

**December 18, 2020****Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL****Re: Planned Development Application
TAB1_A_NARRATIVE
Pete's Fresh Market – New Store
Madison Street Oak Park**

Pete's Fresh Market and API Architects are pleased to present the proposed development of a new Pete's Fresh Market Grocery store located at 640 – 750 Madison Street. The project involves a new single story with front and rear mezzanine with an approximately 46,200 square foot building footprint. The proposed building sits on the eastern portion of the site directly to the west of Wesley Avenue with a surface parking lot to the west. The building includes underground parking for employees with the surface parking for customers. The project incorporates a modern design with strong daylighting elements and natural materials. A large mural is planned on the southern façade themed on the history of Oak Park and Madison Street. The development involves the vacation of Euclid Avenue and a rerouting of the existing utilities as documented in the engineering drawings.

The site is currently zoned MS Madison Street Zoning District and currently consists of an open parking lot to the west and a vacant two story commercial building designed for motor sales. The development shall comply with the zoning requirements of an MS district with the following exceptions for which we are requesting zoning relief.

- Setbacks - Table 5-1
 - o We request zoning relief in the form of expanding the build to zone requirement of 5-15 feet street side setback along Oak Park Avenue be increased to 408 feet.
 - o We request zoning relief in the form of reducing the rear setback requirement inclusive of the alley from 25 feet to 15 feet.
- Off Street Parking – Article 10 – 10.2
 - o We request zoning relief from the requirement that parking areas shall be located in the rear of the building. The proposed parking area is on the side in the proposed development.
- Design Guidelines – Article 7– 7.4
 - o We request zoning relief from the requirement stating walls that face streets must not have a blank and uninterrupted length exceeding 30 feet. The proposed project has a façade length of over 400 feet, of which 200 will be uninterrupted due to interior cases and coolers.
 - o We request zoning relief from the requirement stating display windows at ground level must cover 60% of a façade facing a street. While the proposed façade utilizes windows for natural lighting, they are above ground level due to the presence of refrigerated cases on the interior of the building.
- Interior Parking Landscape – Article 11 – 11.7
 - o We request zoning relief from the requirement that landscape islands be provided for every ten parking spaces and 10% of the total parking area. Due to the expected parking requirements of this project, the

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proposal includes a reduction of the number of landscape islands by 8 and a reduction of the 10% landscape area to 6.2%

The project will provide a benefit to the community through the creation of jobs, tax revenues, and revitalizing this portion of Madison Street which has been vacant for nearly two decades. Pete's Fresh Market has been a partner and member of the Oak Park community for years through their Lake Street store and is looking forward to serving an even greater portion of the community through this development.

We greatly appreciate your time and consideration of this development. The above letter summarizes the project while the supporting documents in this submittal provide greater detail on the proposal. We look forward to working with you on this project.

Regards,



Kenneth Nadolski
Principal



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

December 16, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: Planned Development Application
TAB3_A_PLANNED DEVELOPMENT STANDARDS
Pete's Fresh Market – New Store
Madison Street Oak Park

The proposed Pete's Fresh Market development project in conjunction with the Village of Oak Park meets the Planned Development Standard as set forth in the requirements.

The project provides the following benefits to the community:

- New public sidewalks and streetscape including landscaping, benches, planter boxes, and a bus shelter along Madison St.
- Repaving of the alley north of Madison St. from Wesley Avenue to Oak Park Avenue.
- New public sewer and water mains from north of the alley to Madison St. in the vacated Euclid easement.
- Repaving Wesley Avenue north of Madison St. to the alley.
- New pavement and cul-de-sac on Euclid Avenue with landscaping.
- Over 100 new jobs available to the community.
- Property and sales tax revenue increases over what was a previously vacant property.
- Public art as required by the Planned Development process.

Lastly, the project will incorporate public art as required by the Oak Park Zoning Ordinance. The development team has spoken directly with representatives of the Public Art Advisory Commission and is working on a plan to implement in the project. The current discussion revolves around a large painted mural on the south façade of the building which relates to the history of Oak Park, though nothing has been finalized.

Regards,

Kenneth Nadolski
Principal

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API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

December 16, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: **Planned Development Application**
TAB3_B_SUSTAINABILITY STANDARDS
Pete's Fresh Market – New Store
Madison Street Oak Park

As required by the sustainability standards of the PUD Application and Approval process, the proposed project will achieve a Green Globes Rating of One Green Globe under the Green Building Initiative Green Globes for New Construction (NC) certification process.

Regards,

Kenneth Nadolski
Principal

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PLANNED DEVELOPMENTS

PUBLIC HEARING
APPLICATION PACKET

Contact Information:
Department of Development Customer Services
Craig Failor, Village Planner (708)358-5418
cfailor@oak-park.us

Revised March 2019



Petition for Public Hearing PLANNED DEVELOPMENTS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Development : Pete's Market

Address/Location of Property in Question: 640 Madison Street, Oak Park, IL 60302

Property Identification Number(s)(PIN): (16-07-418-014) (16-07-418-020) (16-07-418-017) (16-07-419-017) (16-07-419-018)
(16-07-419-020) (16-07-419-021) (16-07-419-022) (16-07-419-023)

Name of Property Owner(s): JD Real Estate Inc. and Village of Oak Park

Address of Property Owner(s): 4333 S. Pulaski Road, Chicago, IL 60632 and 123 Madison Street, Oak Park, IL 60302

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) N/A

Name of Applicant(s): Pete's Market - Stephanie Dremonas

Applicant's Address: 4333 S. Pulaski Road, Chicago, IL 60632

Applicant's Phone Number: Office 773-843-4421 E-Mail stephanie@pmrealityinc.com

Other: _____

Project Contact: (if Different than Applicant) Eleni Pecoraro- API Architects

Contact's Address: 2675 Pratum Avenue, Hoffman Estates, IL 60192

Contact's Phone Number: Office _____ E-Mail eleni@api-architects.net

Other: 630-779-8932

Property Interest of Applicant: Owner _____ Legal Representative _____ Contract Purchaser _____ Other

(Describe): _____

Existing Zoning: MS- Madison Street Describe Proposal: The proposed project is for a Pete's Market, grocery retail store, which is in part of Oak Park's revitalization of Madison Street corridor. Proposed site is approximately 105,869 sq.ft. with proposed Market of 49,442 sq.ft. which includes front mezzanine for offices, rear mezzanine for storage and underground parking. The project consists of lot parking of 131 spaces in addition to 115 underground employee parking spaces.

Proposed Planned Development Type:

Residential PD

Non-Residential PD

Mixed Use PD

Size of Parcel (from Plat of Survey): Parcel 1: 45,909 sq.ft.
Parcel 2: 44,684 sq.ft. Square Feet

Adjacent: Zoning Districts

To the North: R-7

To the South: MS

To the East: MS

To the West: MS

Land Uses

Multi-Family

Madison Street- Senior Living

Madison Street - Gas Station

Madison Street - Chase Bank

How the property in question is currently improved?

Residential Non-Residential Mixed Use OTHER: New Build Grocery Retail

Describe Improvement: _____

Is the property in question currently in violation of the Zoning Ordinance? ____ Yes X No

If Yes, how? _____

Is the property in question presently subject to a Special Use or Planned Development? ____ Yes X No

If Yes, how? _____

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? ____ Yes X No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

See attached letter

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

See attached letter

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Stephanie Dremonas
(Printed Name) Applicant

[Signature]
(Signature) Applicant

10-5-2020
Date

Stephanie Dremonas
(Printed Name) Owner

[Signature]
(Signature) Owner

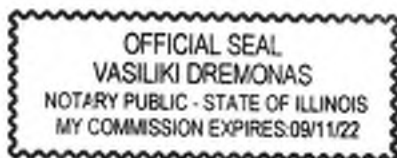
10-5-2020
Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

⑤ 5th DAY OF October, 2020

[Signature]
(Notary Public)



P.I.N. 16-07-418-018-0000
16-07-418-017-0000
16-07-418-020-0000
16-07-418-014-0000
16-07-419-023-0000
16-18-201-032-0000
16-18-200-005-0000



Doc# 1928013067 Fee \$121.00

EDWARD H. MOODY

COOK COUNTY RECORDER OF DEEDS

DATE: 16/07/2019 12:16 PM PG: 1 OF 36

Property Addresses:
700-728 Madison Street
644 Madison Street
711 Madison Street
725 Madison Street
Oak Park, IL 60302

Return to:
Village of Oak Park
123 Madison Street
Oak Park, Illinois 60302
Attn.: Law Department

(for recorder's use only)

ORDINANCE 19-68

**AN ORDINANCE ESTABLISHING FIRST AMENDMENT TO
REDEVELOPMENT AGREEMENT 700-728 MADISON STREET REDEVELOPMENT
PROJECT IN THE VILLAGE OF OAK PARK, COOK COUNTY, ILLINOIS**

Copy

**FIRST AMENDMENT TO
REDEVELOPMENT AGREEMENT
700-728 MADISON STREET REDEVELOPMENT PROJECT**

This First Amendment to Redevelopment Agreement ("*First Amendment*") is made and entered into as of the 3rd day of September, 2019 ("*Amendment Date*") by and among the Village of Oak Park, Cook County, Illinois, an Illinois municipal home rule corporation ("*Village*"), and Jupiter Realty Company, LLC, an Illinois limited liability company, with its principal office located at 401 North Michigan Avenue, Suite 1300, Chicago, Illinois 60611 (the "*Master Developer*") and Oak Park Madison Street LLC, an Illinois limited liability company, with its principal office located at 4333 South Pulaski Avenue, Chicago, Illinois 60632 (the "*North Developer*") and 711 Madison Senior Living, LLC, an Illinois limited liability company, with its principal office located at 315 South Peck Avenue, LaGrange, Illinois 60525 (the "*Prior South Developer*") and AH Oak Park, LLC, a Delaware limited liability company, with its principal office located at One Towne Square, Suite 1600, Southfield, Michigan 48076 (the "*New South Developer*"). (The Village, the Master Developer, the North Developer, the Prior South Developer and the New South Developer are sometimes referred to individually as a "*Party*" and collectively as the "*Parties.*")

RECITALS

The following Recitals are incorporated herein and made a part hereof.

A. WHEREAS, the Village, the Master Developer, the North Developer and the Prior South Developer entered into a Redevelopment Agreement ("*Original RDA*"), effective as of December 10, 2018 (the Original RDA, as amended by this First Amendment is referred to collectively as the "*RDA*"); and

B. WHEREAS, the Prior South Developer and New South Developer have entered into the Assignment Agreement attached hereto as Exhibit A ("*Assignment Agreement*"), which provides that, effective upon the Parties' execution of this First Amendment, the Prior South Developer assigns to New South Developer, and New South Developer assumes from Prior South Developer, all of Prior South Developer's benefits, liabilities and obligations under the RDA; and

C. WHEREAS, the Parties consent to the assignment and assumption contemplated by the Assignment Agreement, and as of the Amendment Date, the New South Developer shall become a Developer hereunder and entirely replaces Prior South Developer as the South Developer in all matters and terms as set forth in the RDA; and

D. WHEREAS, Section 19.10 of the RDA provides that the RDA may only be modified or amended by a written agreement executed by the Parties, unless otherwise provided; and

E. WHEREAS, this First Amendment has been submitted to the Corporate Authorities of the Village for consideration and review, the Corporate Authorities have taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Village according to the terms hereof, and any and all actions of the

Corporate Authorities of the Village precedent to the execution of this First Amendment have been undertaken and performed in the manner required by law; and

F. **WHEREAS**, this First Amendment has been submitted to the Master Developer for consideration and review, and the Master Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Master Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the Master Developer have been undertaken and performed in the manner required by law; and

G. **WHEREAS**, this First Amendment has been submitted to the North Developer for consideration and review, and the North Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the North Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the North Developer have been undertaken and performed in the manner required by law; and

H. **WHEREAS**, this First Amendment has been submitted to the Prior South Developer for consideration and review, and the Prior South Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Prior South Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the Prior South Developer have been undertaken and performed in the manner required by law; and

I. **WHEREAS**, this First Amendment has been submitted to the New South Developer for consideration and review, and the New South Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the New South Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the New South Developer have been undertaken and performed in the manner required by law:

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements herein contained, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties do hereby agree as follows:

ARTICLE I

INCORPORATION OF RECITALS; DEFINED TERMS; CONTINUED EFFECT

The findings, representations and agreements set forth in the above Recitals are material to this First Amendment and are hereby incorporated into and made a part of this First Amendment as though fully set out in this Article One, and constitute findings, representations and agreements of the Village, Master Developer, North Developer, Prior South Developer and the New South Developer according to the tenor and import of the statements in such Recitals. All capitalized terms not defined in this First Amendment shall have the meaning ascribed to them in the Original RDA, unless otherwise stated herein. Except as expressly amended by this

First Amendment, all of the other terms, conditions, and provisions in the Original RDA shall continue in full force and effect.

ARTICLE 2

REPLACEMENT OF SOUTH DEVELOPER AND RELATED AMENDMENTS

2.1 Replacement of South Developer. The Parties acknowledge and agree that, as of the Amendment Date and in accordance with the terms of the Assignment Agreement, Prior South Developer transfers, sets over and assigns to New South Developer, all of the benefits, liabilities and obligations of the South Developer under the RDA, and the New South Developer hereby assumes all of such benefits, liabilities and obligations thereunder. The Village acknowledges and agrees that the foregoing assignment is approved by the Village and that all of the terms and conditions set forth in Section 19.20 of the Original RDA in connection with such assignment have been satisfied or waived by the Village, and no further action is necessary to effectuate such assignment.

2.2 Identity of South Developer. The definition of "South Developer" in Article 2 of the RDA is hereby deleted and replaced with the following:

"South Developer" means AH Oak Park LLC, a Delaware limited liability company, permitted assigns as provided in accordance with this Agreement, or any successors in interest thereof.

All references in the RDA to South Developer and/or to 711 Madison Senior Living, LLC shall mean the New South Developer as of the Amendment Date.

2.3 Recital N. Lines 8 through 13 of Recital N of the Original RDA are as of the Amendment Date deleted and replaced with the following:

South Developer desires to acquire and cause the redevelopment of the South Foley Property and 725 Madison Street in connection with the construction and operation of a senior housing facility to be constructed by the South Developer and owned by South Developer and managed by American House Management Company LLC to consist of a maximum of 196 residential units (being approximately 73 assisted living, 39 memory care, and 84 independent living units, being the *"Senior Living of Oak Park Housing Project."*

2.4 Authorized Representative for South Developer. Section 3(h)(iii) of the Original RDA is hereby amended by replacing "Thomas Williams" with "Samantha Eckhout" as authorized representative for South Developer.

2.5 Exhibit 2 and Exhibit 3. The Senior Living of Oak Park Housing Concept Plan and Preliminary Parking Plan attached as part of Exhibit 2 and Exhibit 3 of the Original RDA are deleted in their entirety and replaced with the new Senior Living Oak Park Housing Concept Plan and Preliminary Parking Plan attached hereto as Exhibit B.

2.6 Exhibit 7. Item # 5 of Exhibit 7 to the RDA is revised to say "Balcony Easements and Canopy Easements."

2.7 Exhibit 9. Page 9-2 of Exhibit 9 to the RDA is amended as of the Amendment Date by deleting the first paragraph describing incentives applicable to the Senior Living of Oak Park Housing Project and replacing it with the following:

A senior housing facility (Senior Living of Oak Park) to be constructed and owned by South Developer and managed by American House Management Company LLC to consist of a maximum of 196 residential units (approximately 73 assisted living, 39 memory care and 84 independent living units).

2.8 Exhibit 10. Exhibit 10 to the Original RDA is deleted in its entirety and replaced with new Exhibit 10 attached hereto as Exhibit C.

2.9 Organization of Entity. Sections 9.1, 10.7(f) and 13.1 of the Original RDA are hereby amended as of the Amendment Date to delete the terms providing that South Developer is an Illinois limited liability company or Illinois corporation, and instead to provide that South Developer is a Delaware limited liability company qualified to do business in Illinois.

2.10 Notice. As of the Amendment Date, the notice information for the South Developer set forth in Section 19.3 of the Original RDA is hereby deleted and replaced with the following:

If to South Developer:

AH Oak Park LLC
One Towne Square, Suite 1600
Southfield, Michigan 48076
Attn: Dale Watchowski
Fax: (248) 784-6505
Email: dwatchowski@redico.com

And

AH Oak Park LLC
One Town Square, Suite 1600
Southfield, Michigan 48076
Attn: Samantha Eckhout
Email: seckhout@redico.com

With a copy to:

Jaffe, Raitt Heuer & Weiss, P.C.
27777 Franklin Rd., Suite 2500
Southfield, Michigan 48034
Attn: Richard A. Zussman
Fax: (248) 351-3082
Email: rzussman@jaffelaw.com

ARTICLE 3

PETE'S FRESH MARKET PROJECT

3.1 Lines 6 and 7 in Recital N in the Original RDA are hereby deleted and replaced with the following: "level full service grocery store with surface and subgrade parking (being the "Pete's Fresh Market Project"), and the".

3.2 The Pete's Fresh Market Project Concept Plan attached as Exhibit 2 to the Original RDA, and Exhibit 9 to the Original RDA, are hereby amended to remove any reference to outparcel retail improvements and/or a separate retail structure other than the contemplated grocery store as set forth in Exhibit D hereto. Such plan is preliminary and subject to further Village approvals.

3.3 The Pete's Fresh Market Project Preliminary Parking Plan attached as Exhibit 3 to the Original RDA is hereby amended to permit subgrade parking in addition to surface parking as set forth in Exhibit D hereto. Such plan is preliminary and subject to further Village approvals.

3.4 Line 3 of Section I of the Pro Forma Estimate of Costs attached as Exhibit 11 to the Original RDA is hereby deleted and the total budget for the North Developer is hereby amended to be \$21,200,000.

ARTICLE 4

AMENDMENTS TO SECTION 6.1A AND SECTION 6.1B

4.1 Section 6.1A of the Original RDA is hereby deleted and replaced with the following:

A. Pete's Fresh Market Project Schedule.

The Village, the Master Developer and the North Developer agree that the development and construction of the Pete's Fresh Market Project will be undertaken in accordance with the following general schedule ("Pete's Fresh Market Project Schedule"):

(1)	RDA Effective Date	December 10, 2018
(2)	Environmental/Title/Survey Review Completed	June 30, 2020
(3)	Planned Development Application Submittal	January 31, 2020
(4)	Planned Development Approval	May 31, 2020
(5)	Building Permit and Final Engineering Submittal	June 30, 2020
(6)	Approval of Final Engineering and Issuance of Building Permit(s)	September 30, 2020
(7)	Evidence of Financial Support	October 15, 2020
(8)	Real Estate Closing	October 31, 2020
(9)	Commencement of Construction	March 1, 2021
(10)	Issuance of Certificate of Occupancy/Pete's Store Opening	June 30, 2022

The Village, the Master Developer and the North Developer agree to undertake all actions respectively necessary by each Party, including without limitation, the application, review, and approvals related to the Final Plans, to allow for the development and construction of the Pete's Fresh Market Project in accordance with the Pete's Fresh Market Project Schedule, subject to delays or extensions as may be otherwise permitted in this Agreement. The Parties acknowledge that the Pete's Fresh Market Project Schedule is based on the Parties best understanding of the Pete's Fresh Market Project and related milestones as of the Amendment Date. The Parties may amend the Pete's Fresh Market Project Schedule as necessary to ensure that it accurately reflects the key milestones in the development and construction of the Pete's Fresh Market Project, and the Parties specifically agree that the milestone dates will be automatically extended, without further action or any required consent, by the same number of days after the date in the Pete's Fresh Market Project Schedule that the Planned Development or any other Village required action is accomplished. Each Party agrees to not unreasonably withhold approval of a request by the other Party to amend the Pete's Fresh Market Project Schedule for such purposes.

4.2 Section 6.1B of the Original RDA is hereby deleted and replaced with the following:

B. Senior Living of Oak Park Housing Project Schedule.

The Village, the Master Developer and the South Developer agree that the development and construction of the Senior Living of Oak Park Housing Project will be undertaken in accordance with the following general schedule ("Senior Living of Oak Park Housing Project Schedule"):

(1)	RDA Effective Date	December 10, 2018
(2)	Environmental/Title/Survey Review Completed	June 30, 2020
(3)	Planned Development Application Submittal	September 30, 2019
(4)	Planned Development Approval	February 28, 2020
(5)	Building Permit and Final Engineering Submittal	May 29, 2020
(6)	Approval of Final Engineering and Issuance of Building Permits	September 30, 2020
(7)	Evidence of Financial Support	September 30, 2020
(8)	Commencement of Construction	November 30, 2020
(9)	Issuance of Certificate of Occupancy	June 30, 2022

The Village, the Master Developer and the South Developer agree to undertake all actions respectively necessary by each Party, including without limitation, the application, review, and approvals related to the Final Plans, to allow for the development and construction of the Senior Living of Oak Park Housing Project in accordance with the Senior Living of Oak Park Housing Project Schedule, subject to delays or extensions as may be otherwise permitted in this Agreement. The South Developer will endeavor to receive planned development approval for the Senior Living of Oak Park Housing Project prior to February 28, 2020. The South Developer shall acquire 711 Madison Street and 725 Madison Street on or prior to February 28, 2020. The Parties acknowledge that the Senior Living of Oak Park Housing Project Schedule is

based on the Parties' best understanding of the Senior Living of Oak Park Housing Project and related milestones as of the Amendment Date. The Parties may amend the Senior Living of Oak Park Housing Project Schedule as necessary to ensure that it accurately reflects the key milestones in the development and construction of the Senior Living of Oak Park Housing Project, and the Parties specifically agree that the milestone dates will be automatically extended, without further action or any required consent, by the same number of days after the date in the Senior Living of Oak Park Housing Project Schedule that the Planned Development or any other Village required action is accomplished. Each Party agrees to not unreasonably withhold approval of a request by the other Party to amend the Senior Living of Oak Park Housing Project Schedule for such purposes.

ARTICLE 5

AMENDMENT TO SECTION 7.1.C

5.1 Relocation of Utilities. The following new Section 7.1D is hereby added to the RDA:

D. Relocation of Utilities. The Village shall relocate, at its sole cost, all utilities situated within Euclid Avenue (or, in the alternative, the Village may request South Developer to complete such relocation and the Village shall promptly reimburse South Developer for all costs and expenses incurred therefor), and the Village shall vacate and/or convey to South Developer, at the Village's sole cost, Euclid Avenue free and clear of all liens, claims and encumbrances, subject only to such title exceptions as shall be acceptable to South Developer.

ARTICLE 6

AMENDMENT TO SECTION 8.2(e)

6.1 Section 8.2(e) is hereby amended by deleting "February 28, 2019" and replacing it with "February 28, 2020."

ARTICLE 7

AMENDMENT TO SECTION 8.5

7.1 Section 8.5 of the RDA, as applicable to the South Developer, is hereby amended to clarify that an Event of Default, as referenced therein, may only be for South Developer's failure to receive a Certificate of Occupancy within the time period set forth in the Senior Living of Oak Park Project Schedule (subject to the cure provisions of the RDA), as amended above, unless caused by Uncontrollable Circumstances.

ARTICLE 8

OMNIBUS AMENDMENTS TO RDA

8.1 The Original RDA is hereby amended to provide that, notwithstanding any of the terms or conditions set forth in the Original RDA to the contrary:

(a) The respective obligations, commitments and liabilities of the (i) Master Developer as set forth in the RDA are applicable solely with respect to Master Developer's portion of the Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, (ii) North Developer as set forth in the RDA are applicable solely with respect to the North Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, and (iii) South Developer as set forth in the RDA are applicable solely with respect to the South Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property.

(b) Each Developer will only be in default under the RDA for its own default, and not as a result of a default of any other Developer.

(c) The respective representations and warranties made by the (i) Master Developer are made by Master Developer on its own behalf, solely with respect to Master Developer's portion of the Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, (ii) the North Developer are made by the North Developer on its own behalf, solely with respect to the North Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, and (iii) South Developer are made by the South Developer on its own behalf, solely with respect to the South Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property.

ARTICLE 9

ESTOPPEL TERMS

9.1 The Village, North Developer, Prior South Developer and Master Developer certify to New South Developer that (a) the RDA is in full force and effect; (b) there are no existing defaults by any party to the RDA, nor are there any events or circumstances which, with the giving of notice or passage of time, or both, would give rise to a default under the RDA (which are not otherwise waived in accordance with the execution hereof), and (c) all obligations of the parties to the RDA which, per the terms of the RDA, were to have been satisfied prior to

the Amendment Date (subject to changes in any such deadlines provided for in this First Amendment) have been satisfactorily completed in accordance with the terms and conditions of the RDA (which are not otherwise waived in accordance with the execution hereof). Such parties acknowledge that New South Developer is relying upon the statements set forth in this Article 9 in connection with its assumption of the benefits, liabilities and obligations of Prior South Developer under the RDA.

ARTICLE 10

EFFECTIVENESS

The Amendment Date for this First Amendment shall be the 3rd day of September, 2019.

ARTICLE 11

AMENDMENT TO SECTIONS 10.12 AND 17.3

11.1 Sections 10.12 and 17.3(a) of the Original RDA are hereby amended to delete all references to "thirty (30) days" contained therein and insert "sixty (60) days" in each place in lieu thereof.

ARTICLE 12

DISCHARGE OF RDA

The Parties agree that in the event that 725 Madison Street is not conveyed to South Developer, or its successors or assigns, by February 28, 2020 (as such date may be extended as provided above), the Parties, upon the written request of any Party, will promptly record a discharge of the RDA as to 725 Madison Street in order to discharge the RDA from the title records of 725 Madison Street in Cook County, Illinois.

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: *Vicki Scaman*
Vicki Scaman, Village Clerk

By: *Lisa Shelley*
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: _____
Its: _____

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: _____
Its: _____

REVIEWED AND APPROVED
ASTROFORM
[Signature]
SEP 03 2019
LAW DEPARTMENT

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: Vicki Scaman
Vicki Scaman, Village Clerk

By: Lisa Shelley
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: [Signature]
Its: Principal

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: _____
Its: _____

REVIEWED AND APPROVED

ATTEST

SEP 03 2019

[Signature]
Village Clerk

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: Vicki Scaman
Vicki Scaman, Village Clerk

By: Lisa Shelley
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: _____
Its: _____

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: James Dremont
Its: Sole Member
James Dremont

REVIEWED AND APPROVED

ATTEST

[Signature]
Village Clerk

PRIOR SOUTH DEVELOPER:

711 Madison Senior Living, LLC, an Illinois limited liability company

By: Thomas H. Hill
Its: MANAGING MEMBER
9/18/19

NEW SOUTH DEVELOPER:

AH Oak Park, LLC, a Delaware limited liability company

By: _____
Its: Authorized Representative

PRIOR SOUTH DEVELOPER:

711 Madison Senior Living, LLC, an Illinois
limited liability company

By: _____
Its: _____

NEW SOUTH DEVELOPER:

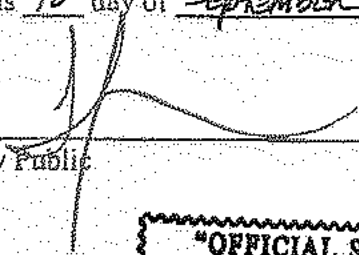
AH Oak Park, LLC, a Delaware limited
liability company

By:  _____
Its: Authorized Representative

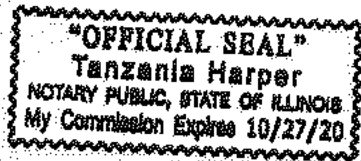
STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that JERRY J. OVE, personally known to me to be the Manager Member of Jupiter Realty Company, LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager Member he signed and delivered the said instrument, pursuant to authority given by the Manager of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 18 day of September, 2019.



Notary Public



STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, **DO HEREBY CERTIFY** that James Dremonas, personally known to me to be the Manager Member of Oak Park Madison Street LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager Member he signed and delivered the said instrument, pursuant to authority given by the Manager Member of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ___ day of September, 2019.



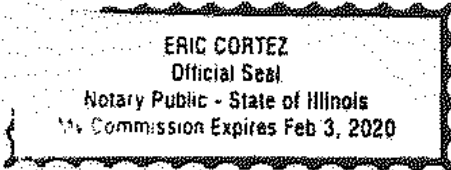
Notary Public

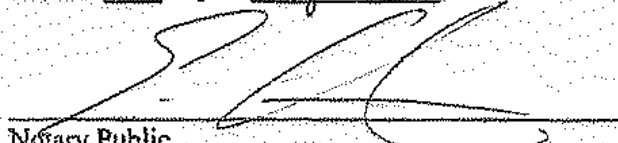


STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Thomas M Williams, personally known to me to be the Manager/Member of 711 Madison Senior Living, LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager/Member he signed and delivered the said instrument, pursuant to authority given by the Manager/Member of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 18th day of September, 2019.




Notary Public

STATE OF MICHIGAN)
)
COUNTY OF OAKLAND)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that PAUL A. STODULSKI, personally known to me to be
the Authorized Representative of AH Oak Park, LLC, a Delaware limited liability company, and
personally known to me to be the same person whose name is subscribed to the foregoing
instrument, appeared before me this day in person and acknowledged that as such
Manager/Member he signed and delivered the said instrument, pursuant to authority given by the
Manager/Member of said Illinois limited liability company, as his free and voluntary act, and as
the free and voluntary act and deed of said Delaware limited liability company, for the uses and
purposes therein set forth.

GIVEN under my hand and official seal, this 16th day of SEPTEMBER, 2019.

Regina M. Horn
Notary Public

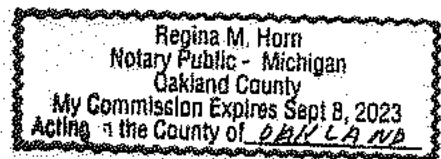


EXHIBIT A
ASSIGNMENT AGREEMENT

ASSIGNMENT OF REDEVELOPMENT AGREEMENT

This Assignment of Redevelopment Agreement ("Assignment Agreement") is by and between 711 MADISON SENIOR LIVING, LLC, an Illinois limited liability company, (hereinafter referred to as "Assignor"), and AH OAK PARK LLC, a Delaware limited liability company (hereinafter referred to as "Assignee")

WHEREAS, Assignor (as "South Developer"), the Village of Oak Park, Cook County, Illinois, an Illinois home rule corporation ("Village"), Jupiter Realty Company, LLC, an Illinois limited liability company ("Master Developer"), and Oak Park Madison Street LLC, an Illinois limited liability company ("North Developer") are parties to that certain Redevelopment Agreement dated December 10, 2018, recorded with the Cook County Recorder of Deeds on January 22, 2019 as Doc. No. 1902213145, as amended by that certain extension letter signed by the Village Manager dated April 22, 2019 (collectively, the "Redevelopment Agreement"), pertaining to the redevelopment of certain real property located in the Village of Oak Park, as more particularly described in the Redevelopment Agreement. A true, correct and complete copy of the Redevelopment Agreement is attached hereto as Schedule I.

WHEREAS, Assignor desires to assign to Assignee, and Assignee desires to assume from Assignor, all of Assignor's benefits, liabilities, obligations, right, title and interest under the Redevelopment Agreement in accordance with the terms and conditions herein (the "Assignment").

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows.

I. ASSIGNMENT

- 1.1 Assignment. As of the Assignment Date (defined below), Assignor hereby assigns to Assignee all of Assignor's benefits, liabilities, obligations, right, title and interest in and to the Redevelopment Agreement.
- 1.2 Assumption. As of the Assignment Date, Assignee hereby accepts the foregoing Assignment and assumes all of the benefits, liabilities, obligations, right, title and interest of Assignor in and to the Redevelopment Agreement.
- 1.3 Indemnity. Assignor hereby agrees to indemnify, defend and hold harmless Assignee and its officers, members, employees, agents, affiliates and their respective successors and assigns from and against any and all claims, penalties, damages, liabilities, actions, causes of action, costs and expenses (including reasonable attorneys' fees) caused by any breach by Assignor of this Assignment Agreement, or by the acts or omissions of Assignor or its employees, consultants or agents in connection with the Redevelopment Agreement prior to the Assignment Date.

Assignee hereby agrees to indemnify, defend and hold harmless Assignor and its officers, members, employees, agents, affiliates and their respective successors and assigns from and against any and all claims, penalties, damages, liabilities, actions, causes of action, costs and expenses (including reasonable attorneys' fees) caused by any breach by Assignee of this Assignment Agreement, or by the acts or omissions of Assignee or its employees, consultants or agents in connection with the Redevelopment Agreement after the Assignment Date.

1.4 The Assignment shall be effective as of the effective date of that certain First Amendment to Redevelopment Agreement by and among Assignee and the other parties to the Redevelopment Agreement which (a) provides that the Village consents to the Assignment, and (b) contains such other terms and conditions acceptable to Assignee and the other parties to the Redevelopment Agreement (such date, the "Assignment Date").

2. **COUNTERPARTS.** This Assignment Agreement may be executed in multiple counterparts, all of which taken together shall constitute collectively one (1) agreement. Signatures of the parties hereto transmitted by facsimile or other electronic transmission shall be deemed the same as an original.

3. **BINDING.** This Assignment Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the Assignor and Assignee have executed this Assignment and Amendment as of the Effective Date set forth above.

ASSIGNOR:

ASSIGNEE:

711 MADISON SENIOR LIVING LLC,
an Illinois limited liability company

AH OAK PARK LLC,
a Delaware limited liability company

By: Thomas M. Williams

By: Paul A. Stobulski

Name: Thomas M. Williams

Name: PAUL A. STOBULSKI

Its: Member

Its: AUTHORIZED REPRESENTATIVE

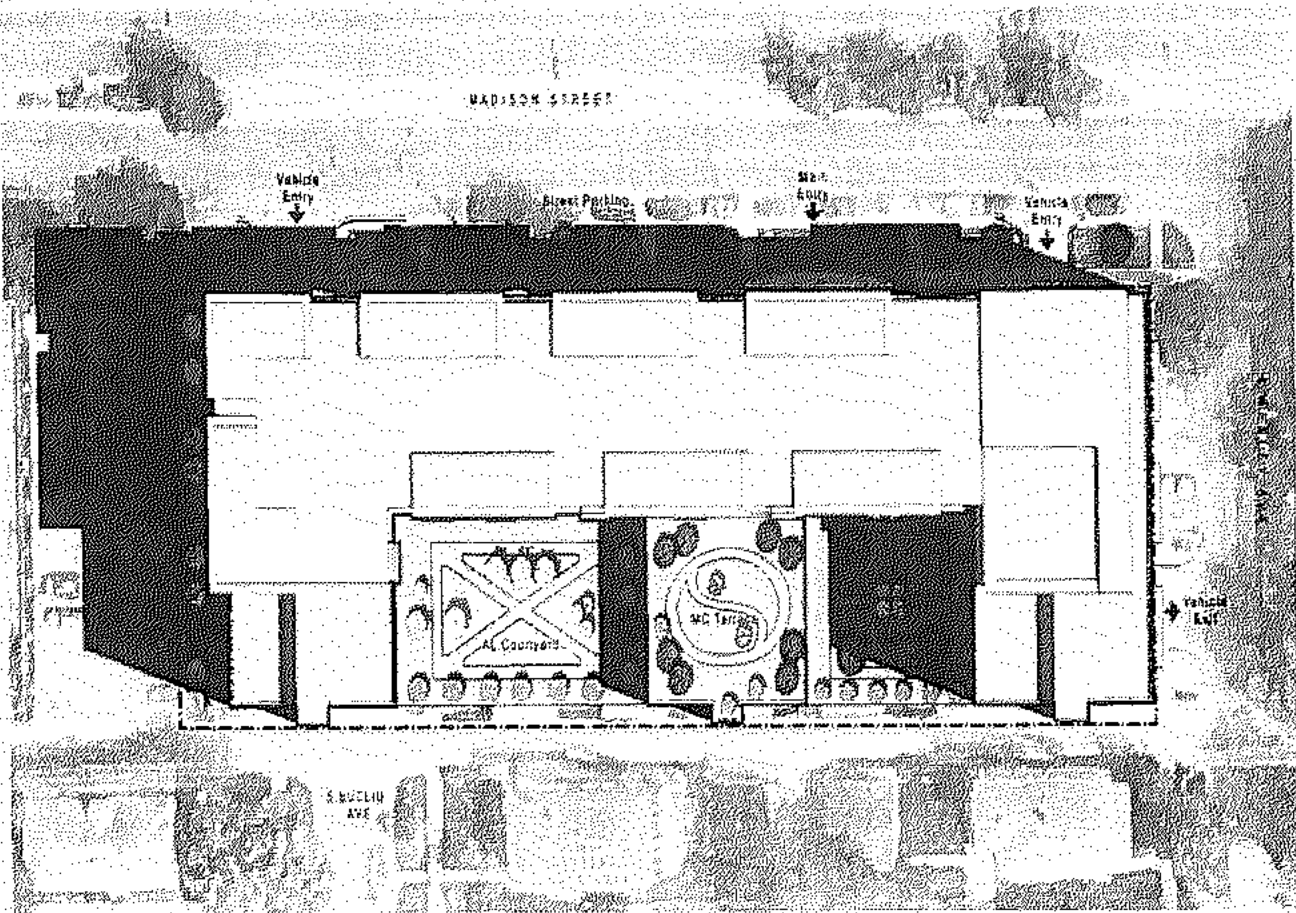
Schedule I
Redevelopment Agreement
{Attached}

EXHIBIT B

EXHIBIT 2 AND EXHIBIT 3

II. Senior Living of Oak Park Housing Concept Plan and Preliminary Parking Plan

*attachments for illustrative purposes only



VEDICO

SCALE 8 1/4" = 1'-0"

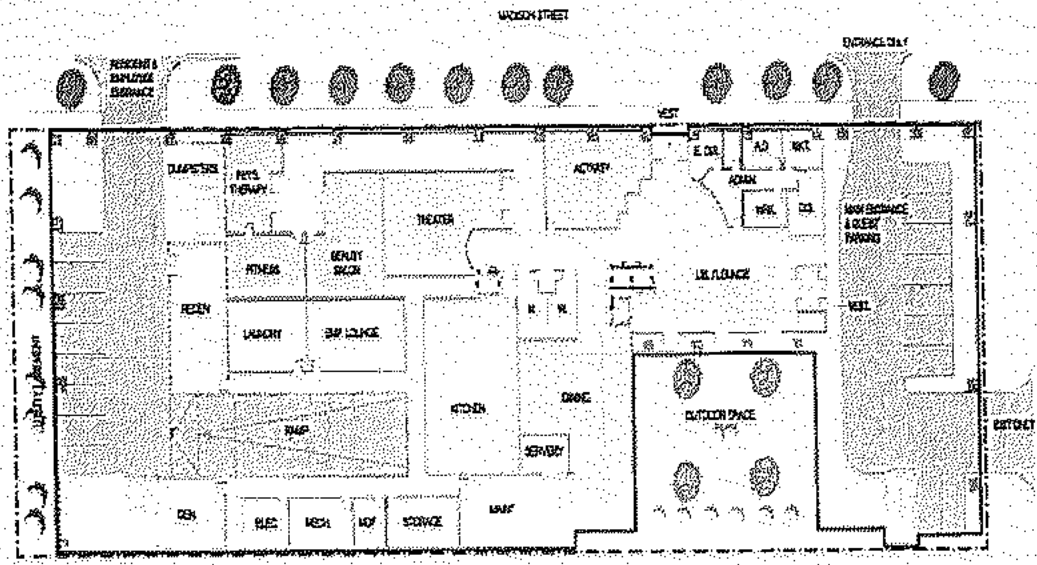
SITE PLAN

SENIOR LIVING OF OAK PARK

NOV 12



LANE BOGGIO
ARCHITECTS



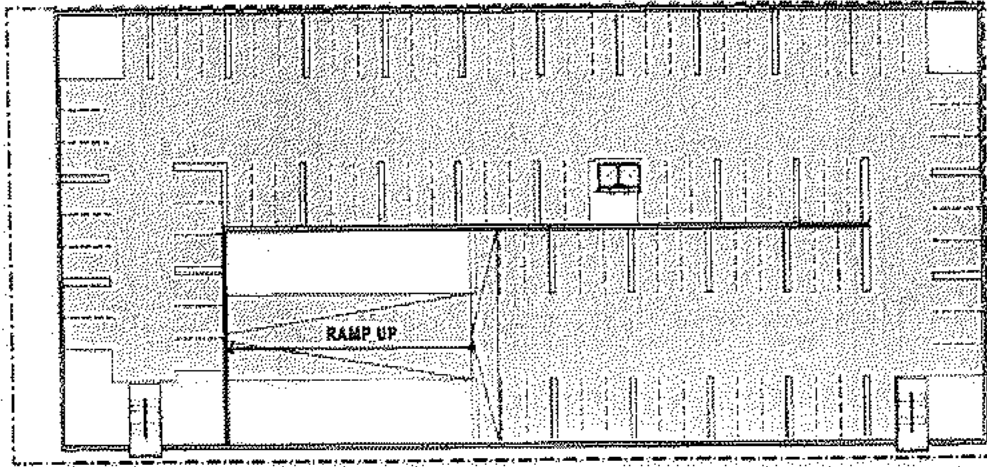
REDICO

GROUND FLOOR PLAN

SCALE @ 1/4" = 1' - 0"

SENIOR LIVING OF OAK PARK





105 SPACES

REDICO

SCALE @ 1/4" = 1'-0"

PARKING LEVEL PLAN

SENIOR LIVING OF OAK PARK

PLAN



BOGGIO
ARCHITECTS

EXHIBIT C

EXHIBIT 10 – PROJECT ANALYSIS

I. North Developer

Estimated Value:	\$6,500,000.00
Assessment Level:	25.0%
Proposed Assessed Valuation:	\$1,625,000.00
State Multiplier:	2.96270
Equalized Value:	\$4,814,387.50
Tax Rate:	12.191%
Annual Projected Real Estate Taxes:	\$586,921.98
Estimated Annual Sales / Estimated Annual Sales Taxes	\$35,000,000.00 / \$546,000.00

- Annual Projected Real Estate Taxes and Sales Taxes are calculated at stabilization.

II. South Developer

Estimated Value:	\$13,100,000.00
Assessment Level:	10.0%
Proposed Assessed Valuation:	\$1,310,000.00
State Multiplier:	2.96270
Equalized Value:	\$3,881,137.00
Tax Rate:	12.191%
Annual Projected Real Estate Taxes:	\$473,149.00

RE Taxes
Estimate (Stabilization)

AH Oak Park 711 Madison St 16-18-201-032-0000 16-18-200-005-0000	
Market Value	24,500,000
# of Units	176
Market Value/Unit	139,205
Assessed Value	2,450,000
10% of Market Value	
Assesed Value/Unit	13,920.45
State Equalizer (2018)	2.9109
Gross Equalized Assessed Value	7,131,705
Assessed Value x Equalizer	
Less Exemptions	(3,288,147)
18682.651 per unit (Assume same per unit exemption as Brookdale)	
Net Equalized Assessed Value	3,843,558
Gross Equalized Assessed Value less Exemptions	
Tax Rate	12.6860%
Calculated Tax Bill	487,594

- Annual Projected Real Estate Taxes are calculated at stabilization.

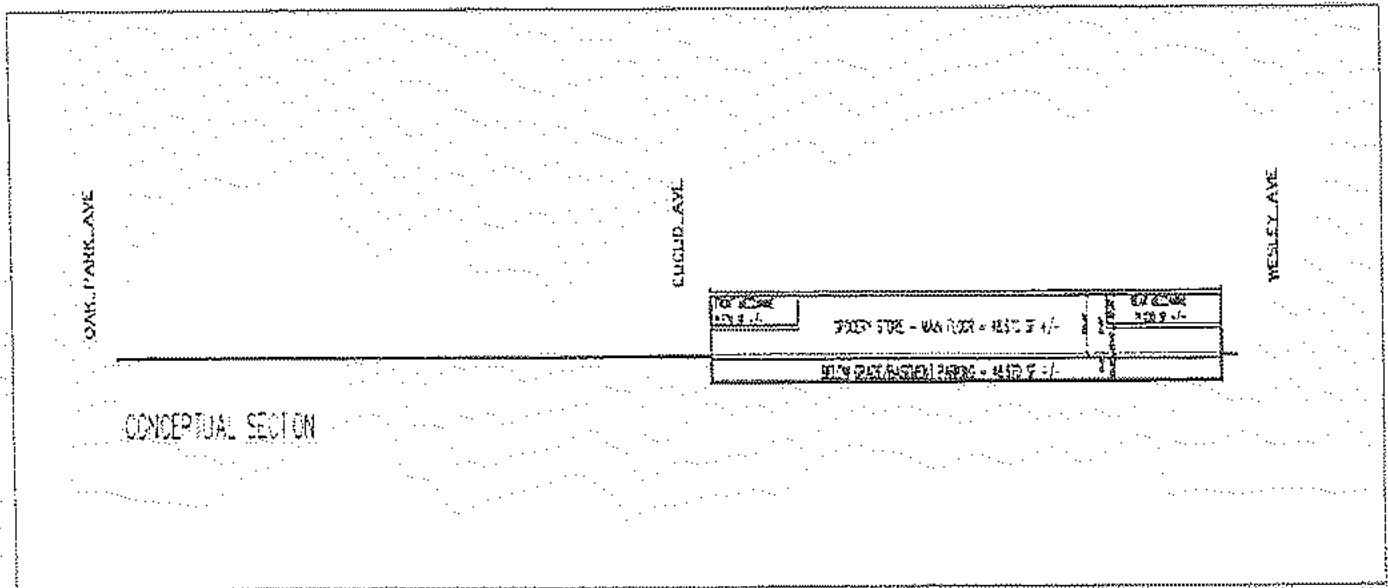
EXHIBIT D

PETE'S FRESH MARKET PROJECT CONCEPT PLAN*

AND

PETE'S FRESH MARKET PROJECT PRELIMINARY PARKING PLAN*

* Preliminary and subject to further Village approvals

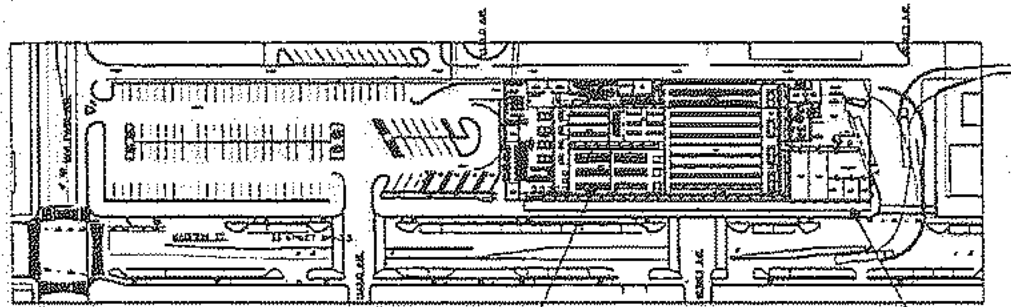
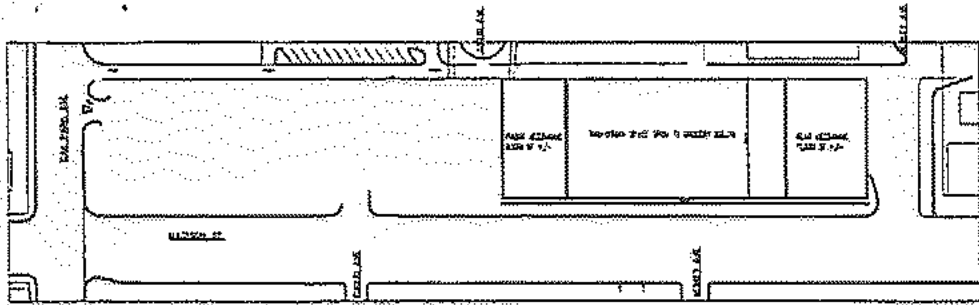


**RIDGELAND
ASSOCIATES
INC.**

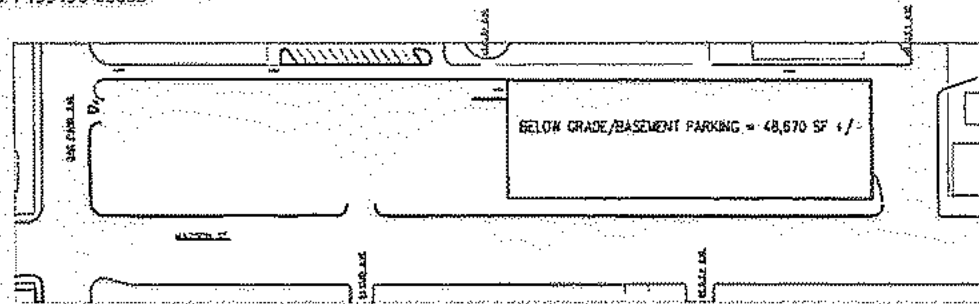
1404 E. 1st
Ann Arbor, MI 48106

734.261.1111
www.ridgeland.com

Pete's - Oak Park
Concept 1
Conceptual Section
08-07-19



34145453.4 135456-00006



RIDGELAND ASSOCIATES INC.
 1000 W. 10th Street
 Suite 100
 Oklahoma City, OK 73106
 Phone: 405.521.1111
 Fax: 405.521.1112

Pete's - Oak Park
 Concept 1
 Conceptual Floor Plans
 08-07-19

Madison Redevelopment
Legal Property Description

PIN -16-07-418-018-0000

PROPERTY ADDRESS -700-708 Madison

LEGAL DESCRIPTION - Lots 24, 25, 26, 27 in the sub of BLK 4 in Ogden & Jones' Sub of the S.W. $\frac{1}{4}$ of the S.E $\frac{1}{4}$ Sec 7, Township 39, Range 13 East of the third Principal meridian in Cook County, Illinois

PIN 16-07-418-017-0000

PROPERTY ADDRESS - 710 MADISON

LEGAL DESCRIPTION - Lots 20, 21, 22, and 23 in the subdivision of Block 4 in Ogden & Jones' Subdivision of the S.W. $\frac{1}{4}$ of the S.E $\frac{1}{4}$ Section 7, Township 39 North, Range 13, East of the Third Principal meridian in Cook County Illinois

PIN 16-07-418-020-0000

PROPERTY ADDRESS - 722 W. MADISON

LEGAL DESCRIPTION - Lots 17 to 22, both inclusive, in the subdivision of block 4 of Ogden and Jones Subdivision of the Southwest $\frac{1}{4}$ of the South East $\frac{1}{4}$ of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian in Cook County, Illinois

PIN 16-07-418-014-0000

PROPERTY ADDRESS - 728 West Madison

LEAL DESCRIPTION - Lots 13, 14, 15, 16 in Subdivision of Block 4 in Ogden and Jones' Subdivision of the southwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 7, Township 39 North, Range 13, east of the Third Meridian in Cook County of Illinois

PIN 16-07-419-023-0000

PROPERTY ADDRESS – 640 W MADISON

LEGAL DESCRIPTION - Lots 1, 2, 3, and 4, of James B Muir's Re-Subdivision of Lots 8 to 15, both inclusive, in F.E Ballard's Subdivision of Block 5 in Ogden and Jones's Subdivision of the south west $\frac{1}{4}$ of the south east $\frac{1}{4}$ of the south east $\frac{1}{4}$ of section 7, township 39 North, Range 13 east of the third principal meridian in Cook County in Illinois

PIN 16-18-201-032-0000

PROPERTY ADDRESS – 711 WEST MADISON

LEGAL DESCRIPTION – lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, AND 11, both inclusive, in the subdivision of Block 1 in Hutchinson and Rothermel's subdivision, being a subdivision of the west $\frac{1}{2}$ of lot 3 of the subdivision of section 18, Township 39 North, range 13, East of the Third meridian , (Except the west $\frac{1}{2}$ of the south west $\frac{1}{4}$ thereof) Also Blocks 1, 6, 7, 12, and 13 of the subdivision of Lots 1, 2, and 3, in the partition of the East $\frac{1}{2}$ of Lot2 in said subdivision of section 18, aforesaid, all in the village of Oak Park, in Cook County, Illinois

PIN - 18-18-200-005-0000

PROPERTY ADDRESS – 725 W MADISON

LEGAL DESCRIPTION –Lot 1 in Block 2 in the Subdivision of Blocks 2, 3, 6, and 7 in Hutchinson and Rothermel's Subdivision being a Subdivision of the West $\frac{1}{2}$ of Lot 3 of the Subdivision of Section 18, Township 39 North in Cook County, IL

P.I.N. 16-07-418-018-0000
16-07-418-017-0000
16-07-418-020-0000
16-07-418-014-0000
16-07-419-023-0000
16-18-201-032-0000
16-18-200-005-0000



Doc# 1928013067 Fee \$121.00

EDWARD H. MOODY

COOK COUNTY RECORDER OF DEEDS

DATE: 16/07/2019 12:16 PM PG: 1 OF 36

Property Addresses:
700-728 Madison Street
644 Madison Street
711 Madison Street
725 Madison Street
Oak Park, IL 60302

Return to:
Village of Oak Park
123 Madison Street
Oak Park, Illinois 60302
Attn.: Law Department

(for recorder's use only)

ORDINANCE 19-68

**AN ORDINANCE ESTABLISHING FIRST AMENDMENT TO
REDEVELOPMENT AGREEMENT 700-728 MADISON STREET REDEVELOPMENT
PROJECT IN THE VILLAGE OF OAK PARK, COOK COUNTY, ILLINOIS**

Copy

**FIRST AMENDMENT TO
REDEVELOPMENT AGREEMENT
700-728 MADISON STREET REDEVELOPMENT PROJECT**

This First Amendment to Redevelopment Agreement ("*First Amendment*") is made and entered into as of the 3rd day of September, 2019 ("*Amendment Date*") by and among the Village of Oak Park, Cook County, Illinois, an Illinois municipal home rule corporation ("*Village*"), and Jupiter Realty Company, LLC, an Illinois limited liability company, with its principal office located at 401 North Michigan Avenue, Suite 1300, Chicago, Illinois 60611 (the "*Master Developer*") and Oak Park Madison Street LLC, an Illinois limited liability company, with its principal office located at 4333 South Pulaski Avenue, Chicago, Illinois 60632 (the "*North Developer*") and 711 Madison Senior Living, LLC, an Illinois limited liability company, with its principal office located at 315 South Peck Avenue, LaGrange, Illinois 60525 (the "*Prior South Developer*") and AH Oak Park, LLC, a Delaware limited liability company, with its principal office located at One Towne Square, Suite 1600, Southfield, Michigan 48076 (the "*New South Developer*"). (The Village, the Master Developer, the North Developer, the Prior South Developer and the New South Developer are sometimes referred to individually as a "*Party*" and collectively as the "*Parties*.")

RECITALS

The following Recitals are incorporated herein and made a part hereof.

A. WHEREAS, the Village, the Master Developer, the North Developer and the Prior South Developer entered into a Redevelopment Agreement ("*Original RDA*"), effective as of December 10, 2018 (the Original RDA, as amended by this First Amendment is referred to collectively as the "*RDA*"); and

B. WHEREAS, the Prior South Developer and New South Developer have entered into the Assignment Agreement attached hereto as Exhibit A ("*Assignment Agreement*"), which provides that, effective upon the Parties' execution of this First Amendment, the Prior South Developer assigns to New South Developer, and New South Developer assumes from Prior South Developer, all of Prior South Developer's benefits, liabilities and obligations under the RDA; and

C. WHEREAS, the Parties consent to the assignment and assumption contemplated by the Assignment Agreement, and as of the Amendment Date, the New South Developer shall become a Developer hereunder and entirely replaces Prior South Developer as the South Developer in all matters and terms as set forth in the RDA; and

D. WHEREAS, Section 19.10 of the RDA provides that the RDA may only be modified or amended by a written agreement executed by the Parties, unless otherwise provided; and

E. WHEREAS, this First Amendment has been submitted to the Corporate Authorities of the Village for consideration and review, the Corporate Authorities have taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Village according to the terms hereof, and any and all actions of the

Corporate Authorities of the Village precedent to the execution of this First Amendment have been undertaken and performed in the manner required by law; and

F. **WHEREAS**, this First Amendment has been submitted to the Master Developer for consideration and review, and the Master Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Master Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the Master Developer have been undertaken and performed in the manner required by law; and

G. **WHEREAS**, this First Amendment has been submitted to the North Developer for consideration and review, and the North Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the North Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the North Developer have been undertaken and performed in the manner required by law; and

H. **WHEREAS**, this First Amendment has been submitted to the Prior South Developer for consideration and review, and the Prior South Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Prior South Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the Prior South Developer have been undertaken and performed in the manner required by law; and

I. **WHEREAS**, this First Amendment has been submitted to the New South Developer for consideration and review, and the New South Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the New South Developer according to the terms hereof, and any and all actions precedent to the execution of this First Amendment by the New South Developer have been undertaken and performed in the manner required by law:

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements herein contained, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties do hereby agree as follows:

ARTICLE I

INCORPORATION OF RECITALS; DEFINED TERMS; CONTINUED EFFECT

The findings, representations and agreements set forth in the above Recitals are material to this First Amendment and are hereby incorporated into and made a part of this First Amendment as though fully set out in this Article One, and constitute findings, representations and agreements of the Village, Master Developer, North Developer, Prior South Developer and the New South Developer according to the tenor and import of the statements in such Recitals. All capitalized terms not defined in this First Amendment shall have the meaning ascribed to them in the Original RDA, unless otherwise stated herein. Except as expressly amended by this

First Amendment, all of the other terms, conditions, and provisions in the Original RDA shall continue in full force and effect.

