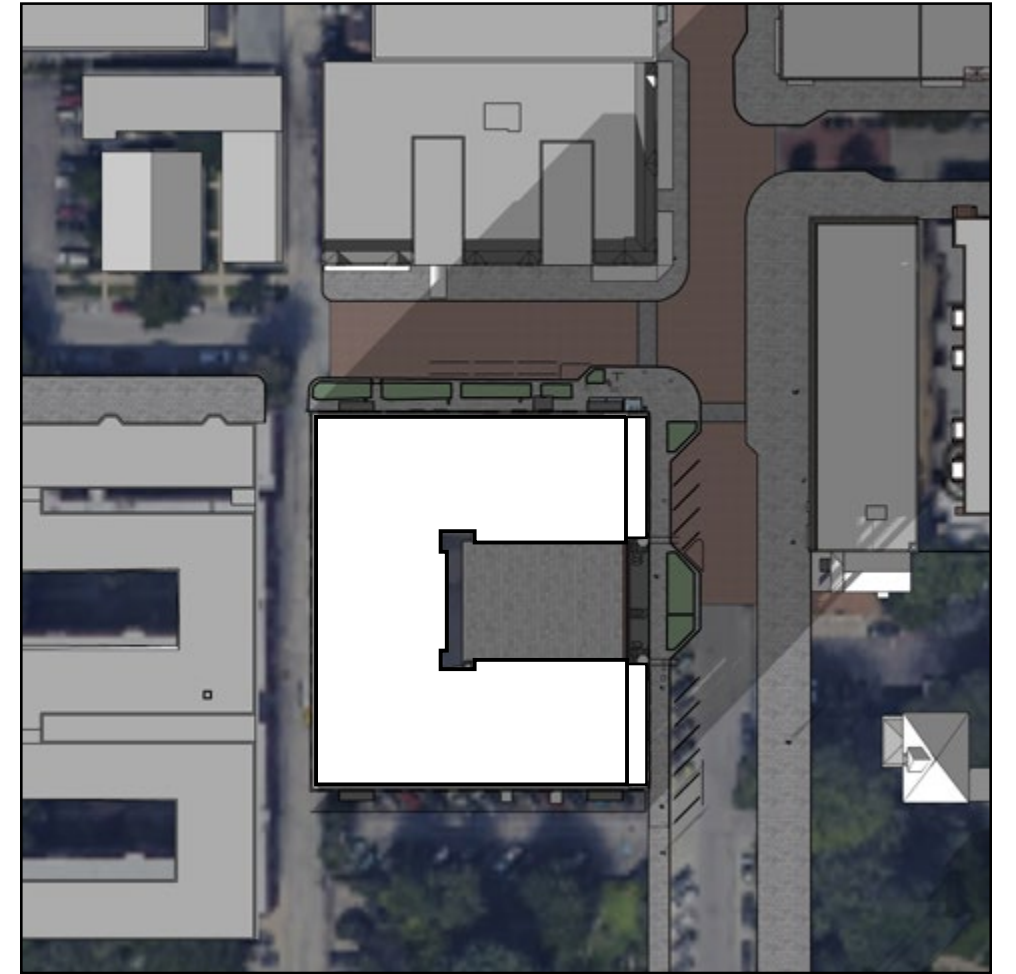
SEPTEMBER 22, 3PM
/ MARCH 20



DECEMBER 21, 9AM



DECEMBER 21, 12PM



DECEMBER 21, 3PM

8. Development Drawings

J. Sign Elevations



LOCATION FOR PERMANENT WINDOW SIGNAGE BELOW CANOPY @ RETAIL (190SF)

LOCATION FOR BACKLIT PROJECTED LETTER SIGNAGE (24 SF)

LOCATION FOR WALL SIGNAGE (ALONG 2 GRANITE RETURNS (18 SF OR 1' X 18' X 2 = 36 SF)

LOCATION FOR PERMANENT WINDOW SIGNAGE (60 SF)

LOCATION FOR BACKLIT PROJECTED LETTER SIGNAGE (24 SF)

LOCATION FOR WALL SIGNAGE (ALONG 2 GRANITE RETURNS (18 SF OR 1' X 18' X 2 = 36 SF)



TOTAL SIGNAGE CALCULATIONS FOR PLEASANT STREET:

PERMANENT WINDOW SIGNAGE PROVIDED	= 235 SF
PROJECTED SIGNAGE PROVIDED	= 48 SF
WALL SIGNAGE PROVIDED	= 72 SF
TOTAL PROVIDED	= 355 SF
TOTAL ALLOWED	= 376 SF

1

NORTH ELEVATION SIGNS

1/16" = 1'-0"



LOCATIONS FOR BACKLIT
PROJECTED ADDRESS
NUMBERS, TYP. @6
MAINSONETTE LOCATIONS
(4.5 SF X 6 = 27 SF)

LOCATION FOR PERMANENT
WINDOW SIGNAGE (130 SF)

LOCATION FOR WALL SIGNAGE
(ALONG GRANITE RETURN (18
SF OR 1' X 18' X 2 = 36 SF))

TOTAL SIGNAGE CALCULATIONS FOR MARION STREET:

PERMANENT WINDOW SIGNAGE PROVIDED	= 130 SF
PROJECTED SIGNAGE PROVIDED	= 27 SF
WALL SIGNAGE PROVIDED	= 36 SF
TOTAL PROVIDED	= 183 SF
TOTAL ALLOWED	= 400 SF

1 EAST ELEVATION SIGNS
1/16" = 1'-0"

8. Development Drawings

K. Logistics Plan



No.	Description	Date

Logistics Notes:

- Remove cautionary lights at the Marion + Pleasant Streets intersection only.
- Reinstall cautionary lights at initial occupancy.
- Replace all sidewalks and curbs on Marion + Pleasant Streets from building to curb.
- Replace/repair all parking lanes used on Marion + Pleasant Streets.
- Remove + replace all street lights, landscaping, parking meters, irrigation systems, blue stone sidewalks, lighting controllers, etc...
- Provide temporary street lighting as necessary.

Construction Traffic from Harlem

Sidewalk Closed Use Other Side

Sidewalk Closed Use Other Side

Construction Fence

Construction Trailer

Construction Traffic to Randolph

5' Covered Walkway



SITE LOGISTICS	
203 S. Marion 203 South Marion St. Oak Park, IL	
PROJECT NUMBER	694
DATE	December 15, 2020
LOGISTICS PLAN	
LOG-01	