ARTICLE 2

REPLACEMENT OF SOUTH DEVELOPER AND RELATED AMENDMENTS

2.1 Replacement of South Developer. The Parties acknowledge and agree that, as of the Amendment Date and in accordance with the terms of the Assignment Agreement, Prior South Developer transfers, sets over and assigns to New South Developer, all of the benefits, liabilities and obligations of the South Developer under the RDA, and the New South Developer hereby assumes all of such benefits, liabilities and obligations thereunder. The Village acknowledges and agrees that the foregoing assignment is approved by the Village and that all of the terms and conditions set forth in Section 19.20 of the Original RDA in connection with such assignment have been satisfied or waived by the Village, and no further action is necessary to effectuate such assignment.

2.2 Identity of South Developer. The definition of "South Developer" in Article 2 of the RDA is hereby deleted and replaced with the following:

"South Developer" means AH Oak Park LLC, a Delaware limited liability company, permitted assigns as provided in accordance with this Agreement, or any successors in interest thereof.

All references in the RDA to South Developer and/or to 711 Madison Senior Living, LLC shall mean the New South Developer as of the Amendment Date.

2.3 Recital N. Lines 8 through 13 of Recital N of the Original RDA are as of the Amendment Date deleted and replaced with the following:

South Developer desires to acquire and cause the redevelopment of the South Foley Property and 725 Madison Street in connection with the construction and operation of a senior housing facility to be constructed by the South Developer and owned by South Developer and managed by American House Management Company LLC to consist of a maximum of 196 residential units (being approximately 73 assisted living, 39 memory care, and 84 independent living units, being the *"Senior Living of Oak Park Housing Project."*

2.4 Authorized Representative for South Developer. Section 3(h)(iii) of the Original RDA is hereby amended by replacing "Thomas Williams" with "Samantha Eckhout" as authorized representative for South Developer.

2.5 Exhibit 2 and Exhibit 3. The Senior Living of Oak Park Housing Concept Plan and Preliminary Parking Plan attached as part of Exhibit 2 and Exhibit 3 of the Original RDA are deleted in their entirety and replaced with the new Senior Living Oak Park Housing Concept Plan and Preliminary Parking Plan attached hereto as Exhibit B.

2.6 Exhibit 7. Item # 5 of Exhibit 7 to the RDA is revised to say "Balcony Easements and Canopy Easements."

2.7 Exhibit 9. Page 9-2 of Exhibit 9 to the RDA is amended as of the Amendment Date by deleting the first paragraph describing incentives applicable to the Senior Living of Oak Park Housing Project and replacing it with the following:

A senior housing facility (Senior Living of Oak Park) to be constructed and owned by South Developer and managed by American House Management Company LLC to consist of a maximum of 196 residential units (approximately 73 assisted living, 39 memory care and 84 independent living units).

2.8 Exhibit 10. Exhibit 10 to the Original RDA is deleted in its entirety and replaced with new Exhibit 10 attached hereto as Exhibit C.

2.9 Organization of Entity. Sections 9.1, 10.7(f) and 13.1 of the Original RDA are hereby amended as of the Amendment Date to delete the terms providing that South Developer is an Illinois limited liability company or Illinois corporation, and instead to provide that South Developer is a Delaware limited liability company qualified to do business in Illinois.

2.10 Notice. As of the Amendment Date, the notice information for the South Developer set forth in Section 19.3 of the Original RDA is hereby deleted and replaced with the following:

If to South Developer:

AH Oak Park LLC
One Towne Square, Suite 1600
Southfield, Michigan 48076
Attn: Dale Watchowski
Fax: (248) 784-6505
Email: dwatchowski@redico.com

And

AH Oak Park LLC
One Town Square, Suite 1600
Southfield, Michigan 48076
Attn: Samantha Eckhout
Email: seckhout@redico.com

With a copy to:

Jaffe, Raitt Heuer & Weiss, P.C.
27777 Franklin Rd., Suite 2500
Southfield, Michigan 48034
Attn: Richard A. Zussman
Fax: (248) 351-3082
Email: rzussman@jaffelaw.com

ARTICLE 3

PETE'S FRESH MARKET PROJECT

3.1 Lines 6 and 7 in Recital N in the Original RDA are hereby deleted and replaced with the following: "level full service grocery store with surface and subgrade parking (being the *"Pete's Fresh Market Project"*), and the".

3.2 The Pete's Fresh Market Project Concept Plan attached as Exhibit 2 to the Original RDA, and Exhibit 9 to the Original RDA, are hereby amended to remove any reference to outparcel retail improvements and/or a separate retail structure other than the contemplated grocery store as set forth in Exhibit D hereto. Such plan is preliminary and subject to further Village approvals.

3.3 The Pete's Fresh Market Project Preliminary Parking Plan attached as Exhibit 3 to the Original RDA is hereby amended to permit subgrade parking in addition to surface parking as set forth in Exhibit D hereto. Such plan is preliminary and subject to further Village approvals.

3.4 Line 3 of Section I of the Pro Forma Estimate of Costs attached as Exhibit 11 to the Original RDA is hereby deleted and the total budget for the North Developer is hereby amended to be \$21,200,000.

ARTICLE 4

AMENDMENTS TO SECTION 6.1A AND SECTION 6.1B

4.1 Section 6.1A of the Original RDA is hereby deleted and replaced with the following:

A. Pete's Fresh Market Project Schedule.

The Village, the Master Developer and the North Developer agree that the development and construction of the Pete's Fresh Market Project will be undertaken in accordance with the following general schedule ("**Pete's Fresh Market Project Schedule**"):

(1)	RDA Effective Date	December 10, 2018
(2)	Environmental/Title/Survey Review Completed	June 30, 2020
(3)	Planned Development Application Submittal	January 31, 2020
(4)	Planned Development Approval	May 31, 2020
(5)	Building Permit and Final Engineering Submittal	June 30, 2020
(6)	Approval of Final Engineering and Issuance of Building Permit(s)	September 30, 2020
(7)	Evidence of Financial Support	October 15, 2020
(8)	Real Estate Closing	October 31, 2020
(9)	Commencement of Construction	March 1, 2021
(10)	Issuance of Certificate of Occupancy/Pete's Store Opening	June 30, 2022

The Village, the Master Developer and the North Developer agree to undertake all actions respectively necessary by each Party, including without limitation, the application, review, and approvals related to the Final Plans, to allow for the development and construction of the Pete's Fresh Market Project in accordance with the Pete's Fresh Market Project Schedule, subject to delays or extensions as may be otherwise permitted in this Agreement. The Parties acknowledge that the Pete's Fresh Market Project Schedule is based on the Parties best understanding of the Pete's Fresh Market Project and related milestones as of the Amendment Date. The Parties may amend the Pete's Fresh Market Project Schedule as necessary to ensure that it accurately reflects the key milestones in the development and construction of the Pete's Fresh Market Project, and the Parties specifically agree that the milestone dates will be automatically extended, without further action or any required consent, by the same number of days after the date in the Pete's Fresh Market Project Schedule that the Planned Development or any other Village required action is accomplished. Each Party agrees to not unreasonably withhold approval of a request by the other Party to amend the Pete's Fresh Market Project Schedule for such purposes.

4.2 Section 6.1B of the Original RDA is hereby deleted and replaced with the following:

B. Senior Living of Oak Park Housing Project Schedule.

The Village, the Master Developer and the South Developer agree that the development and construction of the Senior Living of Oak Park Housing Project will be undertaken in accordance with the following general schedule ("Senior Living of Oak Park Housing Project Schedule"):

(1)	RDA Effective Date	December 10, 2018
(2)	Environmental/Title/Survey Review Completed	June 30, 2020
(3)	Planned Development Application Submittal	September 30, 2019
(4)	Planned Development Approval	February 28, 2020
(5)	Building Permit and Final Engineering Submittal	May 29, 2020
(6)	Approval of Final Engineering and Issuance of Building Permits	September 30, 2020
(7)	Evidence of Financial Support	September 30, 2020
(8)	Commencement of Construction	November 30, 2020
(9)	Issuance of Certificate of Occupancy	June 30, 2022

The Village, the Master Developer and the South Developer agree to undertake all actions respectively necessary by each Party, including without limitation, the application, review, and approvals related to the Final Plans, to allow for the development and construction of the Senior Living of Oak Park Housing Project in accordance with the Senior Living of Oak Park Housing Project Schedule, subject to delays or extensions as may be otherwise permitted in this Agreement. The South Developer will endeavor to receive planned development approval for the Senior Living of Oak Park Housing Project prior to February 28, 2020. The South Developer shall acquire 711 Madison Street and 725 Madison Street on or prior to February 28, 2020. The Parties acknowledge that the Senior Living of Oak Park Housing Project Schedule is

based on the Parties' best understanding of the Senior Living of Oak Park Housing Project and related milestones as of the Amendment Date. The Parties may amend the Senior Living of Oak Park Housing Project Schedule as necessary to ensure that it accurately reflects the key milestones in the development and construction of the Senior Living of Oak Park Housing Project, and the Parties specifically agree that the milestone dates will be automatically extended, without further action or any required consent, by the same number of days after the date in the Senior Living of Oak Park Housing Project Schedule that the Planned Development or any other Village required action is accomplished. Each Party agrees to not unreasonably withhold approval of a request by the other Party to amend the Senior Living of Oak Park Housing Project Schedule for such purposes.

ARTICLE 5

AMENDMENT TO SECTION 7.1.C

5.1 Relocation of Utilities. The following new Section 7.1D is hereby added to the RDA:

D. Relocation of Utilities. The Village shall relocate, at its sole cost, all utilities situated within Euclid Avenue (or, in the alternative, the Village may request South Developer to complete such relocation and the Village shall promptly reimburse South Developer for all costs and expenses incurred therefor), and the Village shall vacate and/or convey to South Developer, at the Village's sole cost, Euclid Avenue free and clear of all liens, claims and encumbrances, subject only to such title exceptions as shall be acceptable to South Developer.

ARTICLE 6

AMENDMENT TO SECTION 8.2(e)

6.1 Section 8.2(e) is hereby amended by deleting "February 28, 2019" and replacing it with "February 28, 2020."

ARTICLE 7

AMENDMENT TO SECTION 8.5

7.1 Section 8.5 of the RDA, as applicable to the South Developer, is hereby amended to clarify that an Event of Default, as referenced therein, may only be for South Developer's failure to receive a Certificate of Occupancy within the time period set forth in the Senior Living of Oak Park Project Schedule (subject to the cure provisions of the RDA), as amended above, unless caused by Uncontrollable Circumstances.

ARTICLE 8

OMNIBUS AMENDMENTS TO RDA

8.1 The Original RDA is hereby amended to provide that, notwithstanding any of the terms or conditions set forth in the Original RDA to the contrary:

(a) The respective obligations, commitments and liabilities of the (i) Master Developer as set forth in the RDA are applicable solely with respect to Master Developer's portion of the Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, (ii) North Developer as set forth in the RDA are applicable solely with respect to the North Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, and (iii) South Developer as set forth in the RDA are applicable solely with respect to the South Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property.

(b) Each Developer will only be in default under the RDA for its own default, and not as a result of a default of any other Developer.

(c) The respective representations and warranties made by the (i) Master Developer are made by Master Developer on its own behalf, solely with respect to Master Developer's portion of the Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, (ii) the North Developer are made by the North Developer on its own behalf, solely with respect to the North Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property, and (iii) South Developer are made by the South Developer on its own behalf, solely with respect to the South Foley Property, and expressly not with respect to another Party thereunder or any other Party's portion of the Property.

ARTICLE 9

ESTOPPEL TERMS

9.1 The Village, North Developer, Prior South Developer and Master Developer certify to New South Developer that (a) the RDA is in full force and effect; (b) there are no existing defaults by any party to the RDA, nor are there any events or circumstances which, with the giving of notice or passage of time, or both, would give rise to a default under the RDA (which are not otherwise waived in accordance with the execution hereof), and (c) all obligations of the parties to the RDA which, per the terms of the RDA, were to have been satisfied prior to

the Amendment Date (subject to changes in any such deadlines provided for in this First Amendment) have been satisfactorily completed in accordance with the terms and conditions of the RDA (which are not otherwise waived in accordance with the execution hereof). Such parties acknowledge that New South Developer is relying upon the statements set forth in this Article 9 in connection with its assumption of the benefits, liabilities and obligations of Prior South Developer under the RDA.

ARTICLE 10

EFFECTIVENESS

The Amendment Date for this First Amendment shall be the 3rd day of September, 2019.

ARTICLE 11

AMENDMENT TO SECTIONS 10.12 AND 17.3

11.1 Sections 10.12 and 17.3(a) of the Original RDA are hereby amended to delete all references to "thirty (30) days" contained therein and insert "sixty (60) days" in each place in lieu thereof.

ARTICLE 12

DISCHARGE OF RDA

The Parties agree that in the event that 725 Madison Street is not conveyed to South Developer, or its successors or assigns, by February 28, 2020 (as such date may be extended as provided above), the Parties, upon the written request of any Party, will promptly record a discharge of the RDA as to 725 Madison Street in order to discharge the RDA from the title records of 725 Madison Street in Cook County, Illinois.

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: Vicki Scaman
Vicki Scaman, Village Clerk

By: Lisa Shelley
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: _____
Its: _____

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: _____
Its: _____

REVIEWED AND APPROVED
ASTROFORM
SEP 03 2019
[Signature]
LAW DEPARTMENT

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: Vicki Scaman
Vicki Scaman, Village Clerk

By: Lisa Shelley
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: [Signature]
Its: Principal

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: _____
Its: _____

REVIEWED AND APPROVED

ATTEST

SEP 03 2019

[Signature]
LAW OFFICE

IN WITNESS WHEREOF, the Parties hereto have caused this First Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: Vicki Scaman
Vicki Scaman, Village Clerk

By: Lisa Shelley
~~Cara Pavlicek, Village Manager~~
Lisa Shelley, Deputy Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois
limited liability company

By: _____
Its: _____

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois
limited liability company

By: James Oremont
Its: Sole Member
James Oremont

REVIEWED AND APPROVED

ATTEST

[Signature]
Village Clerk

PRIOR SOUTH DEVELOPER:

711 Madison Senior Living, LLC, an Illinois
limited liability company

By: Thomas H. Hill
Its: MANAGING MEMBER
9/18/19

NEW SOUTH DEVELOPER:

AH Oak Park, LLC, a Delaware limited
liability company

By: _____
Its: Authorized Representative

PRIOR SOUTH DEVELOPER:

711 Madison Senior Living, LLC, an Illinois
limited liability company

By: _____
Its: _____

NEW SOUTH DEVELOPER:

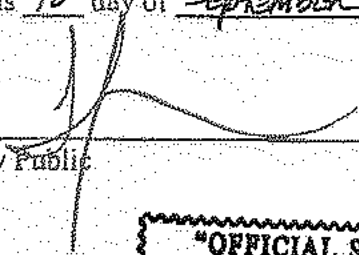
AH Oak Park, LLC, a Delaware limited
liability company

By:  _____
Its: Authorized Representative

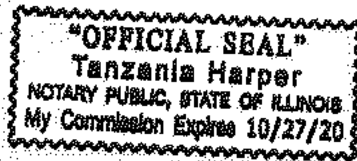
STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that JERRY J. OVE, personally known to me to be the Manager Member of Jupiter Realty Company, LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager Member he signed and delivered the said instrument, pursuant to authority given by the Manager of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 18 day of September, 2019.



Notary Public



STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that James Dremonas, personally known to me to be the Manager Member of Oak Park Madison Street LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager Member he signed and delivered the said instrument, pursuant to authority given by the Manager Member of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ___ day of September, 2019.



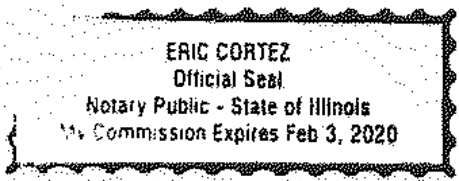
Notary Public



STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
HEREBY CERTIFY that Thomas M Williams, personally known to me to be
the Manager/Member of 711 Madison Senior Living, LLC, and personally known to me to be the
same person whose name is subscribed to the foregoing instrument, appeared before me this day
in person and acknowledged that as such Manager/Member he signed and delivered the said
instrument, pursuant to authority given by the Manager/Member of said Illinois limited liability
company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois
limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 18th day of September, 2019.



[Signature]
Notary Public

EXHIBIT A
ASSIGNMENT AGREEMENT

ASSIGNMENT OF REDEVELOPMENT AGREEMENT

This Assignment of Redevelopment Agreement ("Assignment Agreement") is by and between 711 MADISON SENIOR LIVING, LLC, an Illinois limited liability company, (hereinafter referred to as "Assignor"), and AH OAK PARK LLC, a Delaware limited liability company (hereinafter referred to as "Assignee")

WHEREAS, Assignor (as "South Developer"), the Village of Oak Park, Cook County, Illinois, an Illinois home rule corporation ("Village"), Jupiter Realty Company, LLC, an Illinois limited liability company ("Master Developer"), and Oak Park Madison Street LLC, an Illinois limited liability company ("North Developer") are parties to that certain Redevelopment Agreement dated December 10, 2018, recorded with the Cook County Recorder of Deeds on January 22, 2019 as Doc. No. 1902213145, as amended by that certain extension letter signed by the Village Manager dated April 22, 2019 (collectively, the "Redevelopment Agreement"), pertaining to the redevelopment of certain real property located in the Village of Oak Park, as more particularly described in the Redevelopment Agreement. A true, correct and complete copy of the Redevelopment Agreement is attached hereto as Schedule I.

WHEREAS, Assignor desires to assign to Assignee, and Assignee desires to assume from Assignor, all of Assignor's benefits, liabilities, obligations, right, title and interest under the Redevelopment Agreement in accordance with the terms and conditions herein (the "Assignment").

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows.

I. ASSIGNMENT

- 1.1 Assignment. As of the Assignment Date (defined below), Assignor hereby assigns to Assignee all of Assignor's benefits, liabilities, obligations, right, title and interest in and to the Redevelopment Agreement.
- 1.2 Assumption. As of the Assignment Date, Assignee hereby accepts the foregoing Assignment and assumes all of the benefits, liabilities, obligations, right, title and interest of Assignor in and to the Redevelopment Agreement.
- 1.3 Indemnity. Assignor hereby agrees to indemnify, defend and hold harmless Assignee and its officers, members, employees, agents, affiliates and their respective successors and assigns from and against any and all claims, penalties, damages, liabilities, actions, causes of action, costs and expenses (including reasonable attorneys' fees) caused by any breach by Assignor of this Assignment Agreement, or by the acts or omissions of Assignor or its employees, consultants or agents in connection with the Redevelopment Agreement prior to the Assignment Date.

Assignee hereby agrees to indemnify, defend and hold harmless Assignor and its officers, members, employees, agents, affiliates and their respective successors and assigns from and against any and all claims, penalties, damages, liabilities, actions, causes of action, costs and expenses (including reasonable attorneys' fees) caused by any breach by Assignee of this Assignment Agreement, or by the acts or omissions of Assignee or its employees, consultants or agents in connection with the Redevelopment Agreement after the Assignment Date.

1.4 The Assignment shall be effective as of the effective date of that certain First Amendment to Redevelopment Agreement by and among Assignee and the other parties to the Redevelopment Agreement which (a) provides that the Village consents to the Assignment, and (b) contains such other terms and conditions acceptable to Assignee and the other parties to the Redevelopment Agreement (such date, the "Assignment Date").

2. **COUNTERPARTS.** This Assignment Agreement may be executed in multiple counterparts, all of which taken together shall constitute collectively one (1) agreement. Signatures of the parties hereto transmitted by facsimile or other electronic transmission shall be deemed the same as an original.

3. **BINDING.** This Assignment Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the Assignor and Assignee have executed this Assignment and Amendment as of the Effective Date set forth above.

ASSIGNOR:

ASSIGNEE:

711 MADISON SENIOR LIVING LLC,
an Illinois limited liability company

AH OAK PARK LLC,
a Delaware limited liability company

By: Thomas M. Williams

By: Paul A. Stobulski

Name: Thomas M. Williams

Name: PAUL A. STOBULSKI

Its: Member

Its: AUTHORIZED REPRESENTATIVE

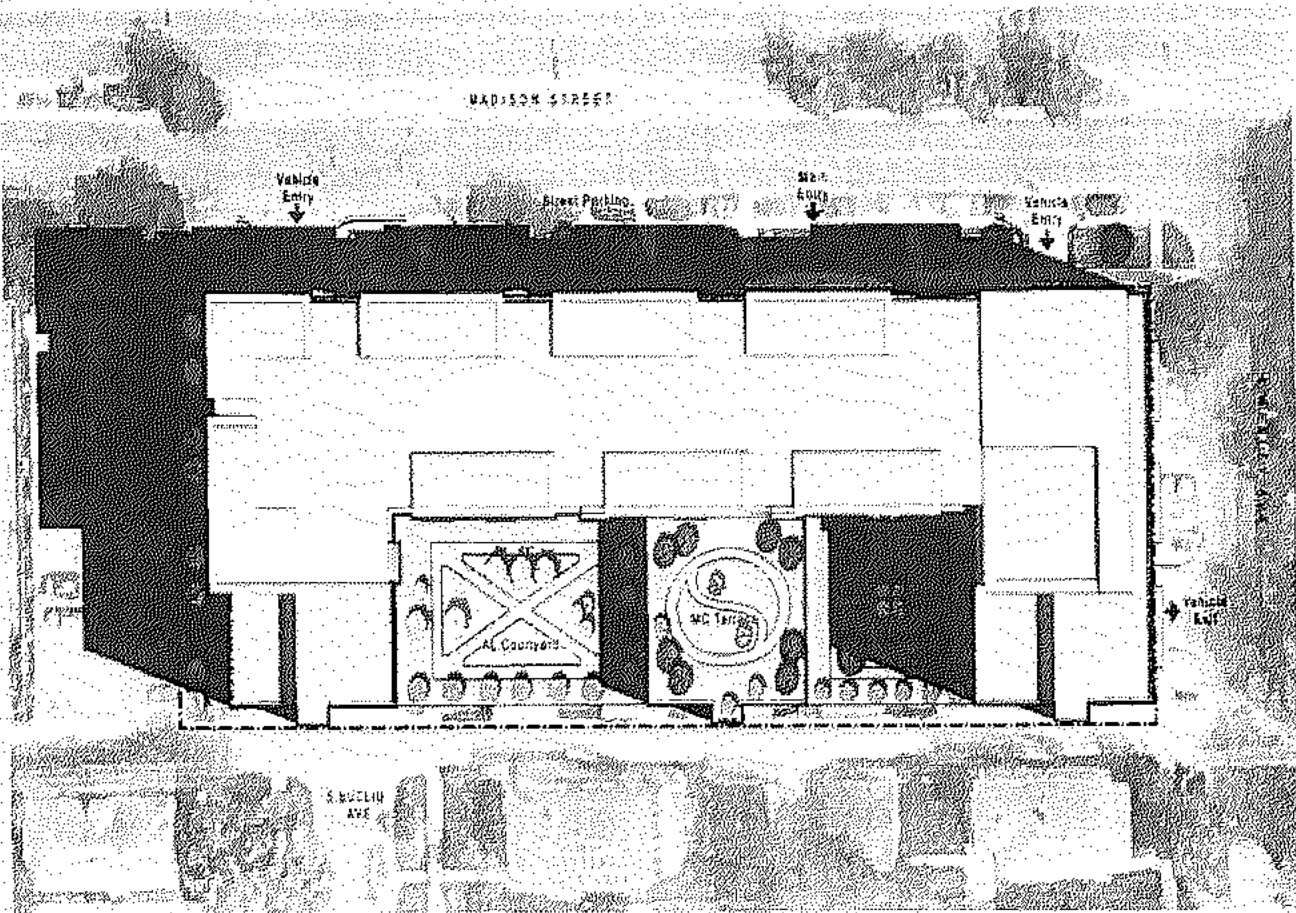
Schedule I
Redevelopment Agreement
{Attached}

EXHIBIT B

EXHIBIT 2 AND EXHIBIT 3

II. Senior Living of Oak Park Housing Concept Plan and Preliminary Parking Plan

*attachments for illustrative purposes only



VEDICO

SCALE 8 1/4" = 1'-0"

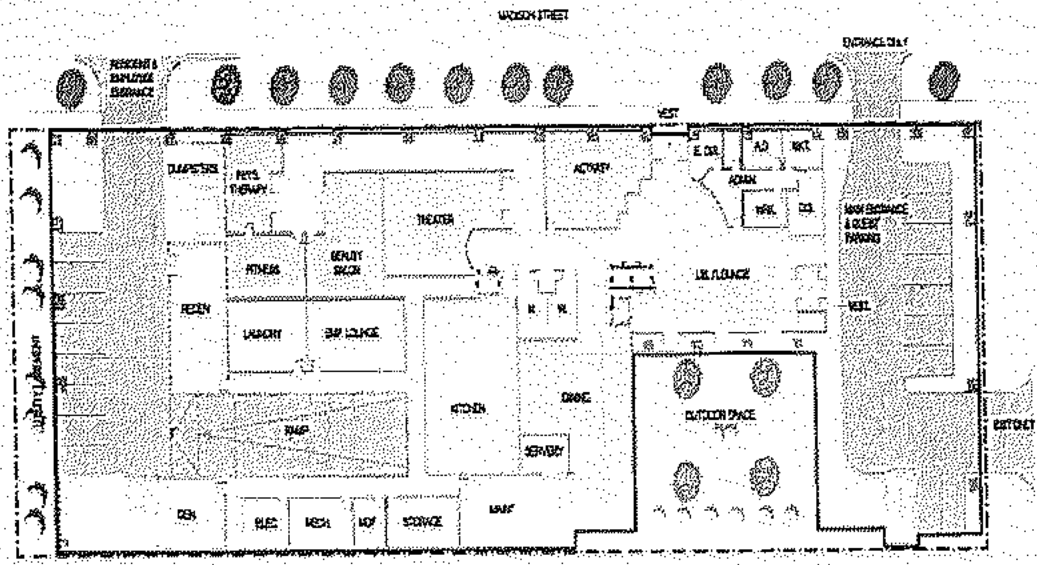
SITE PLAN

SENIOR LIVING OF OAK PARK

NOV 12



LANE BOGGIO
ARCHITECTS



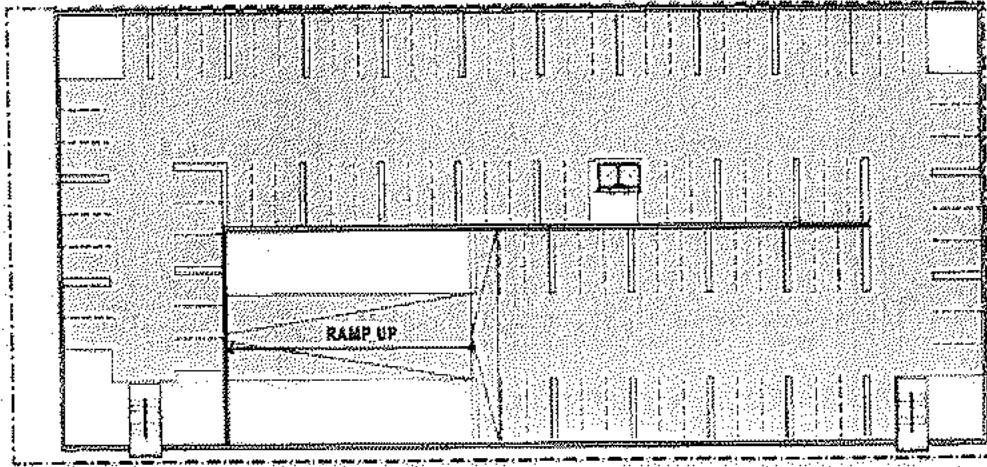
REDICO

GROUND FLOOR PLAN

SCALE @ 1/4" = 1' - 0"

SENIOR LIVING OF OAK PARK





105 SPACES

REDICO

SCALE @ 1/4" = 1'-0"

PARKING LEVEL PLAN

SENIOR LIVING OF OAK PARK

DATE



BOGGIO
ARCHITECTS

EXHIBIT C

EXHIBIT 10 – PROJECT ANALYSIS

I. North Developer

Estimated Value:	\$6,500,000.00
Assessment Level:	25.0%
Proposed Assessed Valuation:	\$1,625,000.00
State Multiplier:	2.96270
Equalized Value:	\$4,814,387.50
Tax Rate:	12.191%
Annual Projected Real Estate Taxes:	\$586,921.98
Estimated Annual Sales / Estimated Annual Sales Taxes	\$35,000,000.00 / \$546,000.00

- Annual Projected Real Estate Taxes and Sales Taxes are calculated at stabilization.

II. South Developer

Estimated Value:	\$13,100,000.00
Assessment Level:	10.0%
Proposed Assessed Valuation:	\$1,310,000.00
State Multiplier:	2.96270
Equalized Value:	\$3,881,137.00
Tax Rate:	12.191%
Annual Projected Real Estate Taxes:	\$473,149.00

RE Taxes
Estimate (Stabilization)

AH Oak Park 711 Madison St 16-18-201-032-0000 16-18-200-005-0000	
Market Value	24,500,000
# of Units	176
Market Value/Unit	139,205
Assessed Value	2,450,000
10% of Market Value	
Assesed Value/Unit	13,920.45
State Equalizer (2018)	2.9109
Gross Equalized Assessed Value	7,131,705
Assessed Value x Equalizer	
Less Exemptions	(3,288,147)
18682.651 per unit (Assume same per unit exemption as Brookdale)	
Net Equalized Assessed Value	3,843,558
Gross Equalized Assessed Value less Exemptions	
Tax Rate	12.6860%
Calculated Tax Bill	487,594

- Annual Projected Real Estate Taxes are calculated at stabilization.

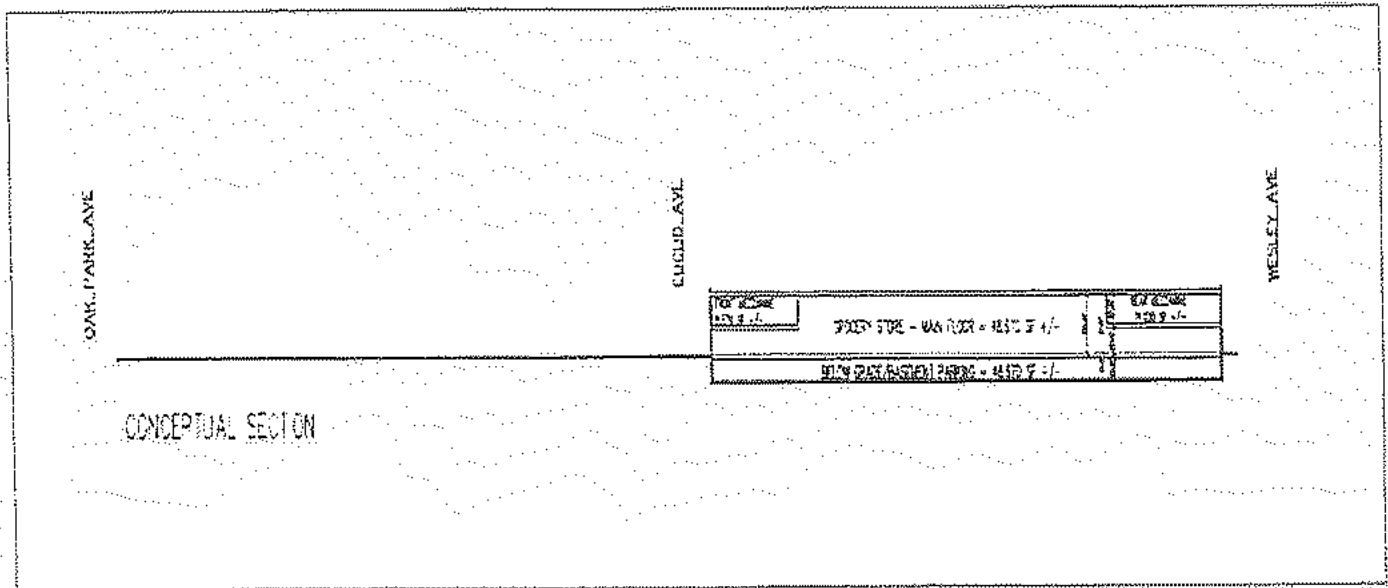
EXHIBIT D

PETE'S FRESH MARKET PROJECT CONCEPT PLAN*

AND

PETE'S FRESH MARKET PROJECT PRELIMINARY PARKING PLAN*

* Preliminary and subject to further Village approvals

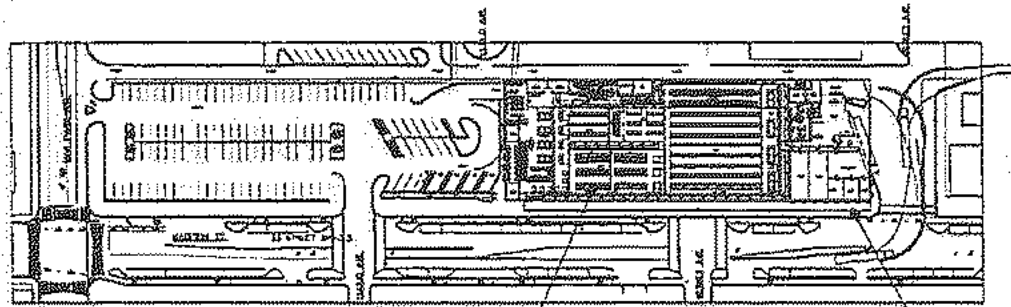
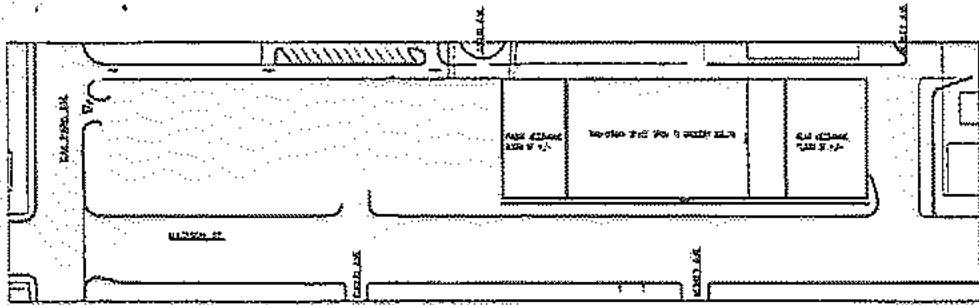


RIDGELAND ASSOCIATES INC.

1404 E. 1st St.
Ann Arbor, MI 48106

TEL: 734.769.1100
FAX: 734.769.1101
WWW.RIDGELAND-ASSOCIATES.COM

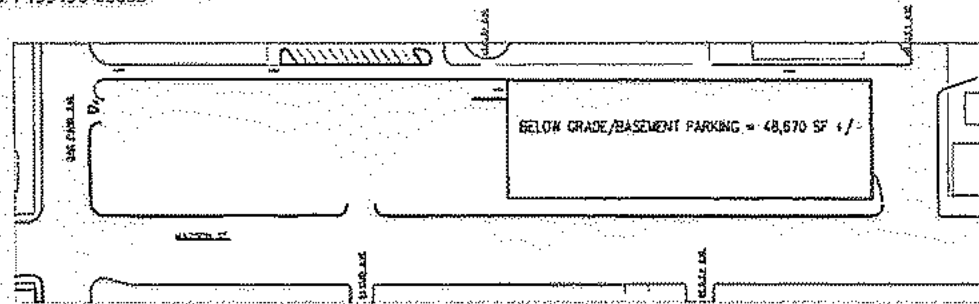
Pete's - Oak Park
Concept 1
Conceptual Section
08-07-19



34145453.4 135456-00006

GROCERY STORE - MAIN FLOOR = 48,670 SF +/-

HISTORIC FACADE TO BE RETAINED



BELOW GRADE/BASEMENT PARKING = 48,670 SF +/-



Pete's - Oak Park
 Concept 1
 Conceptual Floor Plans
 08-07-19

Madison Redevelopment
Legal Property Description

PIN -16-07-418-018-0000

PROPERTY ADDRESS -700-708 Madison

LEGAL DESCRIPTION - Lots 24, 25, 26, 27 in the sub of BLK 4 in Ogden & Jones' Sub of the S.W. $\frac{1}{4}$ of the S.E $\frac{1}{4}$ Sec 7, Township 39, Range 13 East of the third Principal meridian in Cook County, Illinois

PIN 16-07-418-017-0000

PROPERTY ADDRESS - 710 MADISON

LEGAL DESCRIPTION - Lots 20, 21, 22, and 23 in the subdivision of Block 4 in Ogden & Jones' Subdivision of the S.W. $\frac{1}{4}$ of the S.E $\frac{1}{4}$ Section 7, Township 39 North, Range 13, East of the Third Principal meridian in Cook County Illinois

PIN 16-07-418-020-0000

PROPERTY ADDRESS - 722 W. MADISON

LEGAL DESCRIPTION - Lots 17 to 22, both inclusive, in the subdivision of block 4 of Ogden and Jones Subdivision of the Southwest $\frac{1}{4}$ of the South East $\frac{1}{4}$ of Section 7, Township 39 North, Range 13, East of the Third Principal Meridian in Cook County, Illinois

PIN 16-07-418-014-0000

PROPERTY ADDRESS - 728 West Madison

LEAL DESCRIPTION - Lots 13, 14, 15, 16 in Subdivision of Block 4 in Ogden and Jones' Subdivision of the southwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 7, Township 39 North, Range 13, east of the Third Meridian in Cook County of Illinois

PIN 16-07-419-023-0000

PROPERTY ADDRESS – 640 W MADISON

LEGAL DESCRIPTION - Lots 1, 2, 3, and 4, of James B Muir's Re-Subdivision of Lots 8 to 15, both inclusive, in F.E Ballard's Subdivision of Block 5 in Ogden and Jones's Subdivision of the south west $\frac{1}{4}$ of the south east $\frac{1}{4}$ of the south east $\frac{1}{4}$ of section 7, township 39 North, Range 13 east of the third principal meridian in Cook County in Illinois

PIN 16-18-201-032-0000

PROPERTY ADDRESS – 711 WEST MADISON

LEGAL DESCRIPTION – lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, AND 11, both inclusive, in the subdivision of Block 1 in Hutchinson and Rothermel's subdivision, being a subdivision of the west $\frac{1}{2}$ of lot 3 of the subdivision of section 18, Township 39 North, range 13, East of the Third meridian , (Except the west $\frac{1}{2}$ of the south west $\frac{1}{4}$ thereof) Also Blocks 1, 6, 7, 12, and 13 of the subdivision of Lots 1, 2, and 3, in the partition of the East $\frac{1}{2}$ of Lot2 in said subdivision of section 18, aforesaid, all in the village of Oak Park, in Cook County, Illinois

PIN - 18-18-200-005-0000

PROPERTY ADDRESS – 725 W MADISON

LEGAL DESCRIPTION –Lot 1 in Block 2 in the Subdivision of Blocks 2, 3, 6, and 7 in Hutchinson and Rothermel's Subdivision being a Subdivision of the West $\frac{1}{2}$ of Lot 3 of the Subdivision of Section 18, Township 39 North in Cook County, IL

EXHIBIT A

**SECOND AMENDMENT TO
REDEVELOPMENT AGREEMENT**

between

VILLAGE OF OAK PARK, COOK COUNTY, ILLINOIS

and

JUPITER REALTY COMPANY, LLC

and

OAK PARK MADISON STREET LLC

and

AH OAK PARK, LLC

dated as of the

23rd day of November, 2020

**VILLAGE OF OAK PARK, ILLINOIS
REDEVELOPMENT PLAN AND PROJECT
MADISON STREET BUSINESS CORRIDOR REDEVELOPMENT PROJECT AREA
700-728 MADISON STREET REDEVELOPMENT PROJECT**

**SECOND AMENDMENT TO
REDEVELOPMENT AGREEMENT
700-728 MADISON STREET REDEVELOPMENT PROJECT**

This Second Amendment to Redevelopment Agreement (the “*Second Amendment*”) is made and entered into as of the 23rd day of November, 2020 (“*Amendment Date*”) by and among the Village of Oak Park, Cook County, Illinois, an Illinois municipal home rule corporation (“*Village*”), and Jupiter Realty Company, LLC, an Illinois limited liability company, with its principal office located at 401 North Michigan Avenue, Suite 1300, Chicago, Illinois 60611 (the “*Master Developer*”) and Oak Park Madison Street LLC, an Illinois limited liability company, with its principal office located at 4333 South Pulaski Avenue, Chicago, Illinois 60632 (the “*North Developer*”) and 711 Madison Senior Living, LLC, an Illinois limited liability company, with its principal office located at 315 South Peck Avenue, LaGrange, Illinois 60525 (the “*Prior South Developer*”) and AH Oak Park, LLC, a Delaware limited liability company, with its principal office located at One Towne Square, Suite 1600, Southfield, Michigan 48076 (the “*New South Developer*”). (The Village, the Master Developer, the North Developer, the Prior South Developer and the New South Developer are sometimes referred to individually as a “*Party*” and collectively as the “*Parties*.”)

RECITALS

The following Recitals are incorporated herein and made a part hereof.

A. **WHEREAS**, the Village, the Master Developer, the North Developer and the Prior South Developer entered into a Redevelopment Agreement (the “*Original RDA*”), effective as of December 10, 2018; and

B. **WHEREAS**, the Prior South Developer and New South Developer have entered into the Assignment Agreement attached hereto as Exhibit A (the “*Assignment Agreement*”), which provides that, effective upon the Parties’ execution of a First Amendment to the Original RDA, the Prior South Developer assigned to the New South Developer, and New South Developer assumed from Prior South Developer, all of Prior South Developer’s benefits, liabilities and obligations under the RDA; and

C. **WHEREAS**, the Parties entered into a First Amendment to the Original RDA effective September 3, 2019 (the “*First Amendment*”); and

D. **WHEREAS**, the Parties consent to the assignment and assumption contemplated by the Assignment Agreement, and as of the effective date of the First Amendment, the New South Developer shall become a Developer hereunder and entirely replaces Prior South Developer as the South Developer in all matters and terms as set forth in the Original RDA; and

E. **WHEREAS**, Section 19.10 of the Original RDA provides that the Original RDA may only be modified or amended by a written agreement executed by the Parties, unless otherwise provided; and

F. **WHEREAS**, the Parties seek to enter into this Second Amendment to adjust certain dates for the Pete’s Fresh Market Project Schedule set forth in the First Amendment caused by

delays due to the COVID-19 pandemic and to update the Pete's Fresh Market Project Concept Plan attached as part of Exhibit 2 to the Original RDA and Exhibit D to the First Amendment; and

G. **WHEREAS**, this Second Amendment has been submitted to the Corporate Authorities of the Village for consideration and review, the Corporate Authorities have taken all actions required to be taken prior to the execution of this Second Amendment in order to make the same binding upon the Village according to the terms hereof, and any and all actions of the Corporate Authorities of the Village precedent to the execution of this First Amendment have been undertaken and performed in the manner required by law; and

H. **WHEREAS**, this Second Amendment has been submitted to the Master Developer for consideration and review, and the Master Developer has taken all actions required to be taken prior to the execution of this First Amendment in order to make the same binding upon the Master Developer according to the terms hereof, and any and all actions precedent to the execution of this Second Amendment by the Master Developer have been undertaken and performed in the manner required by law; and

I. **WHEREAS**, this Second Amendment has been submitted to the North Developer for consideration and review, and the North Developer has taken all actions required to be taken prior to the execution of this Second Amendment in order to make the same binding upon the North Developer according to the terms hereof, and any and all actions precedent to the execution of this Second Amendment by the North Developer have been undertaken and performed in the manner required by law; and

J. **WHEREAS**, this Second Amendment has been submitted to the Prior South Developer for consideration and review, and the Prior South Developer has taken all actions required to be taken prior to the execution of this Second Amendment in order to make the same binding upon the Prior South Developer according to the terms hereof, and any and all actions precedent to the execution of this Second Amendment by the Prior South Developer have been undertaken and performed in the manner required by law; and

K. **WHEREAS**, this Second Amendment has been submitted to the New South Developer for consideration and review, and the New South Developer has taken all actions required to be taken prior to the execution of this Second Amendment in order to make the same binding upon the New South Developer according to the terms hereof, and any and all actions precedent to the execution of this Second Amendment by the New South Developer have been undertaken and performed in the manner required by law:

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements herein contained, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties do hereby agree as follows:

ARTICLE 1

**INCORPORATION OF RECITALS;
DEFINED TERMS; CONTINUED EFFECT**

The findings, representations and agreements set forth in the above Recitals are material to this Second Amendment and are hereby incorporated into and made a part of this Second Amendment as though fully set out in this Article One, and constitute findings, representations and agreements of the Village, Master Developer, North Developer, Prior South Developer and the New South Developer according to the tenor and import of the statements in such Recitals. All capitalized terms not defined in this Second Amendment shall have the meaning ascribed to them in the Original RDA, unless otherwise stated herein. Except as expressly amended by this Second Amendment, all of the other terms, conditions, and provisions in the Original RDA shall continue in full force and effect.

ARTICLE 2

PETE’S FRESH MARKET PROJECT

2.1 The Pete’s Fresh Market Project Concept Plan attached as part of Exhibit 2 to the Original RDA and Exhibit D to the First Amendment are hereby removed and deleted in their entirety and is replaced with Exhibit A attached hereto and incorporated herein by reference.

ARTICLE 3

AMENDMENTS TO SECTION 6.1A AND SECTION 6.1B

3.1 Section 6.1A of the First Amendment is hereby deleted and replaced with the following:

A. Pete’s Fresh Market Project Schedule.

The Village, the Master Developer and the North Developer agree that the development and construction of the Pete’s Fresh Market Project will be undertaken in accordance with the following general schedule (“**Pete’s Fresh Market Project Schedule**”):

(1)	RDA Effective Date	December 10, 2018
(2)	Environmental/Title/Survey Review Completed	June 30, 2020
(3)	Planned Development Application Submittal	November 30, 2020
(4)	Planned Development Approval	February 28, 2021
(5)	Building Permit and Final Engineering Submittal	April 30, 2021
(6)	Approval of Final Engineering and Issuance of Building Permit(s)	June 30, 2021
(7)	Evidence of Financial Support	July 15, 2021
(8)	Real Estate Closing	July 31, 2021
(9)	Commencement of Construction	December 1, 2021
(10)	Issuance of Certificate of Occupancy/Pete’s Store Opening	March 30, 2023

The Village, the Master Developer and the North Developer agree to undertake all actions respectively necessary by each Party, including without limitation, the application, review, and approvals related to the Final Plans, to allow for the development and construction of the Pete's Fresh Market Project in accordance with the Pete's Fresh Market Project Schedule, subject to delays or extensions as may be otherwise permitted in this Agreement. The Parties acknowledge that the Pete's Fresh Market Project Schedule is based on the Parties best understanding of the Pete's Fresh Market Project and related milestones as of the Second Amendment Date. The Parties may amend the Pete's Fresh Market Project Schedule as necessary to ensure that it accurately reflects the key milestones in the development and construction of the Pete's Fresh Market Project, and the Parties specifically agree that the milestone dates will be automatically extended, without further action or any required consent, by the same number of days after the date in the Pete's Fresh Market Project Schedule that the Planned Development or any other Village required action is accomplished. Each Party agrees to not unreasonably withhold approval of a request by the other Party to amend the Pete's Fresh Market Project Schedule for such purposes.

IN WITNESS WHEREOF, the Parties hereto have caused this Second Amendment to be executed on or as of the day and year first above written.

VILLAGE:
Village of Oak Park,
Cook County, Illinois
an Illinois municipal corporation

ATTEST:

By: _____
Vicki Scaman, Village Clerk

By: _____
Cara Pavlicek, Village Manager

[VILLAGE SEAL]

MASTER DEVELOPER:

Jupiter Realty Company, LLC, an Illinois limited liability company

By: _____
Its: _____

NORTH DEVELOPER:

Oak Park Madison Street LLC, an Illinois limited liability company

By: _____
Its: _____

SOUTH DEVELOPER:

AH Oak Park, LLC, a Delaware limited liability company

By: _____
Its: Authorized Representative

ACKNOWLEDGMENTS

STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, **DO HEREBY CERTIFY** that Cara Pavlicek, personally known to me to be the Village Manager of the Village of Oak Park, Cook County, Illinois, and Vicki Scaman, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such Village Manager and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the President and Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2020.

Notary Public

STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, **DO HEREBY CERTIFY** that _____, personally known to me to be the Manager/Member of Oak Park Madison Street LLC, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager/Member he signed and delivered the said instrument, pursuant to authority given by the Manager/Member of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2020.

Notary Public

STATE OF MICHIGAN)
)
COUNTY OF OAKLAND)

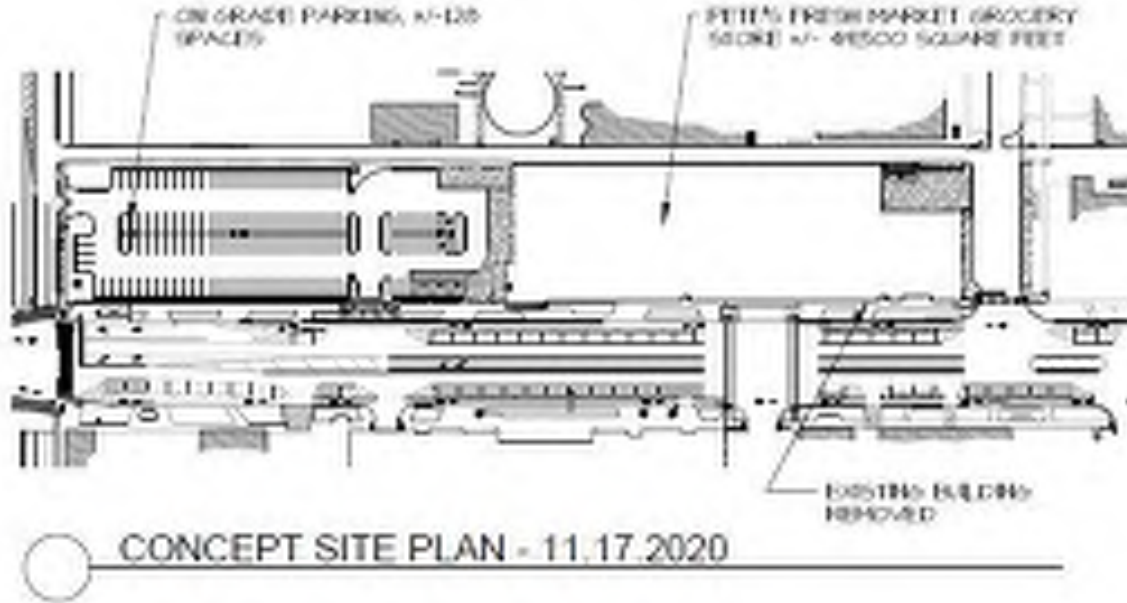
I, the undersigned, a Notary Public, in and for the County and State aforesaid, **DO HEREBY CERTIFY** that _____, personally known to me to be the Authorized Representative of AH Oak Park, LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that as such Manager/Member he signed and delivered the said instrument, pursuant to authority given by the Manager/Member of said Illinois limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said Delaware limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2020.

Notary Public

EXHIBIT A

PETE'S FRESH MARKET PROJECT CONCEPT PLAN*



Affidavit of Ownership

COUNTY OF Cook)
) SS

STATE OF ILLINOIS)

I, Stephanie Dremonas, under oath, state that I am
(Print Name)

- the sole owner of the property
 an owner of the property
 an authorized officer for the owner of the property

Commonly described as:

640 Madison Street

and that such property is owned by Oak Park Madison Street LLC as of this
date.
(Print Name / Company)


(Signature)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

5 DAY OF October, 2020


(Notary Public)





1/30/2020

Project: Pete's Market
644 Madison
Oak Park, IL 60302

Re: Owners Statement /Contact Information

I Stephanie Dremonas Owner/Executive of Pete's Market is providing permission to allow API Architects to submit PUD application documents on our behalf.

Contact Information:

James Dremonas – Owner
4333 S. Pulaski
Chicago, IL 60632
773-843-1400

Stephanie Dremonas – Owner
4333 S. Pulaski
Chicago, IL 60632
stephanie@petesfresh.com
773-843-1400

James Dremonas



Stephanie Dremonas

Date

1-30-2020



Date

1-30-2020



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: Planned Development Application
TAB4_D_PROFESSIONAL QUALIFICATIONS
Pete's Fresh Market – New Store
Madison Street Oak Park

Both the Owner and Design Team have extensive experience in the grocery retail industry. Pete's Fresh Market is a family owned and operated grocery retailer with over 50 years in business. In addition to their sixteen current locations, Pete's is rapidly expanding with five new stores in the development stages. The proposed development will be Pete's Fresh Market's second store in Oak Park and they will bring the experience and local knowledge to this development.

Pete's Fresh Market has their own in house general contractor, Eugene Grzynkowicz, who will be leading the development and construction from the Owner's side. His qualifications are listed in this document.

The Design Team consists of API Architects as the Architect, WT Group as the civil, structural and MEP engineers along with Land Survey. Couture Landscape Construction is the Landscape Architect. The Design Team's qualifications are attached to this document. The design team as a whole brings decades of experience working in the grocery industry and related fields, completing projects for clients including Kroger, Pick n Save, Mariano's, Dominick's, Food4Less, and Carnicerias Jimenez. We are pleased to be partnering with Pete's Fresh Market to bring this project to a reality.

Regards,

Kenneth Nadolski
Principal

ONE SOURCE. INFINITE SOLUTIONS.

CIVIL ENGINEERING | STRUCTURAL ENGINEERING | ACCESSIBILITY CONSULTING
MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT

P.M.R.

Project: P.M. Oak Park - Madison

January, 2020

Re: GC Qualifications

My name is Eugene Grzynekowicz employed by Peter Michael Reality. I have been in the construction industry for over 35 years. My back ground in residential, commercial building is vast, from office, retail, institutional, industrial, high-rise, hospital, schools and churches. I have been fortunate to have built many prominent projects in the Chicagoland area, and have worked every facet of the industry, from carpenter, foreman, superintendent, project manager to project executive. I have now built eight Pete's Market stores – retail malls, and look forward to building the new Pete's Market Oak Park.

Notable Projects:

- Lucent Technologies
- Baps Temple
- Lincoln Park Zoo
- Walton on the Park
- Trump Tower
- Millennium Park
- Fermi Lab Numi-Target
- Union Pacific Rail
- College Church
- Loyola University
- Arboretum South Barrington

Eugene Grzynekowicz

773-908-5145

eugene@pmrealityinc.com

Peter Michael Reality
4333 S. Pulaski
Chicago, IL 60632

Ph. 773-843-1400



Kenneth Nadolski, RA, NCARB, AIA

312-505-1392 ken@api-architects.net

Background

Licensed architect with over 10 years of experience in a wide range of commercial, municipal, and residential projects including grocery, restaurant, office, tenant buildouts, and public projects. Scope of work from minor remodels to multi-million dollar new construction. Goal oriented with problem solving mentality and ability to work in a variety of environments and project delivery methods.

Architect Licenses

Alabama, Arkansas, Colorado, Connecticut, Delaware, District of Columbia, Georgia, Illinois, Indiana, Kansas, Kentucky, Louisiana, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, New Jersey, North Dakota, Ohio, Oregon, Rhode Island, South Carolina, South Dakota, Texas, Utah, Virginia, West Virginia, Wisconsin, and Wyoming

Professional Certifications and Affiliations

Chicago Self Certified Architect
NCARB Certificate Holder
AIA Member
Completed PSMJ Project Management Boot Camp

Experience

<u>API Architects</u>	<u>Principal</u>
Hoffman Estates, IL	2017 – Current
<u>API Architects</u>	<u>Project Architect</u>
Hoffman Estates, IL	2011 – 2017
<u>Daniel Cook and Associates Architects</u>	<u>Intern Architect</u>
Salt Lake City, UT	2007 – 2008
<u>Corporate Design and Development Group</u>	<u>Intern Architect</u>
Schaumburg, IL	2005 – 2007

Recent Projects

- Pick n Save 846 – West Allis, WI
 - \$5,000,000 interior and exterior remodel of an existing grocery store.
- Brookfield North Riverside Water Commission – Brookfield, IL
 - Public building rehabilitation and exterior renovation.
- Mariano’s 527 – Chicago, IL
 - \$2,000,000 interior remodel of an existing store – Self Certification.
- El Popocatepetl Offices – Chicago, IL
 - Conversion of an existing building to new corporate office space.
- Pete’s Fresh Market #19 – Oak Park, IL
 - New 45,000 sq. ft. grocery store and site development.

Education

Judson University – Elgin, IL
Bachelor of Arts in Architecture (B.A.)
Judson University – Elgin, IL
Masters of Architecture (M.Arch)



Group

Engineering • Design • Consulting

Headquarters

2675 Pratum Avenue
Hofman Estates, IL 60192

Chicago Office

79 W. Monroe
Suite 1100
Chicago, IL 60603

Statement of Qualifications

PH: (224)293-6333 | FX: (224)293-6444 | wtengineering.com

Engineering with Precision, Pace & Passion.



WHO:

The WT Group provides engineering, design and consulting solutions with precision across all major industries and markets today. As a single, turnkey solution, we take a unified approach working together as a team towards the client's common goal. Our high-trained engineers with an average of 2 decades of industry experience, take pride in each and every project, regardless of scale or budget. From new construction to renovating existing structures, WT Group ensures compliance with state and federal jurisdictions as well as local codes and ordinances.

From general construction and construction management to design/build and engineering, design and consulting, the WT Group's experience, insights and talent can help clients successfully complete even the most challenging projects on schedule and on budget.

HISTORY:

Since 1971, the WT Group has offered a growing customer base with full-service engineering, design and consulting services. From humble beginnings in founder Donald R. Triphahn's garage in Hoffman Estates, Illinois, WT has been committed to providing world-class engineering and design solutions while never compromising the personal attention our clients deserve.

Over more than 45 years, the WT Group expanded its portfolio of design and engineering services and today consists of 10 teams operating in nearly all 50 states. WT Group's team of innovative and high-skilled professionals across disciplines bring their passion for customer service and unwavering worth ethic to deliver results and meet each clients' specific needs.

Mission:

To provide an unparalleled engineering, design, and consulting experience through precision, pace, and passion.

Solutions:

- Civil Engineering
- Structural Engineering
- Mechanical/Electrical/Plumbing Engineering
- Land Surveying
- Accessibility Consulting
- Aquatic Engineering
- Telecommunications
- Design & Program Management
- Construction Management

Firm Information:

The W-T Group, LLC

Type of Organization:	Limited Liability Company Established 1971
Firm Size:	150
Headquarters:	2675 Pratum Avenue Hoffman Estates, IL 60192 P: 224-293-6333 F: 224-293-6444
Website:	wtengineering.com
Email:	info@wtengineering.com



WT Groups Commitment:

The WT Group provides engineering, design, and consulting solutions with precision across all major industries and markets today. As a single, turnkey solution, we take a unified approach working together as a team towards the Oak Park and Pete's Market common goal. Our highly trained engineers with an average of two decades of industry experience, take pride in each and every project, regardless of scale or budget. From new construction to renovating existing structures, WT Group ensures compliance with federal, state, and local codes or ordinances.

From general construction and construction management to design/build and engineering, design and consulting, the WT Group's experience, insights and talent can help clients successfully complete even the most challenging projects on schedule and on budget.

Mission:

To provide an unparalleled engineering, design, and consulting experience through precision, pace, and passion.

Solutions:

- Civil Engineering
- Structural Engineering
- Mechanical/Electrical/
Plumbing Engineering
- Land Surveying
- Accessibility Consulting
- Aquatic Engineering
- Design & Program
Management

Practice Area Information:

Mechanical/Electrical Plumbing Engineering

Mechanical engineering is at the heart of the WT Group's commitment to precision, pace and passion. It is where we started and where we continue to excel. We assist clients with customized, innovative and efficient solutions designed to every client's unique needs. From heating and ventilation to air conditioning and energy efficiency, the WT Group provides state-of-the-art solutions to exceed client expectations.

Services:

- Schematic Design
- Cost & Estimates
- Design Development
- Bid Assistance
- Construction Documents
- Construction Management
- Feasibility Studies
- Permitting
- LEED Design
- Fire Alarm
- Heating, Ventilating & Air Conditioning
- Assessments
- Existing Conditions
- Construction Observation
- Plumbing
- Electrical
- Fire Protection

MEP Project Experience:

- | | |
|---|--|
| Pete's Fresh Market – Several Locations | Hoffman Plaza - Outlot #4 and #7 - Hoffman Estates, IL |
| Mariano's - Several Locations | Marshall's Buildout - Hutchinson, MN |
| Food 4 Less - Several Locations | Vital Proteins - Franklin Park, IL |
| Berkot's - Several Locations | Burlington Coat Factory Hawthorne Works Shopping Center - Cicero, IL |
| Jimenez - Several Locations | Schaumburg Promenade - Schaumburg, IL |
| Vali Produce – Three Locations | Windmill Commons - Batavia, IL |
| Kroger - Several Locations | OfficeMax Randhurst Commons - Mt. Prospect, IL |
| Pick N Save - Several Locations | Mindful Dispensary - Addison, IL |
| Dominick's - Several Locations | Oak and Heir - Wheaton, IL |
| Woodman's - Several Locations | Famsa Tenant Hawthorne Works Shopping Center - Cicero, IL |
| K.D. Marketplace - Two Locations | Rand Olive Shopping Center - Deer Park, IL |
| Roundy's – Several Locations | Mixed Use Building - Naperville, IL |
| Get Fresh Produce – Whitestown, IN | Sears Store - Riverside, IL |

Practice Area Information:

Civil & Structural Engineering

WT Group's Civil and Structural Engineering team meets the design requirements and budget of our clients whatever the project. We have experience with residential, commercial, municipal, industrial and other structures, using all types of construction materials appropriate for the specific job. Our staff conducts structural forensic/inspection services and has extensive knowledge of seismic design, seismic evaluating of buildings, and seismic upgrades and retrofits.

Services:

Athletic Field / Park Design

- Bidding/Construction Administration
- Irrigation
- Sports Field Lighting
- Synthetic Turf Field

Site Development

- Infrastructure Design
- Roadway/Transportation Design
- Site Planning/Zoning Services
- Site Storm Water Permitting
- Site Utilities and Grading
- SITEOPS

Storm Water Management

- Infiltration Systems Design
- LEED Coordination and Design
- Storm Water Detention
- Best Management Practices

Structural Engineering

- Forensic Analysis
- IDOT Bridge Inspection
- Reinforced Concrete Design
- Structural Steel Design
- Wood Design
- Seismic Design

Water Resources Engineering

- Base Flood Elevation
- FEMA Permitting
- Flood Studies
- Bypass Storm Water
- Conveyance
- Analysis**
- Eminent Domain
- P.A.S.E.R.

Civil Project Experience:

Jimenez 559 Main Street West Chicago
2005. Re-construction of loading docks and rear service entrance pavement, plus addition of 12 parking spaces

Jimenez Chicago 2414 North Hamlin Ave Chicago
2016. New 19 car parking lot adjacent to Grocery Store.

Amazon grocery store 16 A East Golf Road Schaumburg
2020. Rear service entrance pavement, loading dock, trash compactor re-configuration as well as parking lot and front entry renovation.

Pete's Fresh Market 4343 S. Pulaski Rd Chicago
2020 (currently in for permit). Loading dock and front entry re-configuration

Valley Produce Roselle and Higgins, Hoffman Estates, IL
New Loading dock and parking lot reconfiguration

Dixmoor Market Sibley Boulevard and Western Avenue, Dixmoor, IL
Eminent Domain Analysis and Site Planning

Structural Project Experience:

Fresh Thyme Project in River Forest, IL
Address: 7501 W. North Ave, River Forest, IL

Pete's Store in Matteson, Illinois

Oak Street Health, Store in Elgin
Address: 822 Summit Street, Elgin, IL

Pick n Save Store in Weston, WI
Address: 2806 Schoefield Ave, Weston, WI 54476

Pete's Store in Oak Park, Illinois
Address: 640 Madison Street, Oak Park, IL



Practice Area Information:

Land Survey

WT Group's Land Surveying team is experienced in all aspects of the land-surveying field, including boundary and topographic surveys to construction layouts. We specialize in commercial and municipal developments of all shapes and sizes, from one-acre retail projects to 135-acre corporate campuses. Our capabilities include not just the survey work itself but also all document and record preparation necessary for the project.

Services:

- Boundary Surveys
- Topographic Surveys for Engineering Design
- ALTA/ACSM Land Title Surveys
- Construction Layout
- As-Built Surveys
- Subdividing Land and Legal Descriptions
- Easement, Vacation and Dedication Plats
- Route Surveying
- Tree Surveys
- GIS Services
- FEMA Flood Elevation Certificates
- GPS Control Networks
- Plat of Highways
- Wireless Communication Surveys

Land Survey Project Experience:

Garden Fresh Market's in Mundelein - 2017

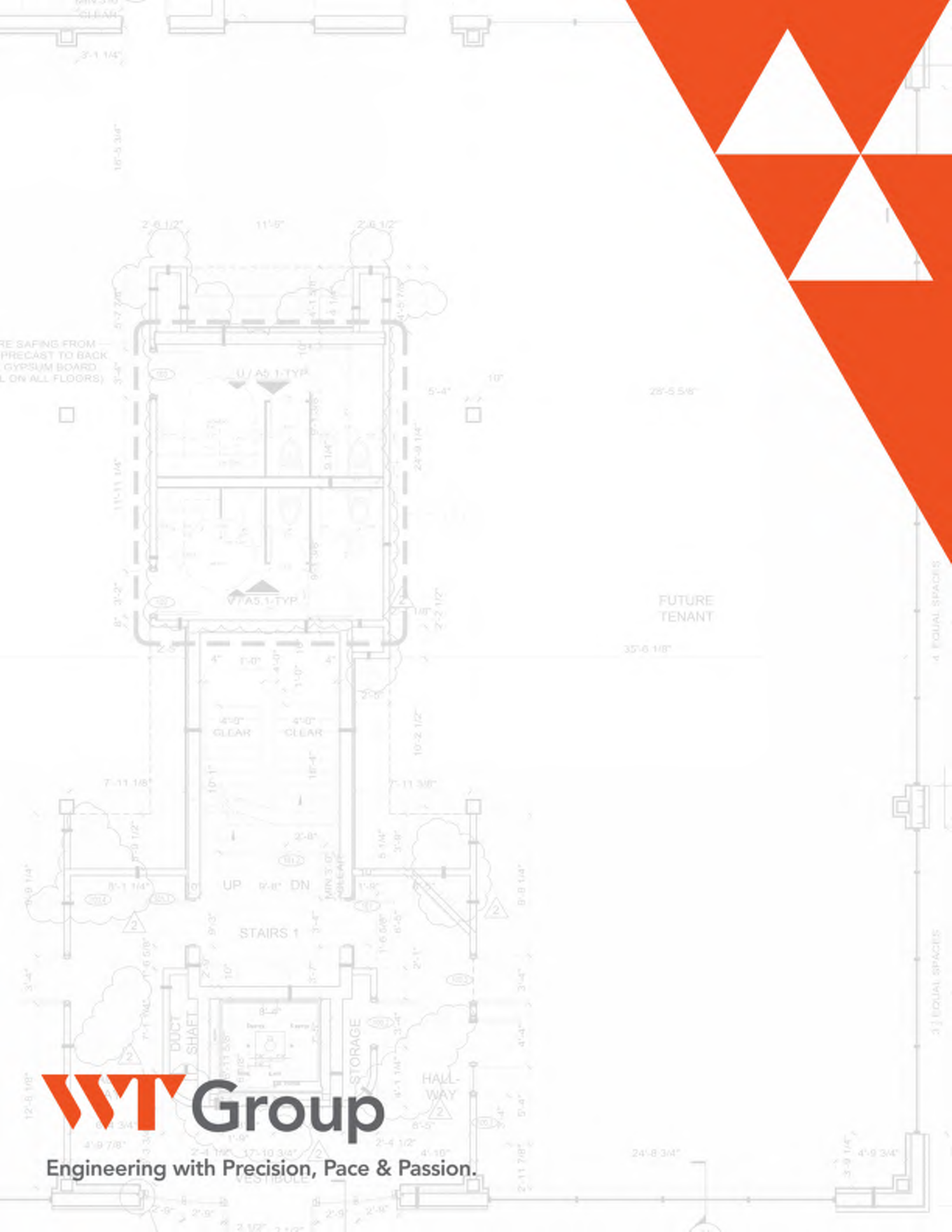
Garden Fresh Market's in Arlington Heights - 2017

Pete's Fresh Market - Oak Park

Pete's Fresh Market - Chicago

Pete's Fresh Market - Bridgeview





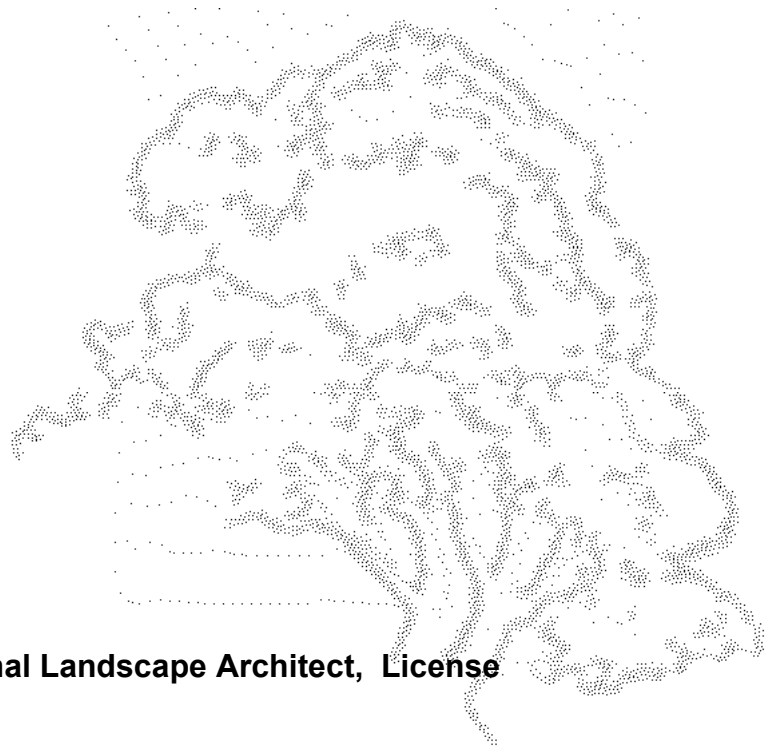
PRE SAFING FROM PRECAST TO BACK GYPSUM BOARD (ON ALL FLOORS)

FUTURE TENANT



Engineering with Precision, Pace & Passion.

COUTURE
Landscape Construction Inc.
Landscape Architects / Contractors



Paul A. Couture PLA , ASLA
State of Illinois Registered Professional Landscape Architect, License
#157.000328

ASLA link / enter Paul Couture

<https://laces.asla.org/CourseRecordResult.aspx?PageIndex=0>

- 40 years of experience – Multiple Family Home Development, High-end Residential, Commercial Buildings / Offices, Retail Development
- State and National Awards Recipient

Professional Memberships:

- American Society of Landscape Architects
- Illinois Landscape Contractor Association
- American Nursery and Landscape Association

Partial List of past projects:

- Prairie Market Square East, Oswego, IL
- Cal City Fire Department Training Facility, Calumet City, IL
- Wheaton Eye Clinic & Surgical Center, main campus, Wheaton, IL
- Wheaton Eye Clinic, Plainfield, IL
- BP Amoco (multiple locations)
- Napa Auto Parts Retail Store, Glen Ellyn, IL & Carol Stream, IL locations
- Mc Donald's (multiple locations)
- Walgreens (multiple locations)
- Culvers, Des Plaines, IL
- Dominick's Grocery Store (multiple locations)
- Home Run Pizza Head Quarters, Woodridge, IL - plus outlet stores
- Campanelli YMCA, Schaumburg, IL (entire campus)
- St. Petronelle Catholic Church and School Campus, Glen Ellyn, IL
- Starbuck's (multiple locations)
- St. John's School, Lombard, IL

www.couturelandscape.com

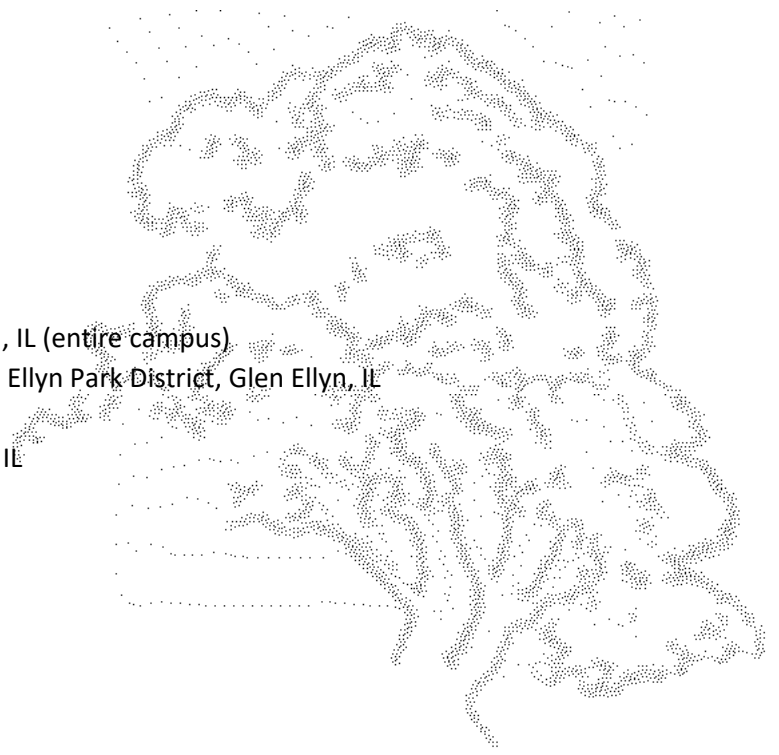
505 Swift Road, Lombard, IL 60148
phone 630.627.1366 fax 630.627.1364

COUTURE

Landscape Construction Inc.

Landscape Architects / Contractors

- Parkview Community Church, Glen Ellyn, IL (entire campus)
- Ackerman Sports & Fitness Center, Glen Ellyn Park District, Glen Ellyn, IL
- Southfield Church, Channahon, IL
- Mill Street Medical Campus, Naperville, IL
- Elcon, Minooka, IL
- Pearl Chrysler, Peotone, IL
- First Baptist, Sauk Village, IL
- Universal Steal America, Crete, IL
- Cross Roads Christian Church, Joliet, IL
- Sparta Dome, Crown Point, IN
- Village Christian Church, Minooka, IL
- Al-Amin Brothers, Crete, IL
- Lazerwash, Romeoville, IL
- Buffalo Wild Wings, Aurora, IL
- Christian Church of Clarendon Hills IL
- MJK Retail Shopping Developments (10+ multi-unit locations Illinois, Indiana)
- Oak Square, Bolingbrook, IL
- Crescent Station & Glenstone Condominiums, Glen Ellyn, IL
- Glen Astor Condominiums, Glen Ellyn, IL
- Main Street Office Center, St. Charles, IL



Professional Design Firm Affiliates & Collaborations (partial list)

- Compass Surveying
- MJK Development
- PBS Professional Builders
- CEMCON (Wheaton Eye Clinic Campus)
- CDG
- PPKS Architects
- SOOS & Associates
- Dahquist & Lutzow Architects
- Steinbrecher Land Surveyors, Inc.
- WT Engineering
- Kurtz & Associates
- Design Organization
- Geopool

www.couturelandscape.com

505 Swift Road, Lombard, IL 60148
phone 630.627.1366 fax 630.627.1364



1/30/2020

Project: Pete's Market
644 Madison Street
Oak Park, IL 60302

RE: Financing per PUD Application

Dear Village Board and Planning Commission:

As an Executive Officer of the company with a primary focus on the Financials and Operations, Pete's Fresh Market has the financial capability of completely the proposed development. If you have any questions or concern, please reach out to me at stephanie@petesfresh.com.

Thank you,

Stephanie Dremonas

Pete's Fresh Market
Executive Officer



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: **Planned Development Application**
TAB5_A_PROPERTY RESTRICTIONS
Pete's Fresh Market – New Store
Madison Street Oak Park

The property for the proposed Pete's Fresh Market contains no property restrictions that would impose a hardship on the development.

Regards,

Kenneth Nadolski
Principal

ONE SOURCE. INFINITE SOLUTIONS.

CIVIL ENGINEERING | STRUCTURAL ENGINEERING | ACCESSIBILITY CONSULTING
MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT

BOUNDARY & TOPOGRAPHIC SURVEY

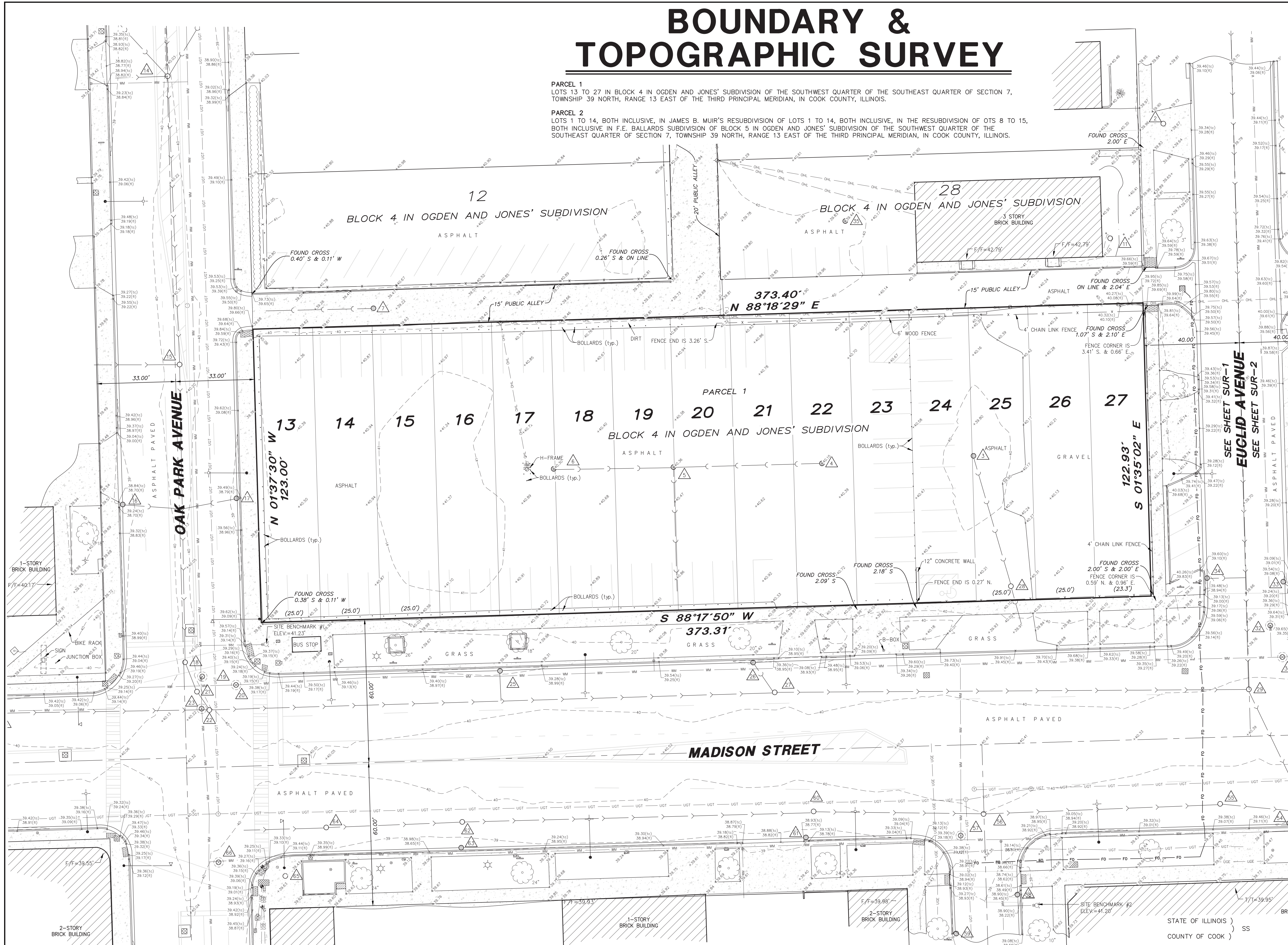
PARCEL 1
 LOTS 13 TO 27 IN BLOCK 4 IN OGDEN AND JONES' SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2
 LOTS 1 TO 14, BOTH INCLUSIVE, IN JAMES B. MUIR'S RESUBDIVISION OF LOTS 1 TO 14, BOTH INCLUSIVE, IN THE RESUBDIVISION OF OTS 8 TO 15, BOTH INCLUSIVE, IN F.E. BALLARDS SUBDIVISION OF BLOCK 5 IN OGDEN AND JONES' SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



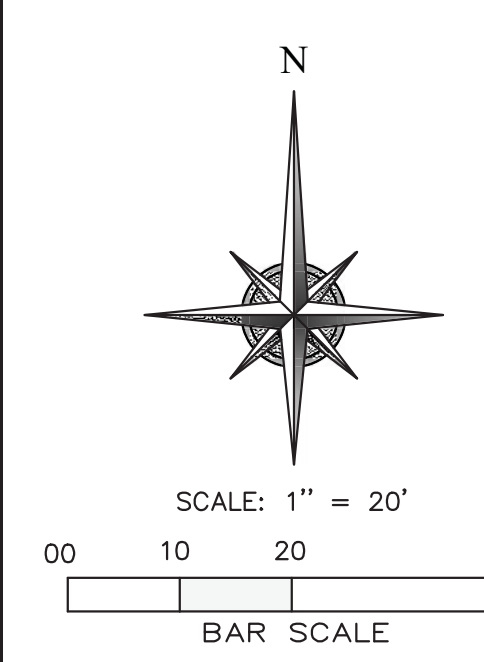
LOCATION MAP

1	RIM=40.01'(STORM) 24" CONCRETE STRUCTURE INV=38.26'(6" CLAY N/S)	31	RIM=39.07'(STORM) 24" CONCRETE STRUCTURE INV=38.26'(6" CLAY N/W)
2	RIM=39.74'(SANITARY) 36" CONCRETE BLOCK STRUCTURE INV=33.79'(6" CLAY W) INV=33.74'(6" CLAY E)	32	RIM=39.07'(WATER) TOP OF PIPE=35.87'(15" N/S)
3	RIM=39.56'(STORM) 48" CONCRETE STRUCTURE INV=34.91'(8" CLAY/SNORKEL SSE) TOP OF SNORKEL=36.16'	33	RIM=39.04'(STORM) INV=34.42'(8" CLAY SE) STRUCTURE FILLED WITH WATER
4	RIM=40.15'(STORM) 24" CONCRETE STRUCTURE INV=37.38'(6" PVC W)	34	RIM=39.44'
5	RIM=40.36'(STORM) 24" CONCRETE STRUCTURE INV=36.76'(6" PVC E) INV=36.81'(8" CLAY NW) TOP OF WATER=36.76' UNABLE TO DETERMINE SIZE	35	RIM=39.38'
6	RIM=40.31'(STORM) 24" CONCRETE STRUCTURE INV=37.45'(6" PVC W)	36	RIM=38.88'(STORM) STRUCTURE FILLED WITH DEBRIS NO VISIBLE PIPES
7	RIM=39.10'(STORM) 48" CONCRETE STRUCTURE INV=35.51'(6" PVC W)	37	RIM=38.82'(SANITARY) INV=34.77'(8" CLAY NE) TOP OF WATER=36.76' UNABLE TO DETERMINE SIZE
8	RIM=39.62'(COMBINATION) 36" CONCRETE RISER ON 52" BRICK STRUCTURE INV=34.54'(8" CLAY NW) INV=34.37'(8" CLAY E) INV=28.00'(52" BRICK N/S) RISER BOTTOM=32.00'	38	RIM=38.71'(STORM) STRUCTURE FILLED WITH WATER AND DEBRIS NO VISIBLE PIPES
9	RIM=41.08'(STORM) 36" CONCRETE STRUCTURE INV=37.03'(4" CLAY NW/NW) INV=38.23'(4" CLAY NW) INV=35.84'(6" CLAY W, ELBOW ENE) INV=38.27'(4" CLAY SW)	39	RIM=38.81'(STORM) INV=34.01'(8" CLAY W)
10	RIM=38.73'	40	RIM=38.81'(STORM) INV=34.01'(8" CLAY W)
11	RIM=38.80'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	41	RIM=38.80'(STORM) INV=34.01'(8" CLAY W)
12	RIM=40.07'(SANITARY) INV=30.90'(18" PVC N/S) INV=32.30'(10" PVC NW) INV=32.45'(6" PVC)	42	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
13	RIM=40.33'(SANITARY) INV=39.27'(18" PVC N/S) INV=31.87'(10" PVC W)	43	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
14	RIM=38.70'(STORM) INV=34.69'(6" PVC E) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	44	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
15	RIM=38.89'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	45	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
16	RIM=40.12'(SANITARY) INV=29.67'(18" PVC N/SE)	46	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
17	RIM=39.93'(STORM) COULD NOT OPEN COVER DEFORMED	47	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
18	RIM=39.64'(WATER) TOP OF PIPE=34.70'(12" E/W) TOP OF BELL=36.40'	48	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
19	RIM=40.05'(STORM) INV=29.59'(24" PVC N/SE)	49	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
20	RIM=40.03'(SANITARY) INV=28.36'(36" CLAY E/W) INV=28.76'(24" CLAY NW)	50	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
21	RIM=40.09'(WATER) TOP OF PIPE=34.85'(12" N/S)	51	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
22	RIM=39.39'(SANITARY) INV=33.37'(6" CLAY N) STRUCTURE FILLED WITH DEBRIS	52	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
23	RIM=38.91'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	53	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
24	RIM=39.00'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	54	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
25	RIM=39.79'(SANITARY) INV=28.35'(36" CLAY E/W) INV=33.45'(10" CLAY NW)	55	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
26	RIM=40.23'(STORM) INV=33.03'(6" CLAY NW/S)	56	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
27	RIM=39.05'(SANITARY) NO VISIBLE PIPES	57	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
28	RIM=39.85'(STORM) STRUCTURE FILLED WITH DEBRIS NO VISIBLE PIPES	58	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
29	RIM=39.85'(STORM) STRUCTURE FILLED WITH DEBRIS NO VISIBLE PIPES	59	RIM=38.80'(STORM) INV=35.57'(8" PVC E)
30	RIM=39.85'(STORM) STRUCTURE FILLED WITH DEBRIS NO VISIBLE PIPES	60	RIM=38.80'(STORM) INV=35.57'(8" PVC E)



LEGEND

PROPERTY LINE	1/4" T/F	TOP FOUNDATION/THRESHOLD	SOIL BORING
CENTER LINE	---	OPEN GRATE MANHOLE	TEL/ELEC MANHOLE
EASEMENT LINE	---	CLOSED MANHOLE	FLARED END SECTION
BUILDING SETBACK	---	OPEN GRATE MANHOLE	QUADRANT
RECORD DATA	---	BEEHIVE GRATE MANHOLE	QUIT WIRE ANCHOR
TOP OF (CORNER/ETC)	---	OUTTER FRAME MANHOLE	CONTOUR LINE
SPOT GRADE	---	VALVE VAULT	TREE LINE / HEDGE LINE
VERTICAL CURVE	---	FENCE HYDRANT	EDGE GRAVEL/STONE
CONCRETE	---	POST LIGHT/GROUND LIGHT	SANITARY SEWER
EVERGREEN/DECIDUOUS	---	COMBO SEWER	STREET LIGHT
SHRUB/SHRUB LINE	---	WATER SERVICE LINE	TRAFFIC SIGNAL
MONITOR WELL	---	MAST ARM SIGNAL	HANDHOLE (electric/traffic)
GAS VALVE	---	UTILITY MARKINGS	GAS METER
UTILITY MARKINGS	---	(cable, electric, fiber)	U.G. TELCO LINE
(cable, electric, fiber)	---	MAILBOX	U.G. ELECTRIC LINE



NOTES:

- SITE BENCHMARK #1 - NORTHWEST FLANGE BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.23' (CITY OF OAK PARK DATUM)
- SITE BENCHMARK #2 - NORTHEAST TAG BOLT OF HYDRANT LOCATED AT THE SOUTHWEST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.20' (CITY OF OAK PARK DATUM)
- PERMANENT INDEX NUMBER (P.I.N.):
 PARCEL 1: 16-07-418-014, 16-07-418-017, 16-07-418-018 & 16-07-418-020
 PARCEL 2: 16-07-419-017, 16-07-419-018, 16-07-419-019, 16-07-419-020, 16-07-419-021, 16-07-419-022 & 16-07-419-023
- THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISUAL MARKINGS ONLY.
- PROPERTY AREAS:
 PARCEL 1: 1.0539 ACRES (45,909 SQ. FT.)
 PARCEL 2: 1.0258 ACRES (44,684 SQ. FT.)

NOTES (cont.):

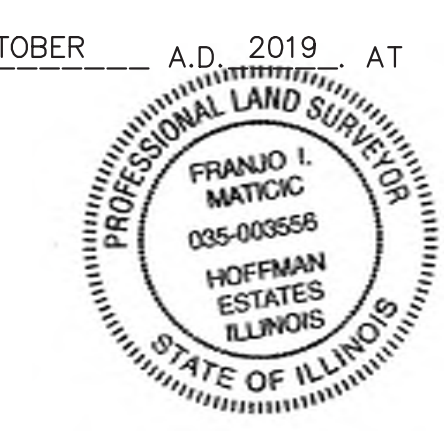
- FIELD WORK COMPLETED ON OCTOBER 1st, 2019
- SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HEREON.
- SURVEY PREPARED FOR: PETES FRESH MARKET
- BUILDING TIES & DIMENSIONS SHOWN ARE MEASURED FROM THE OUTSIDE FACE OF THE BUILDING.
- BASIS OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
- ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

WE THE W-T GROUP DO HEREBY DECLARE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 3rd DAY OF OCTOBER, A.D. 2019, AT OGDEN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

Franjo I. Matijevic
 FRANJO I. MATIJEVIC - PLS #035-003556 EXPIRES 11/30/2020
 ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015



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 Engineering with Precision, Pace and Passion.
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 Aquatic | Civil | Mechanical | Electrical | Plumbing | Telecommunication | Structural | Accessibility Consulting | Design & Program Management | Land Survey

WT Group
 North Side of Madison Street
 Between Oak Park Ave & Wesley Ave
 Oak Park, Illinois

ISSUE

TO CLIENT	DATE
	10/3/19

CHECK-FIRM
 DRAWN: MWO
 JOB: 1913045H

SUR-1
 SHEET 1 OF 2
 BOUNDARY & TOPOGRAPHIC SURVEY



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: Planned Development Application
TAB5_C_HISTORIC PRESERVATION REVIEW
Pete's Fresh Market – New Store
Madison Street Oak Park

The proposed Pete's Fresh Market development will occupy the same space as the current Hill Motor Sales (Foley Rice) building at 644 Madison Street. While the development team has reviewed all possibilities for saving portions of the existing building, structural and financial obstacles make re-use unfeasible. The existing building will be taken down as part of the development.

Originally designed as a car dealership nearly one hundred years ago, the building has since been vacant for approximately 15 years. Several preservation groups identified the building as one of historic significance and sought to obtain a historic landmark designation. The Oak Park Historic Preservation Commission voted to declare the building a historic landmark. However, having considered the proposal, the Oak Park Village Board unanimously rejected the Historic Preservation Commissions recommendation and voted against declaring the building a historic landmark. As such, the building has no historical designation that would affect the development.

Regards,

Kenneth Nadolski
Principal

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MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT



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veiml.2gp

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Handwritten signature



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: **Planned Development Application**
TAB6_C_MARKET FEASIBILITY REPORT
Pete's Fresh Market – New Store
Madison Street Oak Park

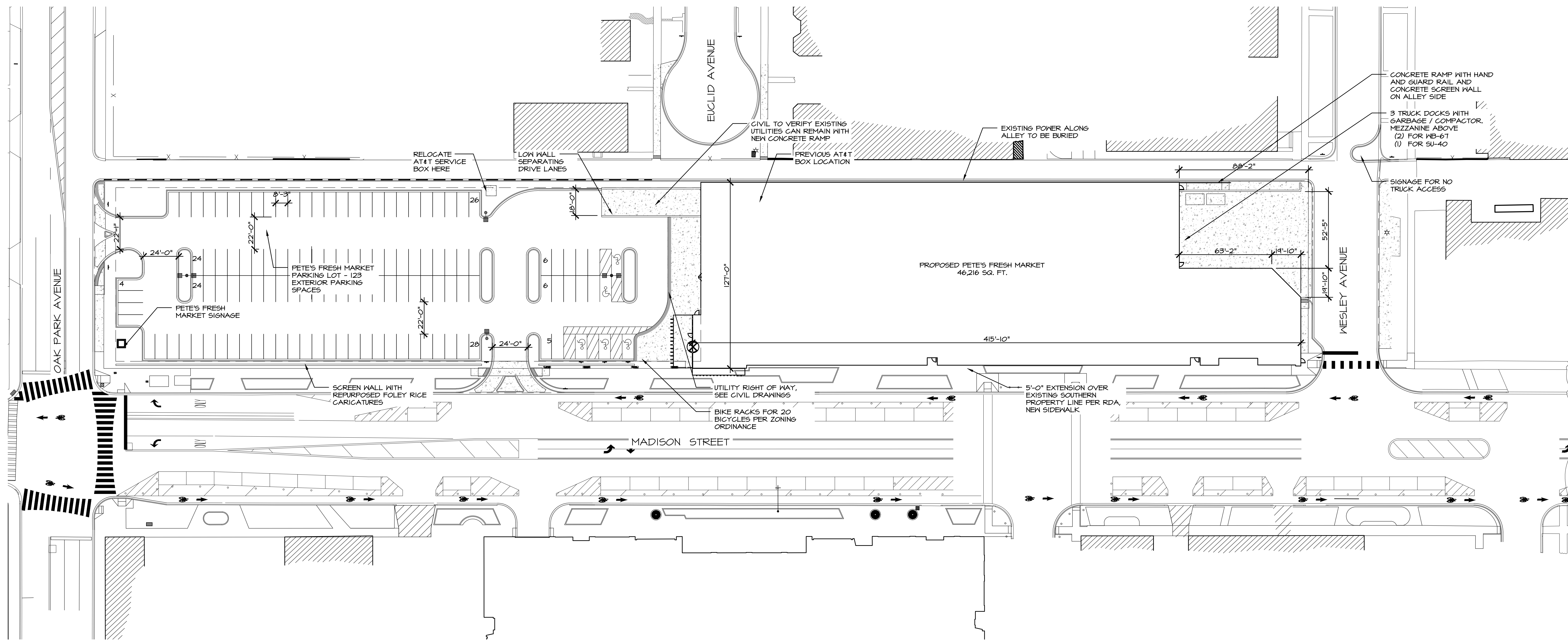
The market feasibility report is not required or applicable at this time.

Regards,

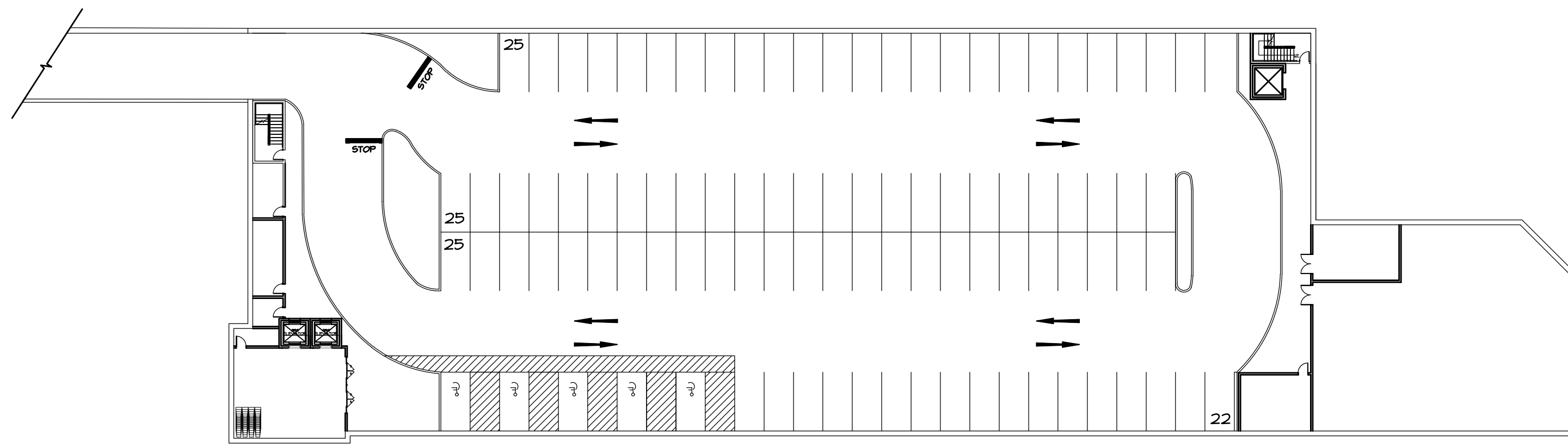
Kenneth Nadolski
Principal

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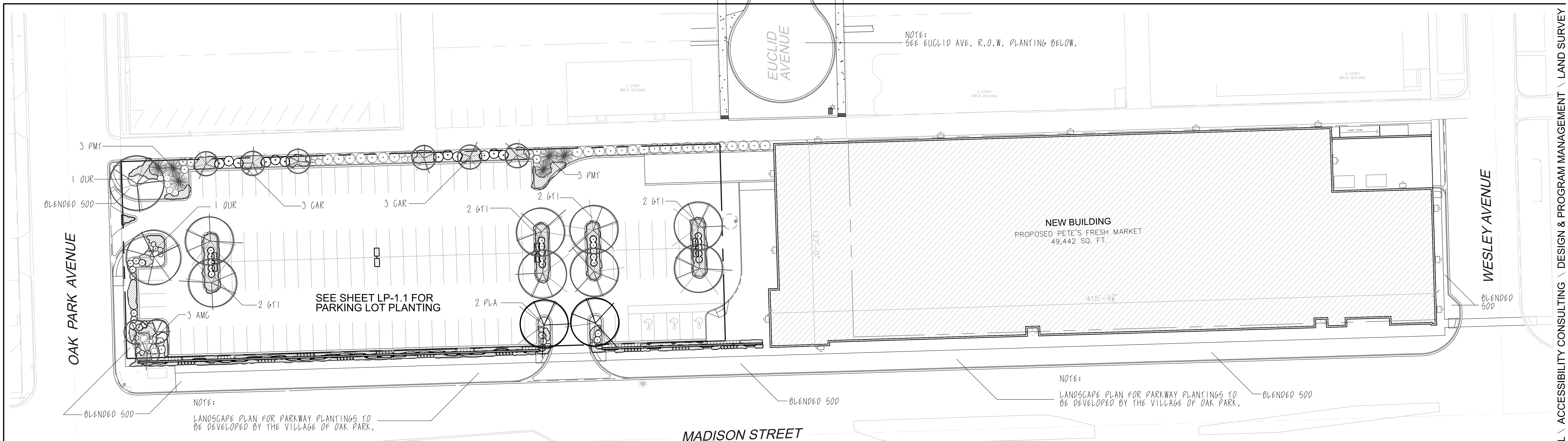
1 SITE PLAN
SCALE: 1/32"=1'-0"



2 UNDERGROUND PARKING PLAN
SCALE: 1/32"=1'-0"

NOTE:
SEE FLOOR PLAN SHEET A101 FOR
UNDERGROUND PARKING DIMENSIONS

NOTE:
OVERALL PARKING COUNT: 220 INCLUDING 10 ACCESSIBLE
ABOVE GROUND PARKING: 123 INCLUDING 5 ACCESSIBLE
UNDERGROUND PARKING: 97 INCLUDING 5 ACCESSIBLE



TREE PLANTING LIST

QTY	CODE	PLANT NAME	SIZE
8	GT1	GLEDITSIA TRIAGANTHOS	SKYLINE HONEYLOCUST 2.5" GAL
2	OUR	QUERCUS BICOLOR	SWAMP WHITE OAK 2.5" GAL
2	PLA	PLATANUS ACERIFOLIA	EXCLAMATION PLANTREE 2.5" GAL
6	CAR	CARPINUS BETULUS	FRANS FONTAINE HORNBEAM 2.5" GAL
6	PMT	PINUS MUGHO	TANNENBAUM PINE 8' HT
3	AMG	AMELANGHIER GRANDIFLORA	SERVICEBERRY 8-9' HT

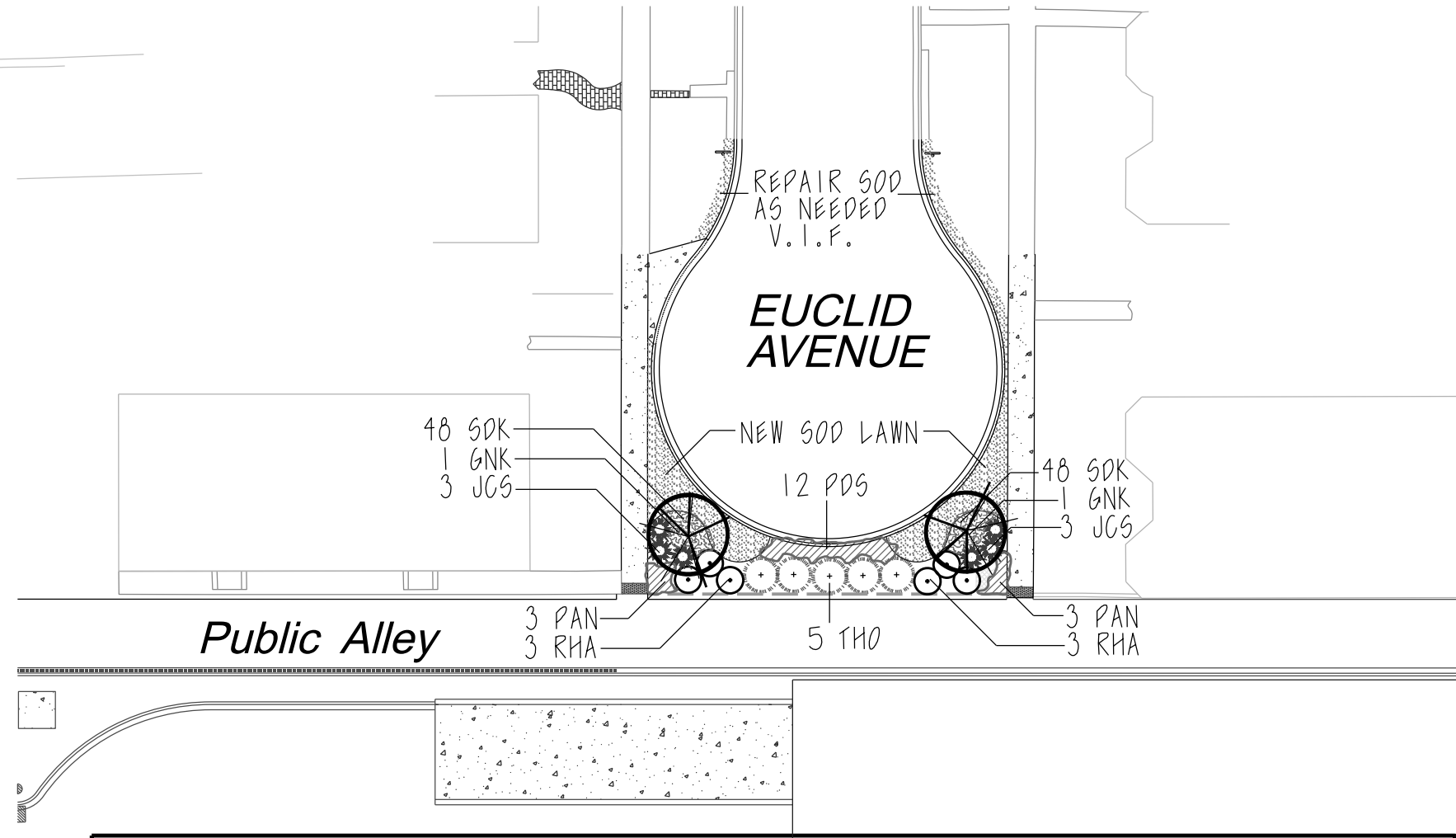
SEE SHEET LP-1.1 FOR PARKING LOT PLANTING AND MASTER PLANT LIST

GENERAL NOTES:

- QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. CONTRACTOR SHALL VERIFY ALL MATERIALS QUANTITIES ON SITE.
- ALL PLANT MATERIAL TO BE LOCALLY GROWN. ALL PLANT MATERIAL WITH THE EXCEPTION OF LOW TYPE JUNIPER, GROUNDCOVERS, PERENNIALS, SHRUBS UNDER 36" SIZE, BE BALLED AND BURLAPPED '8' & '8' UNLESS OTHERWISE SPECIFIED. PLANT MATERIAL TO BE GROWN IN ACCORDANCE TO STANDARDS SET BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. *A.N.L.A.*
- ALL PLANTINGS SHALL BE WATERED THOROUGHLY IN THE FIRST 24 HOURS AFTER PLANTING. ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR ONE YEAR FROM TIME OF PLANTING.
- ALL PLANT BED AREAS TO BE MULCHED WITH PREMIUM SHREDDED HARDWOOD MULCH 3" DEEP AND SHALL BE SEPARATED FROM LAWN AREAS WITH A SPADED EDGING. APPLY TREFLAN HERBICIDE PER MANUFACTURER SPECIFICATIONS TO ALL PLANT BED AREAS.
- ALL NEW LAWN AREAS TO BE A BLENDED BLUEGRASS 500. CONTRACTOR TO MAINTAIN LAWNS UNTIL APPROVAL AND ACCEPTANCE BY OWNERS REPRESENTATIVE. RESTORE ALL OTHER DAMAGED LAWN AREAS DUE TO CONSTRUCTION *V.I.F.*
- IT IS CONTRACTORS OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL THE END OF GUARANTEE PERIOD.
- PLANT SIZES LISTED ARE THE MINIMUM SIZE REQUIRED. PLANTS THAT DO NOT MEET THESE MINIMUM SIZES SHALL BE REJECTED AT CONTRACTORS EXPENSE.
- NO PLANT SPECIES OR SIZES SHALL BE SUBSTITUTED WITHOUT PRIOR APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- SEE SHEETS LP-1.3 & LP-1.4 FOR COMPLETE LANDSCAPE SPECIFICATIONS.

IRRIGATION NOTES:

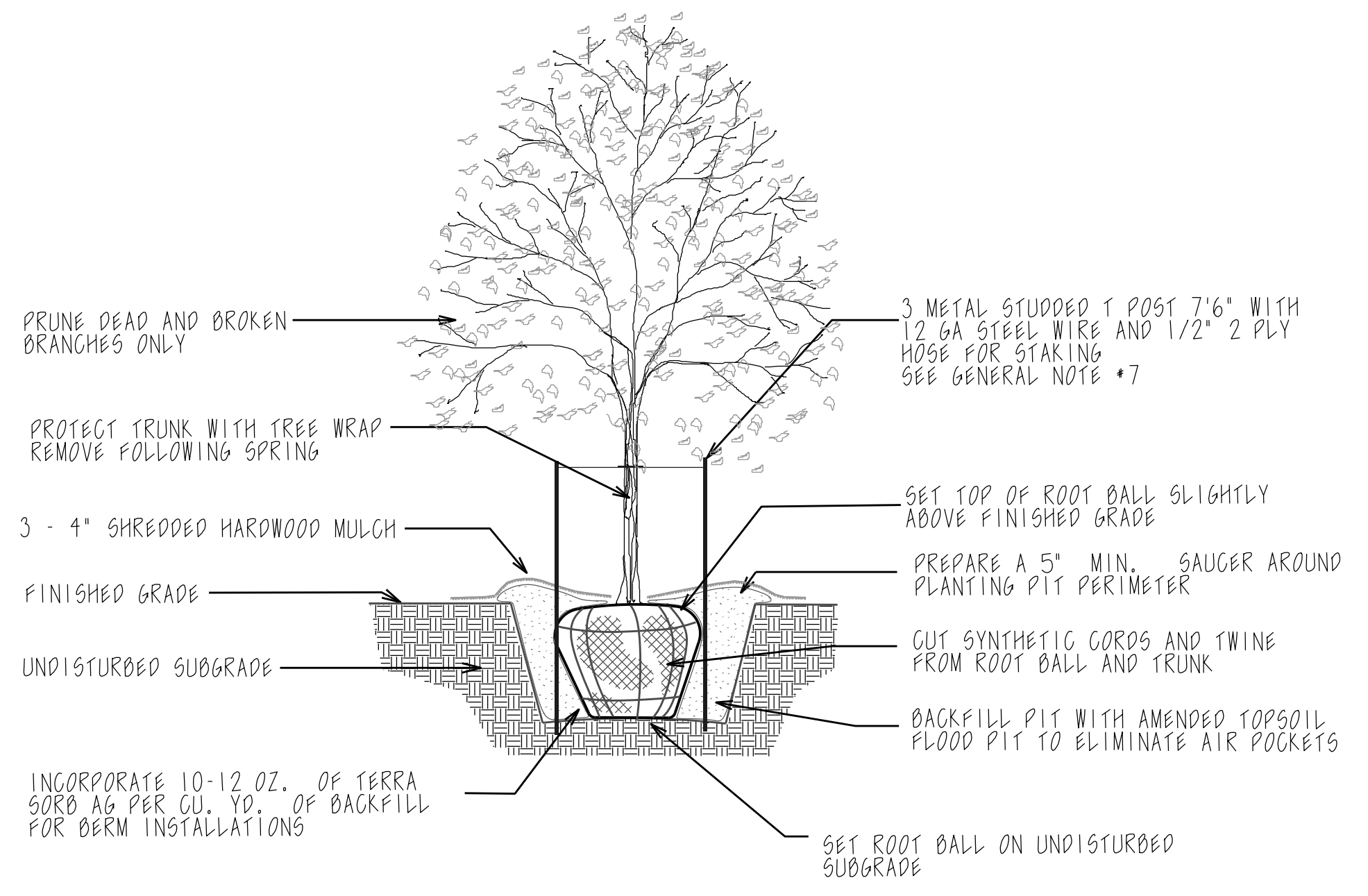
- A LANDSCAPE IRRIGATION SYSTEM WILL BE REQUIRED FOR THIS SITE AND IS TO CONFORM WITH BEST PRACTICES AS PER THE VILLAGE OF OAK PARK
- IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR A COMPLETE AND FUNCTIONAL IRRIGATION SYSTEM WITH THEIR COST PROPOSAL. SYSTEM TO PROVIDE HEAD TO HEAD COVERAGE WITH 100% COVERAGE FOR BOTH LAWN AREAS AND SHRUBS AREAS ON ISOLATED ZONES. PLACEMENT OF UNDERGROUND WIRE, PIPING, AND VALVE BOXES SHALL NOT INTERFERE WITH PLANT MATERIAL LOCATIONS AS PER LANDSCAPE PLAN.
- LOCATE ALL VALVES AND QUICK COUPLERS ON THE INSIDE EDGE OF SHRUB BEDS WHERE PRACTICAL. INSTALL VALVE BOXES FOR BOTH QUICK COUPLERS AND VALVES. FILL ALL VALVE BOXES WITH PEA GRAVEL OVER NON-WOVEN GEOTEXTILE FABRIC.
- COMPLY WITH ALL IRRIGATION CODES AND REGULATIONS REQUIRED BY THE VILLAGE OF OAK PARK, AND THE STATE OF ILLINOIS.
- SECURE AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION OF THIS WORK.
- CONTRACTOR RESPONSIBLE FOR HOOK-UP TO EXISTING WATER SUPPLY PER VILLAGE OF OAK PARK REQUIREMENTS. CONTRACTOR TO INSTALL CONTROLLER PER OWNER REPRESENTATIVE'S LOCATION. A RAIN SENSER IS REQUIRED FOR THIS SYSTEM.
- CONTRACTOR TO FURNISH A QUALIFIED IRRIGATION TECHNICIAN TO INSTRUCT THE OWNER OR HIS REPRESENTATIVE IN THE MAINTENANCE AND OPERATION OF THE IRRIGATION SYSTEM.
- IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE MATERIALS AND COORDINATE WITH GENERAL CONTRACTOR, SIZE AND PLACEMENT OF P.V.C. SLEEVES UNDER WALKS AND PAVEMENT AS NEEDED.
- THE CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.



EUCLID AVENUE R.O.W. PLANTING

QTY	CODE	PLANT NAME	SIZE
2	GNK	GINKO BILOBA	PRINCETON SENTRY GINKO 2.5" GAL
5	THO	THUJA OCCIDENTALIS	TECHNY ARBORVITAE 5' HT.
6	JCS	JUNIPERUS CHINENSIS	KALLAYS COMPACT JUNIPER 5 GAL
6	RHA	RHUS COPALLINA	PRAIRIE FLAME SUMAC 3" HT.
12	POS	SPOROBOLLUS SPECIES	PRAIRIE DROPSSEED 1 GAL
6	PAN	PANICUM VIRGATUM	SWITCH GRASS 2 GAL
96	SOK	SEDUM KAMTCHATICUM	YELLOW STONECROP 3"

SEE SHEET LP-1.1 FOR PARKING LOT PLANTING AND MASTER PLANT LIST



TREE PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK

LANDSCAPE PLAN

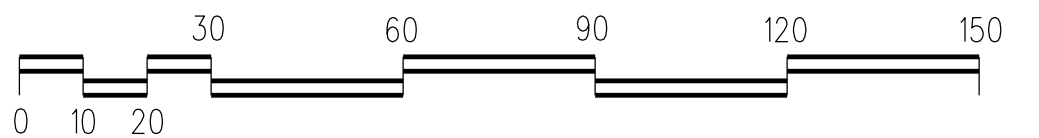
SCALE: 1"=30'-0"

NOTE:
LANDSCAPE PLAN FOR PARKWAY PLANTINGS TO BE DEVELOPED BY THE VILLAGE OF OAK PARK AND INSTALLED BY DEVELOPER.