8. Development Drawings

L. Project Schedule

Plan Commission: February 2021

Village Board: March 2021

Permits: July 2021

Demo: July 2021

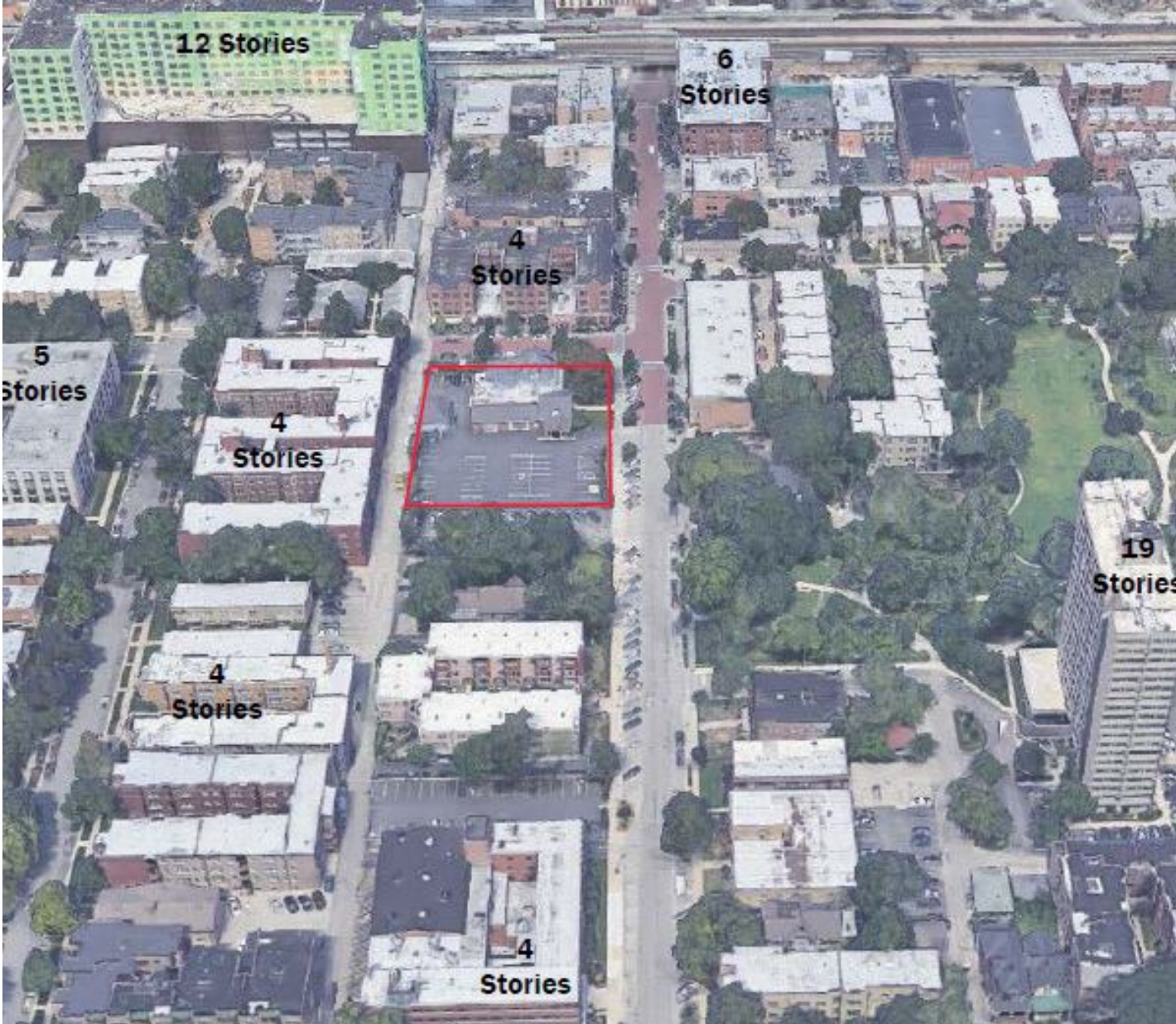
Construction: August 2021 – February 2023

Lease-Up: February 2023 – February 2024



8. Development Drawings

M. Location Map



8. Development Drawings

N. Surrounding Buildings



1133 South Boulevard



Carleton Hotel



Mills Park Tower



Pleasant District



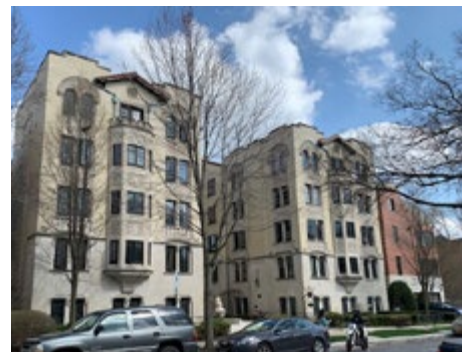
Carleton Hotel



1133 South Boulevard



Opera Club



Courtyard Building



9. Inclusionary Housing Plan

The applicant will make a cash in lieu payment pursuant to Chapter 12 – Article 5 of the Village Code in lieu of providing affordable dwelling units. The fee will be \$1,590,000 (\$100,000/unit) in lieu of 15 affordable units located in the proposed development.



10. Model

The project site is located within the Greater Downtown TIF area therefore the applicant will provide a model of the proposed development.



11. Responsibility to Record



January 20, 2021

Village of Oak Park
Department of Zoning
123 Madison Street
Oak Park, IL 60302

Re: Responsibility to Record

To: Village of Oak Park

Focus Acquisition Company LLC acknowledges responsibility to record a certified copy of the ordinance granting the planned development with the Cook County Recorder of Deeds and to provide evidence of said recording to the Village within 30 days of passage in the event the proposed planned development is approved by the Village Board.

Yours truly,



Tim Anderson
Manager

12. Property Owner Notices

Recipients of Notices

SERVICE KING PAINT & BODY LLC 1023 SOUTH BOULEVARD OAK PARK, IL 60302	OAK PARK CHIROPRACTIC CARE SPECIALIST LTD 1031 SOUTH BOULEVARD OAK PARK, IL 60302	THE SACHEM COMPANY 1033 SOUTH BOULEVARD - #243 OAK PARK, IL 60302
CROSS FUNCTION LLC 1033 SOUTH BOULEVARD OAK PARK, IL 60302	INSTANT PRODUCTS OF AMERICA, INCORPORATED DBA KRUGER NORTH AMERICA INC. 1033 SOUTH BOULEVARD - #200 OAK PARK, IL 60302	URBAN RESOURCE INC DBA URBAN RESOURCE 1033 SOUTH BOULEVARD - #14 OAK PARK, IL 60302
THE KARBIN AGENCY 1033 SOUTH BOULEVARD - #4 OAK PARK, IL 60302	JOHN THORPE ARCHITECTS 1033 SOUTH BOULEVARD OAK PARK, IL 60302	SKIN ABRASIONS 1037 SOUTH BOULEVARD OAK PARK, IL 60302
SECOND HAND ROSE SHOP 1039 SOUTH BOULEVARD OAK PARK, IL 60302	OAK PARK REGIONAL HOUSING CENTER 1041 SOUTH BOULEVARD OAK PARK, IL 60302	CTA STATION 1108 SOUTH BOULEVARD OAK PARK, IL 60302
CAJUN SEAFOOD DBA CAJUN BOIL AND BAR 1107-1109 SOUTH BOULEVARD OAK PARK, IL 60302	THE ONION PUB AND BREWERY INC DBA THE WILD ONION TIED HOUSE 1111 SOUTH BOULEVARD OAK PARK, IL 60302	GENE ARMSTRONG & ASSOC. 1111 SOUTH BOULEVARD OAK PARK, IL 60302
OAK MINI MART 1111 SOUTH BOULEVARD OAK PARK, IL 60302	ADVANCED EAR NOSE & THROAT SPECIALIST, PLLC DBA ADVENT – OAK PARK 1133 SOUTH BOULEVARD - #3 OAK PARK, IL 60302	MILLS PARK TOWER 1025 PLEASANT STREET OAK PARK, IL 60302
CARNIVORE INCORPORATED DBA CARNIVORE 1042 PLEASANT STREET OAK PARK, IL 60302	SERENITEA, INC. DBA SERENITEA 1046 PLEASANT STREET OAK PARK, IL 60302	CARLETON HOTEL, LLC DBA CARLETON HOTEL 1110 PLEASANT STREET OAK PARK, IL 60302



12. Property Owner Notices

Recipients of Notices

<p>BIODYNAMIC HEALTH SYSTEMS, LLC 1119 PLEASANT STREET OAK PARK, IL 60302</p>	<p>FOX PARTNERS LLC DBA BARCLAY'S AMERICAN GRILL 1120 PLEASANT STREET OAK PARK, IL 60302</p>	<p>MECOLLARI INC DBA SALON 212 109 S MARION STREET OAK PARK, IL 60302</p>
<p>B. A. FELLER CO. 113 S MARION STREET OAK PARK, IL 60302</p>	<p>THRIVE COUNSELING CENTER 120 S MARION STREET OAK PARK, IL 60302</p>	<p>L'ALBERELLO, INC. DBA ANFORA 128 S MARION STREET OAK PARK, IL 60302</p>
<p>POOR PHIL'S, INC. DBA POOR PHIL'S OYSTER BAR & GRILL 139 S MARION STREET OAK PARK, IL 60302</p>	<p>JACK CARPENTER REALTORS 200 S MARION STREET OAK PARK, IL 60302</p>	<p>DAVIS CHIROPRACTIC 202 S MARION STREET OAK PARK, IL 60302</p>
<p>203 SOUTH MARION CORP. DBA DRECHSLER-BROWN-WILLIAMS FUNERAL HOME 203 S MARION STREET OAK PARK, IL 60302</p>	<p>VIACLAY LLC 208 S MARION STREET OAK PARK, IL 60302</p>	<p>GILBERT CREATIVE STUDIO OF ILLINOIS, LLC DBA SONYA GILBERT PHOTOGRAPHY LLC 210 S MARION STREET OAK PARK, IL 60302</p>
<p>OAK PARK AREA ASSOC. OF REALTORS 212 S MARION STREET OAK PARK, IL 60302</p>	<p>CONTRACT ALLIANCE LTD DBA CONTRACT ALLIANCE 212 S MARION STREET - #27 OAK PARK, IL 60302</p>	<p>JWSC, LLC 212 S MARION STREET - #10 OAK PARK, IL 60302</p>
<p>GRAND DESIGNS LLC 212 S MARION STREET OAK PARK, IL 60302</p>	<p>HUGH LIGHTING DESIGN, LLC 212 S MARION STREET - #23 OAK PARK, IL 60302</p>	<p>JHF CONSULTING INC 212 S MARION STREET - #2 OAK PARK, IL 60302</p>
<p>TEMPLE OF THE SPIRIT OF DIVINE HEALING, INC. DBA ARCHE INTERNATIONAL 212 S MARION STREET - #23 OAK PARK, IL 60302</p>	<p>WRESCO DBA WARDEN REALTY 212 S MARION STREET - #3 OAK PARK, IL 60302</p>	<p>EDWARD JONES & CO., L.P. #03465 DBA EDWARD JONES & CO #03465 214 S MARION STREET OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