LANDSCAPE PLANS PREPARED BY:
PAUL A. GOUTURE, P.L.A., A.S.L.A.
IL LICENSE NUMBER 157-00328



SCALE: 1"=30'-0"



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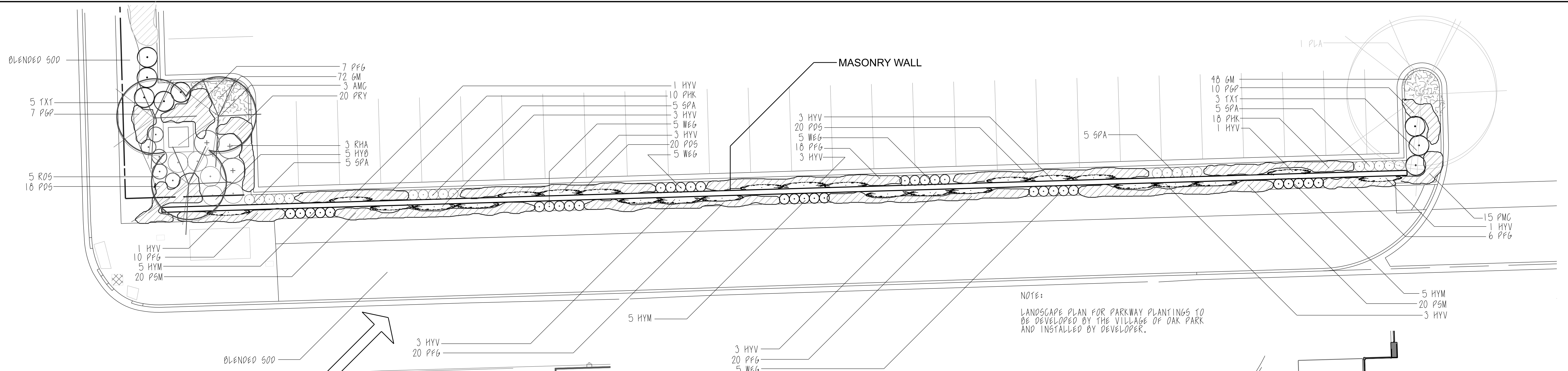
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REGISTERED PROFESSIONAL ARCHITECT
 157-00328
 STATE OF ILLINOIS
 2021

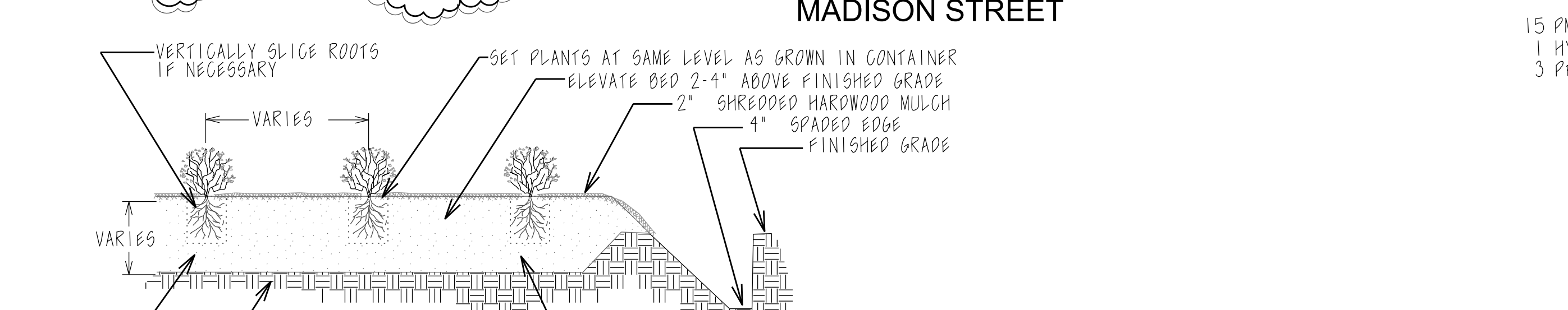
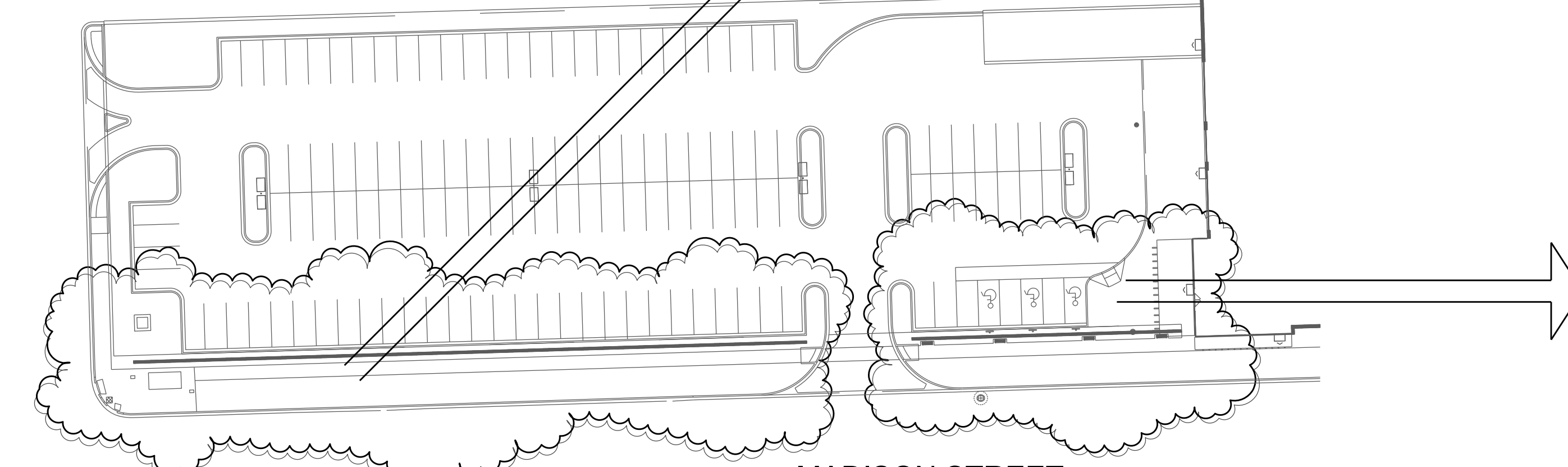
PETE'S FRESH MARKET
 NEW BUILD
 640 MADISON STREET
 OAK PARK, ILLINOIS 60302

CHECK: CK
 DRAWN: PC
 JOB: 1913045H

LP-1.0
 LANDSCAPE PLAN



NOTE:
LANDSCAPE PLAN FOR PARKWAY PLANTINGS TO BE DEVELOPED BY THE VILLAGE OF OAK PARK AND INSTALLED BY DEVELOPER.



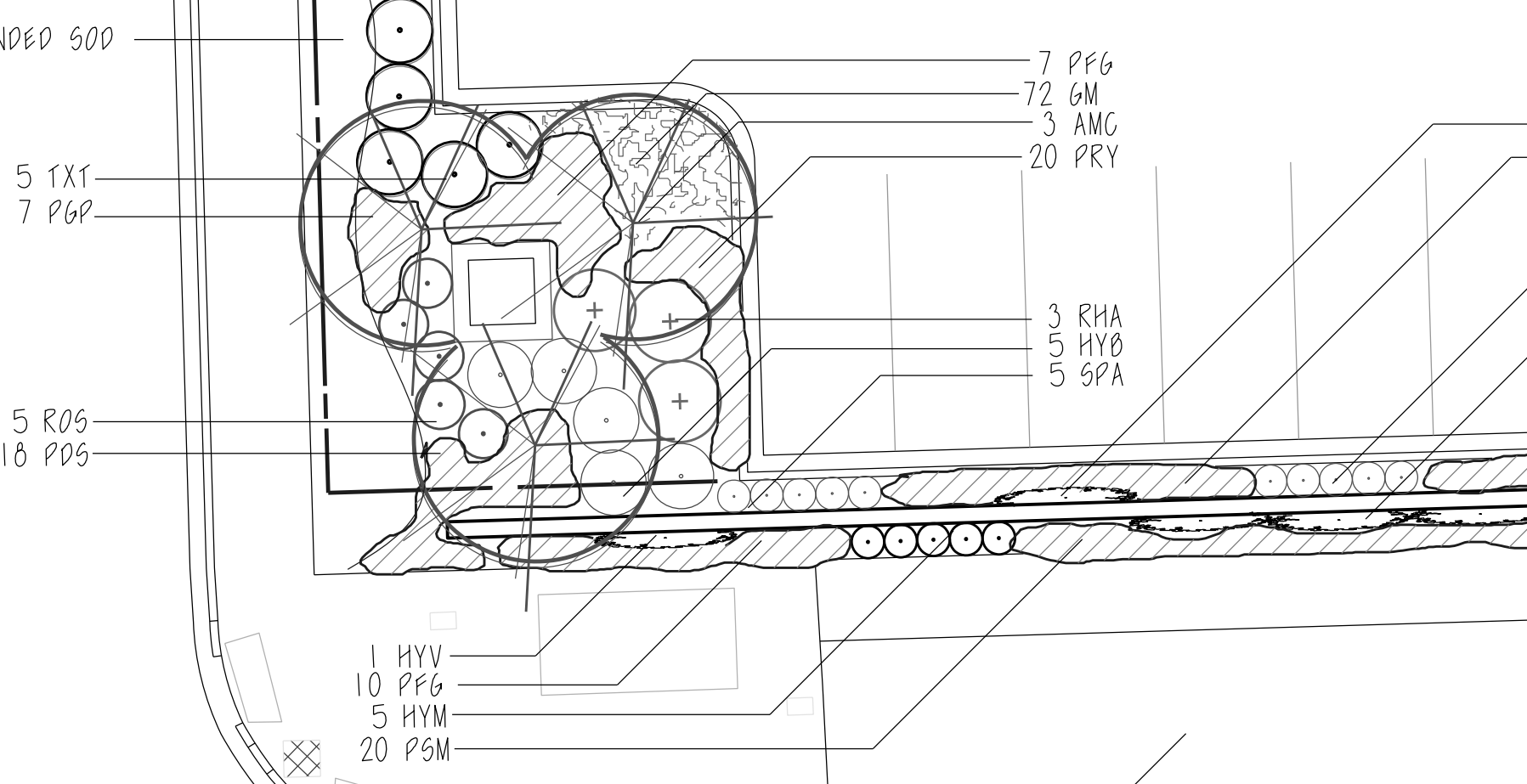
NOTE:
LANDSCAPE PLAN FOR PARKWAY PLANTINGS TO BE DEVELOPED BY THE VILLAGE OF OAK PARK AND INSTALLED BY DEVELOPER.

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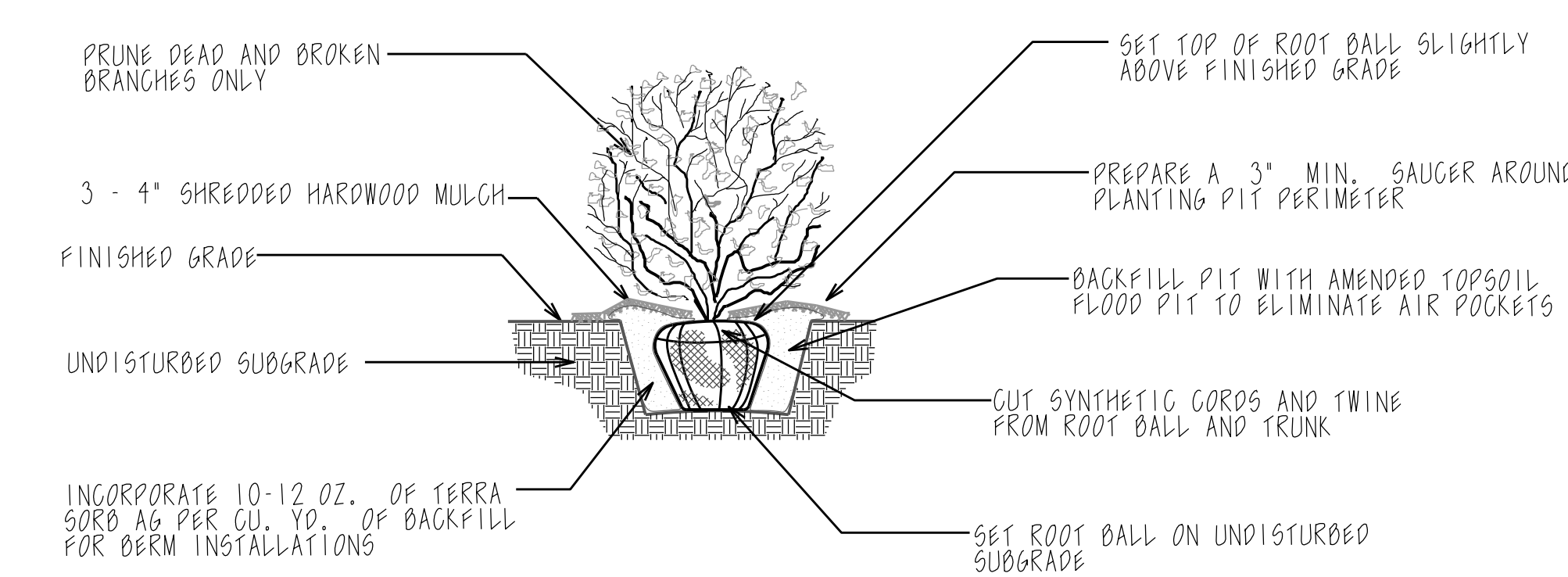
MADISON STREET - MASONRY WALL PLANTING					
PLANT LIST					
QTY	CODE	PLANT NAME	SIZE		
3	AMC	AMELANCHIER GRANDIFLORA	SERVICEBERRY	8-9' HT	
36	TXT	TAXUS TAUTONI	TAUTON YEW	24"	
25	WEG	WEIGELA SPECIES	DARK HORSE WEIGELA	24"	
5	ROS	ROSA SPECIES	KNOCKOUT SHRUB ROSE	18"	
40	SPA	SPIREA BUMALDA	DOUBLE PLAY SPIREA	18"	
3	RHA	RHUS COPPELIANA	PRAIRIE FLAME SUMAC	3'HT	
25	HYM	HYDRANGEA ARBORESCENS	MINI MAUVETTE HYDRANGEA	30"	
5	HYB	HYDRANGEA MACROPHYLLA	BLOOMSTRUCK HYDRANGEA	30"	
29	HYV	HYDRANGEA ANOMALA	CLIMBING HYDRANGEA	30"	
168	GMN	LYSIMACHIA AUREA	GOLDEN MONEYWORT	3"	
30	PMC	COREOPSIS VERTICILLATA	ZAGREB COREOPSIS	1 GAL	
20	PRY	HEMEROCALLIS SPECIES	ROSEY RETURNS DAYLILY	1 GAL	
27	PFG	MEUCHERA MICRANTHA	GEORGIA PEACH CORALBELL	1 GAL	
50	PSM	SALVIA NEMOROSA	ROSEWEIN SALVIA	1 GAL	
38	PHK	HAKONECHLOA MACRA	JAPANESE FOREST GRASS	1 GAL	
96	PFG	PENNISETUM SPECIES	FOUNTAIN GRASS	1 GAL	
138	PDS	SPOROBIOLUS SPECIES	PRAIRIE DROPSPEED	1 GAL	

SEE MASTER PLANT LIST FOR ALL PLANT QUANTITIES - SHEET LP-1.1



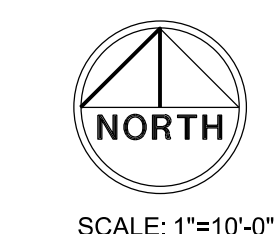
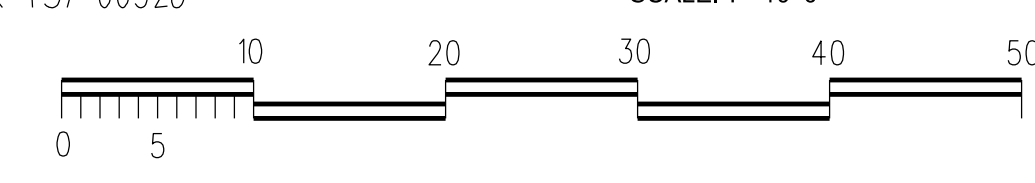
PERENNIAL PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK



SHRUB PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK



LANDSCAPE PLANS PREPARED BY:
PAUL A. COUTURE, P.L.A., A.S.L.A.
ILL. LICENSE NUMBER 157-00326

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 2021

PETE'S FRESH MARKET
 NEW BUILD
 640 MADISON STREET
 OAK PARK, ILLINOIS 60302

CHECK: CK
 DRAWN: PC
 JOB: 1913045H

TO DATE
 REVIEW 01/20/20
 REVIEW 03/29/20
 VILLAGE 8/29/20
 VILLAGE 10/31/20

LP-1.2
 LANDSCAPE PLAN

LANDSCAPE SPECIFICATIONS

SECTION 0001

LANDSCAPE WORK

PART 1 GENERAL

1.01 DESCRIPTION

THESE GENERAL REQUIREMENTS APPLY TO ALL LANDSCAPE OPERATIONS. REFER TO SPECIFICATION SECTIONS FOR SPECIFIC GENERAL, PRODUCT, AND EXECUTION REQUIREMENTS.

1.02 QUALITY ASSURANCE

- COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING MATERIALS, METHODS OF WORK, AND DISPOSAL OF EXCESS AND WASTE MATERIALS.
- OBTAIN AND PAY FOR ALL REQUIRED INSPECTIONS, PERMITS, AND FEES. PROVIDE NOTICES REQUIRED BY GOVERNMENTAL AUTHORITIES.
- OWNER SHALL APPOINT A QUALIFIED REPRESENTATIVE TO OVERSEE THE WORK AND ASSURE ITS ADHERENCE TO THE PLANS AND THESE SPECIFICATIONS. HENCEFORTH, THIS PERSON SHALL BE DESIGNATED AS OWNERS REPRESENTATIVE.
- CONTRACTOR TO HAVE AN EXPERIENCED ENGLISH SPEAKING SUPERVISOR / FOREMAN ONSITE AT ALL TIMES THAT CAN ADEQUATELY COMMUNICATE WITH OWNERS REPRESENTATIVE WHEN NECESSARY, AND HAVE EXPERIENCED INSTALLERS WHO HAVE COMPLETED LANDSCAPING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT AS TO THAT INDICATED FOR THIS PROJECT WITH A RECORD OF SUCCESSFUL LANDSCAPE ESTABLISHMENT.
- CONTRACTORS WORKFORCE SHALL BE KNOWLEDGEABLE AND OR MAKE THEMSELVES KNOWLEDGEABLE OF ALL SAFETY REGULATIONS AND REQUIREMENTS PERTAINING TO THIS PROJECT INCLUDING WEARING ALL PROTECTIVE GEAR NEEDED TO COMPLY WITH THESE REQUIREMENTS. WORKMAN NOT IN COMPLIANCE CAN AND WILL BE DENIED ACCESS TO THE JOBSITE BY THE GENERAL CONTRACTOR . A SAFETY CLASS FOR WORKERS MAY BE REQUIRED BY THE GENERAL CONTRACTOR.

1.03 PROJECT CONDITIONS

- LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD SERVICES AND UTILITIES WITHIN CONTRACT LIMIT WORK AREAS. CONTACT J.U.L.I.E AT 800-892-0123. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTORS EXPENSE.
- WHEN UNCHARGED OR INCORRECTLY CHARGED UNDERGROUND PIPING OR OTHER UTILITIES AND SERVICES ARE ENCOUNTERED DURING SITE WORK OPERATIONS, NOTIFY THE APPLICABLE UTILITY COMPANY IMMEDIATELY TO OBTAIN PROCEDURE DIRECTIONS. COOPERATE WITH THE APPLICABLE UTILITY COMPANY IN MAINTAINING ACTIVE SERVICES IN OPERATION.
- LOCATE, PROTECT, AND MAINTAIN BENCHMARKS, MONUMENTS, CONTROL POINTS AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS AT CONTRACTORS EXPENSE.
- OBTAIN GOVERNING AUTHORITIES WRITTEN PERMISSION WHEN REQUIRED TO CLOSE OR OBSTRUCT STREET, WALKS AND ADJACENT FACILITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS WHEN REQUIRED BY GOVERNING AUTHORITIES.
- CONTROL DUST CAUSED BY THE WORK. DAMPEN SURFACES AS REQUIRED. COMPLY WITH POLLUTION CONTROL REGULATIONS OF GOVERNING AUTHORITIES.
- PROTECT EXISTING BUILDINGS, PAVING, AND OTHER SERVICES OR FACILITIES ON SITE AND ADJACENT TO THE SITE FROM DAMAGE CAUSED BY WORK OPERATIONS. COST OF REPAIR AND RESTORATION OF DAMAGED ITEMS AT CONTRACTORS EXPENSE.
- PROTECT AND MAINTAIN STREETLIGHTS, UTILITY POLES AND SERVICES, TRAFFIC SIGNAL CONTROL BOXES, CURB BOXES, VALVES AND OTHER SERVICES, EXCEPT ITEMS DESIGNATED FOR REMOVAL. REMOVE OR COORDINATE THE REMOVAL OF TRAFFIC SIGNS, PARKING METERS AND POSTAL MAILBOXES WITH THE APPLICABLE GOVERNMENTAL AGENCY.
- AT THE CONCLUSION OF EACH WORK DAY, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE IN A CLEAN AND SAFE CONDITION.

PART 2 PRODUCTS

2.01 MATERIALS AND EQUIPMENT

- MATERIALS AND EQUIPMENT: AS SELECTED BY CONTRACTOR, EXCEPT AS INDICATED.
- EQUIPMENT: ARTICLES IN SECTION 800 - 100T STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- MATERIALS: ARTICLES IN SECTION 761 - 100T STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

PART 3 EXECUTION

3.01 PREPARATION

- EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- CONSULT THE AVAILABLE RECORDS AND DRAWINGS OF ADJACENT WORK AND OF EXISTING SERVICES AND UTILITIES WHICH MAY AFFECT WORK OPERATIONS, AS PROVIDED BY OWNER.

END OF SECTION 0001

SECTION 0002

TREE AND SHRUB PLANTING

PART 1 GENERAL

1.01 DESCRIPTION

- PROVIDE TREES AND SHRUBS AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
 - SOIL PREPARATION.
 - TREES, SHRUBS
 - PLANTING MIXES.
 - MULCH AND PLANTING ACCESSORIES.
 - EXISTING PLANT RELOCATION.
- RELATED WORK:
 - SECTION 00000: EARTHWORK.
 - SECTION 00001: SEEDING.
 - SECTION 00005: SOODING.
 - SECTION 00003: PERENNIAL , ORNAMENTAL GRASS, GROUNDCOVER PLANTING.

1.02 QUALITY ASSURANCE

- COMPLY WITH SECTION 02900 REQUIREMENTS.
- COMPLY WITH SECTION 02491 REQUIREMENTS WHEN APPLICABLE .
- PROVIDE STOCK TREES TO BOTANICAL NAME. DO NOT SUBSTITUTE WITHOUT PERMISSION OF OWNER OR OWNERS REPRESENTATIVE. NONCONFORMING PLANTS WILL BE REJECTED AT CONTRACTORS EXPENSE.
- COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK". A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION. NONCONFORMING PLANTS WILL BE REJECTED AT CONTRACTORS EXPENSE.
- ALL PLANTS SHALL BE NORTHERN ILLINOIS NURSERY GROWN UNDER CLIMATIC AND SOIL CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE WITHIN REASON, AT NO ADDITIONAL COST TO OWNER. ROOT SYSTEMS MUST MEET ANLA STANDARDS AS SPECIFIED. PLANTS SHOULD NOT BE ALTERED BY PRUNING OR OTHER MEANS TO MEET SPECIFICATIONS.
- PROVIDE 'SPECIMEN' PLANTS WITH A SPECIAL HEIGHT, SHAPE OR CHARACTER OF GROWTH. SPECIMEN TREES OR SHRUBS MAY BE TAGGED AT THE SOURCE OF SUPPLY. THE OWNER'S REPRESENTATIVE MAY CHOOSE TO INSPECT SPECIMEN SELECTIONS AT THE SOURCE OF SUPPLY FOR SUITABILITY AND ADAPTABILITY TO SELECTED LOCATION. WHEN SPECIMEN PLANTS CANNOT BE PURCHASED LOCALLY, PROVIDE SUFFICIENT PHOTOGRAPHS OF THE PROPOSED SPECIMEN PLANTS FOR APPROVAL. IF SO REQUESTED, NO "PARK GRADE" MATERIAL WILL BE ACCEPTED.
- PLANTS MAY BE INSPECTED AND APPROVED AT THE PLACE OF GROWTH, FOR COMPLIANCE WITH SPECIFICATION REQUIREMENTS FOR QUALITY, SIZE AND VARIETY.

CONTINUE SECTION 0002 TREE AND SHRUB PLANTING

1.03 SUBMITTALS

- SUBMIT THE FOLLOWING MATERIAL SAMPLES, IF REQUESTED:
 - MULCH -BULK OR BAGGED.
 - DECORATIVE STONE OR GRAVEL -DAG OR BULK
- SUBMIT THE FOLLOWING MATERIALS CERTIFICATION, IF REQUESTED:
 - TOPSOIL SOURCE AND PH VALUE.
 - PEAT MOSS, COMPOST, OR OTHER ORGANIC SOIL AMENDMENTS
 - PLANT FERTILIZER.

1.04 DELIVERY, STORAGE, AND HANDLING

- DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DEGRADATION.
- TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD NURSERY PRACTICE TO PREPARE PLANTS FOR TRANSPORT. WORKMANSHIP, WHICH FAILS TO MEET THE HIGHEST STANDARDS, WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTI-DESICCANT IMMEDIATELY BEFORE DIGGING TO PREVENT DEHYDRATION WHEN IN LEAF. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY.
- COVER PLANTS TRANSPORTED ON OPEN VEHICLES WITH A PROTECTIVE COVERING TO PREVENT WINDBURN.
- MOISTEN ALL BURLAP ROOT BALL BEFORE TRANSPORTING. PREVENT SURFACE FROM DRYING DURING TRANSPORTING

1.05 PROJECT CONDITIONS

- WORK NOTIFICATION: NOTIFY OWNERS REPRESENTATIVE AT LEAST TWO *2* WORKING DAYS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPING OPERATIONS. CALL J.U.L.I.E TO MARK UNDERGROUND UTILITIES AT A MINIMUM OF 48 HOURS BEFORE DIGGING.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN. PAYMENT SHALL BE BASED ON ACTUAL INSTALLED PLANT COUNT.

1.06 WARRANTY

- WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE, PROVIDED PLANTS ARE GIVEN PROPER CARE BY OWNER DURING THIS PERIOD.
- CONTRACTOR TO CALL FOR FINAL INSPECTION OF PLANTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT THE WATERING, CULTIVATION AND OTHER MAINTENANCE OPERATIONS PERFORMED BY THE OWNER DURING THE WARRANTY PERIOD.
- ANY METHODS OR PRACTICES, WHICH THE CONTRACTOR CONSIDERS UNSATISFACTORY AND NOT IN ACCORD WITH STANDARD HORTICULTURAL PRACTICES SHALL BE REPORTED TO THE OWNER IN WRITING.
- REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, TO BE UNSATISFACTORY DURING THE INITIAL PLANTING INSTALLATION.
- REPLACE ONCE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY OWNER'S REPRESENTATIVE, ARE IN A SEVERELY UNHEALTHY CONDITION WITHIN WARRANTY PERIOD. REPLACEMENTS TO BE INSTALLED AT NEXT BEST PLANTING SEASON.
- WARRANTY SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, DROUGHT, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 75 MILES PER HOUR. WINTER KILL CAUSED BY EXTREME COLD AND SEVERE WINTER CONDITIONS NOT TYPICAL OF PLANTING AREAS; NOT MAN-MADE ANIMAL DESTRUCTION OR NEGLIGENCE ON THE PART OF THE OWNER. ANY REPLACEMENT ATTRIBUTED TO THESE CAUSES MUST BE IN ADDITION TO THE CONTRACT AMOUNT.

PART 2 PRODUCTS

2.01 MATERIALS

- PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMALLY DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION.
 - DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH AS NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
 - CONTAINER-GROWN STOCK SHALL HAVE GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - CONTAINER STOCK SHALL NOT BE POT BOUND.
 - IF THE USE OF LARGER THAN SPECIFIED PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
 - THE HEIGHT OF THE TREES, MEASURED FROM THE GROWN OF THE ROOTS TO THE TOP OF THE TOP BRANCH, SHALL NOT LESS THAN THE MINIMUM SIZE AND VARIETY DESIGNATED IN THE PLANT LIST AND ACCORDING TO THE ANLA STANDARDS FOR NURSERY STOCK.
 - SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND/OR HEIGHT INDICATED IN THE PLANT LIST AND BE IN ACCORDANCE WITH ANLA STANDARDS.

2.02 ACCESSORIES

- TOPSOIL FOR PLANTING DEOS: FERTILE, FRIABLE, NATURAL TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 5.5 TO 6.0 AND BE TYPICAL OF THE AREA.
 - IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
 - PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS WHICH WILL BE GROWN IN THE SOIL.
- PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE GRANULATED RAW PEAT OR BALLED PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS.
- ORGANIC MATTER: ORGANIC MATTER CAN BE FROM PEAT MOSS, COMPOST, OR LOCALLY AVAILABLE ORGANIC WASTE. ORGANIC MATTER SHOULD BE WELL COMPOSTED, FREE FROM DEBRIS, WEED SEEDS, AND INSECTS OR DISEASES WHICH MAY BE HARMFUL TO THE INTENDED PLANTING.
- MULCH: DARK PREMIUM GRADE , DOUBLE PROCESSED SHREDDED HARDWOOD UNLESS OTHERWISE APPROVED BY OWNERS REPRESENTATIVE.
- FERTILIZER:
 - PLANT FERTILIZER: COMMERCIAL TYPE APPROVED BY THE OWNER'S REPRESENTATIVE, CONTAINING 10% NITROGEN, 10% PHOSPHORIC ACID AND 10% POTASH BY WEIGHT OR EQUIVALENT IN A SLOW RELEASED GRANULAR FORM.
 - PRE-EMERGENT HERBICIDES: TRIFLURAN, RONSTAR-6 OR APPROVED EQUIVALENT APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS TO ALL PLANT BED AREAS UNLESS OTHERWISE INDICATED.
 - ANTI-DESICCANT: PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - WATER: HOSES OR OTHER METHODS OF TRANSPORTATION TO BE FURNISHED BY CONTRACTOR. WATER TO BE PROVIDED BY THE OWNER AT THE SITE.
 - STAKES FOR GUYING: HARDWOOD, 2" X 2" 6-0" LONG 2X4 PINE IS PERMISSIBLE.
 - STAKES FOR GUYING: HARDWOOD, 2" X 2" X 24" LONG OR "DUCKBILL" OR "SPEED STAKE" EARTH ANCHORS.
 - GUYING/STAKING WIRE: 12- OR 14-GAUGE GALVANIZED WIRE.
 - TURNBUCKLES: GALVANIZED STEEL OF SIZE AND GAUGE REQUIRED TO PROVIDE TENSILE STRENGTH EQUAL TO THAT OF THE WIRE. TURNBUCKLE OPENINGS SHALL BE AT LEAST 3".
 - STAKING AND GUYING HOSE: TWO-PLY, REINFORCED GARDEN HOSE NOT LESS THAN 1/2" INSIDE DIAMETER. SHALL BE UNIFORM IN COLOR.
 - PLASTIC GUY MATERIAL: NO LESS THAN 1/4". SHALL BE UNIFORM IN COLOR AND LEVEL AS APPLIED.
 - WIRE: TWO-PLY WIRE MATERIAL.
 - WEED CONTROL BARRIER: "IF INDICATED" ROT RESISTANT POLYPROPYLENE FABRIC OR EQUIVALENT, WATER AND AIR PERMEABLE.

PART 3 EXECUTION

3.01 INSPECTION

- EXAMINE PROPOSED PLANTING AREAS AND CONDITIONS BEFORE INSTALLATION. DO NOT START PLANTING WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

3.02 PREPARATION

- COORDINATION AND SCHEDULING - TIME OF PLANTING
COORDINATE INSTALLATION OF PLANTING MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED. NORMAL SEASONS FOR THE INSTALLATION OF PLANT MATERIAL SHALL BE AS FOLLOWS:
 - SPRING PLANTING: PERFORM FROM TIME SOIL BECOMES WORKABLE TO JUNE 15. INSTALL EVERGREEN TREES PRIOR TO NEW GROWTH BEGINNING IN THE SPRING.
 - FALL PLANTING: PERFORM FROM SEPTEMBER 1 TO NOVEMBER 15. PERENNIALS AND GROUND COVERS SHALL BE COMPLETED BY OCTOBER 15.
 - SUMMER PLANTING: PLANTING PERFORMED BETWEEN JUNE 15 AND AUGUST 31, SHALL BE CONSIDERED UNSEASONABLE AND WILL REQUIRE OWNER'S APPROVAL.
- PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.
- LOCATE PLANTS AS INDICATED ON DRAWINGS. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL OWNER'S REPRESENTATIVE HAS SELECTED ALTERNATE PLANT LOCATIONS.
- EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED TO BE PLANTED IN DEOS. PROVIDE SHROU PITS AT LEAST TWICE AS WIDE AS THE ROOT SYSTEM AND 24" GREATER FOR TREES. DEPTH OF PIT SHALL BE NO GREATER THAN THE ROOT BALL DEPTH. SCARIFY BOTTOM OF THE PIT. REMOVE EXCESS EXCAVATED MATERIALS FROM THE SITE.
- PLANTING MIXTURE FOR USE AROUND THE BALLS AND ROOTS OF TREES AND SHRUBS SHALL CONSIST OF FIVE (5) PARTS EXISTING SOIL TO ONE (1) PART PEAT MOSS AND LB. PLANT FERTILIZER FOR EACH CUBIC YARD OF MIXTURE OR EQUIVALENT. BAGGED DARK PROFESSIONAL MIXES ARE AN EQUIVALENT SUBSTITUTE FOR PEAT MOSS.

3.03 INSTALLATION

- SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUM AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL NO LOWER THAN THE FINISH GRADE OR 2"-3" ABOVE FINISHED GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACK FILL THE PIT WITH EXISTING SOIL OR APPROVED TOP SOIL OR MIX. FORM A RING OF SOIL AROUND THE EDGE OF EACH PLANTING PIT TO RETAIN WATER.
 - AFTER PLANTS ARE SET, MIDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.
 - REMOVE ALL SYNTHETIC BURLAP AND ROBES, AND WIRES FROM THE COLLAR OF BALLS.
 - SPACE PLANTS IN ACCORDANCE WITH SCALED DRAWINGS.
 - WATERING: WATER PLANTING THOROUGHLY TO PULL SOILS AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED, WATER AGAIN TO ENSURE COMPLETE COMPACTION.
 - MULCHING: TREES AND SHRUBS SHALL HAVE MULCH APPLIED IMMEDIATELY AFTER PLANTING. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.
 - MULCH TREES AND SHRUBS WITH REQUIRED MULCHING MATERIAL 3-4"
 - MULCH PERENNIAL DEOS 2- 3" DEEP
 - MULCH GROUND COVER DEOS TO A DEPTH OF 1-2" (NO MORE THAN 2") BEFORE INSTALLING GROUNDCOVER PLANTS. BRUSH MULCH OFF OF FOLIAGE.
 - WRAPPING, GUYING, STAKING: IT IS THE CONTRACTORS TO OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL END OF THE WARRANTY PERIOD.
 - WRAPPING SHOULD BE DONE ONLY ON AN AS NEEDED BASIS.
 - STAKING/GUYING (IF NEEDED)
 - STAKE/GUY SHOULD ONLY BE USED WHEN TREES ARE LOOSE OR WEAK STEMMED.
 - SEE STAKING DETAILS ON THE DRAWINGS
 - PRUNING:
 - REMOVE OR CUT BACK BROKEN, DAMAGED AND ASYMMETRICAL GROWTH OF NEW WOOD.
 - UNLESS OTHERWISE DIRECTED, PRUNE EVERGREENS ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
 - EXISTING PLANT RELOCATION:
 - TRANSPLANT TREES AND SHRUBS DESIGNATED FOR RELOCATION TO LOCATIONS SHOWN ON THE DRAWINGS. PRUNE, DIG, BALL AND BURLAP, MOVE AND PLANT IN ACCORDANCE WITH SPECIFIED TREE PLANTING REQUIREMENTS.
 - PRUNE, DIG, BALL AND BURLAP, AND MOVE DESIGNATED TREES FOR RELOCATION TO THE DESIGNATED PLANT STORAGE AREA FOR HEELING-IN OF MATERIALS UNTIL FINAL PLANTING AREAS ARE PREPARED, IF REQUIRED.
 - MAINTAIN PLANTS IN STORAGE AREAS BY BRACING PLANTS IN VERTICAL POSITION AND SETTING BALLS IN AN ENCLOSED BERM OF TOPSOIL OR DARK. WATER AS REQUIRED TO MAINTAIN ADEQUATE ROOT MOISTURE.
 - RE-BURLAP PLANT BALLS IF REQUIRED BEFORE FINAL TRANSPLANTING OPERATIONS.
 - MOVE TO FINAL LOCATIONS SHOWN ON THE DRAWINGS AND PLANT IN ACCORDANCE WITH SPECIFIED TREE PLANTING REQUIREMENTS.
 - TRANSPLANTS ARE NOT UNDER WARRANTY UNLESS INDICATED.

3.04 MAINTENANCE

- MAINTENANCE OF INSTALLED AND ACCEPTED PLANTINGS WILL BE PERFORMED BY THE OWNER.
- CONTRACTOR'S MAINTENANCE SHALL INCLUDE PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE UNTIL ACCEPTANCE.
 - RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
 - TIGHTEN AND REPAIR GUY WIRES AND STAKES AS REQUIRED, ONLY IF ORIGINALLY NEEDED.
 - CORRECT OBJECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
 - WATER ALL PLANT MATERIAL AS NECESSARY .

3.05 ACCEPTANCE

- PLANTED AREAS WILL BE INSPECTED AT COMPLETION OF INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS.
- INSPECTION UPON CONTRACTORS REQUEST TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE OWNER'S REPRESENTATIVE.
 - PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS HAVE BEEN COMPLIED WITH AND PLANT MATERIALS ARE ALIVE AND IN A HEALTHY, VIGOROUS CONDITION.
 - SECTIONS OF THE WORK MAY BE ACCEPTED WHEN COMPLETE UPON AGREEMENT OF THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR.
 - UPON ACCEPTANCE, THE OWNER WILL ASSUME PLANT MAINTENANCE.

3.06 CLEANING

- PERFORM CLEANING DURING INSTALLATION AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM PLANTING OPERATIONS.

END OF SECTION 0002

ISSUE

TO	DATE
REVIEW	01/20/20
REVIEW	03/29/20
VILLAGE	8/29/20
VILLAGE	10/31/20

CHECK: CK

DRAWN: PC

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LANDSCAPE SPECIFICATIONS

SECTION 0003

PERENNIALS - ORNAMENTAL GRASSES - GROUNDCOVER PLANTING

PART 1 GENERAL

1.01 DESCRIPTION

- A. PROVIDE PERENNIALS, ORNAMENTAL GRASSES AND GROUND COVERS AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
 1. SOIL PREPARATION.
 2. PERENNIAL, ORNAMENTAL GRASSES AND GROUNDCOVERS.
 3. PLANTING MIXES.
 4. MULCH AND PLANTING ACCESSORIES.
- B. RELATED WORK:
 1. SECTION 00000: EARTHWORK.
 2. SECTION 00004: SEEDING.
 3. SECTION 00005: SODDING.
 4. SECTION 00002: TREE AND SHRUB PLANTING.

1.02 QUALITY ASSURANCE

- A. COMPLY WITH SECTION 02900 REQUIREMENTS. COMPLY WITH SECTION 02490 WHEN APPLICABLE.
- B. LANDSCAPE CONTRACTORS SHALL PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED. DO NOT SUBSTITUTE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT.
- C. COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'. A PLANT SHALL BE DIMENSIONED AS IT STANDS IN ITS NATURAL POSITION.
 1. SPECIFIED POT SIZES AND PLANT GRADES SHOULD COMPLY WITH THE STANDARDS ACCEPTED BY THE ANLA. THESE STANDARDS LIST MINIMUM DIMENSIONS FOR CONTAINERS IN VARIOUS CLASSES AND DEFINE MINIMUM STANDARDS FOR BARE ROOT LINERS, DIVISIONS, AND FIELD CLUMPS.
- D. ALL PLANTS SHALL BE NORTHERN ILLINOIS NURSERY GROWN UNDER CLIMATIC AND SOIL CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- E. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE WITHIN REASON, AT NO ADDITIONAL COST TO OWNER. ROOT SYSTEMS MUST MEET ANLA STANDARDS AS SPECIFIED. PLANTS SHOULD NOT BE ALTERED BY PRUNING OR OTHER MEANS TO MEET SPECIFICATIONS.
- F. PLANTS MAY BE INSPECTED AND APPROVED AT THE PLACE OF GROWTH, FOR COMPLIANCE WITH SPECIFICATION REQUIREMENTS FOR QUALITY, SIZE AND VARIETY.

1.03 SUBMITTALS

- A. AFTER PREPARATION, A SAMPLE OF THE PLANTING SOIL SHALL BE SUBMITTED TO THE LANDSCAPE IF REQUESTED, PRIOR TO INSTALLATION OF THE PLANTS. ADDITIONAL ORGANIC MATTER AND PREPARATION MAY BE REQUIRED BASED ON THE PHYSICAL PROPERTIES OF THE SAMPLE SUBMITTED. A SEPARATE SAMPLE FROM EACH PLANTING BED SHALL BE SUBMITTED IF REQUESTED.
- B. A SAMPLE OF THE ORGANIC MATTER SPECIFIED SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE. A LABORATORY ANALYSIS MAY BE REQUESTED IF DEEMED NECESSARY.
- C. PRIOR TO USE, LABELS OF ALL SOIL AMENDMENTS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DESIGN SPECIFICATIONS. SAMPLES MAY BE REQUESTED FOR LABORATORY ANALYSIS.
- D. EACH SEPARATELY CONTAINERIZED PLANT BROUGHT TO THE SITE SHALL BE LABELED WITHIN REASON. FLATS OF THE SAME PLANTS MAY HAVE ONE LABEL PER FLAT. EACH BUNDLE OF BARE ROOT PLANTS SHALL BE LABELED. THESE LABELS MUST SHOW THE BOTANICAL NAME OF THE PLANT, THE LANDSCAPE ARCHITECT SHALL INSPECT THE LABELS, CONTAINER SIZES, AND DIVISION SIZES OF BARE ROOT PLANTS FOR COMPLIANCE TO THE DESIGN SPECIFICATIONS PRIOR TO PLANTING. THE LANDSCAPE ARCHITECT SHALL ALSO VERIFY THAT THE PLANTS DELIVERED TO THE SITE ARE LABELED TRUE TO NAME. UPON ACCEPTANCE OF THE PLANTS BY THE OWNER, THE LANDSCAPE CONTRACTOR SHALL PROVIDE WRITTEN MAINTENANCE PROCEDURES FOR MAINTENANCE OF THE PLANTS.
- E. FOLLOWING THE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT WITH A COPY OF THE ORIGINAL PLAN NOTING ANY SITE ADJUSTMENTS TO THAT ORIGINAL PLAN.

PART 2 PRODUCTS

2.01 MATERIALS

- A. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY; WITH NORMALLY DEVELOPED HABIT AND VIGOROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, AND ALL FORMS OF INFESTATION.
 1. CONTAINER-GROWN STOCK SHALL HAVE GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
 - A. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
 - B. CONTAINER STOCK SHALL NOT BE POT BOUND.
 2. IF THE USE OF LARGER THAN SPECIFIED PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR CONTAINER SIZE IN PROPORTION TO THE SIZE OF THE PLANT.
 3. PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND/OR HEIGHT INDICATED IN THE PLANT LIST AND BE IN ACCORDANCE WITH ANLA STANDARDS.

2.02 PLANT SPECIFICATIONS

- A. PERENNIAL AND GROUNDCOVER PLANTS ARE SPECIFIED FOR DESIGN BY THE CONTAINER CLASS AND SIZE (I.E. 2' SQUARE CONTAINER OR 1 QUART CONTAINER, ETC.) OR, IF BARE ROOT, BY GRADE AS ACCEPTED BY ANLA STANDARDS FOR NURSERY STOCK AND THE PRODUCTION TRADE (I.E. 1-EYE DIVISION, 2-3 EYE DIVISION, FIELD CLUMP, ETC.).
- B. PERENNIALS ARE SPECIFIED BY TYPE:
 1. CONTAINER-GROWN - GROWN TO A SPECIFIED SIZE IN A CONTAINER.
 2. BARE ROOT - PURCHASED FREE OF ANY GROWING MEDIUM REGARDLESS OF GROWING METHOD.
 3. FIELD-POTTED - FIELD-GROWN PLANTS WHICH ARE POTTED FOR DELIVERY AS THEY ARE DUG FROM THE FIELD.

2.03 SOIL REQUIREMENTS

DEPENDENT ON EXISTING CONDITIONS OF TOPSOIL ONSITE, REQUIRED SOIL MIX MAY BE PREPARED ONSITE THROUGH MANUAL AND MECHANICAL MEANS, OR IN THE EVENT EXISTING SOIL IS IN UNACCEPTABLE CONDITION AND MAKEUP, NEW TOPSOIL OR A COMPLETE MIX TO BE INSTALLED AFTER EXISTING SOIL IS EXCAVATED TO PROPER DEPTH AND REMOVED / DISPOSED OFFSITE. FINAL SOIL COMPOSITION IN PERENNIAL, ORNAMENTAL GRASS AND GROUNDCOVER BEDS TO BE 40% TOPSOIL, 30% ORGANIC MATTER, 30% COARSE SAND, PLUS 1 LB. FERTILIZER PER CUBIC YARD OF SOIL MIX

- A. SOIL FOR PERENNIAL BEDS SHOULD BE ROTOTILLED 6 INCHES DEEP MINIMUM. GROUNDCOVER BEDS AT 6" MINIMUM UNLESS OTHERWISE NOTED. TOP SOIL SHOULD BE DRY, LOOSE, AND FREE OF DEBRIS. WHERE HARDPAN EXISTS BENEATH THE PREPARED BED, DEEPER PREPARATION MAY BE SPECIFIED. ADDITIONALLY, THE LANDSCAPE CONTRACTOR SHOULD IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT IF ANY BEDS DO NOT DRAIN PROPERLY. BAGGED BARK PROFESSIONAL MIXES ARE AN EQUIVALENT SUBSTITUTE FOR PEAT MOSS.

2.04 AMENDMENTS

- A. TOPSOIL: TOPSOIL FOR PLANTING BEDS: FERTILE, FRIABLE, NATURAL TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINING ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 5.5 TO 6.0 AND BE TYPICAL OF THE AREA.
 1. IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
 2. PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS WHICH WILL BE GROWN IN THE SOIL.
- B. ORGANIC MATTER: ORGANIC MATTER CAN BE FROM PEAT MOSS, COMPOST, OR LOCALLY AVAILABLE ORGANIC WASTE. ORGANIC MATTER SHOULD BE WELL COMPOSTED, FREE FROM DEBRIS, WEED SEEDS, AND INSECTS OR DISEASES WHICH MAY BE HARMFUL TO THE INTENDED PLANTING
- C. FERTILIZERS: TO BE DELIVERED TO THE JOB SITE IN THEIR ORIGINAL PACKAGING WITH LEGIBLE, INTACT LABELS INDICATING NUTRIENT CONTENT AND SOURCE. LABELS SHOULD BE CHECKED PRIOR TO USE AND A SAMPLE MAY BE REQUESTED FOR LABORATORY ANALYSIS.
 1. COMMERCIAL TYPE APPROVED BY THE OWNER'S REPRESENTATIVE, CONTAINING 10% NITROGEN, 10% PHOSPHORIC ACID AND 10% POTASH BY WEIGHT OR EQUIVALENT IN A SLOW RELEASED GRANULAR FORM.
- D. COARSE SAND: GRADATION FA-2

PART 3 EXECUTION

3.01 PRE-PLANTING AND POST-PLANTING INSTRUCTIONS

- A. PRE-PLANTING.
 1. PLANTS SHALL BE BROUGHT TO THE SITE THE DAY THEY ARE TO BE INSTALLED, IF POSSIBLE. IF SITUATIONS ARISE WHERE EARLIER DELIVERY CANNOT BE AVOIDED OR IF PLANTING IS DELAYED AFTER THE PLANTS HAVE BEEN DELIVERED, THEY SHALL BE STORED WHERE THEY CAN BE PROPERLY WATERED, SHELTERED FROM DIRECT SUNLIGHT, AND PROTECTED FROM MECHANICAL DAMAGE BY CONSTRUCTION EQUIPMENT, ANIMALS, ETC. IF STORAGE NEEDS TO BE MORE THAN TWO DAYS, THE PLANTS SHALL BE SEPARATED FAR ENOUGH FROM EACH OTHER TO PROVIDE GOOD AIR CIRCULATION TO THEIR TOPS, REDUCING THE RISK OF FUNGUS. BARE ROOT PLANTS WHICH MUST BE HELD SHALL BE HEALED-IN WHERE THEY CAN BE WATERED AS NEEDED.
 2. ALL PLANTS SHALL BE WATERED THOROUGHLY AND ALLOWED TO DRAIN PRIOR TO PLANTING.
 3. WHILE PLANTING, BARE ROOT PLANTS MUST BE PROTECTED FROM HOT SUN AND DRYING WIND BY SHADING THEM WITH BURLAP, LANDSCAPE FABRIC, STRAW OR OTHER BREATHABLE MATERIAL. PLASTIC IS UNACCEPTABLE. CONTAINERIZED PLANTS MUST BE LEFT IN THEIR CONTAINERS UNTIL EACH IS PLANTED. THEY SHALL NOT BE REMOVED FROM THE CONTAINERS TO BE LAID OUT ON THE BED WHERE SUN AND WIND WILL DAMAGE THE ROOTS PRIOR TO PLANTING.
 4. ANY DEAD OR DAMAGED PLANT PARTS SHALL BE REMOVED FROM THE PLANTS UPON PLANTING.
- B. SPACING: SPACE GROUNDCOVERS AND PERENNIALS IN ACCORDANCE WITH DESIGNATED AREAS ON DRAWINGS. IN CASE OF AREA SIZE DISCREPANCIES, A TIGHTER SPACING IS PREFERRED.
 1. MULCH: WHERE MULCHING IS SPECIFIED, THE MULCH MUST BE PULLED AWAY FROM THE STEMS AND CROWNS OF PERENNIALS AND GROUNDCOVERS TO REDUCE THE OCCURRENCE OF ROT OR ROYENT DAMAGE. MULCH THICKNESS IN BED AREAS SHOULD BE 2-3" FOR PERENNIALS AND 1-2" FOR GROUNDCOVERS.
 2. PERENNIAL AND GROUNDCOVER BED AREAS TO BE THOROUGHLY WATERED IMMEDIATELY AFTER INSTALLATION AND CLEANUP.

3.02 MAINTENANCE

- A. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF THE PERENNIALS FROM THE TIME THEY ARE BROUGHT ONTO THE JOB SITE UNTIL THEY ARE PLANTED AND ACCEPTED BY THE LANDSCAPE ARCHITECT
 1. PLANTS SHALL BE WATERED OFTEN ENOUGH TO PREVENT WILTING PRIOR TO PLANTING. AFTER PLANTING, THEY SHALL BE WATERED INITIALLY TO SETTLE THE SOIL, THEN TO PREVENT WILTING AND TO ALLOW THEM TO BECOME ESTABLISHED ON THE SITE.
 2. THE BEDS SHALL BE FREE OF WEEDS AT PLANTING TIME AND SHALL BE MAINTAINED BED FREE BY THE CONTRACTOR UNTIL THE PLANTING IS ACCEPTED BY THE CLIENT.
 3. SHOULD INSECTS OR DISEASES ATTACK THE PLANTS AFTER INSTALLATION AND PRIOR TO ACCEPTANCE OF THE PLANTING, APPROPRIATE PESTICIDES SHALL BE PROPERLY APPLIED TO CORRECT THE SITUATION.
 4. THE BEDS SHOULD BE CHECKED REGULARLY FOR SOIL SETTLING WHICH MAY EXPOSE THE ROOT BALLS OR OTHERWISE ENDANGER THE HEALTH OF THE PLANTING. SHOULD THIS OCCUR, THE CONTRACTOR SHALL CORRECT THE SETTLING PROBLEMS.
 5. NEWLY PLANTED PERENNIALS AND GROUNDCOVERS MAY BE HEAVED OUT OF THE GROUND BY ALTERNATE FREEZES AND THAWS. SHOULD THIS OCCUR PRIOR TO ACCEPTANCE OF THE PLANTING, THE CONTRACTOR SHALL RE-SET THOSE AFFECTED PLANTS.
 6. ANY NOTED DEFECTS, SUCH AS REVERSIONS, ERRANT GROWTH OR COLOR NOT TYPICAL FOR THE SPECIES OR CULTIVAR, SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE RECOMMENDATIONS OF THE LANDSCAPE ARCHITECT SHALL BE FOLLOWED TO CORRECT THE SITUATION. RECOMMENDATIONS MAY INCLUDE REMOVAL OF THE ENTIRE PLANT.

- B. THE CLIENT OR THE CLIENT'S ASSIGNED AGENT BECOMES RESPONSIBLE FOR THE MAINTENANCE OF THE PLANTS AFTER THE PLANTING HAS BEEN ACCEPTED BY THE LANDSCAPE ARCHITECT. FAILURE TO PROPERLY MAINTAIN THE PLANTING SHALL VOID ANY WARRANTY
 1. THE CLIENT SHALL WATER THE PLANTS TO PREVENT WILTING. THE SCHEDULE WILL VARY WITH THE GROWTH OF THE PLANTS AND PREVAILING CLIMATE. GENERALLY, NEW PLANTINGS WILL NEED TO RECEIVE 1 INCH OF WATER PER WEEK. A RAIN GAUGE SHOULD BE PLACED IN THE PLANTING TO CATCH BOTH RAINFALL AND IRRIGATION WATER TO VERIFY THE AMOUNT OF APPLICATION.
 2. THE CLIENT SHALL PROPERLY PINCH, PRUNE, AND DEADHEAD THE HERBACEOUS PERENNIALS AS NEEDED AND AS REQUIRED TO MEET THE AESTHETIC GOAL OF THE PLANTING.
 3. THE CLIENT SHALL MAINTAIN THE PLANTING FREE FROM COMPETING WEEDS.
 4. THE CLIENT SHALL REGULARLY INSPECT THE PLANTING FOR INSECTS AND DISEASES, NOTIFYING THE LANDSCAPE ARCHITECT OF ANY NOTED OCCURRENCES. IF PESTICIDES ARE DEEMED NECESSARY, THEY SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 5. AFTER THE ACCEPTANCE OF THE PLANTING, THE CLIENT IS RESPONSIBLE FOR CORRECTING ANY SETTLING OF THE PLANTING BEDS.
 6. AFTER ACCEPTANCE, THE CLIENT IS RESPONSIBLE FOR SETTING ANY PLANTS WHICH ARE HEAVED OUT OF THE GROUND IN WHOLE OR IN PART BY CLIMATE CHANGES.
 7. UNSATISFACTORY PERFORMANCE OF THE PERENNIALS AND GROUNDCOVERS NOTED BY THE CLIENT AFTER ACCEPTANCE OF THE PLANTING SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3.03 WARRANTY

ALL PLANTS WILL BE GUARANTEED TO BE TRUE TO NAME AS LABELED AND FREE FROM INSECTS, DISEASES, AND MECHANICAL DAMAGES WHEN DELIVERED TO THE SITE. ALL PLANTS WILL BE GUARANTEED TO RESUME ACTIVE GROWTH IN THE APPROPRIATE SEASON AND TO SURVIVE FOR A MINIMUM OF ONE YEAR AFTER ACCEPTANCE BY THE CLIENT, PROVIDED THE RECOMMENDED MAINTENANCE PROCEDURES ARE FOLLOWED BY THE CLIENT. MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO WATERING, FERTILIZING, MULCHING, PRUNING, PROTECTING FROM UNSEASONABLE WEATHER AND ALL OTHER NORMAL CULTURAL PRACTICES.

END OF SECTION 0003

SECTION 0004

SODDING

PART 1 GENERAL

1.01 DESCRIPTION

- A. PROVIDE SODDED LAWNS AS SHOWN AND SPECIFIED. THE WORK INCLUDES:
 1. SOIL PREPARATION.
 2. SODDING LAWNS.
- B. RELATED WORK:
 1. SECTION 02200: EARTHWORK.
 2. SECTION 00004: SEEDING.
 3. SECTION 00002: TREES AND SHRUB PLANTING,
 4. SECTION 00003: PERENNIAL, ORNAMENTAL GRASS, GROUNDCOVER PLANTING

1.02 QUALITY ASSURANCE

- A. COMPLY WITH SECTION 00001 REQUIREMENTS.
- B. SOD: COMPLY WITH AMERICAN SOD PRODUCERS ASSOCIATION (ASPA) CLASSES OF SOD MATERIALS.

1.03 SUBMITTALS

- A. SUBMIT SOD BROWER'S CERTIFICATION OF GRASS SPECIES. IDENTIFY SOURCE LOCATION.

SECTION 0004 CONTINUED

SODDING

1.04 DELIVERY, STORAGE, AND HANDLING

- A. CUT, DELIVER AND INSTALL SOD WITHIN A 24-HOUR PERIOD.
 1. DO NOT HARVEST OR TRANSPORT SOD WHEN MOISTURE CONTENT MAY ADVERSELY AFFECT SOD SURVIVAL.
 2. PROTECT SOD FROM DEHYDRATION PRIOR TO INSTALLATION.

1.05 PROJECT CONDITIONS

- A. WORK NOTIFICATION: NOTIFY OWNER'S REPRESENTATIVE AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF SODDING OPERATIONS.
- B. PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SODDING OPERATIONS.
- C. PROVIDE HOSE AND LAWN WATERING EQUIPMENT AS REQUIRED. OWNER TO PROVIDE WATER ON SITE.

1.06 WARRANTY

- A. DISCLAIMER - ACTS OF GOD AND OTHER CONDITIONS BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL SUCH AS VANDALISM SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY RE-SODDING OR RE-GRADING CONTRIBUTED TO THIS MUST BE AN ADDITION TO THE CONTRACT AMOUNT.

PART 2 PRODUCTS

2.01 MATERIALS

- A. SODS TO BE HARVESTED FROM LOCAL SOD NURSERY AND UNLESS OTHERWISE INDICATED TO BE A (5) FIVE WAY MINIMUM BLUEGRASS BLEND. (FIVE VARIETIES OF BLUEGRASS)
- B. PROVIDE WELL-ROOTED, HEALTHY SOD. PROVIDE SOD UNIFORM IN COLOR, LEAF TEXTURE, DENSITY AND DEVELOPMENT WHEN PLANTED.
 1. FURNISH SOD UNIFORMLY MACHINE-STRIPPED FROM 3/4" - 1 1/2" THICK WITH CLEAN CUT EDGES.
- C. FERTILIZER:
 1. GRANULAR, NON-BURNING PRODUCT COMPOSED OF NOT LESS THAN 50% ORGANIC SLOW ACTING, GUARANTEED ANALYSIS PROFESSIONAL FERTILIZER.
 2. STARTER FERTILIZER CONTAINING 5% NITROGEN, 10% PHOSPHORIC ACID AND 10% POTASH BY WEIGHT, OR ACCORDING TO SPECIAL PROVISIONS.
- D. WATER: FREE OF SUBSTANCE HARMFUL TO SOD GROWTH. HOSES OR OTHER METHODS OF TRANSPORTATION FURNISHED BY CONTRACTOR. WATER WILL BE PROVIDED BY THE OWNER ON SITE.

PART 3 EXECUTION

3.01 INSPECTION

- A. EXAMINE FINISH SURFACES, GRADES, TOPSOIL QUALITY, AND DEPTH. DO NOT START SODDING WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

3.02 PREPARATION

- A. LIMIT PREPARATION TO AREAS WHICH WILL BE IMMEDIATELY SODDED.
- B. ROTOTILL TOPSOIL OF LAWN AREAS TO MINIMUM DEPTH OF 3", IF COMPACTED. REMOVE STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
- C. APPLY FERTILIZER AT THE RATE EQUAL TO 1.0 LB. OF ACTUAL NITROGEN PER 1,000 SQ. FT. (20 LBS./ACRE). APPLY FERTILIZER BY MECHANICAL ROTARY OR DROP TYPE DISTRIBUTOR THOROUGHLY AND EVENLY INCORPORATE IT INTO THE SOIL TO A DEPTH OF 3" BY DISKING OR OTHER APPROVED METHODS. FERTILIZE AREAS INACCESSIBLE TO POWER EQUIPMENT WITH HAND TOOLS AND INCORPORATE IT INTO SOIL.
- D. GRADE LAWN AREAS TO SMOOTH, FREE-DRAINING AND EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- E. RESTORE PREPARED AREAS TO SPECIFIED CONDITION IF ERODED, SETTLED, OR OTHERWISE DISTURBED AFTER FINE GRADING AND PRIOR TO SODDING.

3.03 INSTALLATION

- A. TIME OF INSTALLATION: THE ACCEPTABLE TIME TO INSTALL SOD AND BE CONSIDERED 'IN SEASON' ARE AS FOLLOWS.
 1. SPRING - FROM THE TIME THE SOIL IS WORKABLE AND SOD IS BEING HARVESTED, UNTIL JUNE 15TH.
 2. FALL - FROM AUGUST 15TH TO NOVEMBER 1ST.

ALL OTHER TIMES ARE CONSIDERED 'OUT OF SEASON' AND ARE NOT ACCEPTABLE TO INSTALL SOD AT THIS TIME WITHOUT APPROVAL OF LANDSCAPE ARCHITECT (LA) AND WITH THE ADDITIONAL CONDITIONS AS FOLLOWS:

1. JUNE 16TH TO AUGUST 4TH
 - A. SOD TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM OR
 - B. SOD TO BE IRRIGATED BY MANUAL MEANS WITH SUFFICIENT QUANTITIES OF HOSE AND SPRINKLER HEADS SO AS TO KEEP SOD LUSH AND HEALTHY UNTIL TIME OF KNITTING AND MOWING MAINTENANCE HAS BEGUN.
2. AFTER NOVEMBER 1ST: SOD MAY ONLY BE INSTALLED WITH (LA) APPROVAL AND MILD TEMPERATURES / CONDITIONS EXIST. SOD MAY NOT BE INSTALLED ON FROZEN GROUND AND UNTIL FINAL (FINE) GRADING AND GROUND PREPARATION HAS BEEN APPROVED FOR SOD INSTALLATION BY LANDSCAPE ARCHITECT.

- B. SODDING:
 1. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY-FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAY EDGES. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. REMOVE EXCESS SOD TO AVOID SMOTHERING OF ADJACENT GRASS. PROVIDE SOD PAD TOP FLUSH WITH ADJACENT CURBS, SIDEWALKS, DRAINS, AND SEWER AREAS.
 2. INSTALL INITIAL ROW OF SOD IN A STRAIGHT LINE, BEGINNING AT BOTTOM OF SLOPES, PERPENDICULAR TO DIRECTION OF THE SLOPED AREA. PLACE SUBSEQUENT ROWS PARALLEL TO AND LIGHTLY AGAINST PREVIOUSLY INSTALLED ROW.
 3. TAMP OR ROLL WITH ROLLER TO ENSURE CONTACT WITH SUB-GRADE SOIL.
 4. WATER SOD THOROUGHLY IMMEDIATELY AFTER LAYING.
 5. STAKE SOD ON SLOPES OVER 2:1 TO ANCHOR.
 6. SOD INDICATED AREAS WITHIN CONTRACT LIMITS. AREAS OUTSIDE CONTRACT LIMITS DISTURBED AS A RESULT OF CONSTRUCTION OPERATIONS ARE TO BE CHARGED ACCORDING TO SIZE OF AREA.

3.04 MAINTENANCE

- A. MAINTENANCE OF INSTALLED AND ACCEPTED SODDED LAWNS WILL BE PERFORMED BY THE OWNER.

3.05 ACCEPTANCE

- A. SODDED AREAS WILL BE INSPECTED AT COMPLETION OF INSTALLATION AND ACCEPTED SUBJECT TO COMPLIANCE WITH SPECIFIED MATERIALS AND INSTALLATION REQUIREMENTS.
- B. INSPECTION TO DETERMINE ACCEPTANCE OF SODDED LAWNS WILL BE MADE BY THE OWNER'S REPRESENTATIVE, UPON CONTRACTOR'S REQUEST.
 1. SODDED AREAS WILL BE ACCEPTABLE PROVIDED ALL REQUIREMENTS HAVE BEEN COMPLIED WITH, AND A HEALTHY, EVEN-COLORED VIABLE LAWN IS PROVIDED.
- C. SECTIONS OF THE WORK MAY BE ACCEPTED WHEN COMPLETE UPON AGREEMENT OF THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR.
- D. UPON ACCEPTANCE, THE OWNER WILL ASSUME LAWN MAINTENANCE.

3.06 CLEANING

- A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS MATERIALS, DEBRIS, AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM SODDING OPERATIONS.

END OF SECTION 0004

END

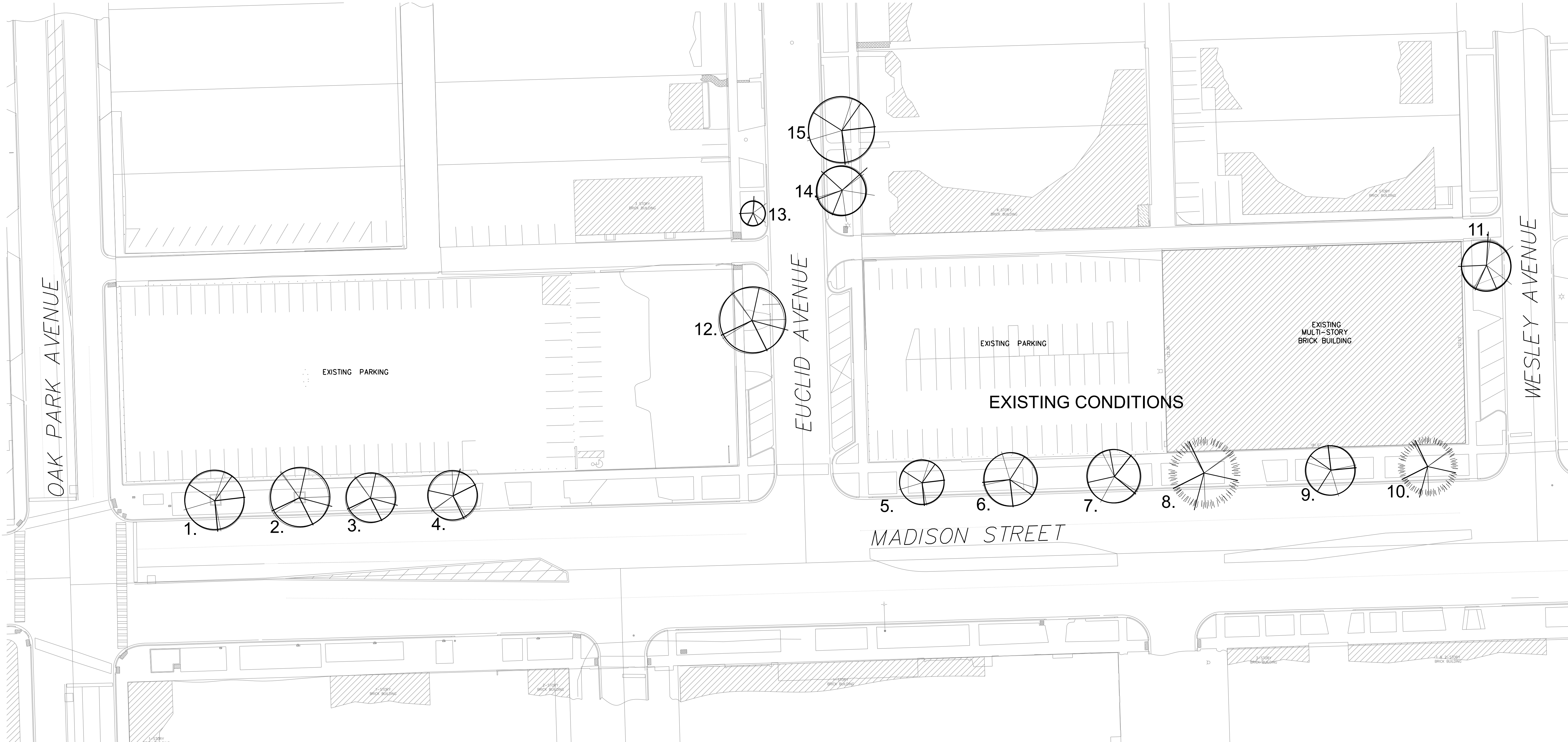
ISSUE

TO	DATE
REVIEW	01/20/20
REVIEW	03/29/20
VILLAGE	8/29/20
VILLAGE	10/31/20

CHECK: CK

DRAWN: PC

JOB:1913045H



ALL TREES LISTED AND SHOWN ABOVE SHALL BE REMOVED

SPECIES	SIZE
1. HONEYLOCUST	18" DBH
2. HONEYLOCUST	14" DBH
3. CRABAPPLE	12" MULTI STEM
4. CRABAPPLE	14" MULTI STEM
5. BLACK LOCUST	10" DBH
6. CATALPA	12" DBH
7. BALD CYPRESS	24" DBH
8. LINDEN	24" DBH
9. LONDON PLANETREE	8" DBH
10. BALD CYPRESS	20" DBH
11. GINKO	12" DBH
12. ELM	28" DBH
13. LINDEN	3" DBH
14. GINKO	14" DBH
15. LINDEN	30" DBH

(DBH = DIAMETER AT BREAST HEIGHT)

SEE COMPLETE SITE DEMOLITION PLAN SHEET C-1.0

TREE REMOVAL PLAN

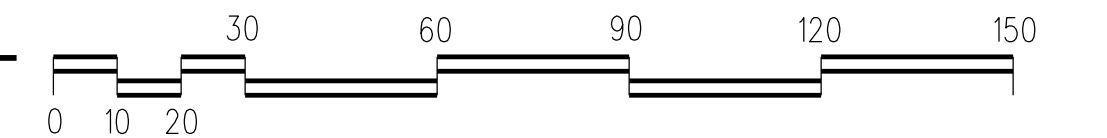
SCALE: 1"=30'-0"

LANDSCAPE PLANS PREPARED BY:

PAUL A. GOUTURE, P.L.A., A.S.L.A.
 IL. LICENSE NUMBER 157-00328



SCALE: 1"=30'-0"



ISSUE

TO	DATE
REVIEW	01/20/20
REVIEW	03/29/20
VILLAGE	8/29/20
VILLAGE	10/31/20

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

PETE'S FRESH MARKET PRELIMINARY ENGINEERING 640 MADISON STREET OAK PARK, IL 60302

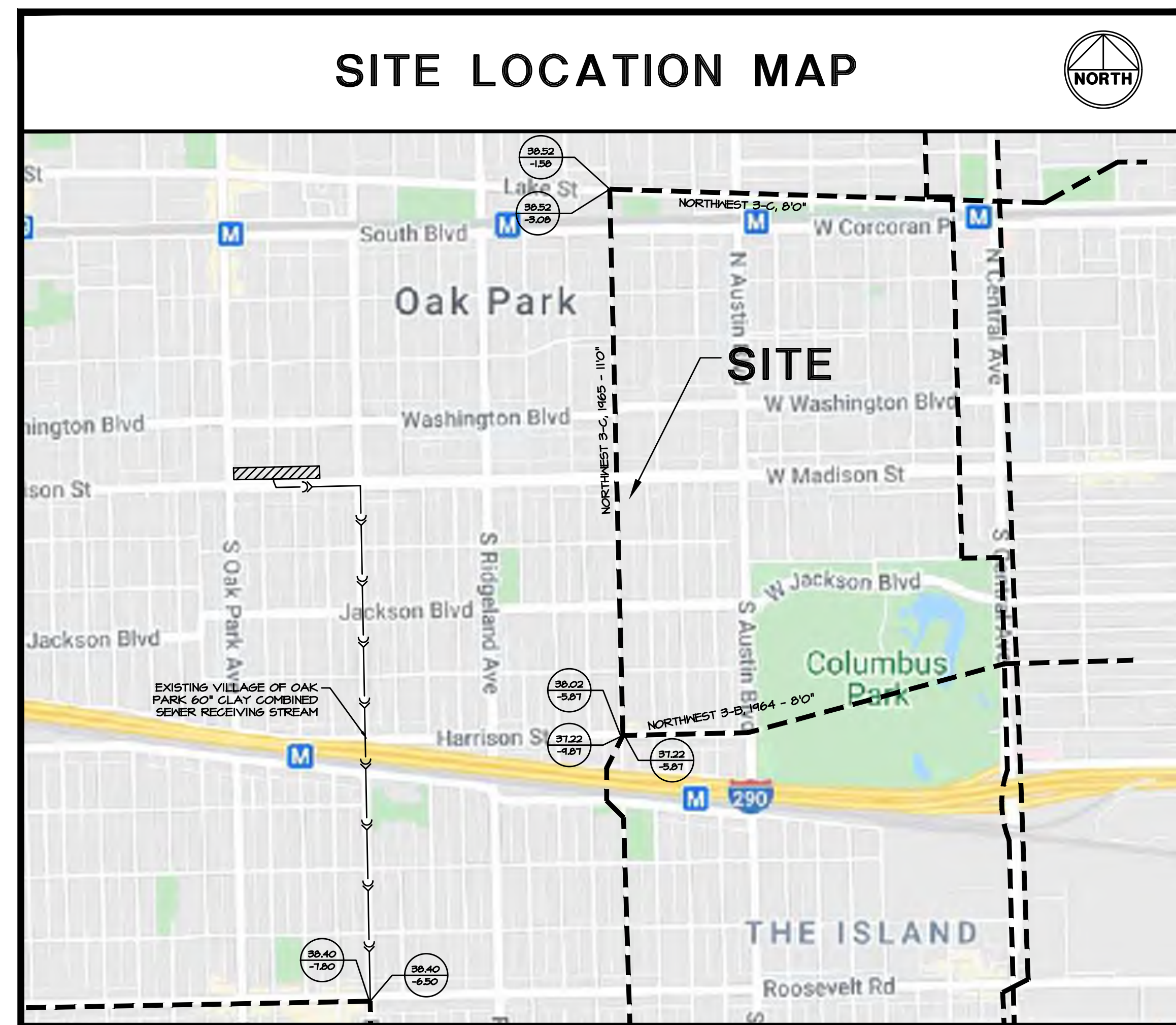
DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	12-14-20
C-1.0	SITE DEMOLITION PLAN	12-14-20
C-2.0	SITE GEOMETRIC PLAN	12-14-20
C-2.1	SIGHT VISIBILITY TRIANGLE	12-14-20
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C-3.2 - C-3.3	SITE DEVELOPMENT DETAILS	12-14-20
C-4.0	SITE GRADING PLAN	12-14-20
C-5.0	SITE UTILITY PLAN	12-14-20
C-5.1 - C-5.4	SITE UTILITY DETAILS	12-14-20
C-6.0	STORMWATER POLLUTION PREVENTION PLAN	12-14-20
C-6.1	STORMWATER POLLUTION PREVENTION DETAILS	12-14-20
C-7.0	PROJECT SPECIFICATIONS	12-14-20
C-8.0	MWRD GENERAL NOTES	12-14-20
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PP-1	COMBINED SEWER PLAN AND PROFILE	12-14-20
PP-2	WATERMAIN PLAN AND PROFILE	12-14-20
PP-3	DRIVEWAY RAMP PROFILES	12-14-20
SUR-1 - SUR-2	BOUNDARY & TOPOGRAPHIC SURVEY	2-11-20

BENCHMARKS:

SITE BENCHMARK #1 - NORTHWEST FLANGE BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.23' (CITY OF OAK PARK DATUM)

SITE BENCHMARK #2 - NORTHEAST TAG BOLT OF HYDRANT LOCATED AT THE SOUTHEAST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.20' (CITY OF OAK PARK DATUM)

BEING THAT THIS PROJECT IS PERMITTED UNDER THE NEW WATERSHED MANAGEMENT ORDINANCE (NMO), THE MWRD REQUIRES 48 HOURS OF ADVANCE NOTIFICATION PRIOR TO ANY GROUND DISTURBANCE. THE MWRD WILL BE INSPECTING FOR APPLICABLE EROSION CONTROL AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING, INLET PROTECTION, CONCRETE WASH, ETC., FOLLOWED BY SANITARY SEWER INSTALLATION INSPECTIONS. PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.



SECTION 7, TOWNSHIP 34 NORTH, RANGE 13 EAST
RICH TOWNSHIP
SCALE = 1" = 1000'

MAP DATA © 2020 6006LE

LEGEND

- >— EXISTING LOCAL STORM SEWER
- >— EXISTING LOCAL SANITARY SEWER
- - - MWRD SEWERS
- 112.0
22.3 GROUND ELEVATION CGD
SEWER INVERT ELEVATION CGD

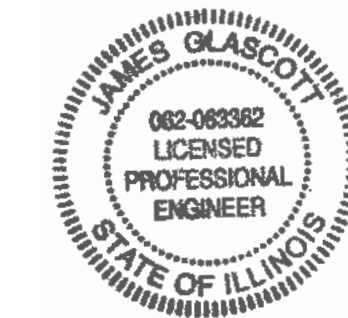
CIVIL ENGINEERING STATEMENT AND SEAL

I, JAMES GLASCOTT, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.

James Glascott DATE: 12-14-2020

JAMES GLASCOTT - ILLINOIS P.E. # 062-063362
DATE OF EXPIRATION - NOVEMBER 30, 2021



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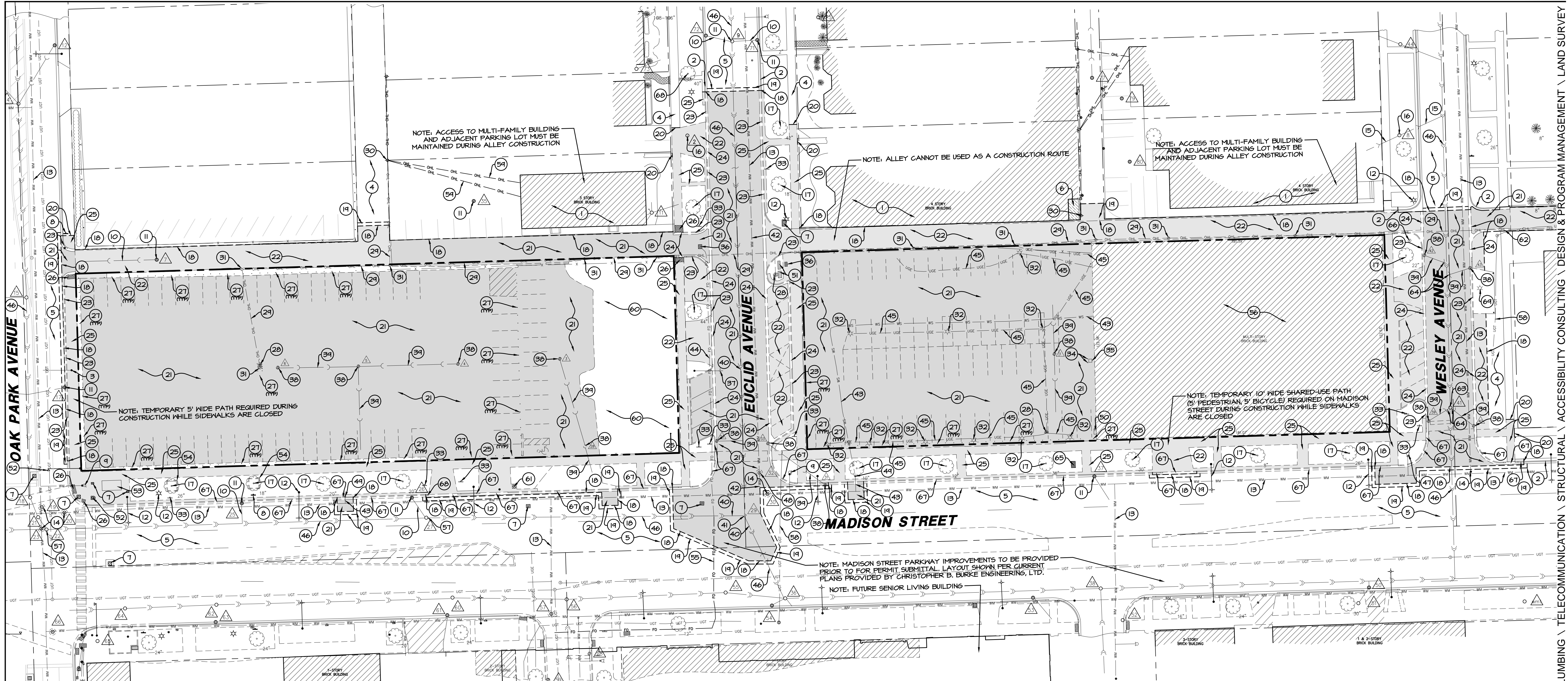
PETE'S FRESH MARKET

ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
Village	10/23/20
For Client Review	10/30/20
Village	12/14/20

CHECK:JPG
DRAWN:VE
JOB:1913045H

T-1.0
TITLE SHEET



EXISTING UTILITY DATA

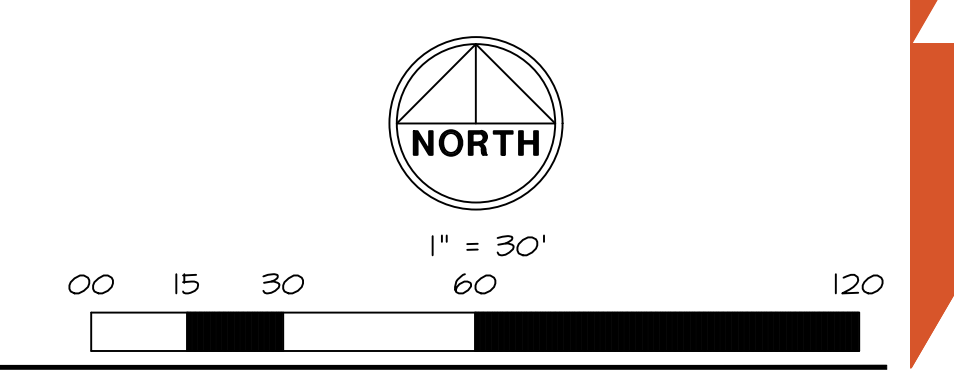
<ul style="list-style-type: none"> 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 	<ul style="list-style-type: none"> 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE 30" CONCRETE STRUCTURE 24" CONCRETE STRUCTURE 18" CONCRETE STRUCTURE 12" CONCRETE STRUCTURE 6" CONCRETE STRUCTURE 4" CONCRETE STRUCTURE 2" CONCRETE STRUCTURE 1" CONCRETE STRUCTURE
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LEGEND

<ul style="list-style-type: none"> EXISTING STORM SEWER EXISTING SANITARY SEWER EXISTING WATERMAIN EXISTING FIBER OPTIC LINE EXISTING OVERHEAD LINES EXISTING UNDERGROUND ELECTRIC SERVICE EXISTING UNDERGROUND TELCO SERVICE EXISTING CLOSED MANHOLE EXISTING OPEN GRATE MANHOLE EXISTING FIRE HYDRANT EXISTING VALVE VAULT EXISTING B-BOX EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH 	<ul style="list-style-type: none"> EXISTING STORM SEWER EXISTING SANITARY SEWER EXISTING WATERMAIN EXISTING FIBER OPTIC LINE EXISTING OVERHEAD LINES EXISTING UNDERGROUND ELECTRIC SERVICE EXISTING UNDERGROUND TELCO SERVICE EXISTING CLOSED MANHOLE EXISTING OPEN GRATE MANHOLE EXISTING FIRE HYDRANT EXISTING VALVE VAULT EXISTING B-BOX EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH
--	--

- ### PROJECT NOTES:
- EXISTING BUILDING TO REMAIN.
 - EXISTING B6.12 CURB AND GUTTER TO REMAIN.
 - EXISTING STREET LIGHT AND SIGNS TO BE REMOVED AND REINSTALLED TO REMAIN, APPROXIMATELY 10 FEET TO THE SOUTH.
 - EXISTING CONCRETE TO REMAIN.
 - EXISTING ASPHALT PAVEMENT TO REMAIN.
 - EXISTING DECK TO REMAIN.
 - EXISTING HANDHOLE TO REMAIN.
 - EXISTING SIGN TO REMAIN.
 - EXISTING FIRE HYDRANT AND AUXILIARY VALVE BOX TO REMAIN.
 - EXISTING SIGN TO REMAIN.
 - EXISTING STORM STRUCTURE TO REMAIN.
 - EXISTING STREET LIGHT TO REMAIN.
 - EXISTING WATER MAIN TO REMAIN.
 - EXISTING VALVE VAULT TO REMAIN.
 - EXISTING SANITARY SEWER TO REMAIN.
 - EXISTING SANITARY STRUCTURE TO REMAIN.
 - EXISTING TREE TO BE REMOVED.
 - NEW FULL DEPTH ASPHALT TO PROVIDE CLEAN CONSTRUCTION BREAK.
 - NEW 2' WIDE BUTT JOINT.
 - NEW FULL DEPTH ASPHALT OF EXISTING SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN, PERFORM SAWCUT AT NEAREST JOINT.
 - EXISTING ASPHALT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW CONCRETE CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVING CROSS SECTIONS. AREAS THAT WILL BECOME LANDSCAPED AREAS, SHALL HAVE ENTIRE AGGREGATE BASE REMOVED.
 - EXISTING CONCRETE PAVEMENT TO BE REMOVED TO MEET THE BOTTOM OF THE NEW CONCRETE CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVING CROSS SECTIONS. AREAS THAT WILL BECOME LANDSCAPED AREAS, SHALL HAVE ENTIRE AGGREGATE BASE REMOVED.
 - EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
 - EXISTING DEPRESSED CURB AND GUTTER TO BE REMOVED.
 - EXISTING CONCRETE SIDEWALK TO BE REMOVED.
 - EXISTING DETECTABLE WARNING PLATE TO BE REMOVED.
 - EXISTING METAL POST TO BE REMOVED.
 - EXISTING ELECTRIC METER TO BE REMOVED.
 - EXISTING OVERHEAD LINES TO BE REMOVED.
 - EXISTING UTILITY POLE TO REMAIN.
 - EXISTING UTILITY POLE TO BE REMOVED.
 - COORDINATE BURIAL OF OVERHEAD ELECTRIC LINE WITH COMED.
 - EXISTING AREA LIGHT TO BE REMOVED.
 - EXISTING SIGN TO BE REMOVED.
 - EXISTING BOLLARD TO BE REMOVED.
 - EXISTING METAL PLATE TO BE REMOVED.
 - EXISTING JUNCTION BOX TO BE REMOVED. COORDINATE RELOCATION WITH UTILITY OWNER.
 - EXISTING STREET LIGHT TO BE REMOVED AND SALVAGED. DELIVER SALVAGED STREET LIGHT TO VILLAGE OF OAK PARK PUBLIC WORKS DEPARTMENT.
 - EXISTING STORM STRUCTURE TO BE REMOVED.
 - EXISTING STORM SEWER TO BE REMOVED.
 - EXISTING COMBINATION SEWER TO BE REMOVED. COORDINATE REMOVAL WITH THE VILLAGE OF OAK PARK AND PROVIDE BYPASS PUMPING AS NECESSARY TO COMPLETE CONSTRUCTION OF NEW COMBINED SEWER.
 - EXISTING COMBINATION STRUCTURE TO BE REMOVED.
 - EXISTING WATERMAIN TO BE REMOVED. DISCONNECT FROM EXISTING WATERMAIN BENEATH MADISON STREET AND PLUS OPENING IN WATERMAIN TO REMAIN.
 - EXISTING WATER SERVICE TO BE REMOVED. DISCONNECT FROM EXISTING WATERMAIN BENEATH MADISON STREET AND PLUS OPENING IN WATERMAIN TO REMAIN.
 - EXISTING FIBER OPTIC CABLE TO BE REMOVED. COORDINATE RELOCATION WITH UTILITY OWNER.
 - EXISTING UNDERGROUND ELECTRIC CABLE TO BE REMOVED.
 - EXISTING UNDERGROUND SEWER TO REMAIN.
 - EXISTING FIRE HYDRANT, AUXILIARY VALVE BOX, AND SERVICE LINE TO BE REMOVED. DISCONNECT FROM EXISTING WATERMAIN BENEATH MADISON STREET AND PLUS OPENING IN WATERMAIN TO REMAIN.
 - EXISTING WATER VALVE TO BE REMOVED. COORDINATE WATERMAIN SHUT DOWN WITH THE VILLAGE OF OAK PARK.
 - EXISTING B-BOX TO BE REMOVED.
 - EXISTING CONCRETE STOOP TO BE REMOVED.
 - EXISTING TELCO BOX TO BE REMOVED. COORDINATE REPLACEMENT WITH UTILITY OWNER.
 - EXISTING TRAFFIC SIGNAL TO REMAIN.
 - EXISTING BUS STOP SHELTER TO BE REMOVED AND RELOCATED.
 - EXISTING CONCRETE PLANTER BOX TO BE REMOVED.
 - EXISTING FIBER OPTIC CABLE TO REMAIN. COORDINATE LIMITS OF REPLACEMENT WITH UTILITY OWNER.
 - EXISTING BUILDING TO BE REMOVED.
 - EXISTING COMBINATION STRUCTURE TO REMAIN.
 - EXISTING UNDERGROUND TELCO LINE TO REMAIN.
 - EXISTING OVERHEAD LINES TO REMAIN.
 - EXISTING GRAVEL TO BE REMOVED.
 - EXISTING HANDHOLE TO BE REMOVED AND REPLACED WITH A NEW HEAVY DUTY HANDHOLE PER IDOT STANDARD 814001-03.
 - EXISTING DEPRESSED CURB TO REMAIN.
 - EXISTING COMBINED SEWER STRUCTURE TO REMAIN. ADJUST RIM TO MEET PROPOSED GRADE.
 - EXISTING STORM SEWER TO REMAIN. SEAL WITH 2" LONG NON-SHRINK CONCRETE MORTAR PLUS.
 - EXISTING HANDHOLE TO BE REMOVED AND REPLACED WITH A NEW HANDHOLE PER IDOT STANDARD 814001-03.
 - EXISTING TELCO HANDHOLE TO REMAIN. ADJUST TO MEET PROPOSED GRADE.
 - EXISTING CURB ON MADISON STREET TO BE REMOVED BY THE VILLAGE OF OAK PARK UNDER SEPARATE CONTRACT.
 - PROVIDE TREE ROOT PRUNING FOR EXCAVATIONS ADJACENT TO TREES TO REMAIN.
 - EXISTING STREET LIGHT AND SPEED LIMIT SIGN TO BE REMOVED AND REINSTALLED ON NEW FOUNDATION.

- ### SITE DEMOLITION NOTES:
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
 - CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
 - ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
 - ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
 - CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
 - ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
 - ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
 - CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
 - ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
 - PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTRACTOR TO CONTRACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
 - EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 10-3-19, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - SEE SHEET SUR-1 SUR-2 BOUNDARY & TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
 - CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
 - ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
 - CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-663 FORMS AS PART OF THEIR CONTRACT.
 - ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2" LONG (MIN) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.



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PETE'S FRESH MARKET

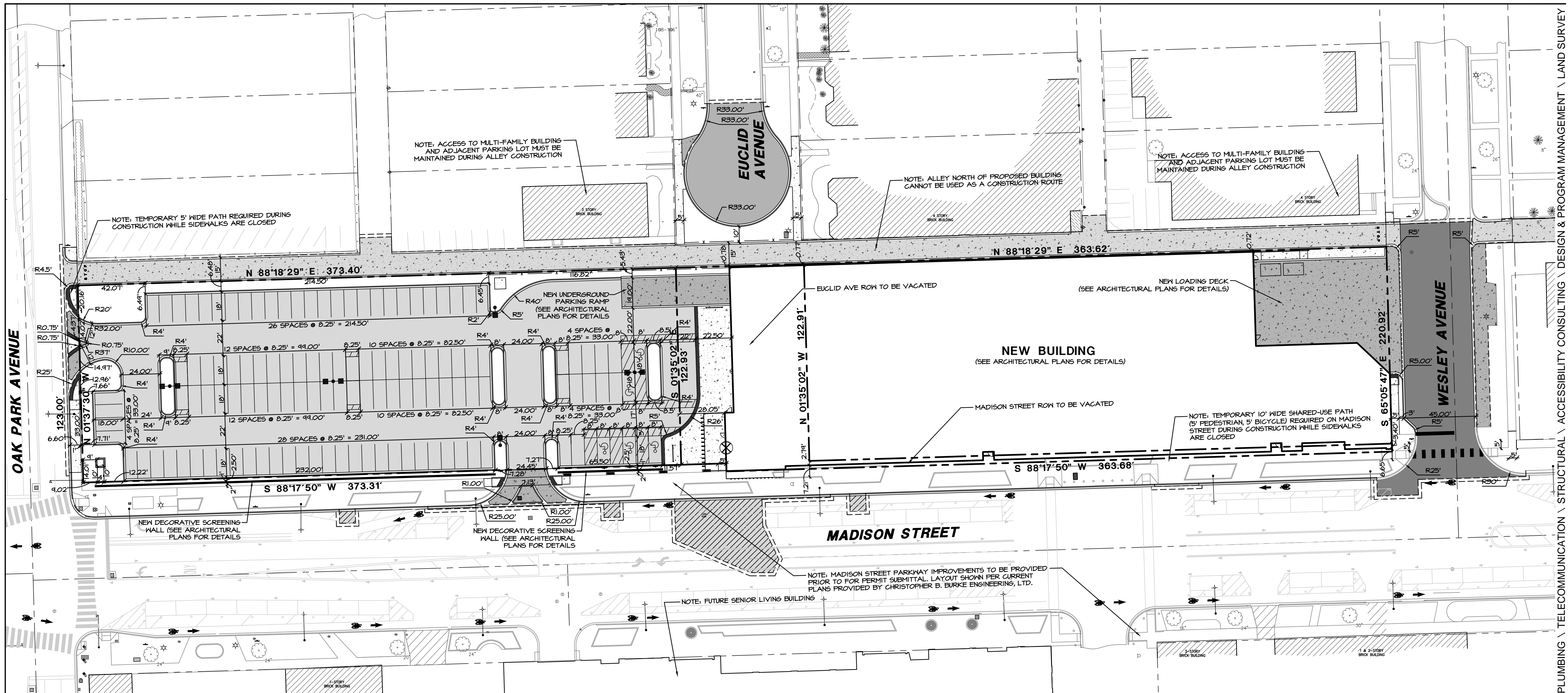
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

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C-1.0
SITE DEMOLITION PLAN



PAVEMENT SECTIONS

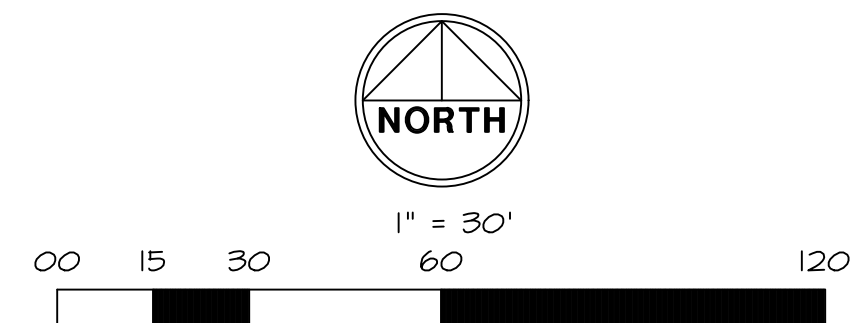
- NEW 5" CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
2" CA-6
- NEW 8" CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT
1-3/4" HMA SURFACE COURSE
2-1/4" HMA BINDER COURSE
10" CA-6
- NEW FULL DEPTH EUCLID AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
12" CA-6
INSTALL TRIAX TX160 GEOGRID PER
MANUFACTURER'S REQUIREMENTS
- NEW FULL DEPTH WESLEY AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
8" PORTLAND CEMENT CONCRETE
8" CA-6
- NEW 8" ALLEY CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE COURSE, TYPE B
- NEW FULL DEPTH MADISON STREET/OAK
PARK AVE ROADWAY ASPHALT PAVEMENT
2-1/2" HMA SURFACE COURSE
2-1/2" HMA BINDER COURSE
12" CA-6

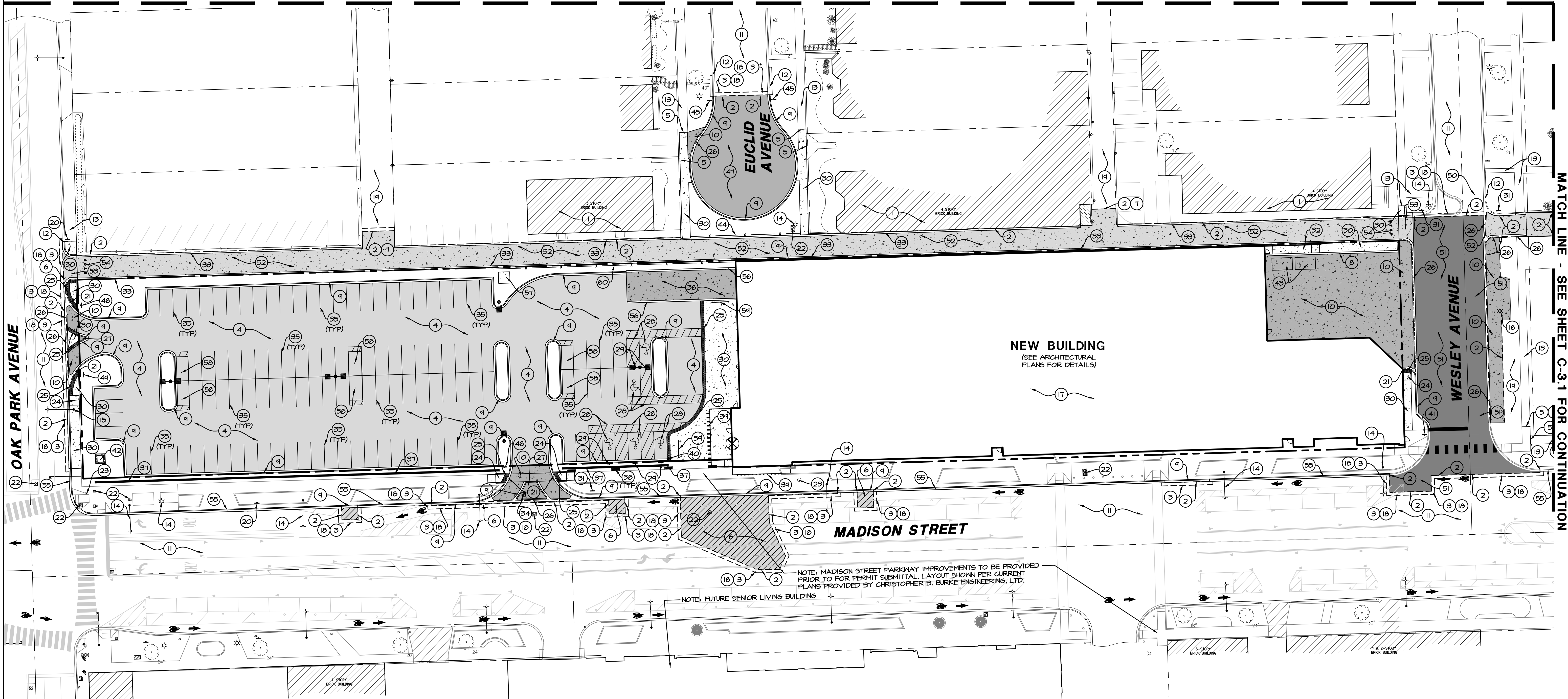
SITE GEOMETRIC NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 10-3-14, PREPARED BY WIT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- F. CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- G. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- H. THIS LAYOUT IS PARALLEL TO THE SOUTH PROPERTY LINE S 88°17'50" W.

ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20





PAVEMENT SECTIONS

NEW 5" CONCRETE SIDEWALK 5" PORTLAND CEMENT CONCRETE 2" CA-6	
NEW 8" CONCRETE PAVEMENT 8" PORTLAND CEMENT CONCRETE 4" CA-6	
NEW ASPHALT PAVEMENT 1-3/4" HMA SURFACE COURSE 2-1/4" HMA BINDER COURSE 10" CA-6	
NEW FULL DEPTH EUCLID AVENUE ROADWAY ASPHALT PAVEMENT 2" HMA SURFACE COURSE 3" HMA BINDER COURSE 12" CA-6	
NEW FULL DEPTH WESLEY AVENUE ROADWAY ASPHALT PAVEMENT 2" HMA SURFACE COURSE 3" HMA BINDER COURSE 8" PORTLAND CEMENT CONCRETE 8" CA-6	
NEW 8" ALLEY CONCRETE PAVEMENT 8" PORTLAND CEMENT CONCRETE 6" AGGREGATE BASE COURSE, TYPE B	
NEW FULL DEPTH MADISON STREET/OAK PARK AVE ROADWAY ASPHALT PAVEMENT 2-1/2" HMA SURFACE COURSE 2-1/2" HMA BINDER COURSE 12" CA-6	

PROJECT NOTES:

1. EXISTING BUILDING TO REMAIN.
2. NEW FULL DEPTH SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW 2" WIDE BUTT JOINT.
4. NEW FULL DEPTH ASPHALT PAVEMENT.
5. NEW FULL DEPTH SAWCUT OF EXISTING SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK, APPROXIMATE LOCATION SHOWN, PERFORM SAWCUT AT NEAREST JOINT.
6. NEW FULL DEPTH MADISON STREET/OAK PARK AVE ROADWAY ASPHALT PAVEMENT.
7. NEW B6.12 CONCRETE CURB AND GUTTER.
8. NEW BUILDING WALL. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
9. NEW B6.12 CONCRETE CURB AND GUTTER.
10. NEW 8" CONCRETE PAVEMENT.
11. EXISTING ASPHALT PAVEMENT TO REMAIN.
12. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
13. EXISTING CONCRETE SIDEWALK TO REMAIN.
14. EXISTING STREET LIGHT TO REMAIN.
15. EXISTING STREET LIGHT AND RELATED SIGNS TO BE RELOCATED TO THIS APPROXIMATE LOCATION AND REINSTALLED ON NEW FOUNDATION.
16. EXISTING STREET LIGHT AND SPEED LIMIT SIGN TO BE REINSTALLED ON NEW FOUNDATION.
17. NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS)
18. NEW FIBER MODIFIED ASPHALT CRACK SEAL.
19. EXISTING CONCRETE PAVEMENT TO REMAIN.
20. EXISTING SIGN TO REMAIN.
21. NEW DEPRESSED CURB ADJACENT TO CURB RAMP ACCESSIBLE TO THE DISABLED.
22. EXISTING HANDHOLE TO REMAIN.
23. EXISTING FIRE HYDRANT TO REMAIN.
24. NEW ADA ACCESSIBLE RAMP.
25. NEW 2" WIDE DETECTABLE WARNING PLATE.
26. NEW DEPRESSED CURB AND GUTTER.
27. NEW 8" CONCRETE BARRIER MEDIAN.
28. NEW ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL.
29. NEW ADA ACCESSIBLE PARKING SIGN AND POST.
30. NEW 5" CONCRETE SIDEWALK.
31. NEW R5-2 "NO TRUCKS" SIGN.
32. NEW ADA ACCESSIBLE RAMP AND RAILING. (SEE ARCHITECTURAL PLANS FOR DETAILS)
33. NEW CONCRETE ALLEY CURB.
34. NEW HEAVY DUTY HANDHOLE PER IDOT STANDARD 814001-03.
35. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPING.
36. NEW CONCRETE RAMP TO UNDERGROUND PARKING. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
37. NEW DECORATIVE WALL/FENCE. (SEE ARCHITECTURAL PLANS FOR DETAILS)
38. NEW BENCH. (SEE ARCHITECTURAL PLANS FOR DETAILS)
39. NEW BUILDING OVERHANGS. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
40. BULL NOSE CURB AT THIS POINT.
41. NEW R1-1 "STOP" SIGN.
42. NEW MAIN ID SIGN. (SEE ARCHITECTURAL PLANS FOR DETAILS).
43. NEW DUMPSTER/TRASH COMPACTOR.
44. NEW SPLIT RAIL FENCE.
45. NEW R8-3A "NO PARKING" SIGN.
46. NEW W14-1 "DEAD END" SIGN.
47. NEW FULL DEPTH EUCLID AVENUE ROADWAY ASPHALT PAVEMENT.
48. NEW R3-2 "NO LEFT TURN" SIGN.
49. NEW "ALL DELIVERIES AT REAR OF THE BUILDING VIA WESLEY" SIGN.
50. NEW TRAFFIC DIVERTER ON WESLEY AVENUE TO BE DESIGNED AND INSTALLED BY THE VILLAGE OF OAK PARK AT THE TIME OF CONSTRUCTION.
51. NEW FULL DEPTH WESLEY AVENUE ROADWAY ASPHALT PAVEMENT.
52. NEW 8" ALLEY CONCRETE PAVEMENT.
53. NEW 9" ALLEY CONCRETE APRON PAVEMENT.
54. NEW STOP TILE. TILE TO BE PROVIDED BY THE VILLAGE OF OAK PARK AT THE TIME OF CONSTRUCTION.
55. NEW B6.12 CONCRETE CURB AND GUTTER TO BE INSTALLED BY THE VILLAGE OF OAK PARK UNDER SEPARATE CONTRACT.
56. NEW RETAINING WALL. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
57. NEW TRANSFORMER PAD.
58. NEW CART CORRAL. (SEE ARCHITECTURAL PLANS FOR DETAILS)
59. NEW BIKE RACK. (SEE ARCHITECTURAL PLANS FOR DETAILS)
60. NEW WOODEN BOARD ON BOARD FENCE.

SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 10-3-14, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- J. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

NOTE: MADISON STREET PARKWAY IMPROVEMENTS TO BE PROVIDED PRIOR TO FOR PERMIT SUBMITTAL LAYOUT SHOWN PER CURRENT PLANS PROVIDED BY CHRISTOPHER B. BURKE ENGINEERING, LTD.

NOTE: FUTURE SENIOR LIVING BUILDING

MATCH LINE - SEE SHEET C-3.1 FOR CONTINUATION

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PRELIMINARY ENGINEERING
640 MADISON STREET
OAK PARK, IL 60302

PETE'S FRESH MARKET

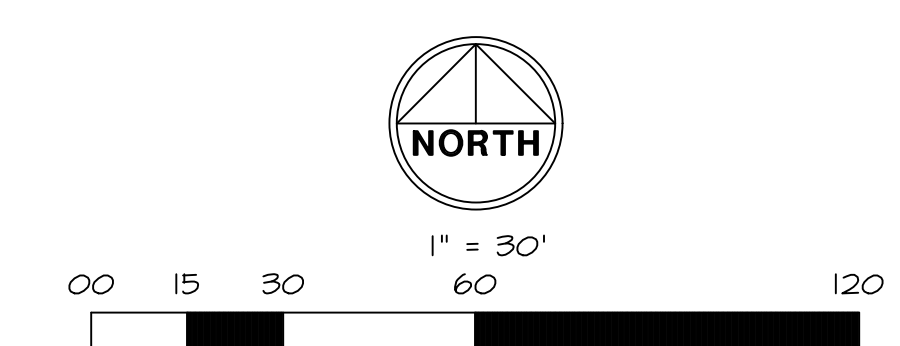
AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

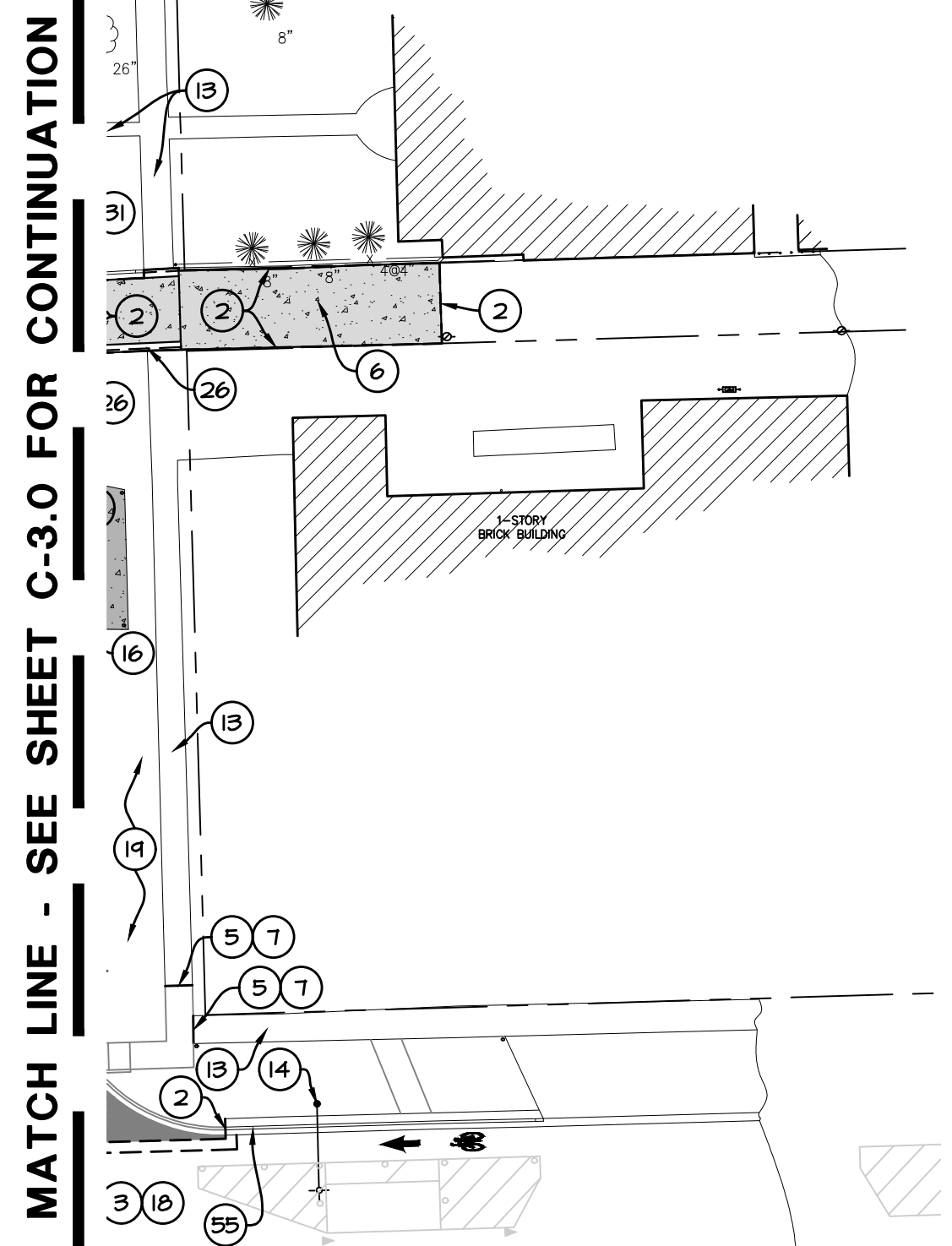
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C-3.0
SITE DEVELOPMENT PLAN





MATCH LINE - SEE SHEET C-3.0 FOR CONTINUATION



PAVEMENT SECTIONS

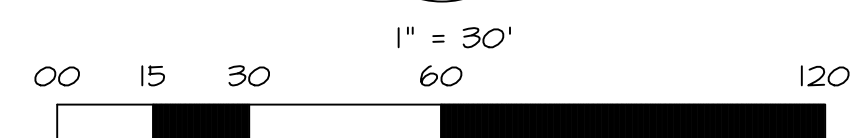
- NEW 5" CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
2" CA-6
- NEW 8" CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT
1-3/4" HMA SURFACE COURSE
2-1/4" HMA BINDER COURSE
10" CA-6
- NEW FULL DEPTH EUCLID AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
12" CA-6
INSTALL TRIAX TX160 GEOGRID PER
MANUFACTURER REQUIREMENTS
- NEW FULL DEPTH WESLEY AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
8" PORTLAND CEMENT CONCRETE
8" CA-6
- NEW 8" ALLEY CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE COURSE, TYPE B
- NEW FULL DEPTH MADISON STREET/OAK
PARK AVE ROADWAY ASPHALT PAVEMENT
2-1/2" HMA SURFACE COURSE
2-1/2" HMA BINDER COURSE
12" CA-6

PROJECT NOTES:

1. EXISTING BUILDING TO REMAIN.
2. NEW FULL DEPTH SAMCUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW 2" WIDE BUTT JOINT.
4. NEW FULL DEPTH ASPHALT PAVEMENT.
5. NEW FULL DEPTH SAMCUT OF EXISTING SIDEWALK TO PROVIDE CLEAN CONSTRUCTION BREAK. APPROXIMATE LOCATION SHOWN, PERFORM SAMCUT AT NEAREST JOINT.
6. NEW FULL DEPTH MADISON STREET/OAK PARK AVE ROADWAY ASPHALT PAVEMENT.
7. DOWEL NEW CONCRETE INTO EXISTING SIDEWALK USING 10" LONG #6 EPOXY COATED REBARS AT 24" O.C. MAXIMUM. PROVIDE 9" EMBEDMENT INTO THE EXISTING CONCRETE AND GROUT IN PLACE.
8. NEW BUILDING WALL. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
9. NEW B6.12 CONCRETE CURB AND GUTTER.
10. NEW 8" CONCRETE PAVEMENT.
11. EXISTING ASPHALT PAVEMENT TO REMAIN.
12. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
13. EXISTING CONCRETE SIDEWALK TO REMAIN.
14. EXISTING STREET LIGHT TO REMAIN.
15. EXISTING STREET LIGHT AND RELATED SIGNS TO BE RELOCATED TO THIS APPROXIMATE LOCATION AND REINSTALLED ON NEW FOUNDATION.
16. EXISTING STREET LIGHT AND SPEED LIMIT SIGN TO BE REINSTALLED ON NEW FOUNDATION.
17. NEW BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS)
18. NEW FIBER MODIFIED ASPHALT CRACK SEAL.
19. EXISTING CONCRETE PAVEMENT TO REMAIN.
20. EXISTING SIGN TO REMAIN.
21. NEW DEPRESSED CURB ADJACENT TO CURB RAMP ACCESSIBLE TO THE DISABLED.
22. EXISTING HANDSILE TO REMAIN.
23. EXISTING FIRE HYDRANT TO REMAIN.
24. NEW ADA ACCESSIBLE RAMP.
25. NEW 2" WIDE DETECTABLE WARNING PLATE.
26. NEW DEPRESSED CURB AND GUTTER.
27. NEW 8" CONCRETE BARRIER MEDIAN.
28. NEW ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL.
29. NEW ADA ACCESSIBLE PARKING SIGN AND POST.
30. NEW 5" CONCRETE SIDEWALK.
31. NEW R5-2 "NO TRUCKS" SIGN.
32. NEW ADA ACCESSIBLE RAMP AND RAILING. (SEE ARCHITECTURAL PLANS FOR DETAILS)
33. NEW CONCRETE ALLEY CURB.
34. NEW HEAVY DUTY HANDHOLE PER IDOT STANDARD 814001-03.
35. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPING.
36. NEW CONCRETE RAMP TO UNDERGROUND PARKING. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
37. NEW DECORATIVE WALL/FENCE. (SEE ARCHITECTURAL PLANS FOR DETAILS)
38. NEW BENCH. (SEE ARCHITECTURAL PLANS FOR DETAILS)
39. NEW BUILDING OVERHANGS. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
40. BULL NOSE CURB AT THIS POINT.
41. NEW R1-1 "STOP" SIGN.
42. NEW MAIN ID SIGN. (SEE ARCHITECTURAL PLANS FOR DETAILS).
43. NEW DUMPESTER/TRASH COMPACTOR.
44. NEW SPLIT RAIL FENCE.
45. NEW R2-3A "NO PARKING" SIGN.
46. NEW W4-1 "DEAD END" SIGN.
47. NEW FULL DEPTH EUCLID AVENUE ROADWAY ASPHALT PAVEMENT.
48. NEW R3-2 "NO LEFT TURN" SIGN.
49. NEW "ALL DELIVERIES AT REAR OF THE BUILDING VIA WESLEY" SIGN.
50. NEW TRAFFIC DIVERTER ON WESLEY AVENUE TO BE DESIGNED AND INSTALLED BY THE VILLAGE OF OAK PARK.
51. NEW FULL DEPTH WESLEY AVENUE ROADWAY ASPHALT PAVEMENT.
52. NEW 8" ALLEY CONCRETE PAVEMENT.
53. NEW 9" ALLEY CONCRETE APRON PAVEMENT.
54. NEW STOP TILE. TILE TO BE PROVIDED BY THE VILLAGE OF OAK PARK AT THE TIME OF CONSTRUCTION.
55. NEW B6.12 CONCRETE CURB AND GUTTER TO BE INSTALLED BY THE VILLAGE OF OAK PARK UNDER SEPARATE CONTRACT.
56. NEW RETAINING WALL. (SEE STRUCTURAL ENGINEERING AND ARCHITECTURAL PLANS FOR DETAILS)
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58. NEW CART CORRAL. (SEE ARCHITECTURAL PLANS FOR DETAILS)
59. NEW BIKE RACK. (SEE ARCHITECTURAL PLANS FOR DETAILS)
60. NEW WOODEN BOARD ON BOARD FENCE.