MICHAEL GOGGIN AND CHRISTOPHER CRONSON 216 S MARION STREET OAK PARK, IL 60302	PILLAR FINANCIAL ADVISORS LLC DBA PILLAR FINANCIAL 224 S MARION STREET OAK PARK, IL 60302	ROCIO MUNOZ, PHD LLC 224 S MARION STREET OAK PARK, IL 60302
EBERT STUDIO 227 S MARION STREET OAK PARK, IL 60302	WEST COOK YMCA CHILD CARE 255 S MARION STREET OAK PARK, IL 60302	SACHEM FOOD, INC 1033 SOUTH BOULEVARD OAK PARK, IL 60302



12. Property Owner Notices

Recipients of Notices

<p>16-07-300-002-0000 1133 OP LLC 1110 JORIE BLVD. 300 OAK BROOK, IL 60523</p>	<p>16-07-300-003-0000 1133 OP LLC 1110 JORIE BLVD. 300 OAK BROOK, IL 60523</p>	<p>16-07-300-004-0000 NAUTILUS INVESTMNT LLC 1130 S WABASH #503 CHICAGO, IL 60605</p>
<p>16-07-300-005-0000 NAUTILUS INVESTMNT LLC 1130 S WABASH #503 CHICAGO, IL 60605</p>	<p>16-07-300-006-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-300-007-0000 EDDIE SWIFT 121 S MAPLE AVE OAK PARK, IL 60302</p>
<p>16-07-300-008-0000 M TAKIGUCHI 125 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-300-009-0000 ROSEMARY TRIVELLI 31 W230 WOODLAND TR SO WAYNE, IL 60184</p>	<p>16-07-301-002-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-003-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-004-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-005-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-010-0000 NDERIM MEHMETI 563 N ELLSWORTH AVE ADDISON, IL 60101</p>	<p>16-07-301-012-0000 R P FOX ASSOC INC 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-013-0000 CARLETON HOTEL 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-301-014-0000 R P FOX 1110 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-301-016-0000 B H FELLER CO 113 S MARION ST OAK PARK, IL 60302</p>	<p>16-07-301-017-0000 115 S MARON LC 1110 PLEASANT OAK PARK, IL 60302</p>
<p>16-07-302-002-0000 FAY F WONG 45 E WOODWORTH PL ROSELLE, IL 60172</p>	<p>16-07-302-003-0000 SACHEM BUILDING LLC 1033 S BOULEVARD OAK PARK, IL 60302</p>	<p>16-07-302-004-0000 ROBERT LORO CO KEA TAX 1900 DALROCK RD ROWLETT, TX 75088</p>
<p>16-07-302-005-0000 LORO VENTURE KEA TAX 1900 DALROCK RD ROWLETT, TX 75088</p>	<p>16-07-302-009-0000 EXEMPT</p>	<p>16-07-302-010-0000 PURPLE MONKEY PROP LLC 124 S MARION AVE OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-302-011-0000 TARA REALTY J B RIFIS PO BOX 3637 OAK PARK, IL 60303</p>	<p>16-07-302-012-0000 MARIA ARANDA MARIA E 1032 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-013-0000 LYNN RAYMOND TOTZKE 840 FOREST AVE OAK PARK, IL 60302</p>
<p>16-07-302-020-1001 GARBIEL WHITEHOUSE 1020 PLEASANT ST 1 OAK PARK, IL 60302</p>	<p>16-07-302-020-1002 JAMES KUTILL 1020 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-020-1003 CLAIRE MOSSHAMER 1020 PLEASANT #3 OAK PARK, IL 60302</p>
<p>16-07-302-020-1004 STETSON M SILER 1024 PLEASANT ST#4 OAK PARK, IL 60302</p>	<p>16-07-302-020-1005 JESSICA CALLICOAT 1024 PLEASANT ST OAK PARK, IL 60302</p>	<p>16-07-302-020-1006 FRANCISCO CORDERO 1024 PLEASANT ST#6 OAK PARK, IL 60302</p>
<p>16-07-302-020-1007 APPRSL RSCH CNSLR 400 E RANDOLPH #715 CHICAGO, IL 60601</p>	<p>16-07-302-023-1001 ANTHONY GRAEFE 110 S MARION ST#203 OAK PARK, IL 60302</p>	<p>16-07-302-023-1002 R N SHANNON 110 S MARION 204 OAK PARK, IL 60302</p>
<p>16-07-302-023-1003 KEN HUSKE 110 S MARION ST #205 OAK PARK, IL 60302</p>	<p>16-07-302-023-1004 LINDA C MURCHISON 110 S MARION ST #206 OAK PARK, IL 60302</p>	<p>16-07-302-023-1005 CHUNYE MA LIPING SUN 110 S MARION ST #207 OAK PARK, IL 60302</p>
<p>16-07-302-023-1006 OAK PARK OPERA LLC 1010 LAKE ST #200 OAK PARK, IL 60301</p>	<p>16-07-302-023-1007 MARY CZAJA 110 S MARION ST#301 OAK PARK, IL 60302</p>	<p>16-07-302-023-1008 I ROCK 110 S MARION #302 OAK PARK, IL 60302</p>
<p>16-07-302-023-1009 MATTHEW DOMINSKI 110 S MARION ST 303 OAK PARK, IL 60302</p>	<p>16-07-302-023-1010 ANDREW FOLLETT 163 LINDEN AVE OAK PARK, IL 60302</p>	<p>16-07-302-023-1011 DOUGLAS E BURKE 910 HAYES AVE OAK PARK, IL 60302</p>
<p>16-07-302-023-1012 P M C C SAGE 110 S MARION ST 306 OAK PARK, IL 60302</p>	<p>16-07-302-023-1013 ROBERT O WYATT TERRI 110 S MARION ST#307 OAK PARK, IL 60302</p>	<p>16-07-302-023-1014 CAROL E MILBURN 110 S MARION ST#308 OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-302-023-1015 KATHLEEN BUENIK 110 S MARION ST#401 OAK PARK, IL 60302</p>	<p>16-07-302-023-1016 GLORIA W RAYBURN 110 S MARION ST #402 OAK PARK, IL 60302</p>	<p>16-07-302-023-1017 DANA K PETERSON 2072 N CHARTER POINT D ARLINGTON HTS, IL 60004</p>
<p>16-07-302-023-1018 CHRISTIANE ALUEN 110 S MARION #404 OAK PARK, IL 60302</p>	<p>16-07-302-023-1019 ROBERTA E ARNOLD 110 S MARION ST #405 OAK PARK, IL 60302</p>	<p>16-07-302-023-1020 PIERO FAGIOLO 1955 N NEWLAND AV CHICAGO, IL 60707</p>
<p>16-07-302-023-1021 TOM MACMILLIAN 110 S MARION ST 407 OAK PARK, IL 60302</p>	<p>16-07-302-023-1022 BARBARA G MONTEJO 110 S MARION ST#408 OAK PARK, IL 60302</p>	<p>16-07-302-023-1023 C MARTINEZ I WIDILIA 110 S MARION ST #501 OAK PARK, IL 60302</p>
<p>16-07-302-023-1024 CAREN VAN SLYKE TRUST 110 S MARION ST#502 OAK PARK, IL 60302</p>	<p>16-07-302-023-1025 JUSTIN RATH 110 S MARION ST #503 OAK PARK, IL 60302</p>	<p>16-07-302-023-1026 ZACHARY SCHNELL 110 S MARION 504 OAK PARK, IL 60302</p>
<p>16-07-302-023-1027 DAVID MANGLES 110 S MARION ST #505 OAK PARK, IL 60302</p>	<p>16-07-302-023-1028 JEFFREY S FORT 110 S MARION AV #506 OAK PARK, IL 60302</p>	<p>16-07-302-023-1029 SALLY J NIETO LIVING T 110 S MARION ST#507 OAK PARK, IL 60302</p>
<p>16-07-302-023-1030 LUIS P NIETO JR SALL 110 S MARION ST#508 OAK PARK, IL 60302</p>	<p>16-07-302-023-1031 T HARRY GIESCHEN 110 S MARION 601 OAK PARK, IL 60302</p>	<p>16-07-302-023-1032 SUSAN JOHNSON 110 S MARION ST #602 OAK PARK, IL 60302</p>
<p>16-07-302-023-1033 MICHAEL A LEX MACNEIL 110 S MARION ST #603 OAK PARK, IL 60302</p>	<p>16-07-302-023-1034 DAINA JAKOFSKY 110 S MARION ST#604 OAK PARK, IL 60302</p>	<p>16-07-302-023-1035 JUDITH ARADO 110 S MARION ST#605 OAK PARK, IL 60302</p>
<p>16-07-302-023-1036 OAK PARK OPERA LLC 1010 LAKE ST #200 OAK PARK, IL 60301</p>	<p>16-07-302-023-1038 100 MARION PARTNERS 551 S YORK ST ELMHURST, IL 60126</p>	<p>16-07-302-023-1039 100 MARION PARTNERS 551 S YORK ST ELMHURST, IL 60126</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-302-023-1040 ANNA GUSHCHIN 110 S MARION ST #201 OAK PARK, IL 60302</p>	<p>16-07-302-023-1041 JUDITH A SCULLY JULIE 110 S MARION ST#202 OAK PARK, IL 60302</p>	<p>16-07-302-023-1042 JAMES J ANGAROLA 110 S MARION ST#608 OAK PARK, IL 60302</p>
<p>16-07-302-023-1043 SALLY J NIETO TRUSTEE 110 S MARION STREET OAK PARK, IL 60302</p>		<p>16-07-307-017-0000 DAVID RECHS 221 A SOUTH MAPLE OAK PARK, IL 60302</p>
<p>16-07-307-018-0000 DANIEL C CLEARWATER 221 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-307-019-0000 RICHARD HAMERSMA 221 S MAPLE C OAK PARK, IL 60302</p>	<p>16-07-307-020-0000 CANDICE A MACIS 223 S MAPLE AVE APT A OAK PARK, IL 60302</p>