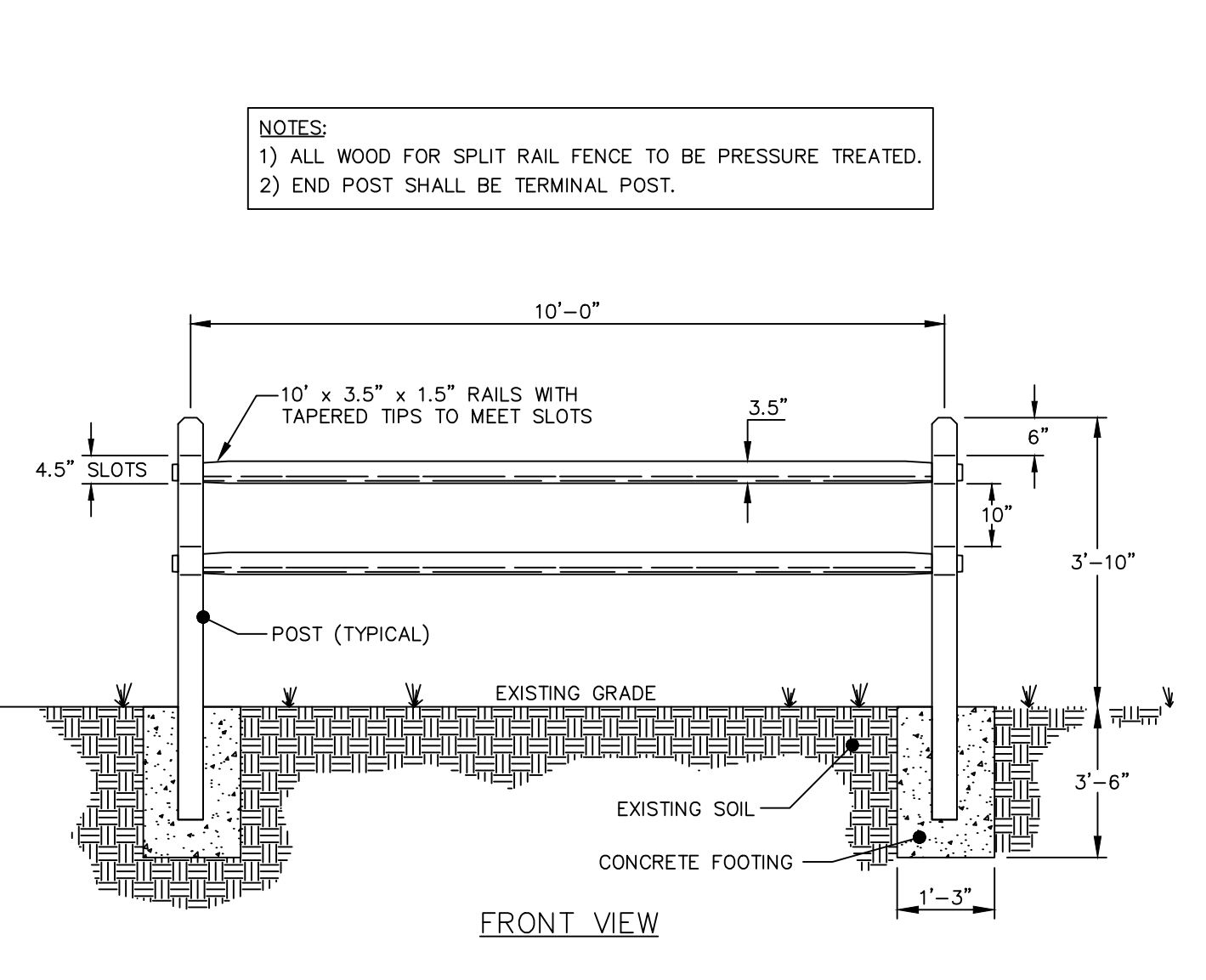
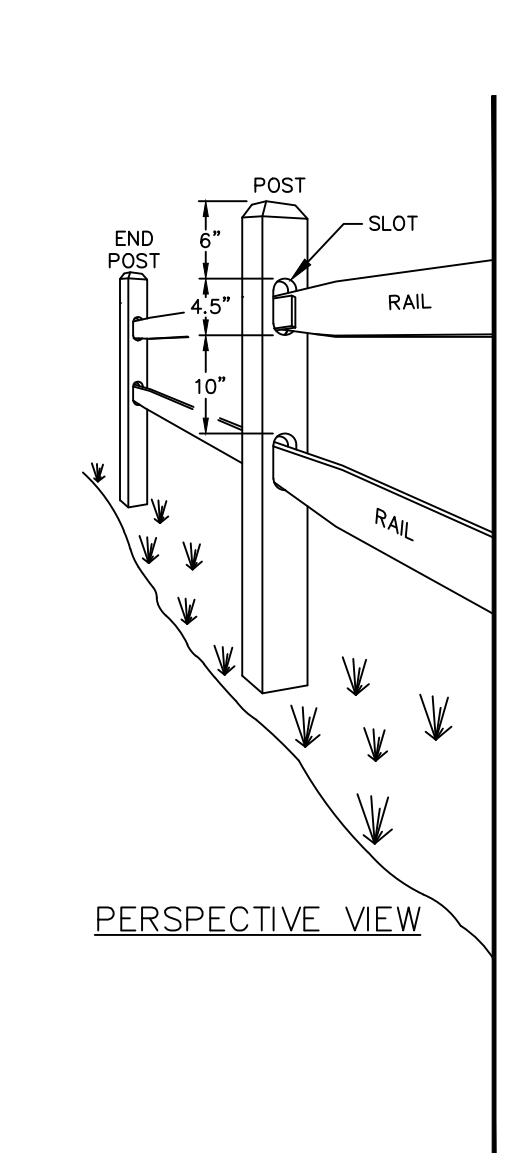
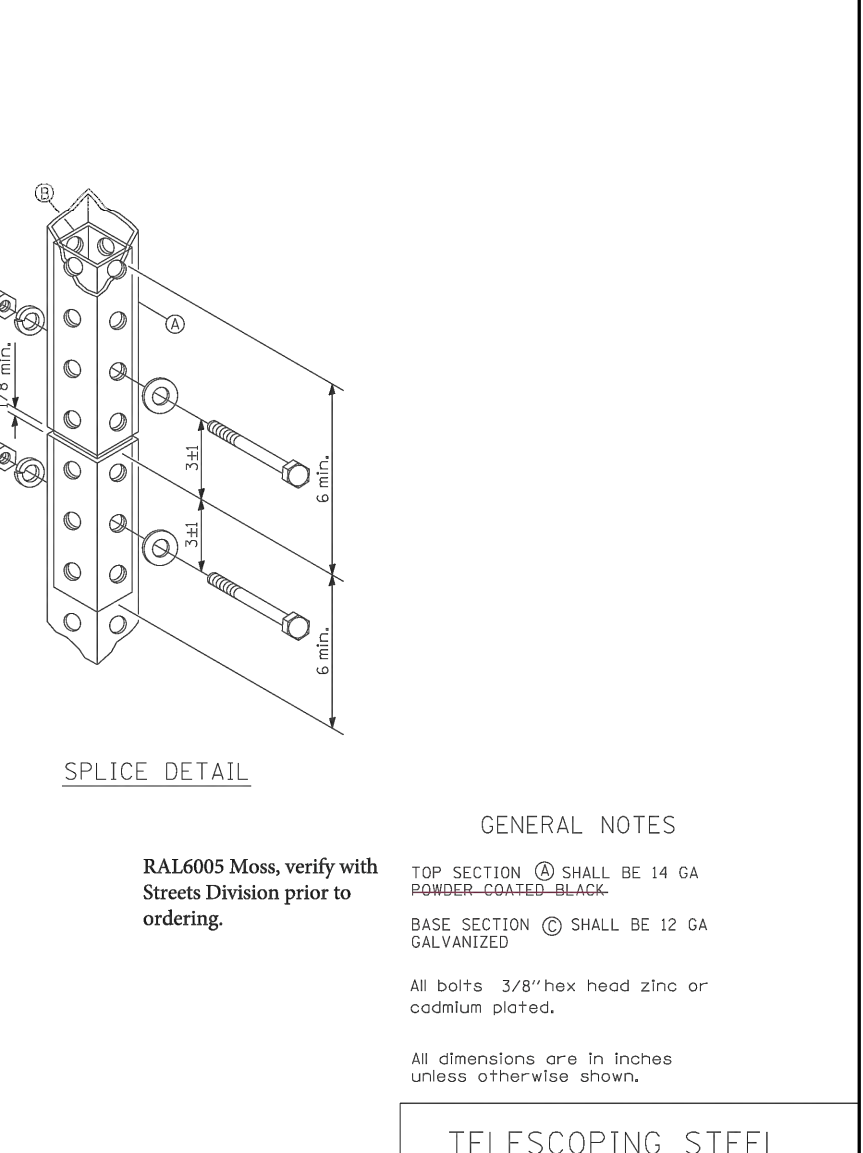
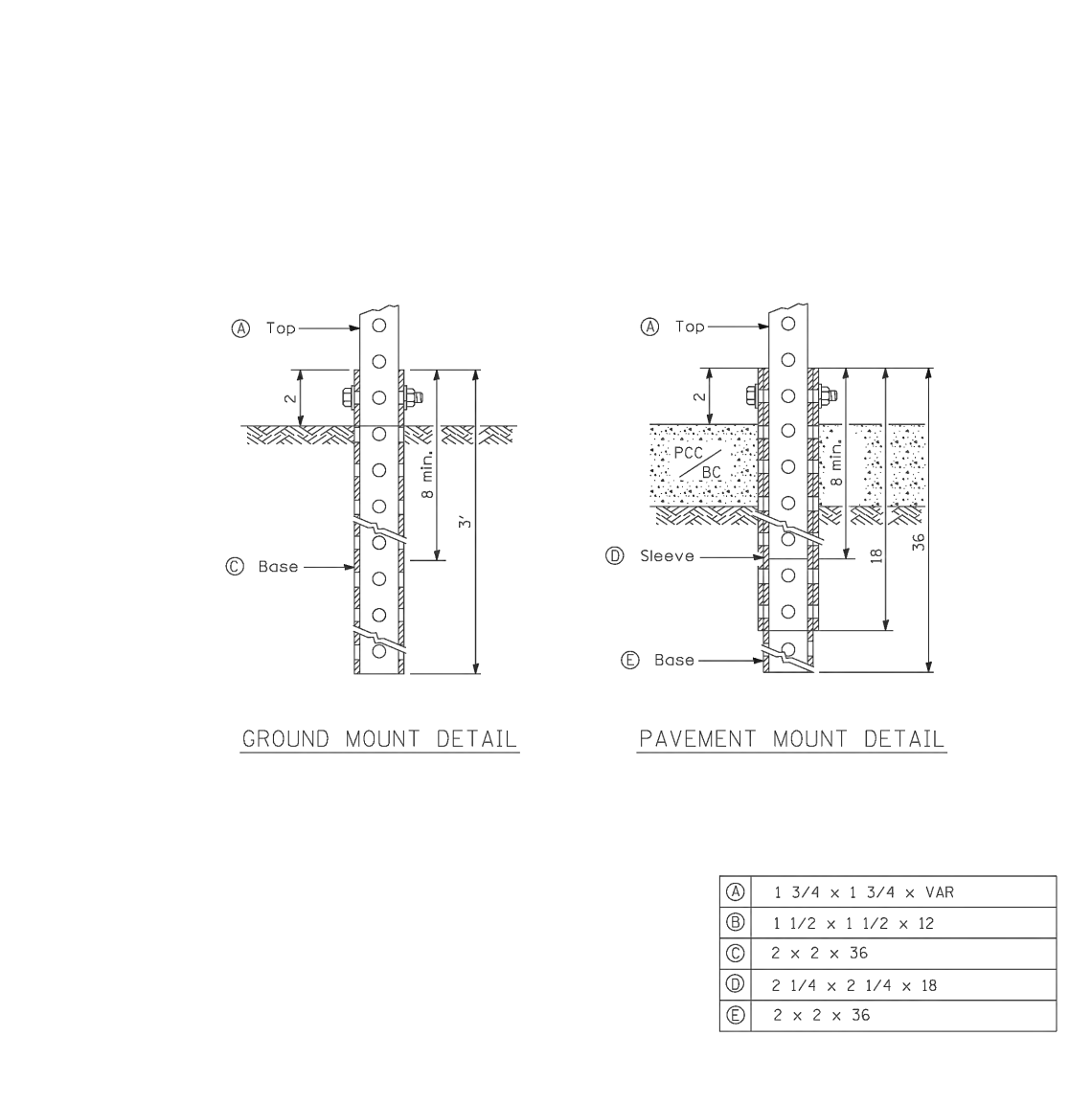
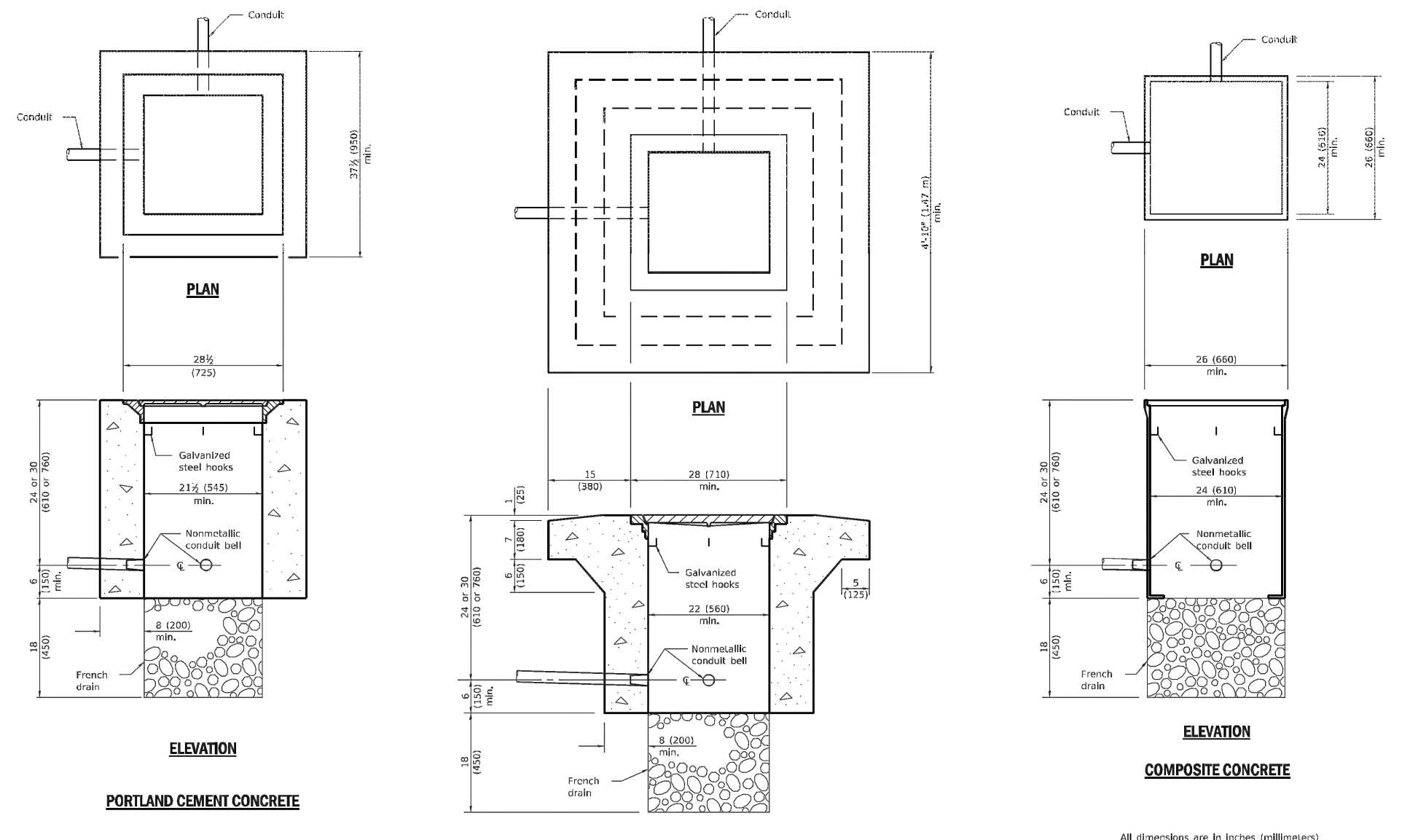
SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 10-3-19, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
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- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
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- K. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- L. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- M. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- N. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.



ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20



Quantities

Concrete per 100 sq yd	Heavy Duty Handhole
Depth	
12"	0.81
18"	1.01
24"	1.19
30"	1.36
36"	1.54

Revisions

DATE	REVISIONS
1-1-22	Corrected dimension on heavy duty handhole, added concrete quantities table.
1-1-23	Updated notes in English (corrected).

Handholes

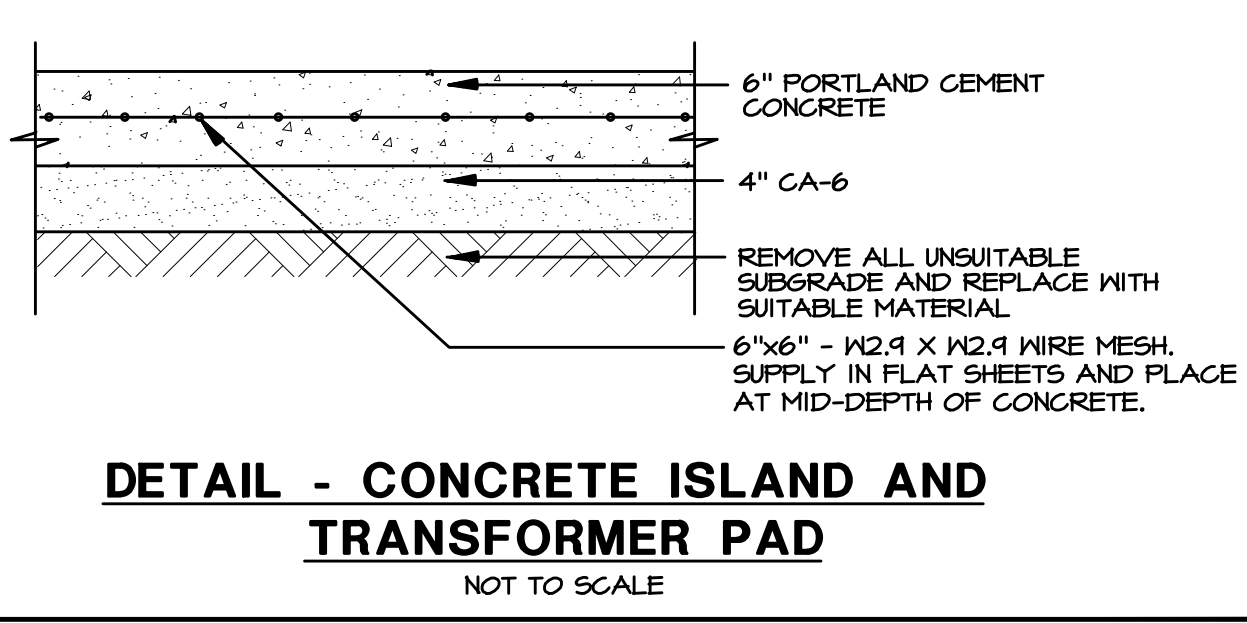
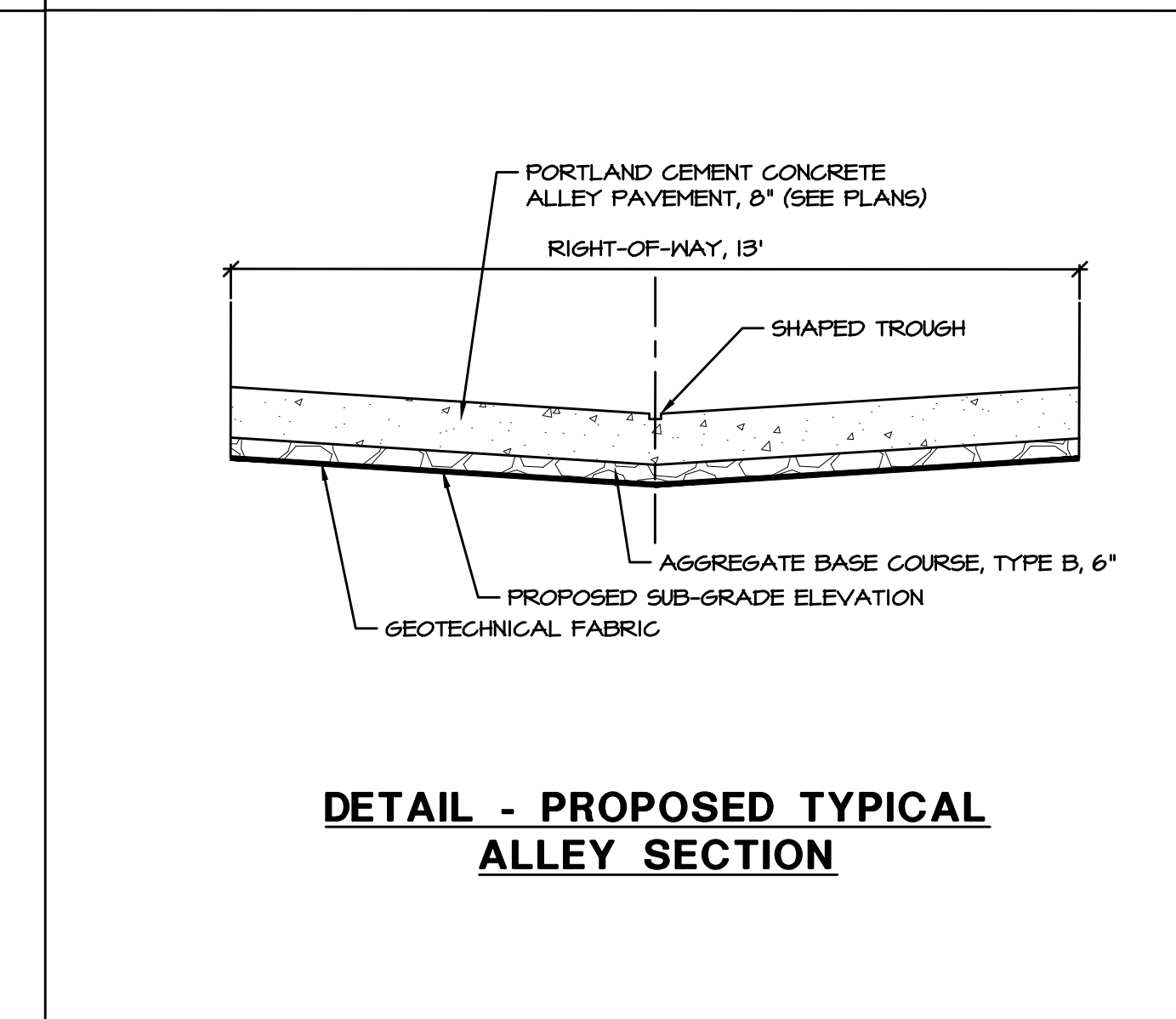
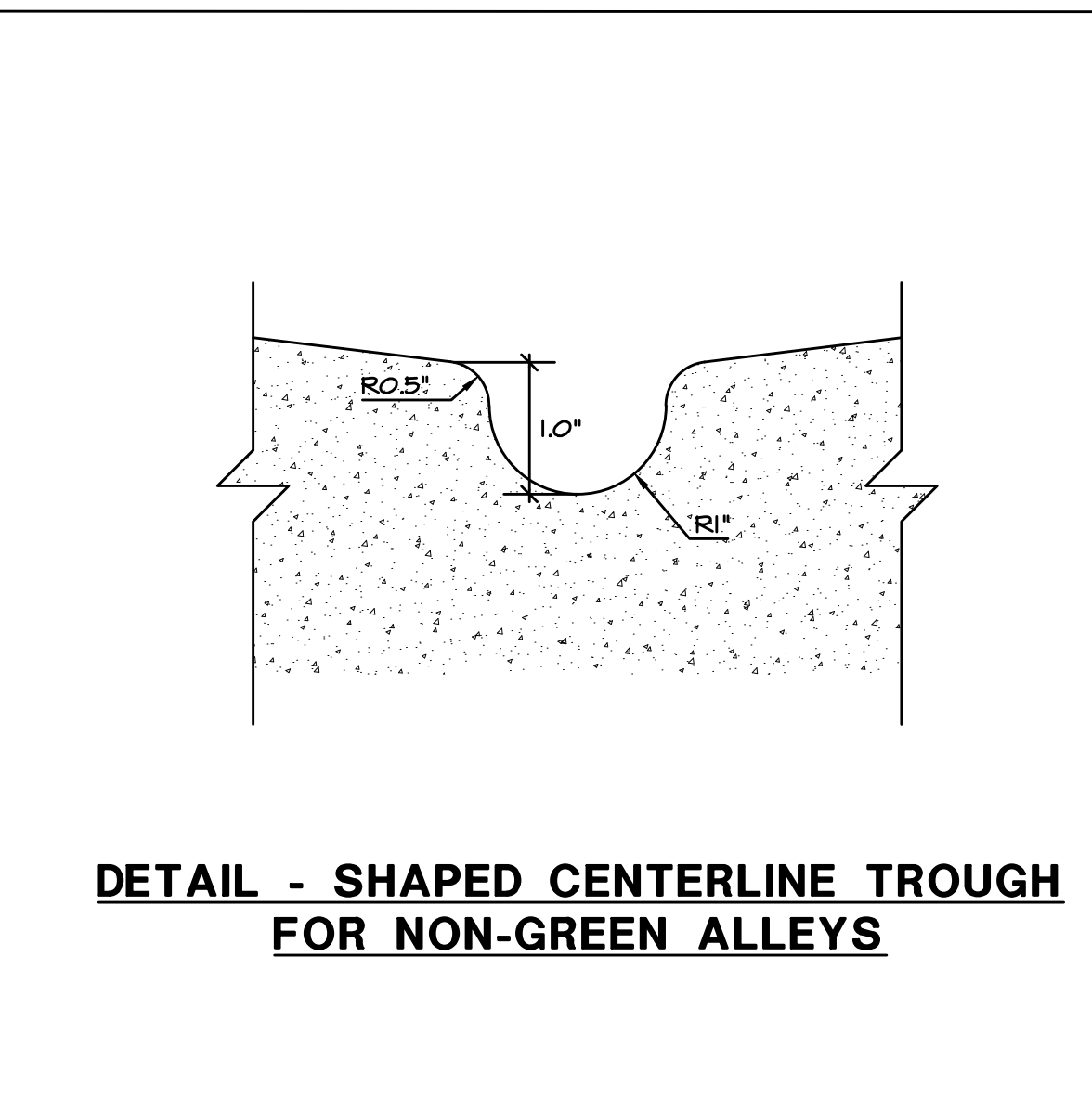
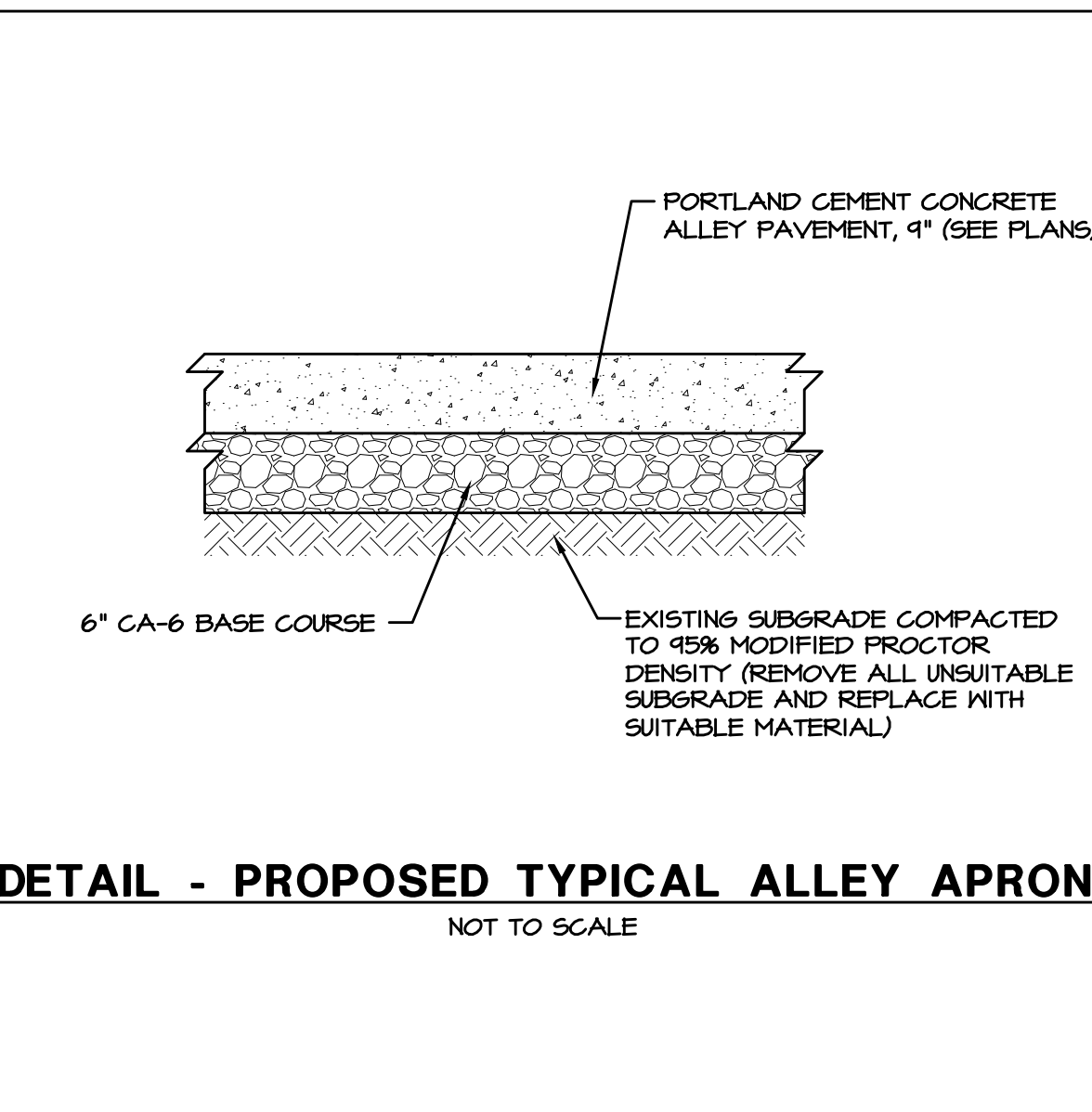
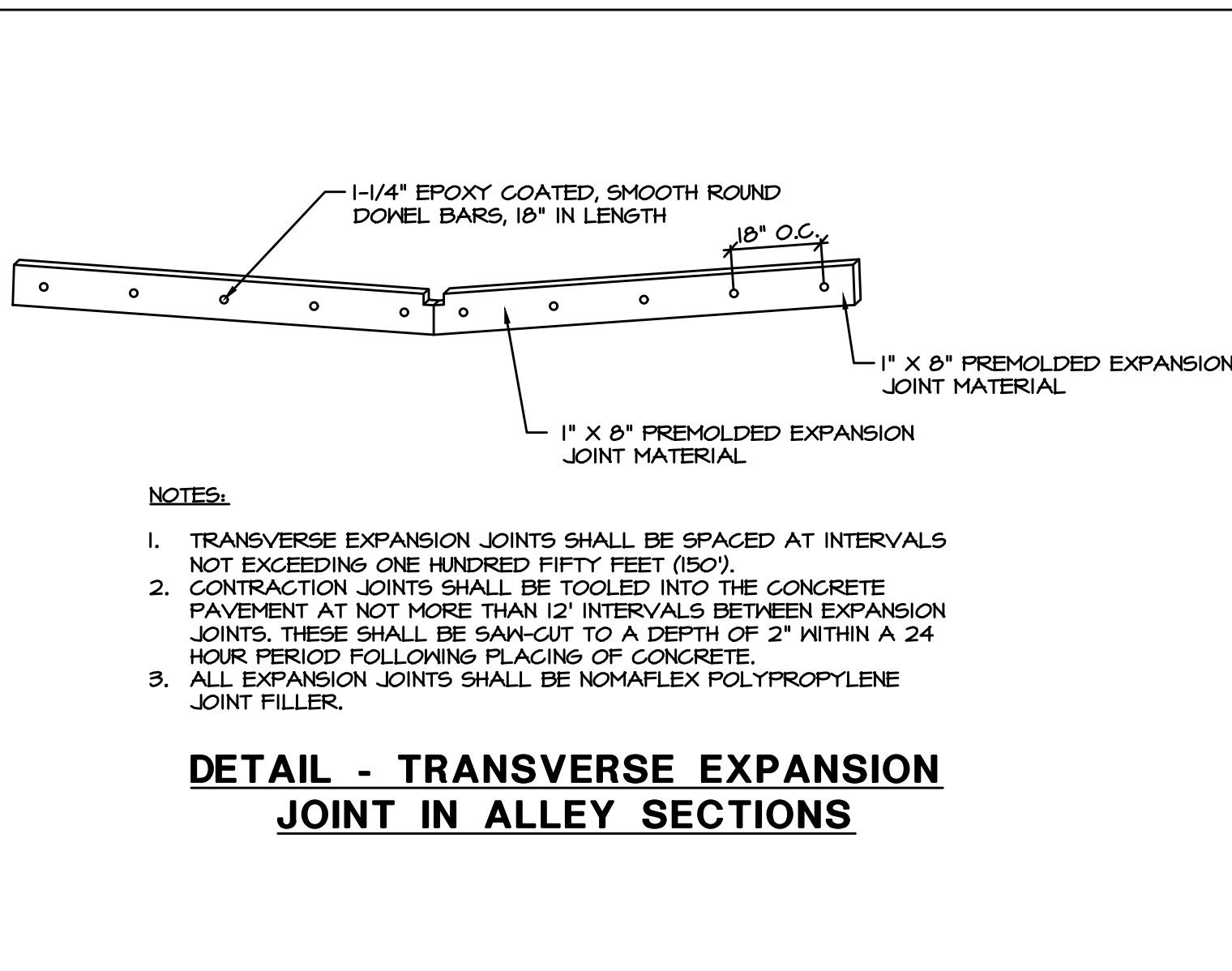
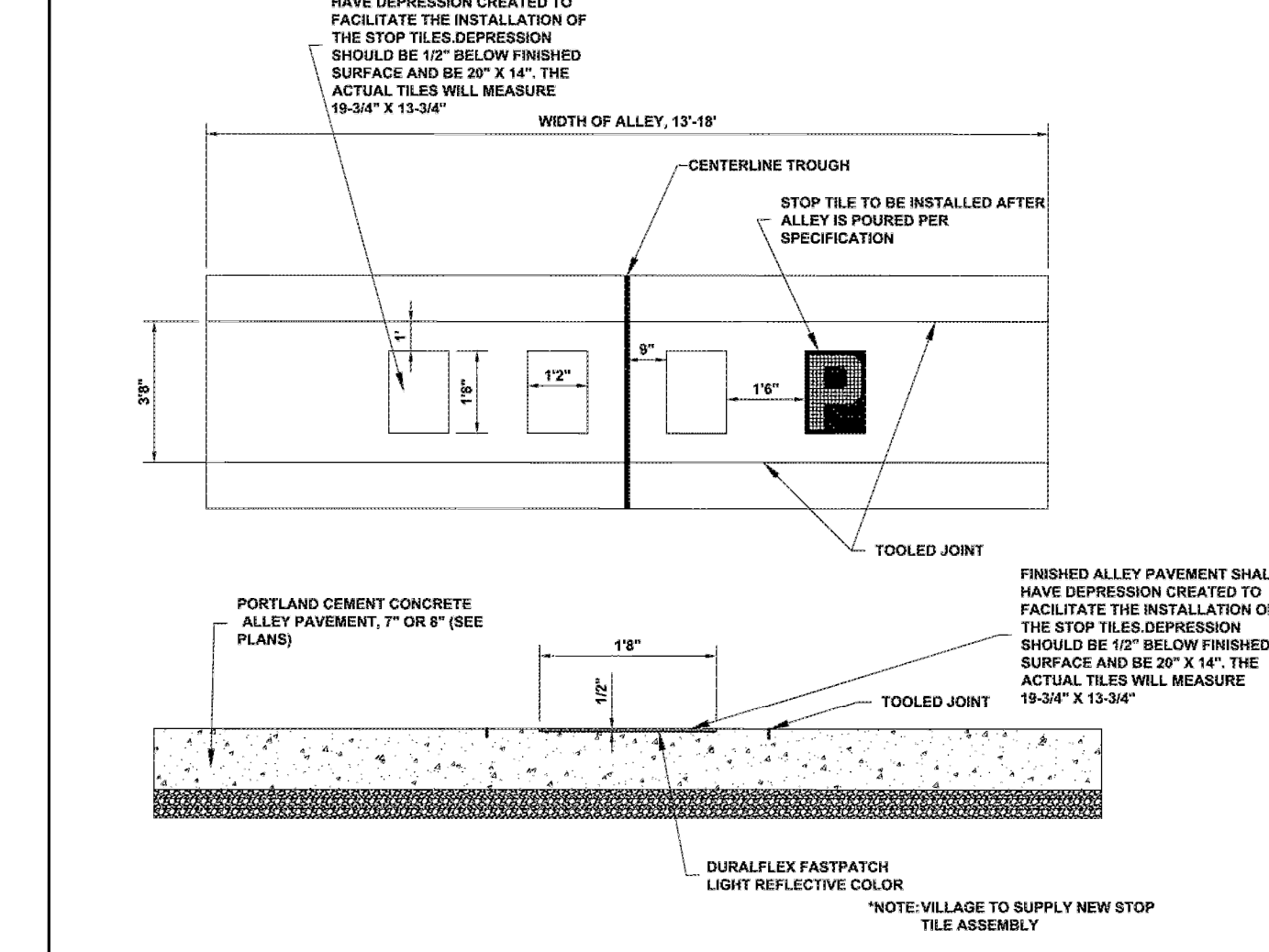
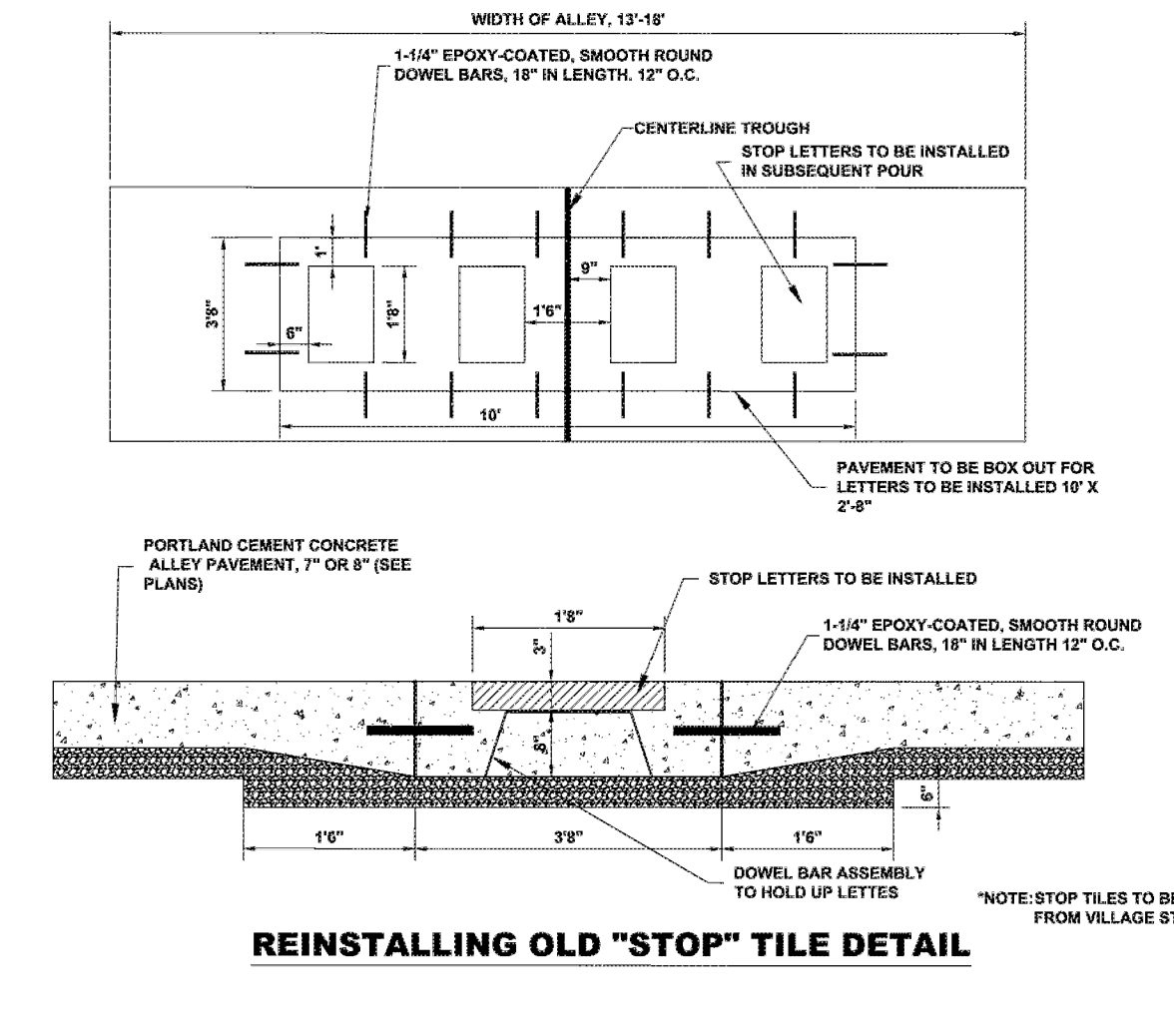
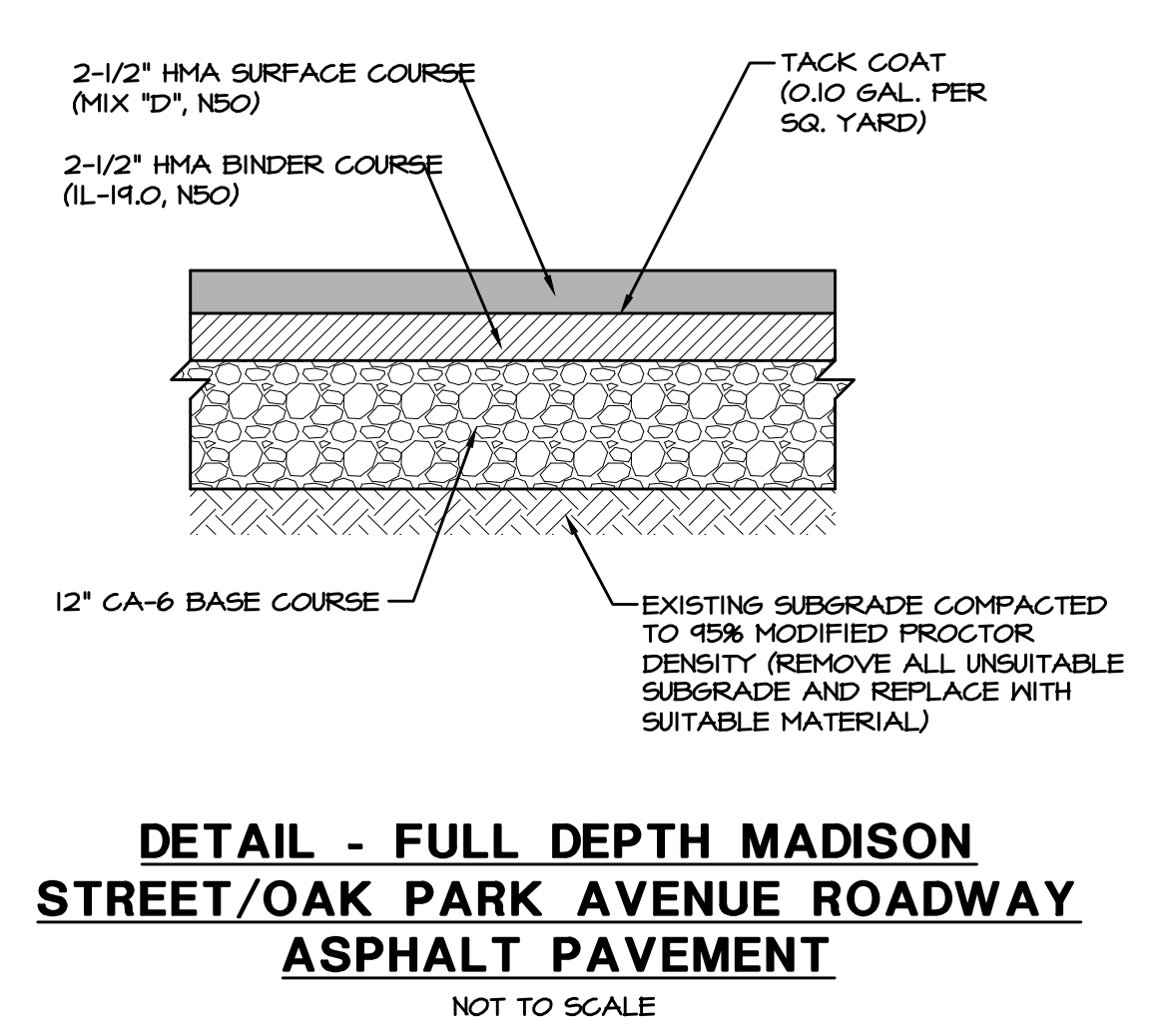
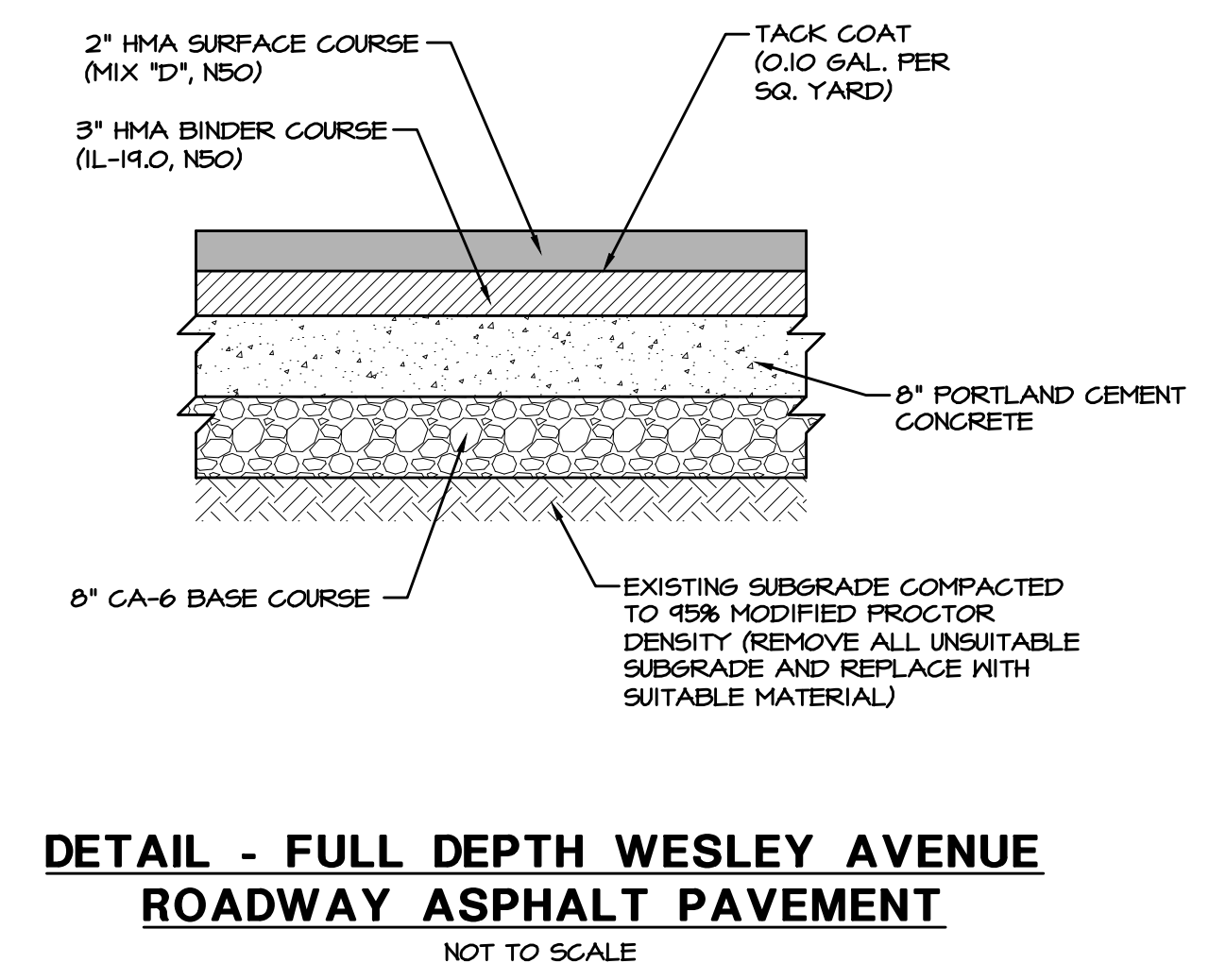
DATE	REVISIONS
1-1-22	Corrected dimension on heavy duty handhole, added concrete quantities table.
1-1-23	Updated notes in English (corrected).

Standard 814001-03

DATE	REVISIONS
1-1-22	Corrected dimension on heavy duty handhole, added concrete quantities table.
1-1-23	Updated notes in English (corrected).

Chicago Avenue Signing Details

SECTION	DATE	BY	CHKD
101-1013-00-05	03/20/22



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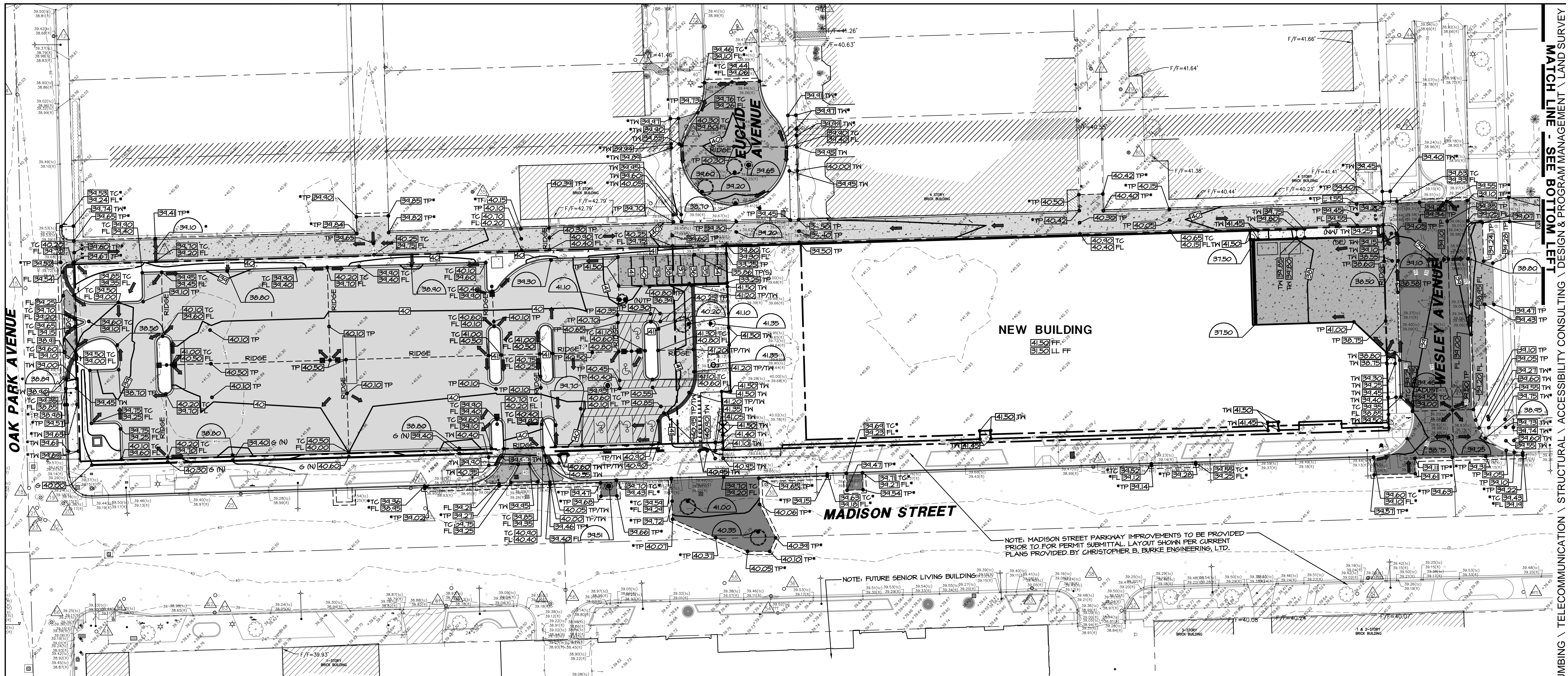
PETE'S FRESH MARKET
PRELIMINARY ENGINEERING
640 MADISON STREET
OAK PARK, IL 60302

ISSUE

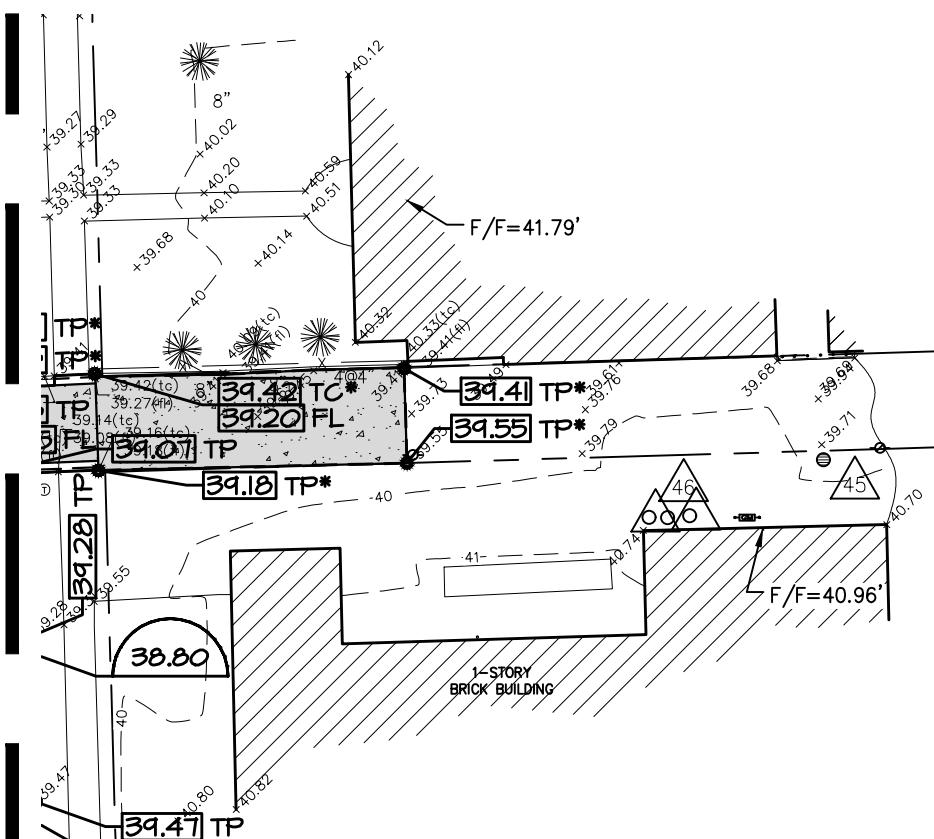
TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

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JOB:1913045H

C-3.3
SITE DEVELOPMENT DETAILS



MATCH LINE - SEE ABOVE FOR CONTINUATION



PAVEMENT SECTIONS

- NEW 5" CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
2" CA-6
- NEW 8" CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" CA-6
- NEW ASPHALT PAVEMENT
1-3/4" HMA SURFACE COURSE
2-1/4" HMA BINDER COURSE
0" CA-6
- NEW FULL DEPTH EUCLID AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
12" CA-6
INSTALL TRIAX TX160 GEOGRID PER
MANUFACTURER'S REQUIREMENTS
- NEW FULL DEPTH WESLEY AVENUE
ROADWAY ASPHALT PAVEMENT
2" HMA SURFACE COURSE
3" HMA BINDER COURSE
8" PORTLAND CEMENT CONCRETE
8" CA-6
- NEW 8" ALLEY CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
6" AGGREGATE BASE COURSE, TYPE B
- NEW FULL DEPTH MADISON STREET/OAK
PARK AVE ROADWAY ASPHALT PAVEMENT
2-1/2" HMA SURFACE COURSE
2-1/2" HMA BINDER COURSE
12" CA-6

EXISTING UTILITY LEGEND

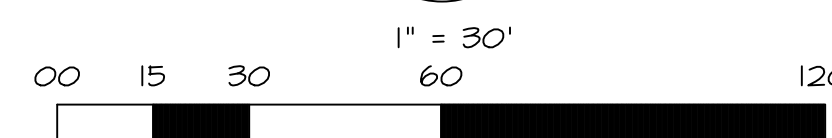
- RM-38.74(SANTARY)
40" CONCRETE STRUCTURE
NN-33.97(1" CLAY W)
NN-34.17(1" CLAY W)
- RM-38.75(SANTARY)
40" CONCRETE STRUCTURE
NN-33.97(1" CLAY W)
NN-34.17(1" CLAY W)
- RM-38.76(SANTARY)
40" CONCRETE STRUCTURE
NN-33.97(1" CLAY W)
NN-34.17(1" CLAY W)
- RM-38.77(SANTARY)
40" CONCRETE STRUCTURE
NN-33.97(1" CLAY W)
NN-34.17(1" CLAY W)
- RM-38.78(SANTARY)
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- RM-38.82(SANTARY)
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NN-34.17(1" CLAY W)
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40" CONCRETE STRUCTURE
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40" CONCRETE STRUCTURE
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NN-34.17(1" CLAY W)
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40" CONCRETE STRUCTURE
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NN-34.17(1" CLAY W)
- RM-38.86(SANTARY)
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NN-34.17(1" CLAY W)
- RM-38.87(SANTARY)
40" CONCRETE STRUCTURE
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- RM-38.91(SANTARY)
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NN-34.17(1" CLAY W)
- RM-38.92(SANTARY)
40" CONCRETE STRUCTURE
NN-33.97(1" CLAY W)
NN-34.17(1" CLAY W)
- RM-38.93(SANTARY)
40" CONCRETE STRUCTURE
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GRADING LEGEND

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- MATCH EXISTING ELEVATION
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- TP TOP OF PAVEMENT ELEVATION
- TN TOP OF SIDEWALK ELEVATION
- G FINISHED GRADE ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB ELEVATION
- FL FLOW LINE ELEVATION
- ADJUST ADJUST EXISTING RIM ELEVATION
- (N.I.F.) VERIFY IN FIELD PRIOR TO CONSTRUCTION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE WITH VAULT
- PROPOSED B-BOX
- PROPOSED NYLOPLAST DRAIN
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE

SITE GRADING NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 10-3-14, PREPARED BY WIT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
- C. CONTRACTOR SHALL CONTACT JULLIE, (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUEST DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LINES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LRC-662 AND/OR LRC-663 FORMS AS PART OF THEIR CONTRACT.
- P. PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL SUBSURFACE INVESTIGATION REVISED REPORT DATED JANUARY 11, 2020 PREPARED BY ENVIRONMENTAL PROTECTION INDUSTRIES.
- Q. ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED, REFER TO THE GEOTECHNICAL SUBSURFACE INVESTIGATION REVISED REPORT DATED JANUARY 17, 2020 PREPARED BY ENVIRONMENTAL PROTECTION INDUSTRIES FOR EXISTING TOPSOIL DEPTHS.