<p>16-07-307-021-0000 RILEY CARRIER 223 S MAPLE AVE APT B OAK PARK, IL 60302</p>	<p>16-07-307-022-0000 DIANE COLCHAMIRO 223 S MAPLE AVE APT C OAK PARK, IL 60302</p>	<p>16-07-307-023-0000 JOYCE BURIN 225 S MAPLE AVE APT A OAK PARK, IL 60302</p>
<p>16-07-307-024-0000 RICHARD SABATINO 225 S MAPLE AVE B OAK PARK, IL 60302</p>	<p>16-07-307-025-0000 SHOBHANA A PATEL 2201 BOEGER AVE WESTCHESTER, IL 60154</p>	<p>16-07-307-026-0000 CHRISTINE D DONAKER 227 S MAPLE AV A OAK PARK, IL 60302</p>
<p>16-07-307-027-0000 MICHAEL L HINING 227 S MAPLE #B OAK PARK, IL 60302</p>	<p>16-07-307-028-0000 THOMAS A BRISCOE 227 S MAPLE AVE APT C OAK PARK, IL 60302</p>	<p>16-07-307-029-0000 PATRICIA ROMERO 297 NORTH WOOD RD RIVERSIDE, IL 60546</p>
<p>16-07-307-030-0000 ERIC LARSON 231 S MAPLE #B OAK PARK, IL 60302</p>	<p>16-07-307-031-0000 SARAH L GUERIN 231 S MAPLE AVE APT A OAK PARK, IL 60302</p>	<p>16-07-307-032-0000 MICHAEL A RODRIGUEZ 229 C S MAPLE ST OAK PARK, IL 60302</p>
<p>16-07-307-033-0000 SMITH SHIMON 229 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-307-034-0000 R R DALY 229 S MAPLE AVE A OAK PARK, IL 60302</p>	<p>16-07-307-035-1001 SHARON KOROVESIS 217 -A S MAPLE AVE OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-307-035-1002 MERRILL D PAYTON 217 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-307-035-1003 JOSEPH T CAHILL 217 S MAPLE AV C OAK PARK, IL 60302</p>	<p>16-07-307-035-1004 DENGPING YIN 219 -A S MAPLE AV OAK PARK, IL 60302</p>
<p>16-07-307-035-1005 JOSEPH SIMMONS 219 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-307-035-1006 N WINTER A RICHARDS 219 S MAPLE AVE C OAK PARK, IL 60302</p>	
<p>16-07-307-036-1001 LESLIE P FULTON 235 S MAPLE AVE #1 OAK PARK, IL 60302</p>	<p>16-07-307-036-1002 MICHELLE MURPHY 235 S MAPLE AVE UNIT 2 OAK PARK, IL 60302</p>	<p>16-07-307-036-1003 WILLIAM J KERN 237 S MAPLE OAK PARK, IL 60302</p>
<p>16-07-307-036-1004 MICHAEL DONAHUE 237 S MAPLE AVE UNIT 2 OAK PARK, IL 60302</p>	<p>16-07-307-036-1005 KATHRYN L IVSIN 239 S MAPLE AV 1 OAK PARK, IL 60302</p>	<p>16-07-307-036-1006 RICHARD L KOLZOW 239 S MAPLE 2 OAK PARK, IL 60302</p>
<p>16-07-307-036-1007 EDWARD KULIESIS 241 S MAPLE AVE 1 OAK PARK, IL 60302</p>	<p>16-07-307-036-1008 AIMEE J LUGAY 241 S MAPLE AVE 2 OAK PARK, IL 60302</p>	<p>16-07-307-037-0000 SUZARAH GUEVARA 243 S MAPLE A OAK PARK, IL 60302</p>
<p>16-07-307-038-0000 ROBERT MARIE ROCK 243 S MAPLE AV B OAK PARK, IL 60302</p>	<p>16-07-307-039-0000 ARPINE KOSTANDYAN 243 S MAPLE AVE APT C OAK PARK, IL 60302</p>	<p>16-07-307-040-0000 HOWARD A BRUNDAGE III 243 D MAPLE OAK PARK, IL 60302</p>
<p>16-07-307-041-0000 M N MORRIS 243 S MAPLE E OAK PARK, IL 60302</p>	<p>16-07-307-042-0000 JAIME 243 S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-307-043-0000 SUZARAH GUEVARA 243 S MAPLE OAK PARK, IL 60302</p>
<p>16-07-307-044-0000 SUZARAH GUEVARA 243 S MAPLE A OAK PARK, IL 60302</p>	<p>16-07-307-045-0000 M C C DEVELOPING 419 RANDOLPH ST OAK PARK, IL 60302</p>	<p>16-07-307-046-1001 GARY M ARNOLD 201 S MAPLE AVE#101 OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-307-046-1002 JEHAD AMMRA 201 S MAPLE AVE#102 OAK PARK, IL 60302</p>	<p>16-07-307-046-1003 CANAM VENTURES LLC 834 FAIR OAKS OAK PARK, IL 60302</p>	<p>16-07-307-046-1004 REGINALD F LEVY 201 S MAPLE #104 OAK PARK, IL 60302</p>
<p>16-07-307-046-1005 MICHAEL A ALRDO 201 S MAPLE 105 OAK PARK, IL 60302</p>	<p>16-07-307-046-1006 RICHARD BERNACCHI 201 S MAPLE AV 106 OAK PARK, IL 60302</p>	<p>16-07-307-046-1007 LAUREN JOHNSON 201 S MAPLE AVE#107 OAK PARK, IL 60302</p>
<p>16-07-307-046-1008 CATHERINE M SPYR 201 S MAPLE AVE #108 OAK PARK, IL 60302</p>	<p>16-07-307-046-1009 NORMAN VALERIE PARISH 201 S MAPLE #109 OAK PARK, IL 60302</p>	<p>16-07-307-046-1010 DELACY P SARANTOS 201 S MAPLE AVE OAK PARK, IL 60302</p>
<p>16-07-307-046-1011 MARIANNE BRYJA 2433 S 4TH AVE RIVERSIDE, IL 60546</p>	<p>16-07-307-046-1012 ANDREW J STYRCULA 201 S MAPLE #112 OAK PARK, IL 60302</p>	<p>16-07-307-046-1013 DOUGLAS HAMMER 201 S MAPLE # OAK PARK, IL 60302</p>
<p>16-07-307-046-1014 MARY ATKINS 201 MAPLE 202 OAK PARK, IL 60302</p>	<p>16-07-307-046-1015 SYLVIA B ARJONA 201 S MAPLE #203 OAK PARK, IL 60302</p>	<p>16-07-307-046-1016 RONALD KOZIL 2304 GLEN EAGLES LN RIVERWOODS, IL 60015</p>
<p>16-07-307-046-1017 ANTHONY R FOLINO 201 S MAPLE AV #205 OAK PARK, IL 60302</p>	<p>16-07-307-046-1018 TRENT LARSON 1834 NORTH DALE AVENUE ARLINGTON HTS, IL 60004</p>	<p>16-07-307-046-1019 ANETA JONKOWIAK 201 S MAPLE 207 OAK PARK, IL 60302</p>
<p>16-07-307-046-1020 LOVICE MCCOY 201 S MAPLE AVE 208 OAK PARK, IL 60302</p>	<p>16-07-307-046-1021 WILLIE M POLITE 201 S MAPLE #209 OAK PARK, IL 60302</p>	<p>16-07-307-046-1022 MARY POKORNY 201 S MAPLE AV APT 210 OAK PARK, IL 60302</p>
<p>16-07-307-046-1023 HENRIK MILA SOLINA 201 S MAPLE ST 211 OAK PARK, IL 60302</p>	<p>16-07-307-046-1024 JULIA PRIMS 201 S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-307-046-1025 RYAN K Y LAM 201 S MAPLE #302 OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-307-046-1026 HOME FIRST IL LLC 1 N LASALLE ST #700 CHICAGO, IL 60602</p>	<p>16-07-307-046-1027 ANNA M RAISOR 201 S MAPLE UNIT304 OAK PARK, IL 60302</p>	<p>16-07-307-046-1028 ADA FOURNIER 170 N RIDGELAND AVE OAK PARK, IL 60302</p>
<p>16-07-307-046-1029 SUSAN MACLEAN 201 S MAPLE 306 OAK PARK, IL 60302</p>	<p>16-07-307-046-1030 ANN WARDWELL TANNER 201 S MAPLE AVE#307 OAK PARK, IL 60302</p>	<p>16-07-307-046-1031 RT WUNDER CM RYMAS 201 S MAPLE AVE 308 OAK PARK, IL 60302</p>
<p>16-07-307-046-1032 CHGO TITLE LAND TRUST 201 S MAPLE 309 OAK PARK, IL 60302</p>	<p>16-07-307-046-1033 GREGG R NEWBERRY 201 S MAPLE AV OAK PARK, IL 60302</p>	<p>16-07-307-046-1034 HOME FIRST IL LLC 1 N LASALLE ST CHICAGO, IL 60602</p>
<p>16-07-307-046-1035 NAYSON KHOSHNOOD 1238 FRANKLIN AVE RIVER FOREST, IL 60305</p>	<p>16-07-307-046-1036 RUTH H LAUX 201 S MAPLE AV 402 OAK PARK, IL 60302</p>	<p>16-07-307-046-1037 VERONICA ARMENTA 205 S MAPLE #403 OAK PARK, IL 60302</p>
<p>16-07-307-046-1038 BAI KABBA 201 S MAPLE AVE#404 OAK PARK, IL 60302</p>	<p>16-07-307-046-1039 HUONG NGA L HOANG 733 FOREST GLEN LN OAK BROOK, IL 60523</p>	<p>16-07-307-046-1040 RODNEY D BROWN 201 S MAPLE #406 OAK PARK, IL 60302</p>
<p>16-07-307-046-1041 FRED G AGUSTIN 3445 W CARMEN CHICAGO, IL 60625</p>	<p>16-07-307-046-1042 SHEILA MULDOON 201 S MAPLE AV 408 OAK PARK, IL 60302</p>	<p>16-07-307-046-1043 NAYSON KHOSHNOOD 1238 FRANKLIN AVE RIVER FOREST, IL 60305</p>
<p>16-07-307-046-1044 HOME FIRST ILLINOIS 1 N LASALLE ST STE 700 CHICAGO, IL 60602</p>	<p>16-07-307-046-1045 ROBERT KELLER 201 S MAPLE AVE #411 OAK PARK, IL 60302</p>	<p>16-07-308-004-0000 FOX PARTNERS LP 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-308-008-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302</p>	<p>16-07-308-009-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302</p>	<p>16-07-308-010-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

16-07-308-011-0000 203 SOUTH MARION CORP 203 S MARION OAK PARK, IL 60302	16-07-308-012-0000 R P FOX ASSOC 1110 PLEASANTST OAK PARK, IL 60302	16-07-308-013-0000 ROBERT H EBERT 227 S MARION OAK PARK, IL 60302
16-07-308-014-0000 ROBERT H EBERT 227 S MARION ST OAK PARK, IL 60302	16-07-308-023-0000 EXEMPT	16-07-308-028-1001 L SLOTKOWSKI 5709 2 1123 PLEASANT ST OAK PARK, IL 60302
16-07-308-028-1002 METROPOLITAN REAL EST 47 WEST POLK ST STE321 CHICAGO, IL 60605	16-07-308-028-1003 ANNE HAGERTY 1123 PLEASANT ST APT 3 OAK PARK, IL 60302	16-07-308-028-1004 DOUG JANET VARN 1123 PLEASANT AVE OAK PARK, IL 60302
16-07-308-028-1005 JENNIFER BELL 1123 PLEASANT ST OAK PARK, IL 60302	16-07-308-028-1006 MICHAEL C FOX 1123 PLEASANT ST 6 OAK PARK, IL 60302	16-07-308-028-1007 PATRICK PAMELA DEADY 200 S MAPLE #7 OAK PARK, IL 60302
16-07-308-028-1008 FRED G WALKER III 200 S MAPLE AV #8 OAK PARK, IL 60302	16-07-308-028-1009 STEPHANIE FERRERA 200 S MAPLE AV 9 OAK PARK, IL 60302	16-07-308-028-1010 CRAIG KREUTZER 200 S MAPLE AVE APT 10 OAK PARK, IL 60302
16-07-308-028-1011 TAYLOR RATHJE 200 S MAPLE AVE #11 OAK PARK, IL 60302	16-07-308-028-1012 WILLIAM E FLYNN 200 S MAPLE AVE APT 12 OAK PARK, IL 60302	16-07-308-028-1013 D L G SCHULTE 204 S MAPLE AVE #13 OAK PARK, IL 60302
16-07-308-028-1014 NWC FULLERTON ASHLAND 204 S MAPLE AVE APT 14 OAK PARK, IL 60302	16-07-308-028-1015 JOHN/ CHRISTIE SERGO 204 S MAPLE #15 OAK PARK, IL 60302	16-07-308-028-1016 SCHEFTEL ANDERSON 204 S MAPLE #16 OAK PARK, IL 60302
16-07-308-028-1017 LOIS HARB 204 S MAPLE 17 OAK PARK, IL 60302	16-07-308-028-1018 REISHA WILLIAMS REVOCA 204 S MAPLE AVE APT 18 OAK PARK, IL 60302	16-07-308-028-1019 JANE E SAMUELSON 208 S MAPLE AVE 19 OAK PARK, IL 60302