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WT Group
Engineering • Design • Consulting

PRELIMINARY ENGINEERING
640 MADISON STREET
OAK PARK, IL 60302
PETE'S FRESH MARKET

ISSUE

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

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SITE GRADING PLAN

STRUCTURAL DESIGN LOADING CRITERIA

LIVE LOADING: AASHTO HS-20 HIGHWAY LOADING

GROUND WATER TABLE: BELOW INVERT OF SYSTEM

SOIL BEARING PRESSURE: 4000 PSF

SOIL DENSITY: 120 PCF

EQUIVALENT UNSATURATED LATERAL ACTIVE EARTH PRESSURE: 35 PSF / FT.

EQUIVALENT SATURATED LATERAL ACTIVE EARTH PRESSURE: 80 PSF/FT. (IF WATER TABLE PRESENT)

APPLICABLE CODES: ASTM C857 ACI-318

BACKFILL TYPE: SEE SHEET 4.0 FOR BACKFILL OPTIONS

STORMTRAP SYSTEM INFORMATION

UNIT HEADROOM: 7'-0" SINGLETRAP

UNIT QUANTITY: 77 TOTAL PIECES

- SITE SPECIFIC DESIGN CRITERIA**
- STORMTRAP UNITS SHALL BE MANUFACTURED AND INSTALLED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER OF RECORD. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/OUTLET PIPE TYPES, SIZES, INVERT ELEVATIONS AND SIZE OF OPENINGS.
 - COVER RANGE: MIN. 1.00' MAX. 1.40' CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
 - ALL DIMENSIONS AND SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE REQUIRED TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.
 - FOR STRUCTURAL CALCULATIONS THE GROUND WATER TABLE IS ASSUMED TO BE BELOW INVERT OF SYSTEM. IF WATER TABLE IS DIFFERENT THAN ASSUMED, CONTACT STORMTRAP.

VCBMP VOLUME CALCULATION

-VCBMP STORAGE PROVIDED = 3,987.28 CUBIC FEET (ELEV 32.60 - ELEV 31.60, 50% IN SYSTEM)

DETENTION VOLUME CALCULATION

-TOTAL WATER STORAGE REQUIRED = 43,560.00 CUBIC FEET

-WATER STORAGE PROVIDED = 47,847.40 CUBIC FEET (ELEV 38.60 - ELEV 32.60, 100% IN SYSTEM)

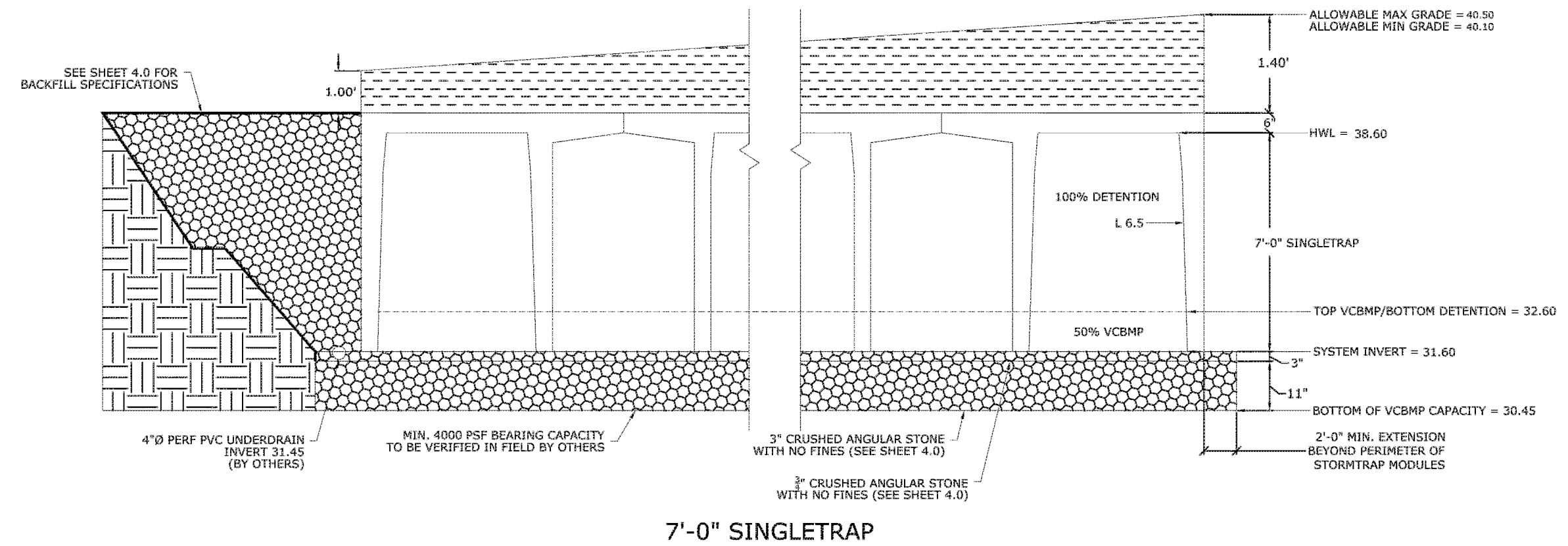
-TOTAL WATER STORAGE PROVIDED = 47,847.40 CUBIC FEET

SEASONAL HIGH WATER TABLE

-SHWT = _____' (ELEVATION)
*TO BE VERIFIED BY OTHERS

-VCBMP BOTTOM TO SHWT = _____' (DISTANCE)

-AMOUNT OF NATIVE SOIL ABOVE SHWT = _____' (DISTANCE)



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ENGINEER INFORMATION:
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2675 PRATUM AVE
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224-293-6333

PROJECT INFORMATION:
PETE'S FRESH MARKET

OAK PARK, IL

CURRENT ISSUE DATE:
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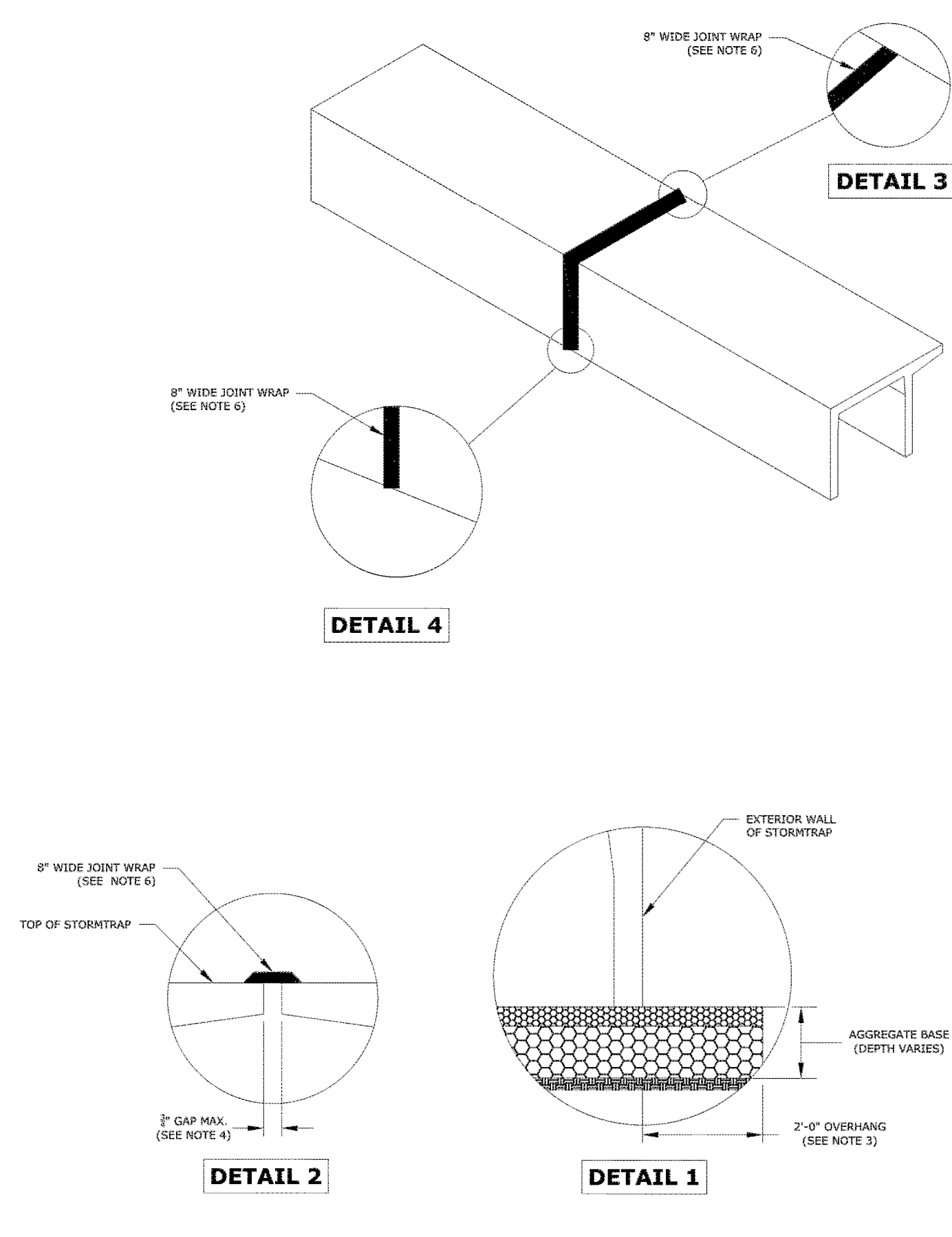
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1	1/29/2020	PRELIMINARY	JPH
1	1/13/2020	PRELIMINARY	JPH

SCALE:
NTS

SHEET TITLE:
SINGLETRAP DESIGN CRITERIA

SHEET NUMBER:
1.0

- STORMTRAP INSTALLATION SPECIFICATIONS**
- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C991 STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRE-CAST CONCRETE UTILITY STRUCTURES. THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS SHALL APPLY:
 - IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO ENSURE THAT PROPER/ADEQUATE EQUIPMENT IS USED TO SET/INSTALL THE MODULES.
 - THE AGGREGATE FOUNDATION HAS BEEN DESIGNED BASED ON THE FOLLOWING ASSUMPTIONS. THESE ASSUMPTIONS WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER WHICH WILL NEED TO BE EMPLOYED BY THE OWNER.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO PROVIDE ASSISTANCE IN EVALUATING THE EXISTING SOIL CONDITIONS BELOW THE PROPOSED ENGINEERED STONE FOUNDATION. IF A STONE FOUNDATION DESIGN IS TO BE USED, THE BEARING PRESSURE OF THE SOILS BELOW THE STONE WILL NEED TO MEET OR EXCEED ALLOWABLE CAPACITY. IF THIS IS NOT POSSIBLE, THE STONE FOUNDATION MAY NOT BE AN OPTION FOR THIS LOCATION.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO EVALUATE A SOURCE OF STONE AGGREGATES THAT WILL BE PLACED ON PROPERLY COMPACTED SOILS (SEE SHEET 1.0 FOR SOIL BEARING CAPACITY REQUIREMENTS). THE AGGREGATE BASE COURSE FOR WHICH THE STORMTRAP SYSTEM WILL BEAR DIRECTLY ON SHALL CONSIST OF A 3" THICK BED OF 3" DIAMETER ANGULAR STONE, WELL COMPACTED AND SEATED, WITH NO FINES, AND A 1 1/2" THICK BED OF 3" DIAMETER STONE AGGREGATE (SEE SHEET 4.0 FOR FURTHER DESCRIPTION/EXPLANATION). PLEASE NOTE THAT THESE ARE ONLY MINIMUM RECOMMENDATIONS AND A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE USED TO DETERMINE THE EXACT REQUIREMENTS FOR THE LOCATIONS THAT THE STORMTRAP SYSTEM IS TO BE LOCATED.
 - THE CONTRACTOR SHALL REMOVE ANY AND ALL EXPANDABLE OR COLLAPSIBLE SOILS AT THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER.
 - THE AGGREGATE FOUNDATION SHALL BE INSTALLED SUCH THAT THE AGGREGATE EXTENDS A MINIMUM OF 2'-0" PAST THE OUTSIDE OF THE SYSTEM (SEE DETAIL 1).
 - THE 3" AGGREGATE SHALL BE COMPACTED USING A VIBRATING ROLLER WITH ITS FULL DYNAMIC FORCE APPLIED TO ACHIEVE A FLAT SURFACE.
 - DISK, DRY AND COMPACT THE TOP 8" OF THE SUBGRADE SOILS TO 95% OF THE STANDARD DRY DENSITY AND 110% OPTIMUM MOISTURE CONTENT.
 - AGGREGATE SHALL BE GRADED WITHIN +/- 1" OF THE GRADE SHOWN ON THE PLANS.
 - MINIMUM SOIL BEARING CAPACITY LISTED ON SHEET 1.0 SHALL BE VERIFIED IN FIELD BY OTHERS.
 - THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 3" (SEE DETAIL 2). IF THE SPACE EXCEEDS 3", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
 - STORMTRAP MODULES ARE NOT WATERTIGHT. IF A WATERTIGHT SOLUTION IS REQUIRED, CONTACT STORMTRAP FOR RECOMMENDATIONS. THE WATERTIGHT APPLICATION IS TO BE PROVIDED AND IMPLEMENTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE SELECTED WATERTIGHT SOLUTION PERFORMS AS SPECIFIED BY THE MANUFACTURER.
 - ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH 8" WIDE PRE-FORMED, COLD-APPLIED, SELF-ADHERING ELASTOMERIC RESIN, BONDED TO A WOVEN, HIGHLY PUNCTURE RESISTANT POLYMER WRAP, CONFORMING TO ASTM C991 AND SHALL BE INTEGRATED WITH PRIMER SEALANT AS APPROVED BY STORMTRAP (SEE DETAILS 3 & 4). THE JOINT WRAP DOES NOT PROVIDE A WATERTIGHT SEAL. THE SOLE PURPOSE OF THE JOINT WRAP IS TO PROVIDE A SILT AND SOIL TIGHT SYSTEM. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE THE JOINT WRAP IS TO BE APPLIED.
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE ADHESIVE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
 - IF THE CONTRACTOR NEEDS TO CANCEL ANY SHIPMENTS, THEY MUST DO SO 48 HOURS PRIOR TO THEIR SCHEDULED ARRIVAL AT THE JOB SITE. IF CANCELED AFTER THAT TIME, PLEASE CONTACT THE PROJECT MANAGER.
 - IF THE STORMTRAP MODULE(S) IS DAMAGED IN ANY WAY PRIOR, DURING, OR AFTER INSTALL, STORMTRAP, MUST BE CONTACTED IMMEDIATELY TO ASSESS THE DAMAGE AND TO DETERMINE WHETHER OR NOT THE MODULE(S) WILL NEED TO BE REPLACED. IF ANY MODULE ARRIVES AT THE JOB SITE DAMAGED DO NOT UNLOAD IT. CONTACT STORMTRAP IMMEDIATELY. ANY DAMAGE NOT REPORTED BEFORE THE TRUCK IS UNLOADED WILL BE THE CONTRACTOR'S RESPONSIBILITY.
 - STORMTRAP MODULES CANNOT BE ALTERED IN ANY WAY AFTER MANUFACTURING WITHOUT WRITTEN CONSENT FROM STORMTRAP.



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PROJECT INFORMATION:
PETE'S FRESH MARKET

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SCALE:
NTS

SHEET TITLE:
SINGLETRAP INSTALLATION SPECIFICATIONS

SHEET NUMBER:
3.0

- STORMTRAP MODULE LIFTING INSTALLATION NOTES**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL (4) CHAINS/CABLES ARE SECURED PROPERLY TO THE LIFTING ANCHORS AND IN EQUAL TENSION WHEN LIFTING THE STORMTRAP MODULE (SEE RECOMMENDATIONS 2 & 3).
 - MINIMUM 7'-0" CHAIN/CABLE LENGTH TO BE USED TO LIFT STORMTRAP MODULES (SUPPLIED BY CONTRACTOR).
 - CONTRACTOR TO ENSURE MINIMUM LIFTING ANGLE IS 60° FROM TOP SURFACE OF STORMTRAP MODULE. SEE DETAIL.
-
- MODULE LIFTING DETAIL**
-
- END PANEL LIFTING DETAIL**

- END PANEL ERECTION/INSTALLATION NOTES**
- END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.
 - PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL LOCATIONS).
 - CONNECTION HOOKS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANEL TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
 - ONCE CONNECTION HOOK IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.
 - JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).
-
- PANEL CONNECTION ELEVATION VIEW**
-
- STEP 1**
-
- STEP 2**
- DETAIL 6**

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SHEET TITLE:
SINGLETRAP INSTALLATION SPECIFICATIONS

SHEET NUMBER:
3.1

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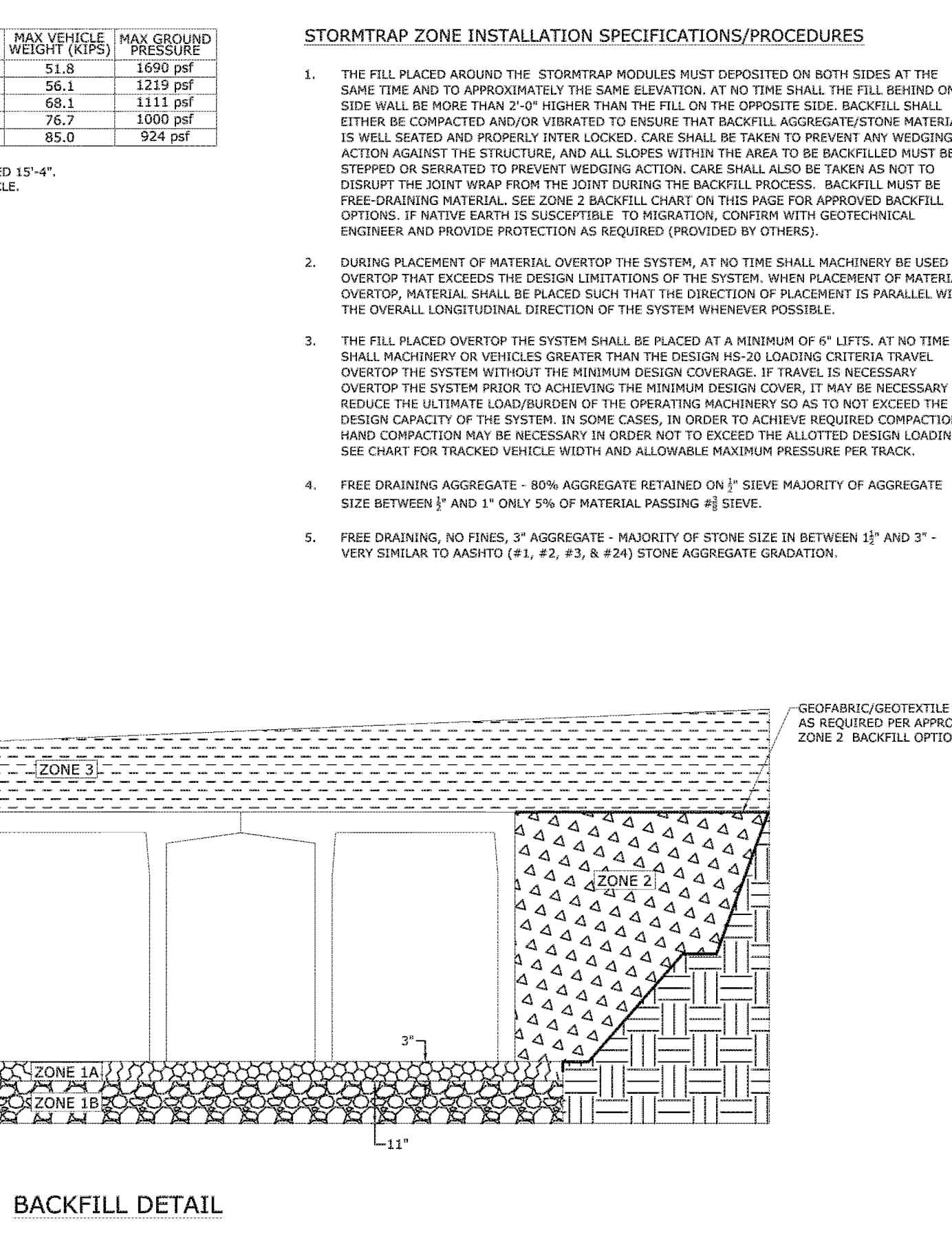
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SHEET TITLE:
SINGLETRAP BACKFILL SPECIFICATIONS

SHEET NUMBER:
4.0



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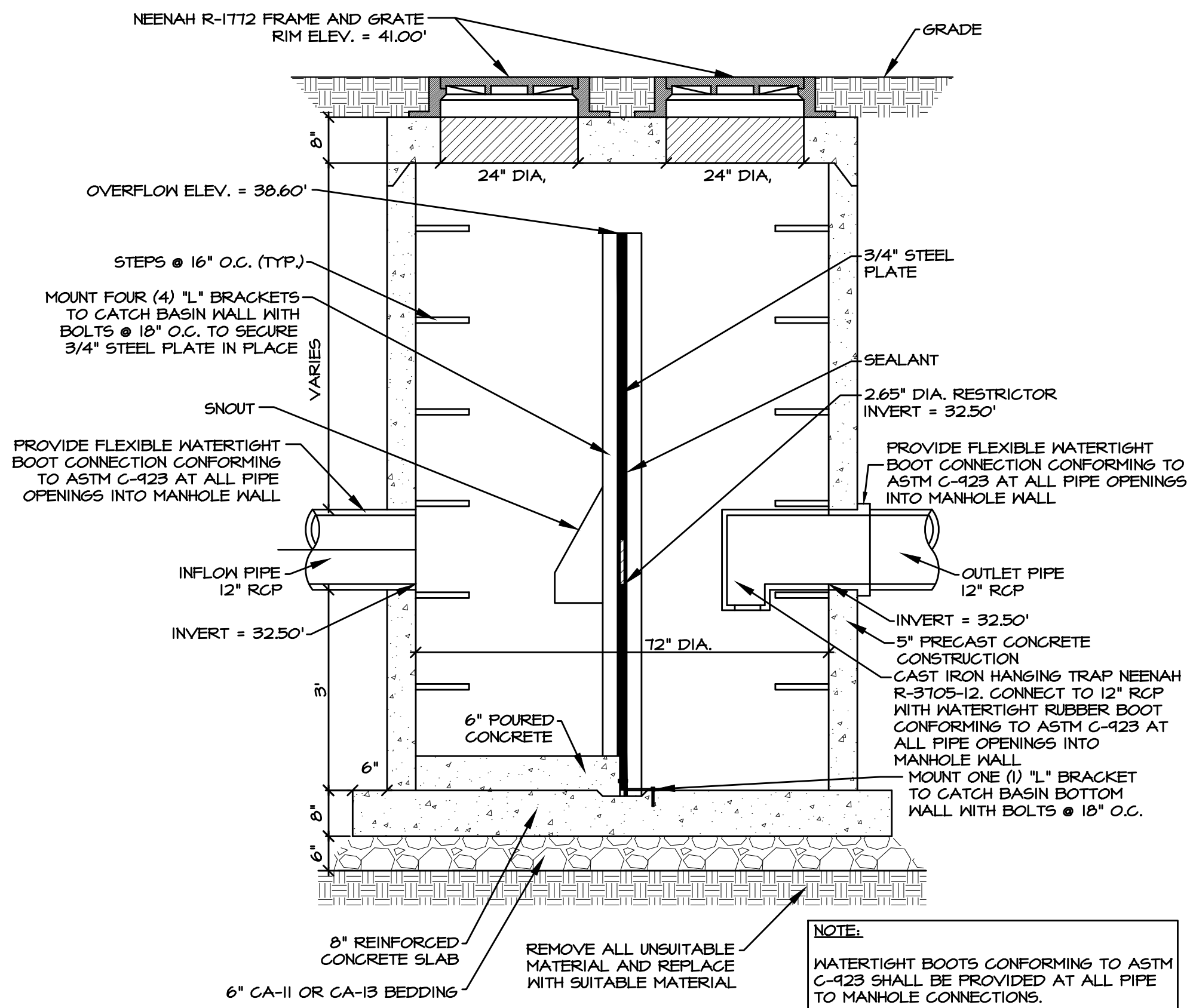
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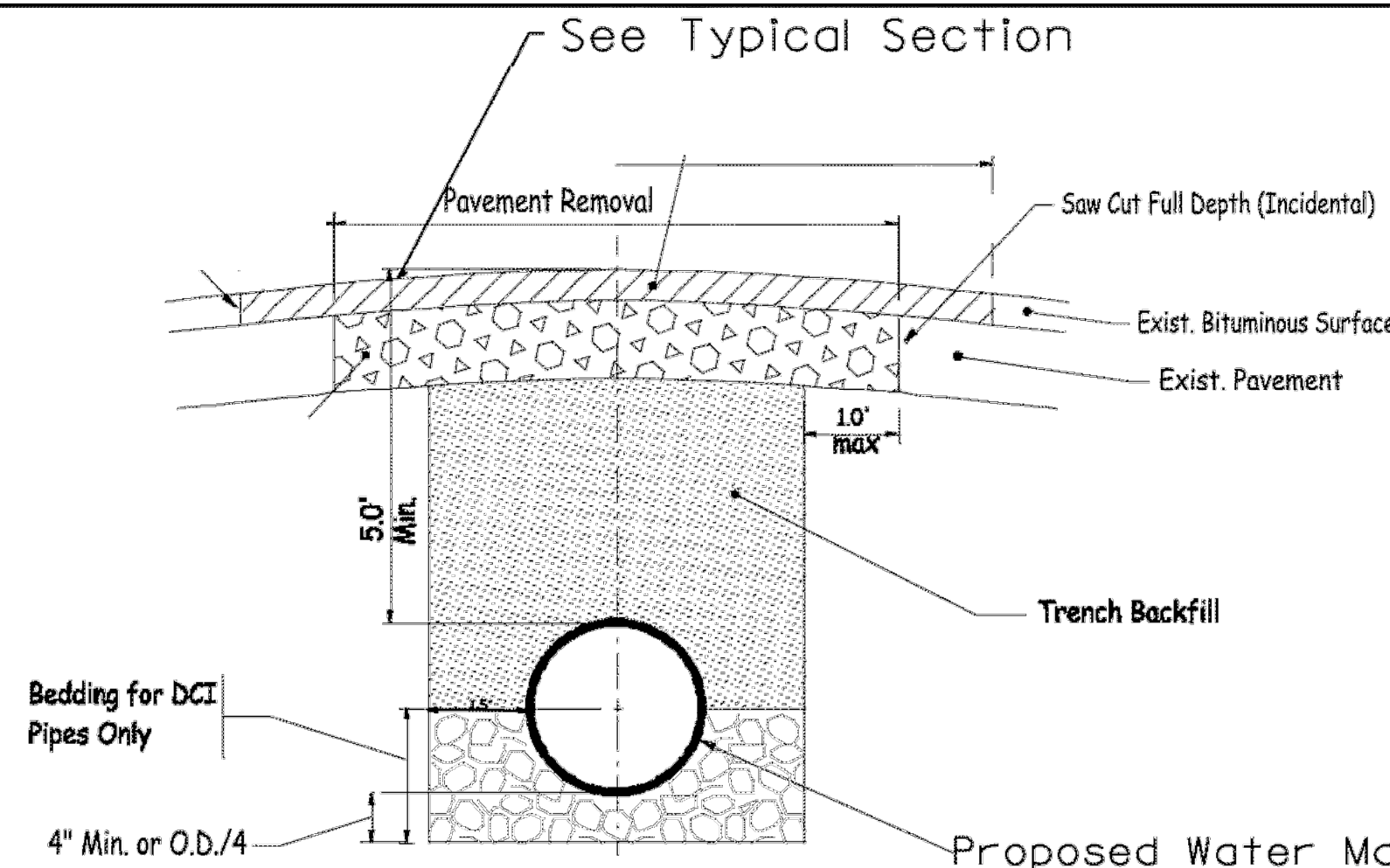
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Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

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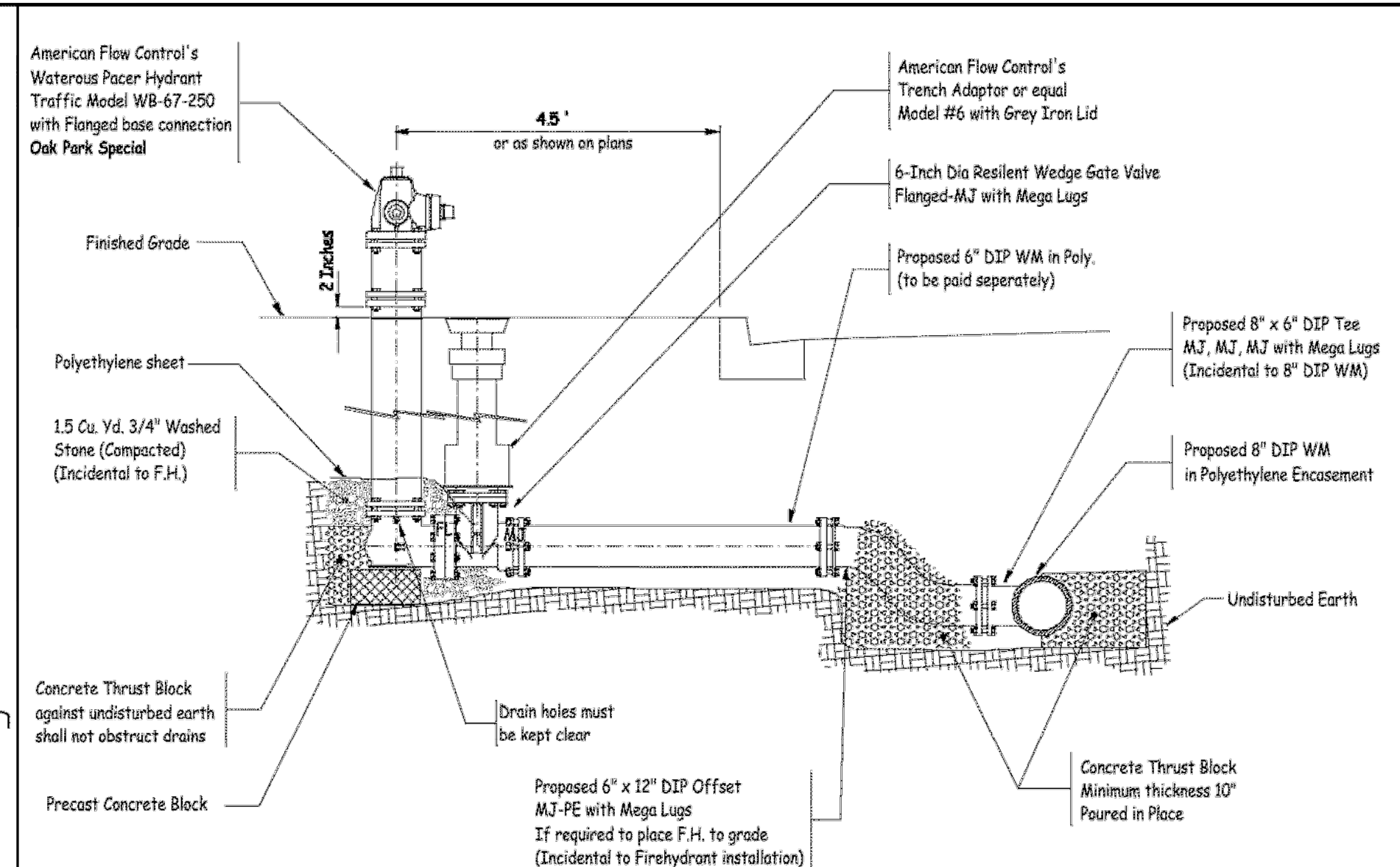
C-5.1
SITE UTILITY DETAILS



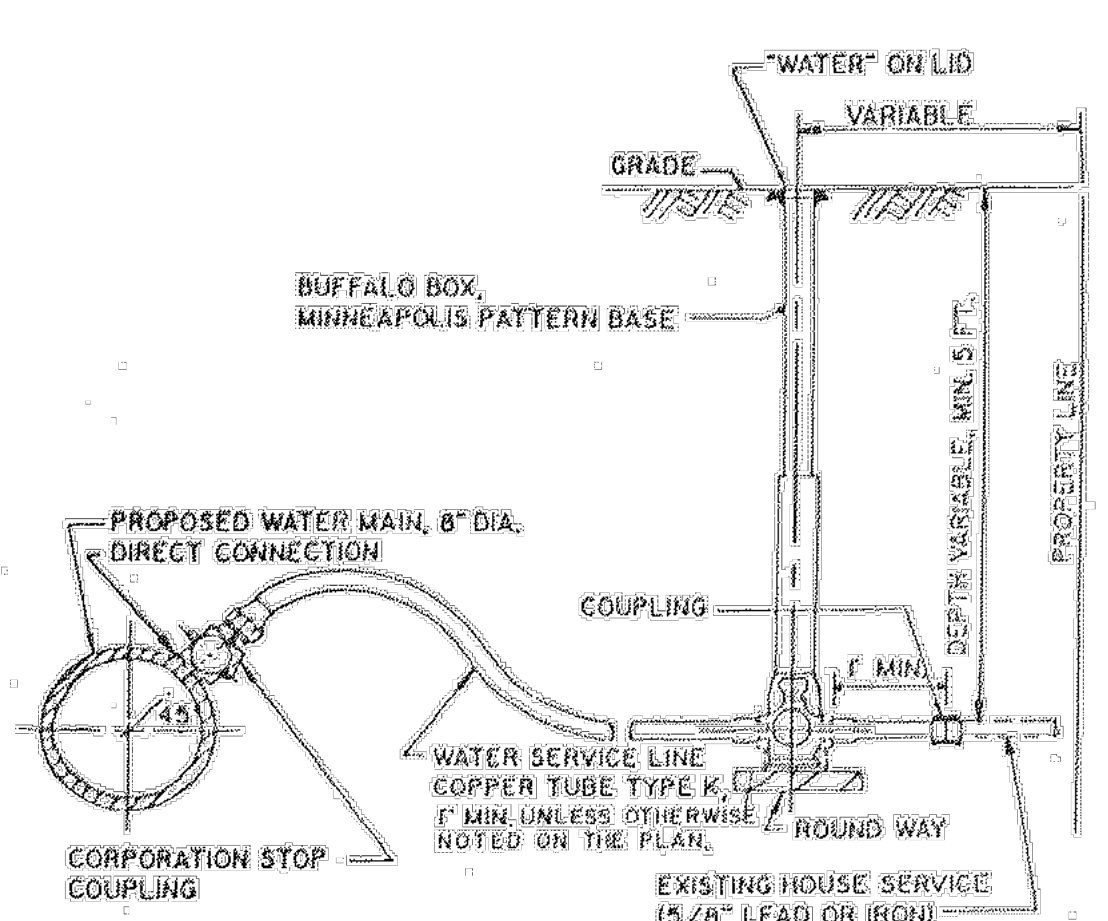
DETAIL - 72" CATCH BASIN WITH RESTRICTOR
NOT TO SCALE



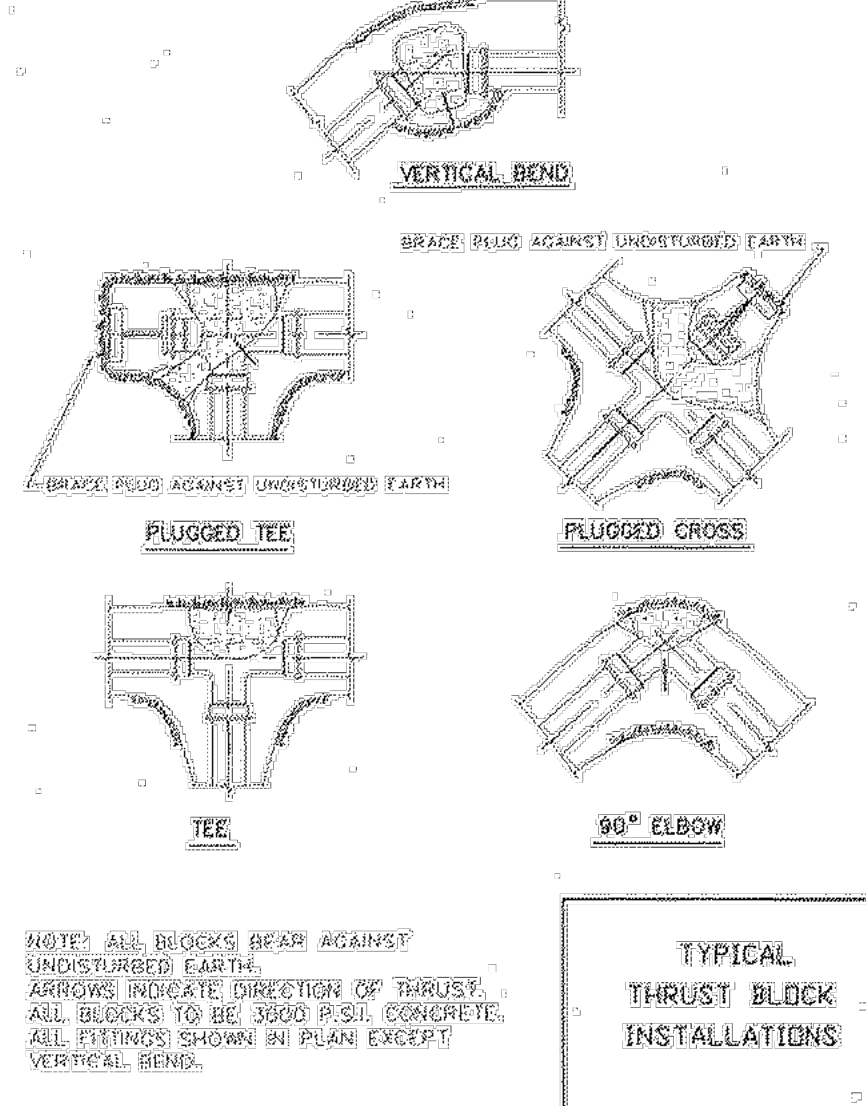
Typical Water Main Trench DETAIL



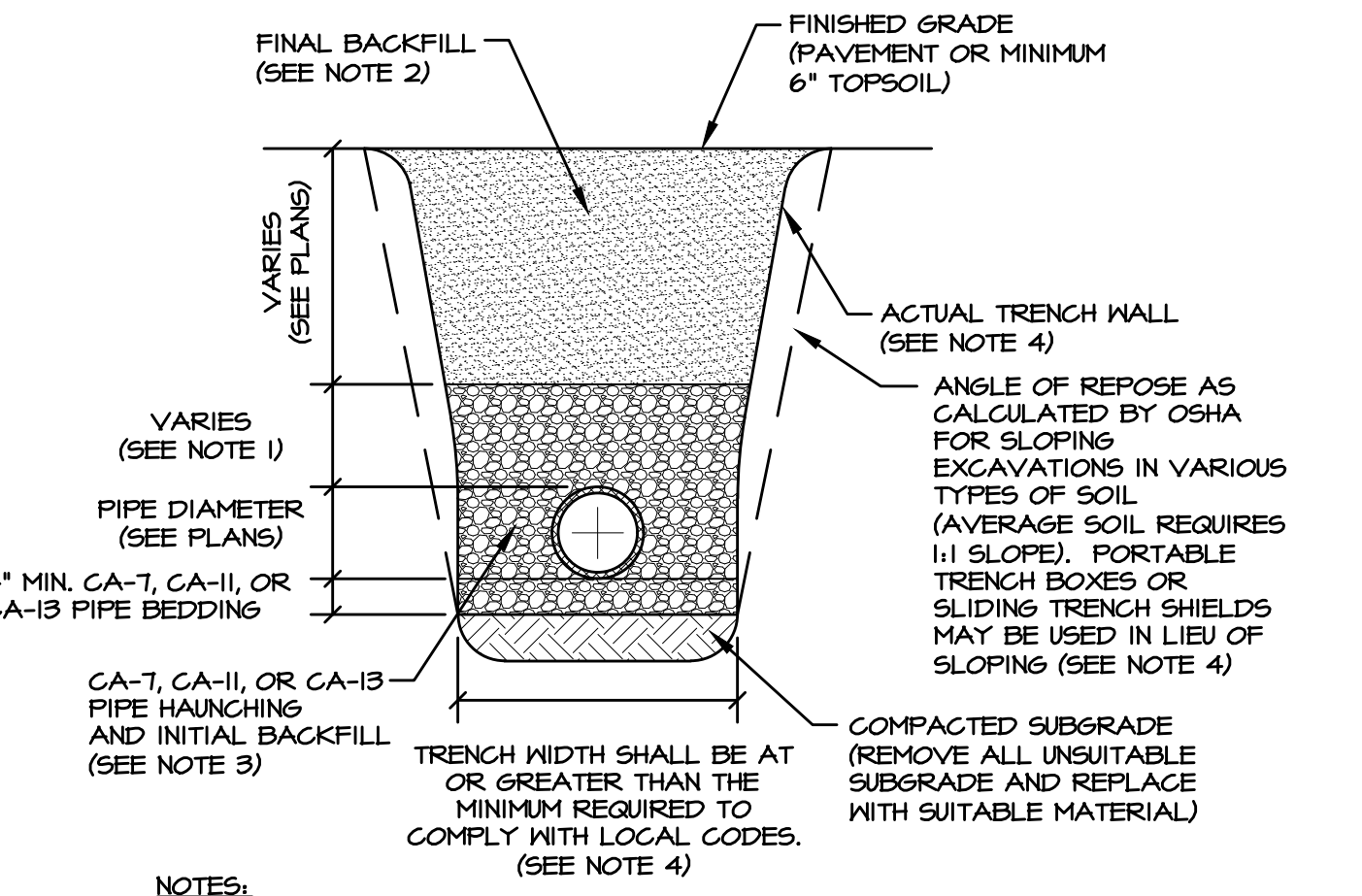
Typical Fire Hydrant with Auxiliary Valve and Valve Box Installation with Offset Detail



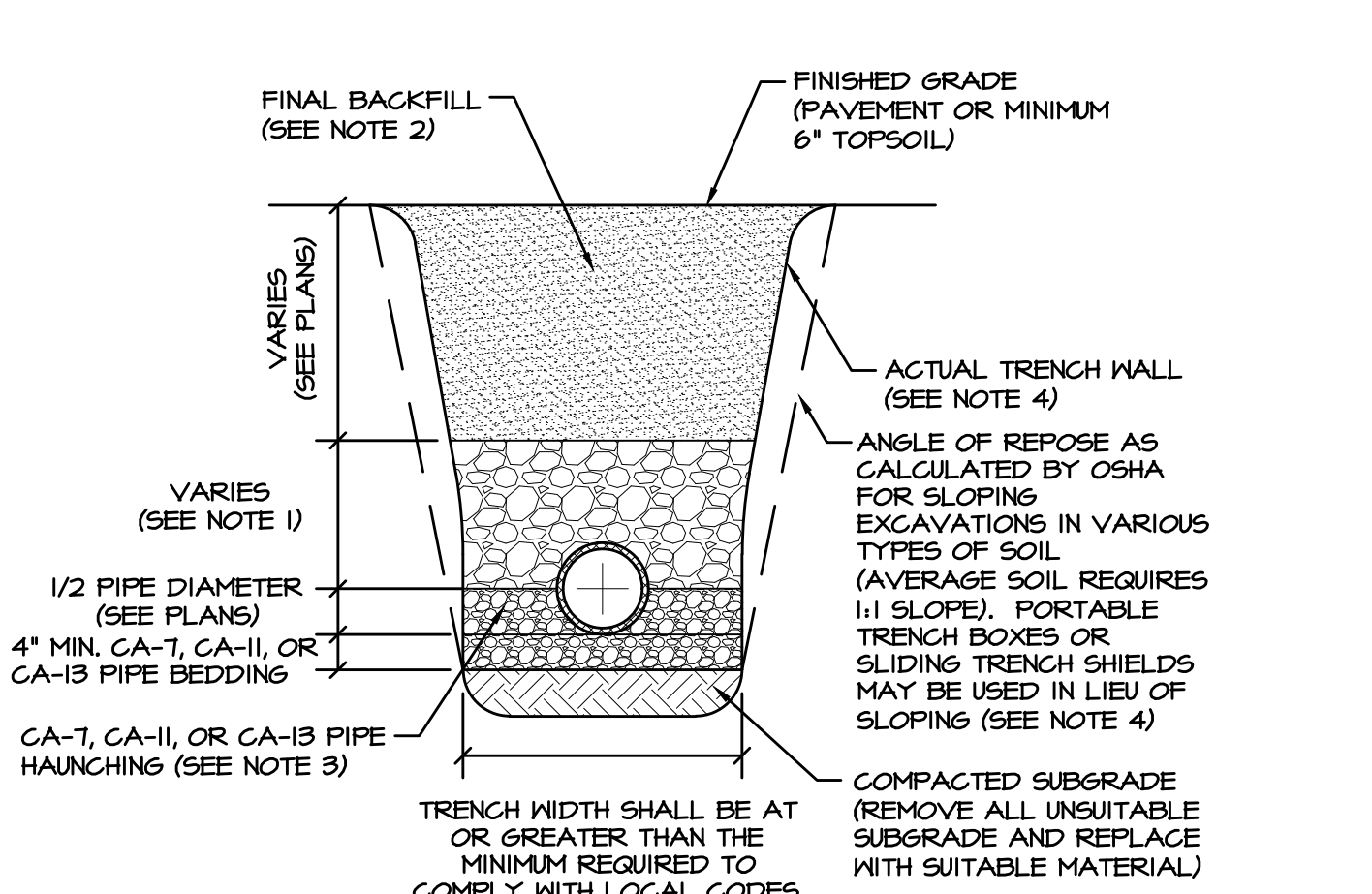
TYPICAL WATER SERVICE CONNECTION



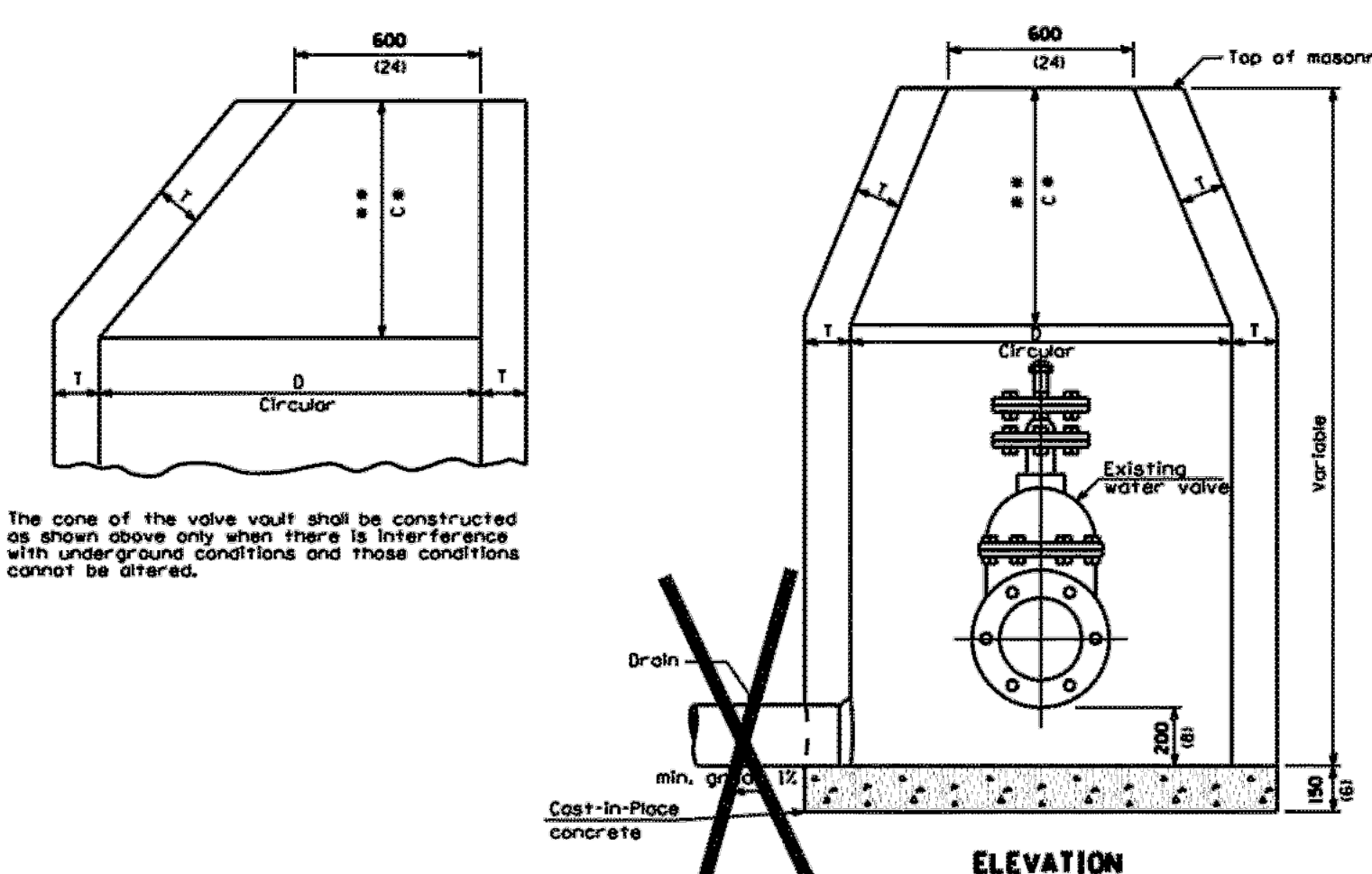
TYPICAL THRUST BLOCK INSTALLATIONS



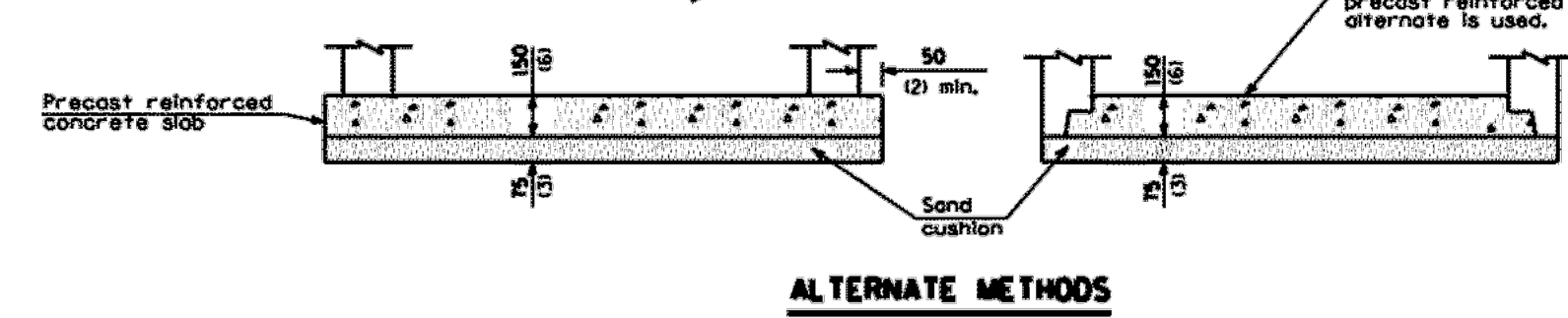
DETAIL - FLEXIBLE PIPE TRENCH
NOT TO SCALE



DETAIL - RIGID PIPE TRENCH
NOT TO SCALE



ELEVATION



ALTERNATE METHODS

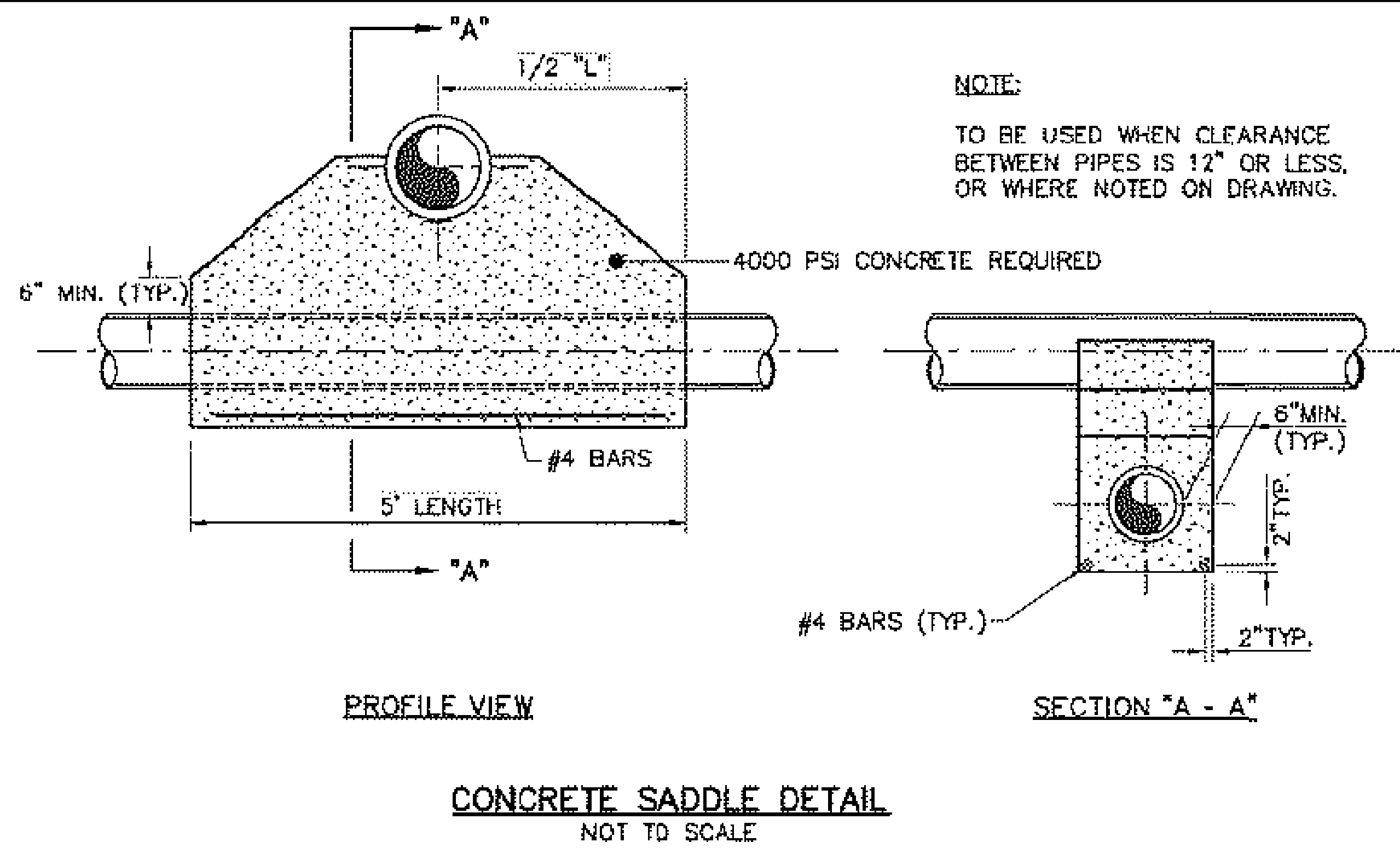
ALTERNATE MATERIALS FOR WALLS	D	C	T (min.)
Concrete (per unit)	1.2 m (4'-0")	750	125 (5)
Concrete (per unit)	1.5 m (5'-0")	1000	125 (5)
Brick Masonry	1.2 m (4'-0")	115	200 (8)
Brick Masonry	1.5 m (5'-0")	150	200 (8)
Precast Reinforced Concrete Section	1.2 m (4'-0")	750	100 (4)
Precast Reinforced Concrete Section	1.5 m (5'-0")	115	125 (5)
Cast-in-Place Concrete	1.2 m (4'-0")	750	150 (6)
Cast-in-Place Concrete	1.5 m (5'-0")	115	150 (6)

DIAMETER OF WATER MAIN	D
200 (8) and under	1.2 m (4'-0")
250 (10) and over	1.5 m (5'-0")

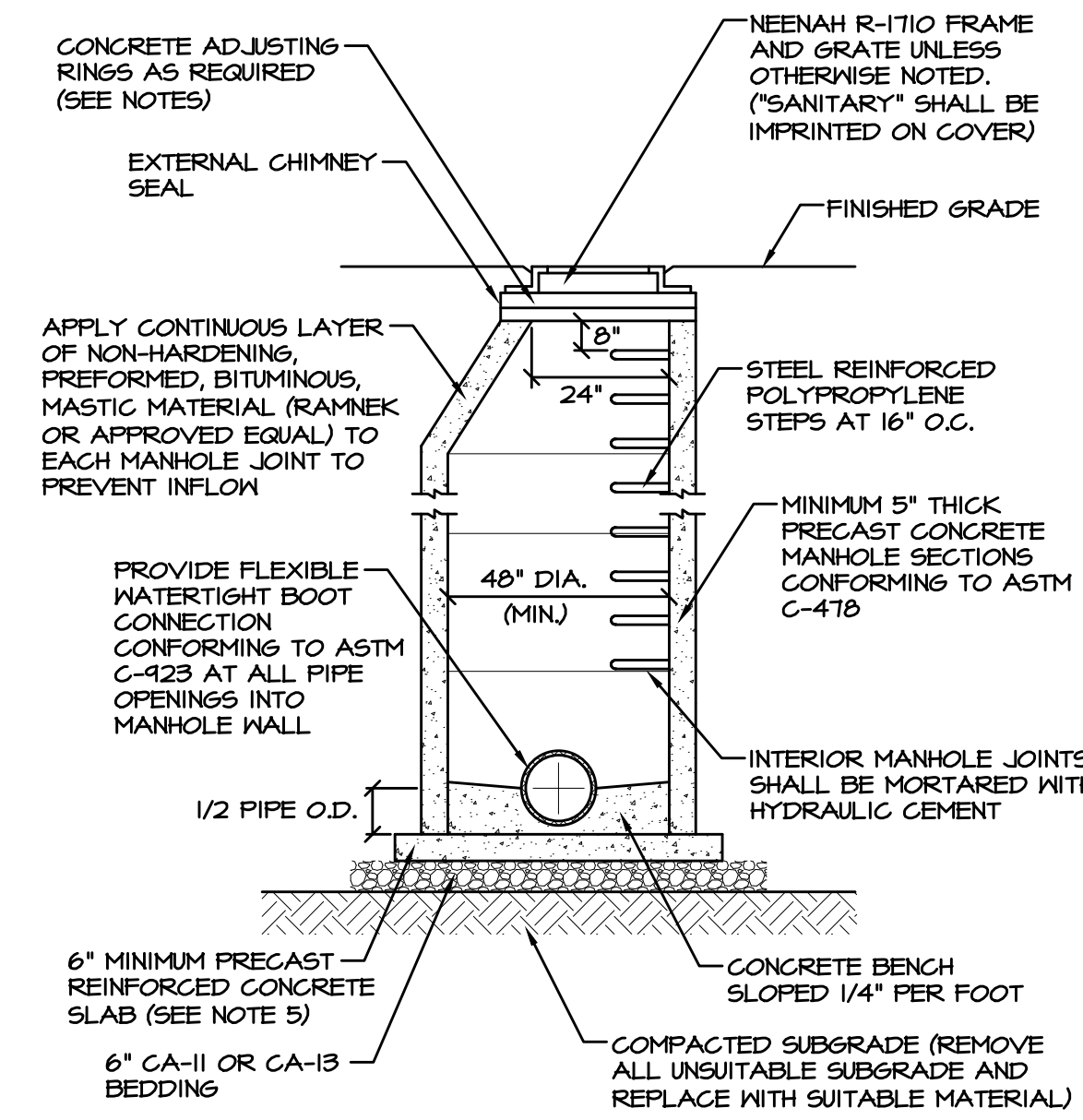
GENERAL NOTES

- Dimension "T" for Precast Reinforced Concrete Section may vary from the dimension given to plus 150 mm (6").
- See Standard 60260 for optional Precast Reinforced Concrete Flat Top Slab.
- All dimensions are in millimeters (inches) unless otherwise shown.