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Recipients of Notices

<p>16-07-308-028-1020 MICHELLE J CHESEBRO 208 S MAPLE AVE 20 OAK PARK, IL 60302</p>	<p>16-07-308-028-1021 MARTIN GOLUB 208 S MAPLE 21 OAK PARK, IL 60302</p>	<p>16-07-308-028-1022 ANDRIY P GOVORUNOV 208 S MAPLE AVE APT 22 OAK PARK, IL 60302</p>
<p>16-07-308-028-1023 MATTHEW R CEBULAK SA 208 S MAPLE AVE APT 23 OAK PARK, IL 60302</p>	<p>16-07-308-028-1024 WATTS NANCY 208 S MAPLE AVE 24 OAK PARK, IL 60302</p>	<p>16-07-308-028-1025 JAMES LINDA HEFFERNA 212 S MAPLE AVE #25 OAK PARK, IL 60302</p>
<p>16-07-308-028-1026 PHIL BERMAN JR TRUSTEE 212 S MAPLE AVE APT 26 OAK PARK, IL 60302</p>	<p>16-07-308-028-1027 F HAYES V ENGELHARDT 212 S MAPLE AVE 27 OAK PARK, IL 60302</p>	<p>16-07-308-028-1028 IRENE WORLEY 783 N 4TH STREET H MANISTIQUE, MI 49854</p>
<p>16-07-308-028-1029 MICHAEL G BASS 212 S MAPLE AVE 29 OAK PARK, IL 60302</p>	<p>16-07-308-028-1030 MARY ELLEN EADS 212 S MAPLE #30 OAK PARK, IL 60302</p>	<p>16-07-308-028-1031 ALLEN JOHNNIE M 216 S MAPLE AV 31 OAK PARK, IL 60302</p>
<p>16-07-308-028-1032 ALEXANDER F LIPPITT JR 216 S MAPLE AVE APT 32 OAK PARK, IL 60302</p>	<p>16-07-308-028-1033 RUTH J HUET 216 S MAPLE AV 33 OAK PARK, IL 60302</p>	<p>16-07-308-028-1034 LAWRENCE S OLIVE 216 S MAPLE #34 OAK PARK, IL 60302</p>
<p>16-07-308-028-1035 S J KOLAR LLC 120 W MADISON ST#20010 CHICAGO, IL 60602</p>	<p>16-07-308-028-1036 SHEILA HASLEY 216 S MAPLE AVE APT 36 OAK PARK, IL 60302</p>	<p>16-07-308-028-1037 PETER MAUL 220 S MAPLE AVE 37 OAK PARK, IL 60302</p>
<p>16-07-308-028-1038 KATHRYN L MCLAIN 220 S MAPLE AVE APT 38 OAK PARK, IL 60302</p>	<p>16-07-308-028-1039 C A ZIELINSKI 220 S MAPLE AVE 39 OAK PARK, IL 60302</p>	<p>16-07-308-028-1040 JOSH L GERTZ 220 S MAPLE AVE APT 40 OAK PARK, IL 60302</p>
<p>16-07-308-028-1041 DOUGLAS E GILBERT 220 S MAPLE 41 OAK PARK, IL 60302</p>	<p>16-07-308-028-1042 CATHERINE ARIAS 2236 LINCOLN PARK WEST CHICAGO, IL 60614</p>	<p>16-07-308-028-1043 JOHN JUDITH METZGAR 224 S MAPLE AV 43 OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-308-028-1044 SHEILA A MASE 224 S MAPLE #44 OAK PARK, IL 60302</p>	<p>16-07-308-028-1045 MONICA DOMAGALA 224 S MAPLE #45 OAK PARK, IL 60302</p>	<p>16-07-308-028-1046 BYRON REED 224 S MAPLE #46 OAK PARK, IL 60302</p>
<p>16-07-308-029-0000 BETHANY FISHER SUNDAR 228 S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-308-030-0000 XIAOPING JIA 228 S MAPLE B OAK PARK, IL 60302</p>	<p>16-07-308-031-0000 JOSEPH SELBKA 507 N PINE AVE ARLINGTON HTS, IL 60004</p>
<p>16-07-308-032-0000 JOSHUA E ALVAREZ 228 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-308-033-0000 DANIEL PATRICK MCHUGH 228 S MAPLE AV #E OAK PARK, IL 60302</p>	<p>16-07-308-034-0000 PETER F NAOOM 228 S MAPLE AVE APT F OAK PARK, IL 60302</p>
<p>16-07-308-036-0000 JUDITH A ALEXANDER 226 MAPLE AV B OAK PARK, IL 60302</p>	<p>16-07-308-037-0000 ROBERT R DOLAN 226 -C S MAPLE AVE OAK PARK, IL 60302</p>	<p>16-07-308-038-0000 MARGARET M HAAS 226 S MAPLE AVE UNIT D OAK PARK, IL 60302</p>
<p>16-07-308-039-0000 M MEIMBAN 226 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-308-041-0000 MATTHEW T KUEHL 226 S MAPLE AVE UNIT A OAK PARK, IL 60302</p>	<p>16-07-308-042-0000 SHEILA R BROWN 226 F S MAPLE OAK PARK, IL 60302</p>
<p>16-07-308-043-0000 KENNETH S SHINER 235 S MARION ST A OAK PARK, IL 60302</p>	<p>16-07-308-044-0000 DONALD ANDERSON TULL 235 S MARION #B OAK PARK, IL 60302</p>	<p>16-07-308-045-0000 PAWEL GROCHOLSKI 235 S MARION ST UNIT C OAK PARK, IL 60302</p>
<p>16-07-308-046-0000 MICHAEL NANCY LCARR 235 S MARION ST UNIT D OAK PARK, IL 60302</p>	<p>16-07-308-047-0000 AMY S GURALNICK 830 N ASHLAND AVE RIVER FOREST, IL 60305</p>	<p>16-07-308-048-0000 RICHARD VOSS 235 S MARION F OAK PARK, IL 60302</p>
<p>16-07-308-049-0000 GREGORY C MUMM 235 S MARION AV OAK PARK, IL 60302</p>	<p>16-07-308-050-0000 ELIZABETH E WILSON 235 S MARION H OAK PARK, IL 60302</p>	<p>16-07-308-051-0000 PHILLIP DECHRISTOPHER 235 S MARION OAK PARK, IL 60302</p>



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Recipients of Notices

<p>16-07-308-052-0000 AMEET KINI 235 S MARION J OAK PARK, IL 60302</p>	<p>16-07-308-053-0000 J E STAFFELDT 235 S MARION ST K OAK PARK, IL 60302</p>	<p>16-07-308-054-0000 MEREDITH GRAHAM 2467 HERMITAGE HILL LN ST LOUIS, MO 63131</p>
	<p>16-07-308-055-1001 BURNEY SIMPSON 240 S MAPLE #G OAK PARK, IL 60302</p>	<p>16-07-308-055-1002 MAYRA R MAGANA 240 S MAPLE AVE APT 1E OAK PARK, IL 60302</p>
<p>16-07-308-055-1003 DEREK D DOBSON 240 S MAPLE AVE APT 1W OAK PARK, IL 60302</p>	<p>16-07-308-055-1004 JOHN MEILINK 240 S MAPLE #2E OAK PARK, IL 60302</p>	<p>16-07-308-055-1005 GEORGE HOGANSON 240 S MAPLE AVE#2W OAK PARK, IL 60302</p>
<p>16-07-308-055-1006 GINA M KENNEDY 240 S MAPLE UNIT 3E OAK PARK, IL 60302</p>	<p>16-07-308-055-1007 G K CHISHMARK 240 S MAPLE OAK PARK, IL 60302</p>	<p>16-07-308-055-1008 JAMES M HETTINGER 242 S MAPLE AV #1E OAK PARK, IL 60302</p>
<p>16-07-308-055-1009 JULIA E COLLINS 242 MAPLE #1W OAK PARK, IL 60302</p>	<p>16-07-308-055-1010 KATELYN M POWER 242 S MAPLE AVE APT 2E OAK PARK, IL 60302</p>	<p>16-07-308-055-1011 KEVIN COLEMAN 242 S MAPLE AVE #2W OAK PARK, IL 60302</p>
<p>16-07-308-055-1012 LAILA MOURAD 242 S MAPLE #3E OAK PARK, IL 60302</p>	<p>16-07-308-055-1013 CHRISTIAN BEAUDOIN 242 S MAPLE 3W OAK PARK, IL 60302</p>	<p>16-07-308-055-1014 DURKIN ELIZABETH 242 1/2 MAPLE AV #1N OAK PARK, IL 60302</p>
<p>16-07-308-055-1015 GABIJA GASIUNAITE 242 1/2 S MAPLE AVE 1S OAK PARK, IL 60302</p>	<p>16-07-308-055-1016 SILVIA MERCADO 5815 N KOLMAR AVENUE CHICAGO, IL 60646</p>	<p>16-07-308-055-1017 DAWN H KOSTER 242 S MAPLE AVE APT 2S OAK PARK, IL 60302</p>
<p>16-07-308-055-1018 HEIDI WAGREICH 242 1/2 S MAPLE #3N OAK PARK, IL 60302</p>	<p>16-07-308-055-1019 MATTHEW G OLECH 221 HERRICK RD RIVERSIDE, IL 60546</p>	<p>16-07-308-055-1020 LAURA DURKIN 244 S MAPLE AV #1E OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-308-055-1021 MARY H DOYLE 244 S MAPLE AVE #1W OAK PARK, IL 60302</p>	<p>16-07-308-055-1022 VANESSA S MATHENY 244 S MAPLE AVE APT 2E OAK PARK, IL 60302</p>	<p>16-07-308-055-1023 SHUNBIN XU 244 S MAPLE AVE #2W OAK PARK, IL 60302</p>
<p>16-07-308-055-1024 CONCEPCION N SCHNEIDER 244 S MAPLE AVE #3E OAK PARK, IL 60302</p>	<p>16-07-308-055-1025 RUPA BABU 244 S MAPLE AVE APT 3W OAK PARK, IL 60302</p>	<p>16-07-308-055-1026 CHUAN HE 246 1E S MAPLE OAK PARK, IL 60302</p>
<p>16-07-308-055-1027 BRADLEY ANTONACCI 246 S MAPLE AV 1W OAK PARK, IL 60302</p>	<p>16-07-308-055-1028 KIMBERLY WATKINS 246 S MAPLE AVE APT 2E OAK PARK, IL 60302</p>	<p>16-07-308-055-1029 CL CORGAN CMKANE 2012 DIAL COURT SPRINGFIELD, IL 62704</p>
<p>16-07-308-055-1030 BRIDGET C MAHER 246 S MAPLE#3E OAK PARK, IL 60302</p>	<p>16-07-308-055-1031 RYAN RENIFF 246 S MAPLE AVE APT 3W OAK PARK, IL 60302</p>	<p>16-07-308-055-1032 CANDICE M KANE 246 S MAPLE #2W OAK PARK, IL 60302</p>
<p>16-07-308-055-1033 BIEGLER 503 S FAIR AVE ELMHURST, IL 60126</p>	<p>16-07-308-055-1034 LAURA G DURKIN 244 S MAPLE AVE1E OAK PARK, IL 60302</p>	<p>16-07-309-001-0000 200 S MARION LLC 1110 PLEASANT OAK PARK, IL 60302</p>
<p>16-07-309-002-0000 KUSHNER MGMT 8501 N LOTUS APT 103 SKOKIE, IL 60077</p>	<p>16-07-309-004-0000 MICHAEL GOGGIN 216 S MARION OAK PARK, IL 60302</p>	<p>16-07-309-005-0000 R P FOX ASSOC 1110 PLEASANT ST OAK PARK, IL 60302</p>
<p>16-07-309-006-0000 PILLAR 224 LLC 224 S MARION ST OAK PARK, IL 60302</p>	<p>16-07-309-015-0000 EXEMPT</p>	<p>16-07-309-043-0000 EXEMPT</p>
<p>16-07-309-044-0000 EXEMPT</p>	<p>16-07-309-045-1001 DARLENE S LEVIN 248 S MARION #1 OAK PARK, IL 60302</p>	<p>16-07-309-045-1002 DONALD A GORDON 248 S MARION ST APT 2 OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices

<p>16-07-309-045-1003 DEEPAK B BAKANE 12755 QUAILS ROOST DR NEW LENOX, IL 60451</p>	<p>16-07-309-045-1004 SHUO QI 248 S MARION ST APT 4 OAK PARK, IL 60302</p>	<p>16-07-309-045-1005 ANDREA R BARTLETT 248 S MARION 5 OAK PARK, IL 60302</p>
<p>16-07-309-045-1006 MARIA JUAREZ 248 S MARION #6 OAK PARK, IL 60302</p>	<p>16-07-309-045-1007 NATALIA PENA WEBB 248 S MARION ST#101 OAK PARK, IL 60302</p>	<p>16-07-309-045-1008 STEPHEN D SALMON 248 S MARION ST #102 OAK PARK, IL 60302</p>
<p>16-07-309-045-1009 JOHN P BENJAMIN 248 S MARION 103 OAK PARK, IL 60302</p>	<p>16-07-309-045-1010 MITRA T MOHABBAT KHA 248 S MARION ST#104 OAK PARK, IL 60302</p>	<p>16-07-309-045-1011 ABBY M CLARK 248 S MARION ST#105 OAK PARK, IL 60302</p>
<p>16-07-309-045-1012 ANDRE L HOLMES 248 S MARION ST #106 OAK PARK, IL 60302</p>	<p>16-07-309-045-1013 LESLIE W BRETTMAN 415 FRANKLIN AVE 3G RIVER FOREST, IL 60305</p>	<p>16-07-309-045-1014 JASON MCGOEY 248 S MARIOL ST #201 OAK PARK, IL 60302</p>
<p>16-07-309-045-1015 SKYLAR GARLAND 248 S MARION ST#202 OAK PARK, IL 60302</p>	<p>16-07-309-045-1016 KEVIN MCCAULEY 248 S MARION ST #203 OAK PARK, IL 60302</p>	<p>16-07-309-045-1017 ANDA LEITIS 248 S MARION ST-204 OAK PARK, IL 60302</p>
<p>16-07-309-045-1018 JOSE A DONES 248 S MARION ST 205 OAK PARK, IL 60302</p>	<p>16-07-309-045-1019 PATRICIA CRAWFORD 248 S MARION ST#206 OAK PARK, IL 60302</p>	<p>16-07-309-045-1020 ROBERT GOESLING 248 S MARION ST#207 OAK PARK, IL 60302</p>
<p>16-07-309-046-0000 RUBY DEVELOPMENT CO 242 S MARION ST OAK PARK, IL 60302</p>		<p>16-07-309-047-1001 CLARE M HASKETT 240 S MARION ST 1N OAK PARK, IL 60302</p>
<p>16-07-309-047-1002 ELIZABETH HETHERINGTON 242 S MARION 1S OAK PARK, IL 60302</p>	<p>16-07-309-047-1003 JEAN STARCZAK 240 S MARION 2N OAK PARK, IL 60302</p>	<p>16-07-309-047-1004 PATRICIA L MCBRIDE 242 S MARION 2S OAK PARK, IL 60302</p>



12. Property Owner Notices

Recipients of Notices



1 N. LaSalle St. Suite 500, Chicago, IL 60602 312-637-4845

Tax Assesse Listing

Order Information

Order Number: 66674268-CRP	Customer Reference: 694
Date Prepared: 10/07/2020	Cover Date:

**FOCUS
100 SOUTH WACKER DRIVE
SUITE 2100
CHICAGO, IL 60606
ATTENTION: JESSICA KUECK**

In accord with the application, a search of the authentic computerized records of COOK County, Illinois, as of the above cover date, pertaining to all property within **300** feet, excluding streets and right of ways, in every direction of the location of the property in question assigned permanent tax number (s) (PINS):

16-07-308-008-0000 THROUGH 16-07-308-011-0000

By the appropriate office of COOK County, Illinois, and reflected on the official tax maps, as most currently revised, excluding all public roads, streets, alleys and other public ways and find the following names and addresses of the assesses as appear from said records:

SEE ATTACHED LIST AND MAP FOR SURROUNDING PINS

The information provided in this search is required in part by 65 ILCS5/11-3-7

Additional Notes

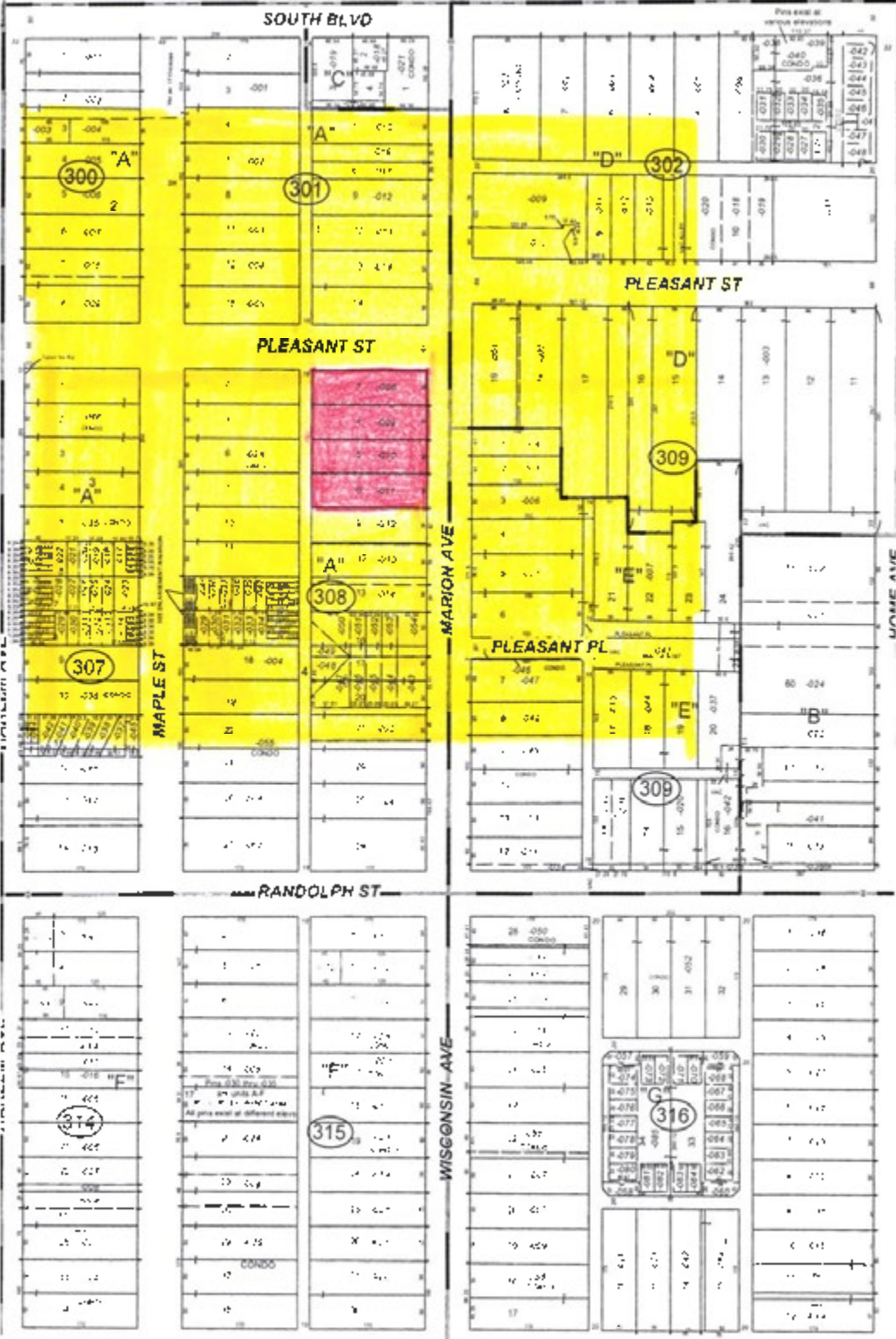
NONE

This is not a title insurance policy, guarantee, or opinion of title and should not be relied upon as such; See terms and conditions on application.



12. Property Owner Notices

Map of Taxpayers



12. Property Owner Notices

Mailed Notices



Notice to Adjacent Property Owners of a Public Hearing before the Oak Park Plan Commission

January 15, 2021

Dear Neighboring Property Owner:

The Oak Park Zoning Ordinance requires owners of property within 300 feet of the subject property be notified of a public hearing by regular mail. The property owner shall be notified of the date, time, and place of the hearing, a description of the application, the name of the applicant, and the address of the subject property where the development is proposed.

A Hearing Notice will appear in the January 20, 2021 edition of the Wednesday Journal. The hearing will take place at 7:00 p.m. on February 4, 2021. The Plan Commission will conduct a remote meeting with live audio available and optional video. The meeting will be streamed live and archived online for on-demand viewing at www.oak-park.us/commissionstv as well as cablecast on VOP-TV, which is available to Comcast subscribers on channel 6 and ATT Uverse subscribers on channel 99. *See more below.

The hearing is open to the public and comments from the public on the proposal are invited. Those property owners within the 300 foot notice area and those persons with a special interest beyond that of the general public ("Interested Parties") wishing to cross-examine witnesses must complete and file an appearance with the Village Clerk not later than 5:00 PM on the business day preceding the scheduled public hearing. Forms are also available in the Village Clerk's Office or online at www.oak-park.us.

The Applicant **Focus Acquisition Company, LLC** seeks approval of a Planned Development for a **7 story, mixed-use residential building with 159 rental apartments and commercial space,** located at **203 S. Marion Street (the Southwest corner of Pleasant and Marion Streets).**

If you have any questions or concerns regarding this proposal prior to the public hearing, please contact the applicant's **representative, Jim Prescott** at **(708)613-5855, jprescott@prescottgroupllc.com**, or the Department of Development Customer Services at 708/358-5420 or send an e-mail to the Village Planner at planning@oak-park.us.

Thank you for your time and consideration.

Respectfully,

Courtney Brower
Senior Development Manager | Focus

*Written testimony or comments regarding the application may be provided prior to the public hearing by email to planning@oak-park.us. The individual's name and a reasonable part of their testimony or comment will be read aloud into the record at the public hearing if received no later than 30 minutes prior to the start of the public hearing. If email is not an option, written testimony or comment can be dropped off in the Oak Park Payment Drop Box across from the south entrance to Village Hall, 123 Madison Street, to be received no later than 5:00pm on February 4, 2021. All written testimony and comments will be distributed to the Plan Commission and made a part of the official hearing record. Those wishing to provide public testimony at the hearing shall contact the Village Planner at planning@oak-park.us for instructions on attending the live Zoom meeting by 5:00 PM the day of the hearing. Interested persons may also participate in the hearing to cross examine the applicant and its witnesses by emailing the cross-examination form to clerk@oak-park.us before 5:00 PM on the day prior to the public hearing to sign up. Individuals who sign up to participate in this manner will receive an email from Village staff with information about how to join the meeting online through Zoom web-conference means.



12. Property Owner Notices

Mailed Notices



FOR PLAN COMMISSION PUBLIC HEARING

Docket No: PC _____ - _____

Name of Planned Development Project: _____

APPEARANCE OF INTERESTED PARTY WITH RIGHT TO CROSS-EXAMINE

I, _____, hereby enter my appearance in the above proceedings with the right to cross-examine witnesses pursuant to the Rules of Procedure of the Oak Park Plan Commission.

I am an Interested Party, which is a person with a special interest beyond that of the general public, for the following reason(s): *

_____.

**The reason(s) must be stated and is subject to review and approval by the Plan Commission.
Property owners within the 300 foot notice area are considered to be Interested Parties.

Date

Signature

Name (PRINTED)

Address - Street

Community

PLEASE NOTE: This appearance bearing an **ORIGINAL** signature *must be filed* with the Village Clerk not later than 5:00 P.M. on the business day preceding the commencement of the public hearing.



12. Property Owner Notices

Signage



Pleasant Street Signage



Marion Street Signage



Marion Street Signage



12. Property Owner Notices

Affidavit of Notice

Affidavit of Notice

The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

Tim Anderson

(Printed Name of Applicant)

Tim Anderson

(Signature of Applicant)

STATE OF Texas, COUNTY OF Tarrant

SUBSCRIBED AND SWORN TO BEFORE ME THIS

21st DAY OF January, 2021

Anthony L McCullough Sr

Anthony L McCullough Sr 12/01/2024
Notary Public, State of Texas 12958708-0
Notarized online using audio-video communication