VALVE VAULT TYPE A
STANDARD 602501

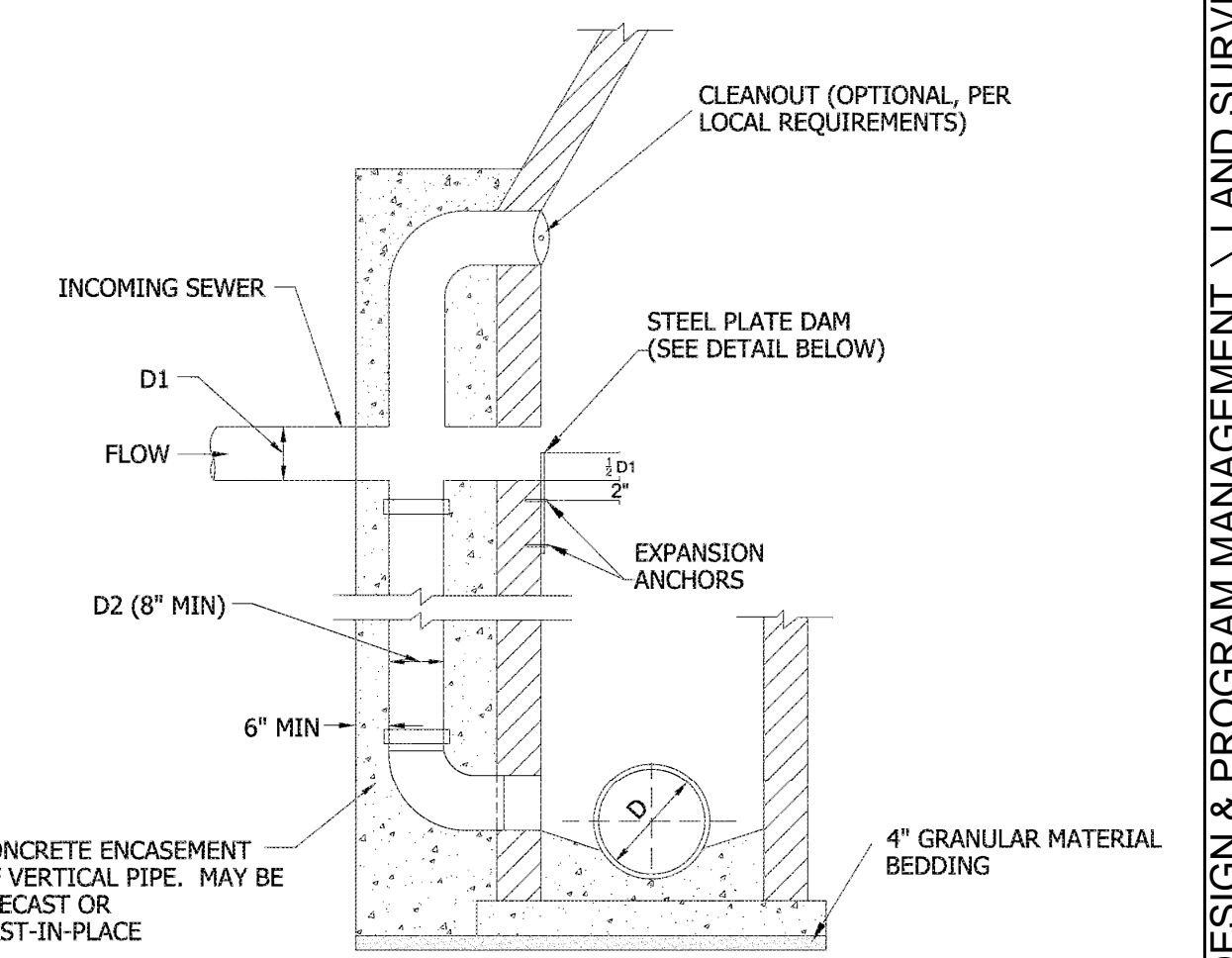


CONCRETE SADDLE DETAIL
NOT TO SCALE



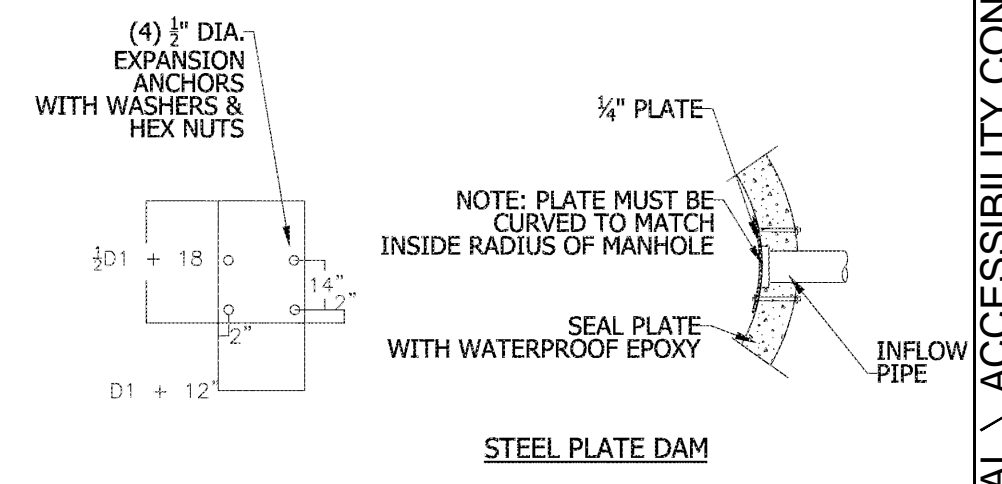
- NOTES:**
1. REINFORCED PRECAST CONCRETE CONE SECTION AND ADJUSTING RINGS SHALL CONFORM TO ASTM C-39 (COMPRESSIVE STRENGTH TEST).
 2. MAXIMUM ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 8".
 3. SANITARY MANHOLE FRAME AND ANY ADJUSTING RINGS SHALL HAVE AN EXTERNAL CHIMNEY SEAL (GRETEX OR APPROVED EQUAL). WATER-TIGHT BOOT CONFORMING TO ASTM C-423 SHALL BE PROVIDED AT ALL PIPE TO MANHOLE CONNECTIONS.
 4. PRECAST REINFORCED MONOLITHIC CONCRETE MANHOLE BOTTOM WITH INTEGRAL SIDEWALLS CAN BE SUBSTITUTED IN PLACE OF THE CONCRETE BOTTOM SLAB DESIGN SHOWN.
 5. MANHOLE BARREL SECTIONS SHALL BE TONGUE AND GROOVE TYPE.
 6. SEE PLANS FOR MANHOLE DIAMETER SIZES, RIM ELEVATIONS AND PIPE INVERT ELEVATIONS AND LOCATIONS.

DETAIL - SANITARY MANHOLE



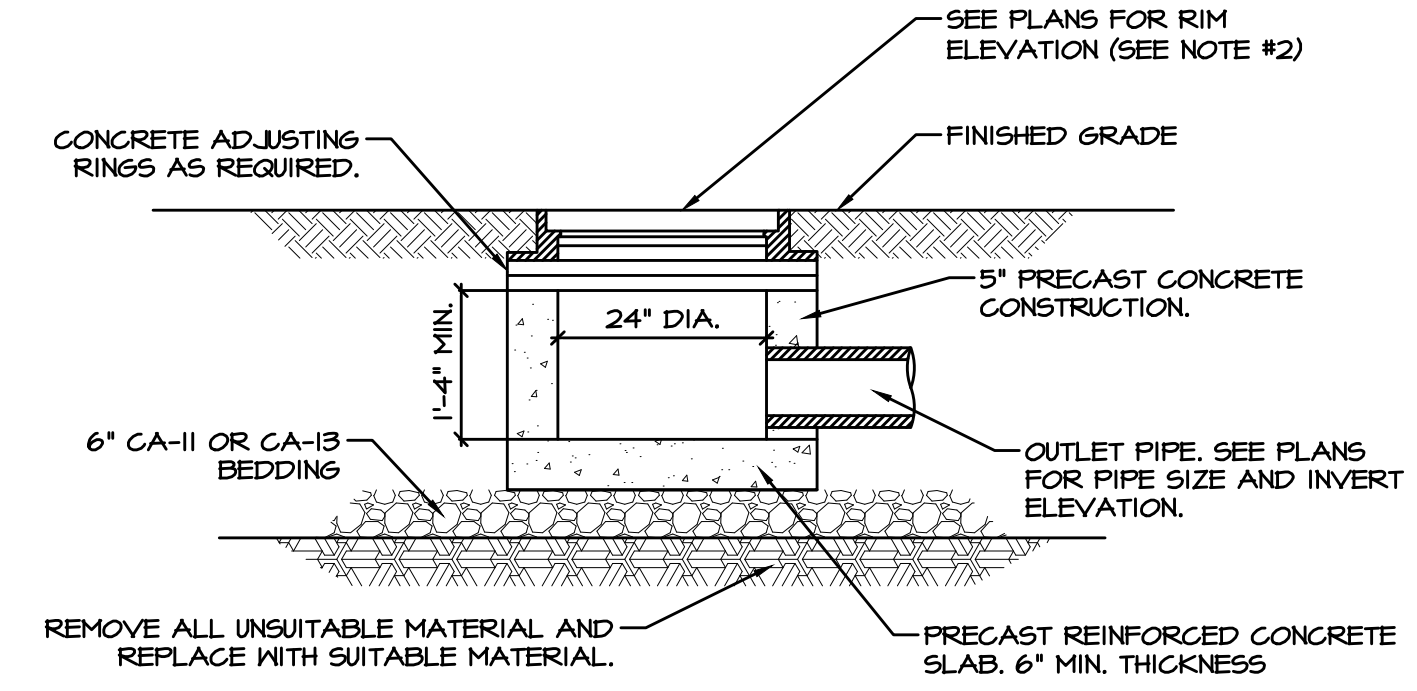
- NOTES:**
1. REQUIRED FOR 2 FT. OR GREATER DROP TO SANITARY OR COMBINED SEWER.
 2. MINIMUM WALL THICKNESS IS 6" FOR CAST IN PLACE CONCRETE STRUCTURES AND 1 1/2" MANHOLE DIAMETER FOR PRECAST CONCRETE STRUCTURES.
 3. CONCRETE FOR ENCASMENT SHALL BE 4,000 PSI @ 28 DAYS.
 4. FORCEMAIN FLOW NOT ALLOWED AS INCOMING SEWER, SEE FORCEMAIN DISCHARGE DETAIL.

DIAMETER (INCHES)	
D1	D2
6	8
8	8
10	8
12	8
15	10
18	12
21	15
24	18



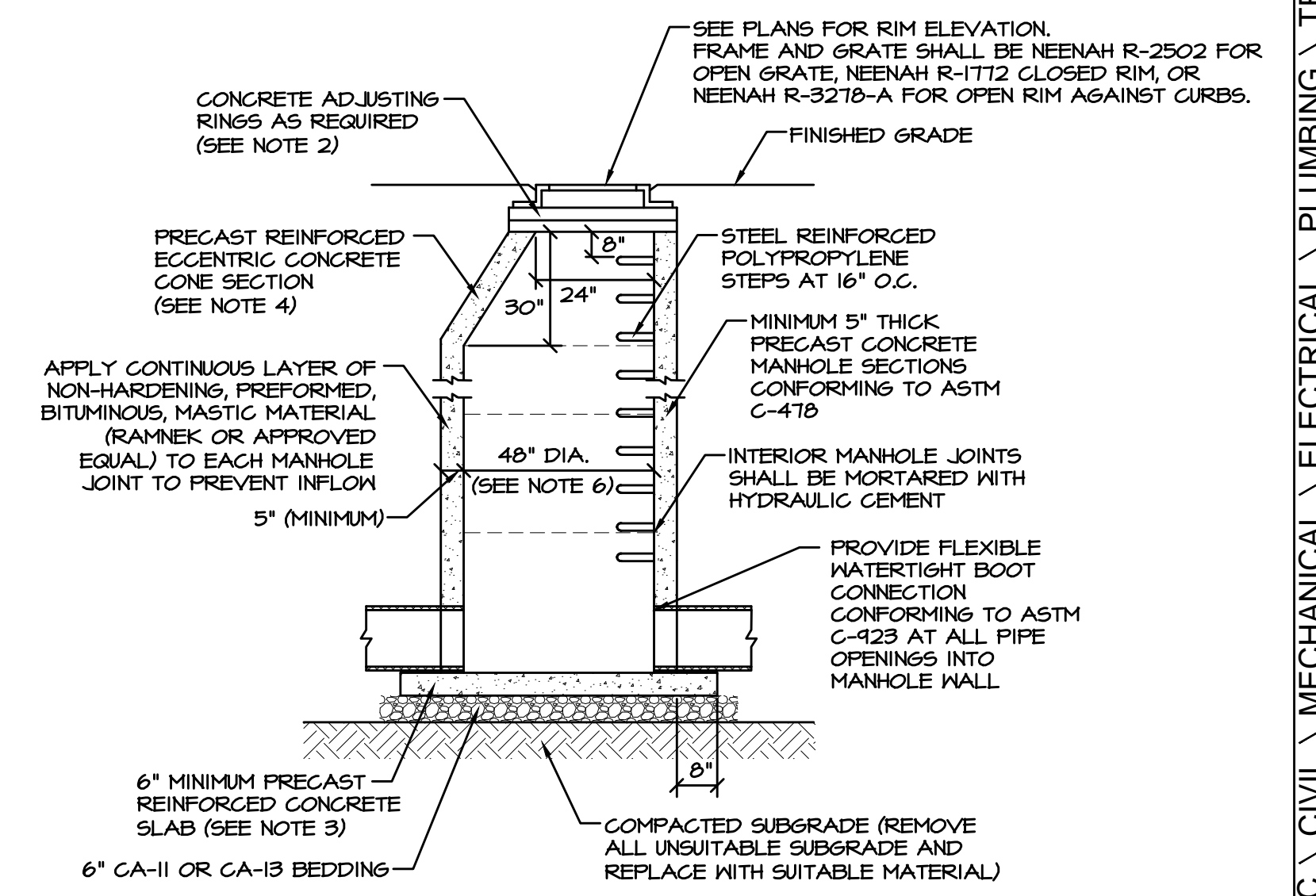
- NOTES:**
1. PLATE AND FASTENERS MUST BE FABRICATED IN STAINLESS STEEL, DUCTILE IRON, OR EQUIVALENT WATERPROOF/WEATHER PROOF MATERIALS.
 2. BOLTS TACK WELDED TO PLATE.
 3. ANCHOR EMBEDMENT: 3" MIN.

	TECHNICAL GUIDANCE MANUAL	7/1/15
	TYPICAL DROP MANHOLE CONNECTION	STD. DWG. NO. 33 PAGE NO. 34



- NOTES:**
1. MAXIMUM ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 8".
 2. FRAME AND GRATE SHALL BE NEENAH 2502 FRAME AND GRATE OR NEENAH R-3270-A AGAINST CURB UNLESS OTHERWISE NOTED.

DETAIL - 24" DIA. PRECAST CONCRETE INLET
NOT TO SCALE



- NOTES:**
1. PRECAST REINFORCED CONCRETE CONE SECTION AND ADJUSTING RINGS SHALL CONFORM TO ASTM C-39 (COMPRESSIVE STRENGTH TEST).
 2. MAXIMUM ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 8".
 3. WATER-TIGHT BOOT CONFORMING TO ASTM C-423 SHALL BE PROVIDED AT ALL PIPE TO MANHOLE CONNECTIONS.
 4. PRECAST REINFORCED MONOLITHIC CONCRETE MANHOLE BOTTOM WITH INTEGRAL SIDEWALLS CAN BE SUBSTITUTED IN PLACE OF THE CONCRETE BOTTOM SLAB DESIGN SHOWN.
 5. FLAT-TOP SLABS SHALL BE PROVIDED FOR SHALLOW MANHOLE INSTALLATIONS ONLY AND SHALL BE DESIGNED FOR HS-20 TRAFFIC LOADING WHEN LOCATED IN PAVED AREAS.
 6. MANHOLE BARREL SECTIONS SHALL BE TONGUE AND GROOVE TYPE.
 7. MANHOLE WALL THICKNESSES AND CONE SECTION HEIGHT DIMENSIONS SHOWN ARE THE MINIMUM REQUIRED FOR 48" DIA. PRECAST REINFORCED CONCRETE STORM MANHOLES. DIMENSIONS FOR LARGER MANHOLE DIAMETERS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.
 8. SEE PLANS FOR MANHOLE DIAMETER SIZES, RIM ELEVATIONS AND PIPE INVERT ELEVATIONS AND LOCATIONS.

DETAIL - STORM MANHOLE
NOT TO SCALE

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PETE'S FRESH MARKET

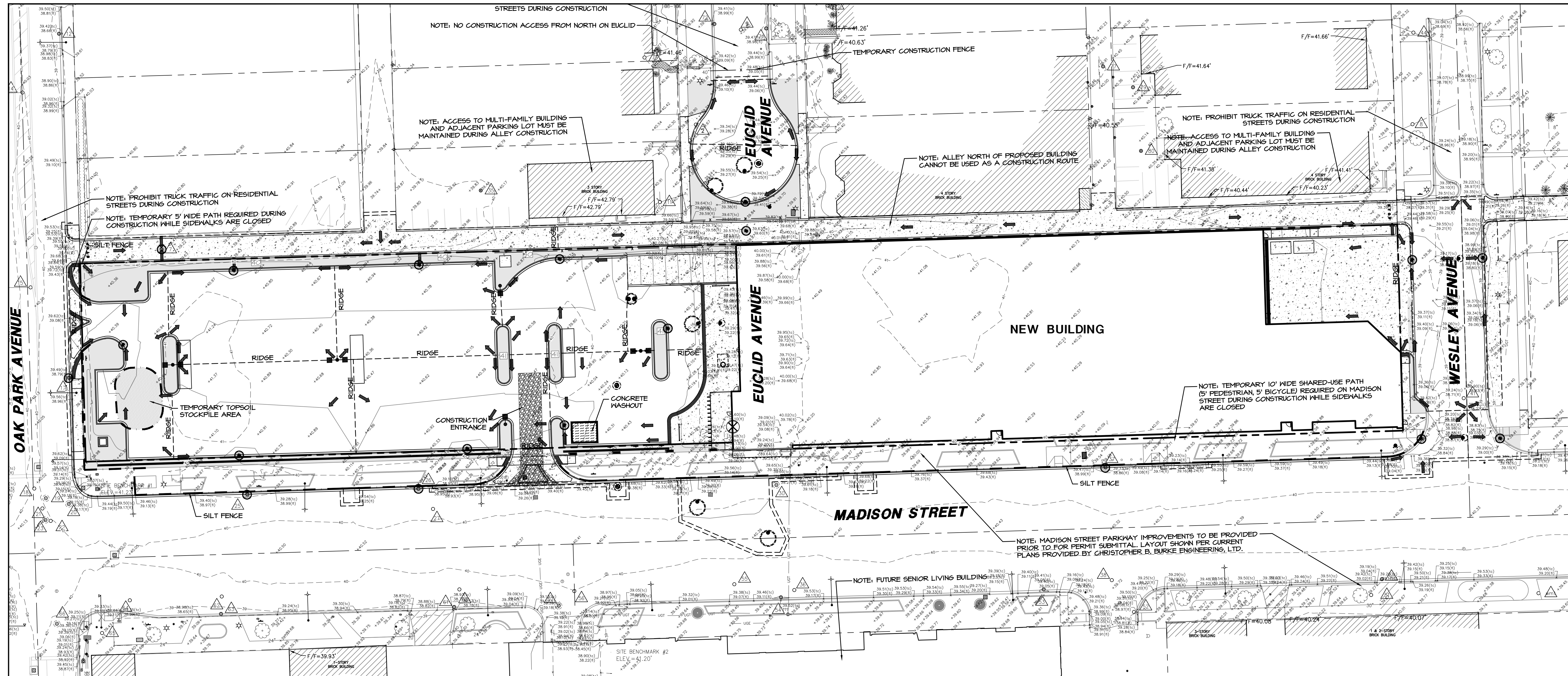
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Village	1/31/20
Village	3/27/20
For Client Review	10/30/20
Village	10/30/20
Village	12/14/20

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C-5.4
SITE UTILITY DETAILS

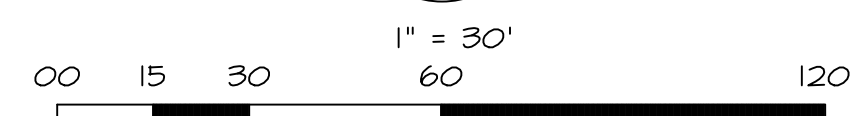


SWPPP LEGEND

- EXISTING SPOT GRADE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OVERLAND FLOW ARROW
 - 100 YEAR OVERLAND FLOW ROUTE
 - EXISTING CLOSED MANHOLE
 - EXISTING OPEN GRATE MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE WITH VAULT
 - EXISTING B-BOX
 - PROPOSED INLET
 - PROPOSED CLOSED LID MANHOLE
 - PROPOSED OPEN LID MANHOLE / CATCH BASIN
 - PROPOSED B-BOX
 - SILT FENCE
 - FLEXSTORM CATCH-IT INLET PROTECTION
 - TEMPORARY WASHOUT AREA
- FINE GRADE, FERTILIZE, AND SEED. INSTALL D575 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.

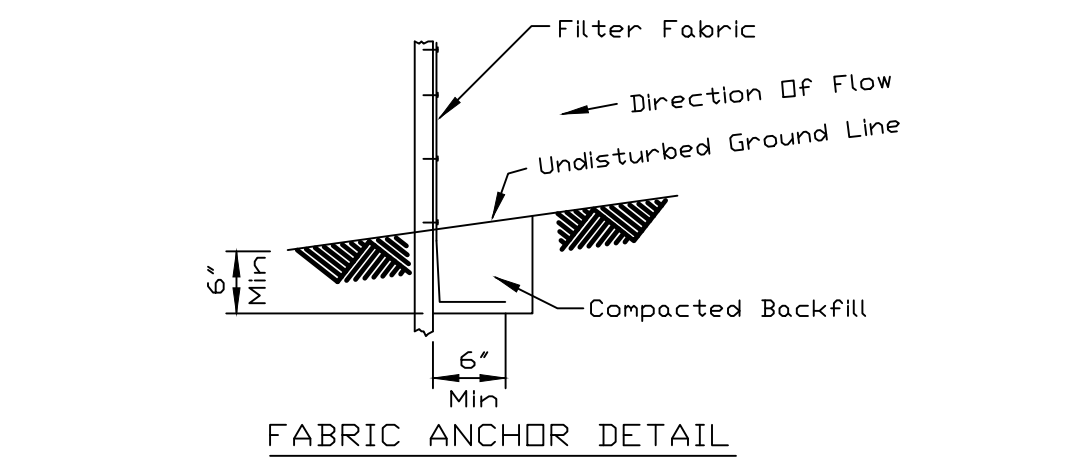
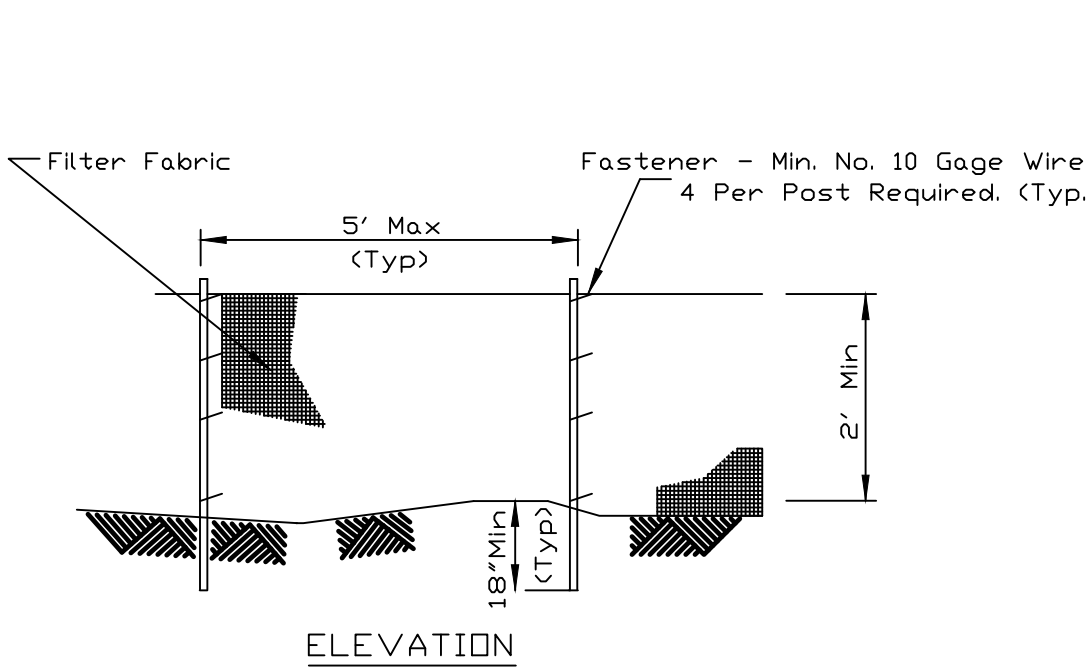
SWPPP NOTES:

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HALL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE THE SILT FENCE TRENCH WITH SOD.
- I. CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- J. SEED BED PREPARATION:
 - JA. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - JB. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
 - JC. THE AREA SHALL BE FINE GRADED.
 - JD. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY FLANGES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - JE. BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - JF. SEEDED AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - JG. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - JH. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.



ISSUE

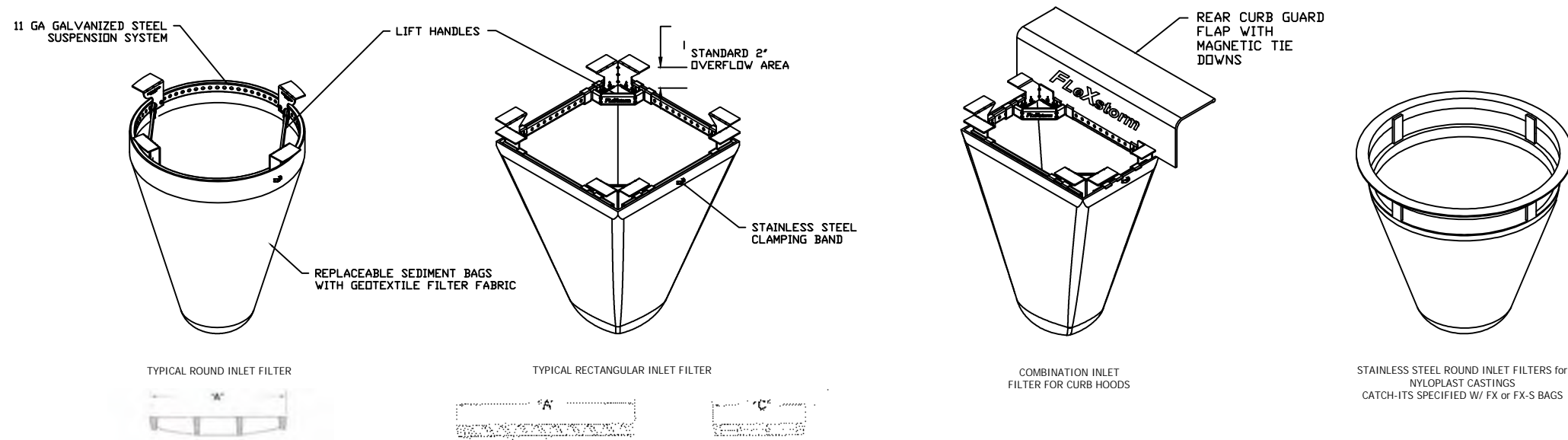
TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20



- NOTES:
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 - Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for woven.
 - Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE Project	DATE	STANDARD DWG. NO.
Designed	Date	IUM-620A
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 3-16-12

**FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING**

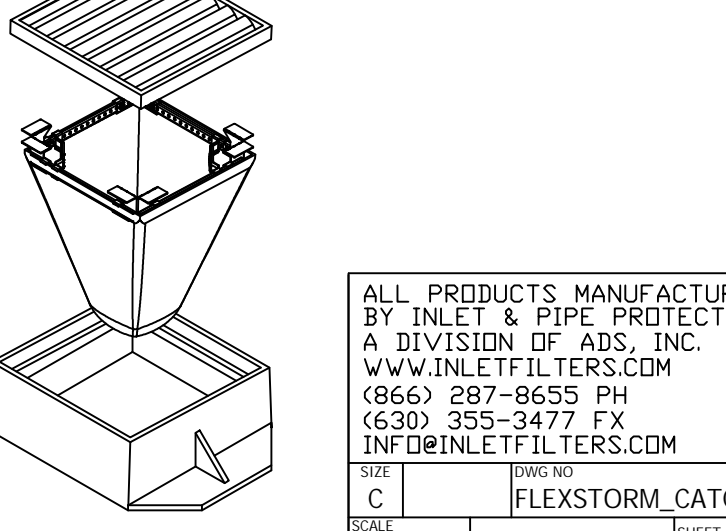


1. IDENTIFY YOUR FRAME STYLE AND SIZE	FRAME STYLE AND SIZE	FRAME #/IN.
Small Round (up to 30" dia grates (A) up to 24" dia openings (B))	625RD	625RD
Med Round (20" - 24" dia grates (A) up to 24" dia openings (B))	624RD	624RD
Large Round (24" - 30" dia grates (A) up to 30" dia openings (B))	626RD	626RD
XL Round (30" - 36" dia grates (A) up to 30" dia openings (B))	628RD	628RD
Small Rect / Square (up to 18" (B) x 24" (D) openings or 64" perimeter)	625SQ	625SQ
Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)	626SQ	626SQ
Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)	627SQ	627SQ
XL Rect / Square (up to 48" (B) x 24" (D) openings)	629SQ	629SQ
Small Rect / Square (ret. Rest. Slings Shipped with Magnetic Curb Flaps)	626CR	626CR
Med Rect / Square (ret. Rest. Slings Shipped with Magnetic Curb Flaps)	624CR	624CR
Large Rect / Square (ret. Rest. Slings Shipped with Magnetic Curb Flaps)	626CR	626CR
XL Rect / Square (ret. Rest. Slings Shipped with Magnetic Curb Flaps)	628CR	628CR
12" diameter Nyloplast castings (Stainless Steel Framing standard)	622NY	622NY
15" diameter Nyloplast castings (Stainless Steel Framing standard)	623NY	623NY
18" diameter Nyloplast castings (Stainless Steel Framing standard)	624NY	624NY
24" diameter Nyloplast castings (Stainless Steel Framing standard)	629NY	629NY

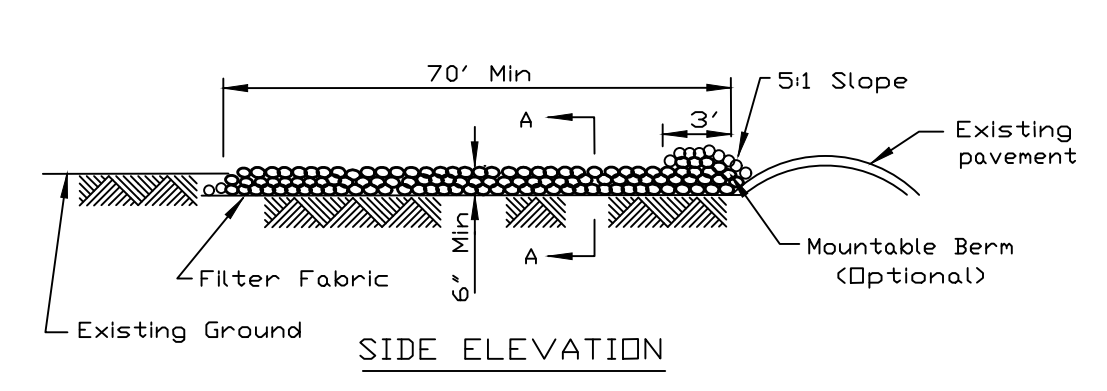
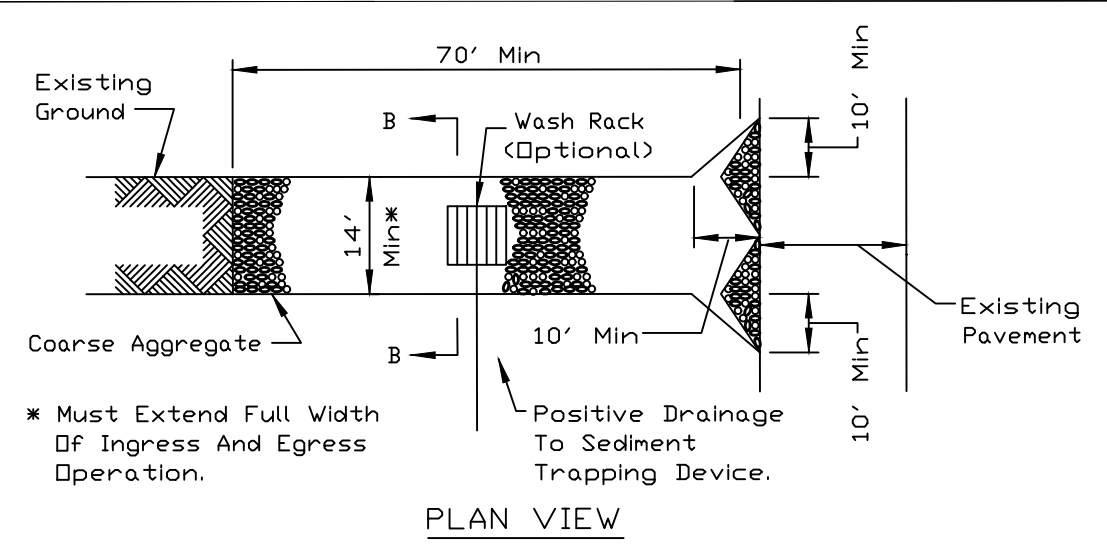
2. SELECT YOUR BAG PART NUMBER	STANDARD DWG. NO.
FLEXSTORM FILTER BAGS (12" depth)	IL-630
Short Bag 8" W	IL-630
Standard Woven Bag	IL-630
XL-800 Woven Bag	IL-630

3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER	STANDARD DWG. NO.
Frame #/IN from Step 1	IL-630
Filter Bag #/IN from Step 2	IL-630

- NOTES:
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
 - UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST DR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



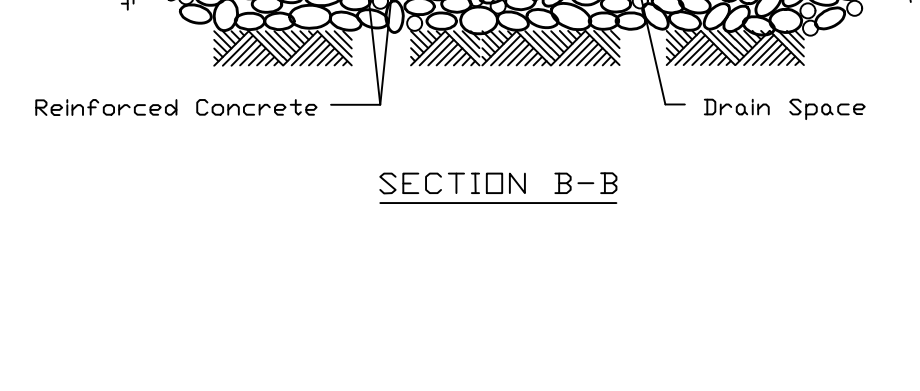
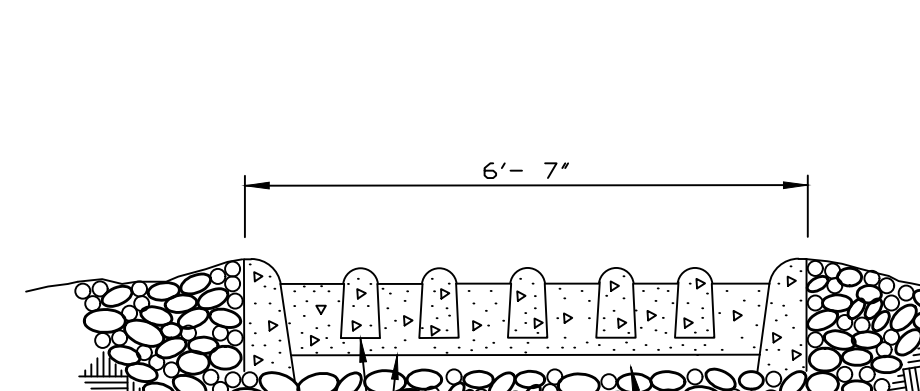
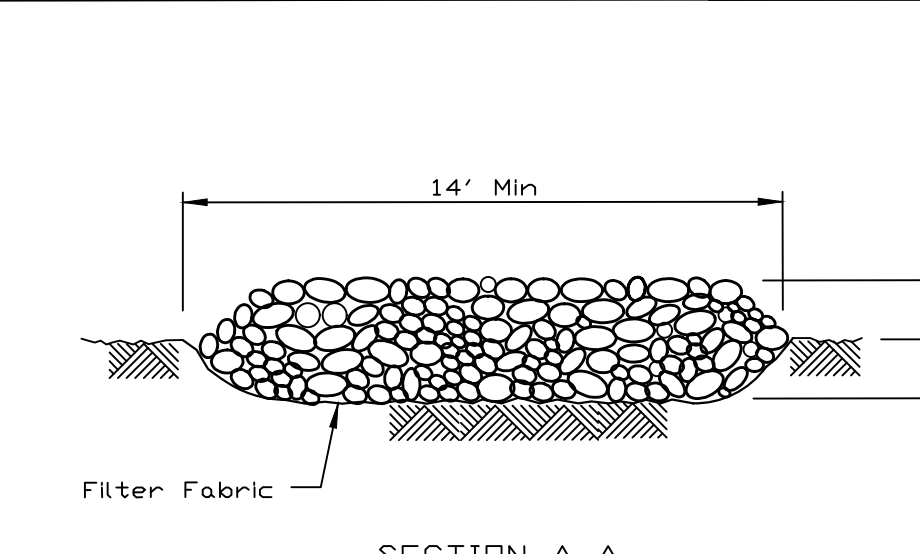
STABILIZED CONSTRUCTION ENTRANCE PLAN



- NOTES:
- Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
 - Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
 - Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
 - If wash racks are used they shall be installed according to the manufacturer's specifications.

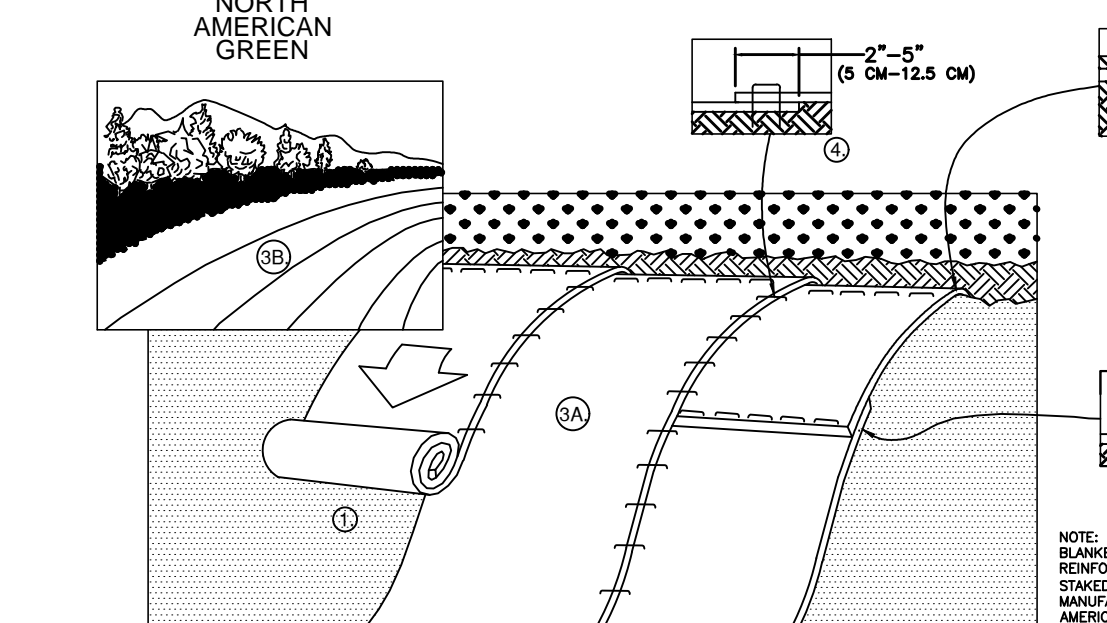
REFERENCE Project	DATE	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 1 OF 2
Approved	Date	DATE 8-18-94

STABILIZED CONSTRUCTION ENTRANCE PLAN



REFERENCE Project	DATE	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 2 OF 2
Approved	Date	DATE 8-18-94

**SLOPE INSTALLATION
APLICACIONES PARA TALUDES**



- NOTES:
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIMES, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED BEFORE ANY FORECASTED PRECIPITATION.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE. AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIMES, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED BEFORE ANY FORECASTED PRECIPITATION.
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- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

REFERENCE Project	DATE	STANDARD DWG. NO.
Designed	Date	IL-630
Checked	Date	SHEET 2 OF 2
Approved	Date	DATE 8-18-94

STORMWATER POLLUTION PREVENTION NOTES

- COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT, INCIDENT OF NON-COMPLIANCE (N.O.C) FORM AND INSPECTION FORMS.
- CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO ALL AGENCIES ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- ILLINOIS PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN PERMITTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED IMMEDIATELY UPON THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- IF AFTER REPAIR ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL LATEST EDITION.
- INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
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- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
- AFTER REPAIR ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
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GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:
 - ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" LATEST EDITION.
 - "ILLINOIS URBAN MANUAL," LATEST EDITION.
 - BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
 - UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
 - ILLINOIS DRAINAGE LAH.
 - ILLINOIS ENVIRONMENTAL BARRIERS ACT.
 - ILLINOIS ACCESSIBILITY CODE.
 - ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
 - TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
- ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO INFORM AND PROTECT THE PUBLIC.
- CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(IES) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF ANY MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY PUBLIC IMPROVEMENTS, ROADWAY CLOSURES OR UTILITY INSTALLATIONS. 72 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
- BEING THAT THIS PROJECT IS PERMITTED UNDER THE NEW WATERSHED MANAGEMENT ORDINANCE (NMO), THE MWRD REQUIRES 48 HOURS OF ADVANCE NOTIFICATION PRIOR TO ANY GROUND DISTURBANCE. THE MWRD WILL BE INSPECTING FOR APPLICABLE EROSION CONTROL AND SEDIMENT CONTROL MEASURES SUCH AS SILT FENCING, INLET PROTECTION, ETC., FOLLOWING THE "SANITARY SEWER AND VOLUME CONTROL INSTALLATION INSPECTIONS, PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY OF ANY SANITARY SEWER AND VOLUME CONTROL INSTALLATION INSPECTIONS, PLEASE REFER TO THE APPROVED PERMIT/PLANS AND HAVE THESE MEASURES IN PLACE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY ARE NOT SHOWN ON THE PLANS. ANY UTILITY WHICH IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE ENGINEER ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES ARE OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
- ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
- THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
- ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
- ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
 - ASPHALT PAVEMENT MIX DESIGN
 - CONCRETE MIX DESIGN
 - GRANULAR MATERIAL GRADATION
 - PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VAULTS, ETC.)
 - WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
- AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
 - TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
 - RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
 - AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

- ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 200 OF THE "STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
- THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE REQUIREMENTS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS. BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
- ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
- THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
- REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFF-SITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
- ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
- CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- ALL CONCRETE POURED SHALL BE:
 - MINIMUM COMPRESSIVE STRENGTH:
 - 3500 P.S.I. AT 14 DAYS (PER I.D.O.T.)
 - 4500 P.S.I. AT 28 DAYS (PER A.C.I.)
 - MAX WATER-CEMENTITIOUS MATERIALS RATIO: 0.44 (AIR-ENTRAINED)
 - AIR CONTENT: 6%, +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
- WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBRILLATED POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 1116, TYPE III, 1/8 TO 3/8 INCHES LONG. FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LBS / CU. YD.
- THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
- TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

SANITARY SEWERS

- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" LATEST EDITION ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- ALL SANITARY SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION III OF THE "STANDARD SPECIFICATIONS."
- ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PIPE PER ASTM D-3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWER PIPE IS NOTED AS PVC C-400, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C-400 WITH WATERTIGHT, PRESSURE RATED JOINTS CONFORMING TO ASTM D-3194.
- SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE(S) AND/OR CONNECTION POINT(S) INDICATED ON THE PLANS.
 - A WATERTIGHT PLUG SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.
- ALL SANITARY SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE "STANDARD SPECIFICATIONS."
- ALL SANITARY SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-2321. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING 100T GRADATION CA-II OR CA-13.
- TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
- THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL LOCATE ALL SEWERS BY MEASUREMENTS TO LOT CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF SUCH LOCATIONS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL ALSO INCLUDE THE DEPTH OF EACH SEWER. IF THE CONTRACTOR FAILS TO PROPERLY LOCATE ANY SEWER, HE SHALL BE RESPONSIBLE FOR ALL COSTS WHICH ARE INCURRED AS A RESULT OF THE IMPROPERLY LOCATED UTILITIES.
- ALL SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF DIVISION III, SECTION 32 OF THE "STANDARD SPECIFICATIONS" AND THE DETAILS IN THE PLANS.
 - A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO AND EXITING FROM MANHOLE STRUCTURES AND SHALL BE OF A DESIGN APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SERRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATERTIGHT SEAL AND PROTRUDS OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAIN BOLT AND NUT.
- ALL REQUIRED MANHOLE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY NETTED BEFORE LAYING.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR MANHOLE, THE FOLLOWING METHOD SHALL BE USED:
 - CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.
- ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER. ALL FOOTING DRAINS AND DOWNPOUTS SHALL DISCHARGE ONTO THE GROUND OR INTO THE STORM SEWER SYSTEM AS INDICATED ON THE DRAWINGS.
- UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS 31-112 AND 31-113 OF THE "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.

WATER MAINS

- ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" LATEST EDITION ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
 - ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE "STANDARD SPECIFICATIONS."
 - ALL WATER MAIN SHALL BE METALLIC ZINC COATED DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-151, C-111 AND C-104, UNLESS OTHERWISE NOTED.
 - ALL WATER MAIN PIPE SHALL BE Laid WITH A MINIMUM COVER OF 5-1/2 FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.
 - ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL V-BIO ENHANCED POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.
 - ALL WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE "STANDARD SPECIFICATIONS."
 - ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING 100T GRADATION CA-7, CA-II OR CA-13.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 - A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.
 - UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH SECTION 41-214 OF THE "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
 - DISINFECTION IN ACCORDANCE WITH SECTION 41-215 OF THE "STANDARD SPECIFICATIONS" AND THE METHODS STATED IN AWWA STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
- ### WATER MAINS AND SEWERS VERTICAL SEPARATION REQUIREMENTS
- WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSING. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
 - IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN 1 ABOVE, OR
 - THE WATER MAIN PASSES UNDER A SEWER OR DRAIN
 - A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. THE SEWER OR DRAIN LINES SHALL BE SUPPORTED TO PREVENT SETTLING AND BREAKING OF THE WATER MAIN, AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
 - CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.
- ### WATER MAINS AND SEWERS HORIZONTAL SEPARATION REQUIREMENTS
- WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER, OR SEWER SERVICE CONNECTION.
 - WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET; AND
 - THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND
 - THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELVE LOCATED TO ONE SIDE OF THE SEWER.
 - WHEN IT IS IMPOSSIBLE TO MEET 1) OR 2) ABOVE, BOTH THE WATER MAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRE-STRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED FOR THE MAXIMUM EXPECTED SURCHARGE HEAD PRIOR TO BACKFILLING.

STORM SEWERS

- ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" LATEST EDITION ("STANDARD SPECIFICATIONS"), THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION ("DOT STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
 - ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION V OF THE "STANDARD SPECIFICATIONS" AND DIVISIONS 500 AND 600 OF THE "DOT STANDARD SPECIFICATIONS."
 - ALL PRECAST CONCRETE STRUCTURES SHALL BE REINFORCED AND DESIGNED FOR HS-20 LOADING UNLESS OTHERWISE NOTED.
 - ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1109 OF THE "STANDARD SPECIFICATIONS." ALL 10" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
 - ALL HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.
 - ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE "STANDARD SPECIFICATIONS."
 - ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-2321. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING 100T GRADATION CA-7, CA-II OR CA-13.
 - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 - ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
 - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.
- ### WATER SERVICES AND CONNECTIONS
- ALL WATER SERVICE PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE "STANDARD SPECIFICATIONS."
 - ALL WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE TYPE "K" COPPER TUBING CONFORMING TO ASTM B-88-58. NO COUPLINGS SHALL BE PERMITTED BETWEEN THE CORPORATION AND CURB STOPS OR BETWEEN THE CURB STOP AND THE BUILDING.
 - ALL WATER SERVICE FITTINGS INCLUDING CORPORATION STOPS, SERVICE BOXES AND BUFFALO BOXES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY OR APPROVED EQUAL.
 - SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.
 - ALL VALVES, VALVE BOXES OR VAULTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF DIVISION IV, SECTION 44 OF THE "STANDARD SPECIFICATIONS."
 - VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 DUCTILE IRON RESILIENT SEAT EPOXY COATED WEDGE VALVES OR APPROVED EQUAL.
 - ALL PRESSURE CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 46 OF THE "STANDARD SPECIFICATIONS" AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.
 - ALL VALVES SHALL BE INSTALLED IN VALVE VAULTS HAVING A MINIMUM DIAMETER OF FIVE (5) FEET BELOW THE PRECAST CONCRETE CONE SECTION. THE VAULTS SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS AND SHALL CONFORM TO THE DETAILS SPECIFIED ON THE PLANS. ALL VALVE VAULTS SHALL BE LEAK PROOF.
 - ALL TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
 - ALL REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.

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C-7.0
PROJECT SPECIFICATIONS

TO	DATE
Village	1/31/20
Village	3/27/20
For Client Review	10/23/20
Village	10/30/20
Village	12/14/20

A. REFERENCED SPECIFICATIONS

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 * VILLAGE OF OAK PARK MUNICIPAL CODE;
 * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).
- THE VILLAGE OF OAK PARK ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS 0 FT.
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
WATER MAIN QUALITY PVC	ASTM D-3350	ASTM D-3261,F-2620 (HEAT FUSION)
4-INCH TO 36-INCH	ASTM D-3035	ASTM D-3212,F-477 (GASKETED)
4-INCH TO 12-INCH	ASTM D-2241	ASTM D-3139
14-INCH TO 48-INCH	AWWA C900	ASTM D-3139
	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 a) A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
 b) REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 a) UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 b) ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.



TECHNICAL GUIDANCE MANUAL
MWRD GENERAL NOTES

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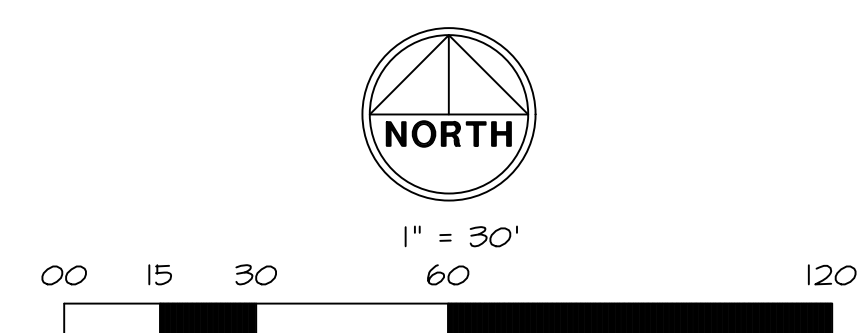
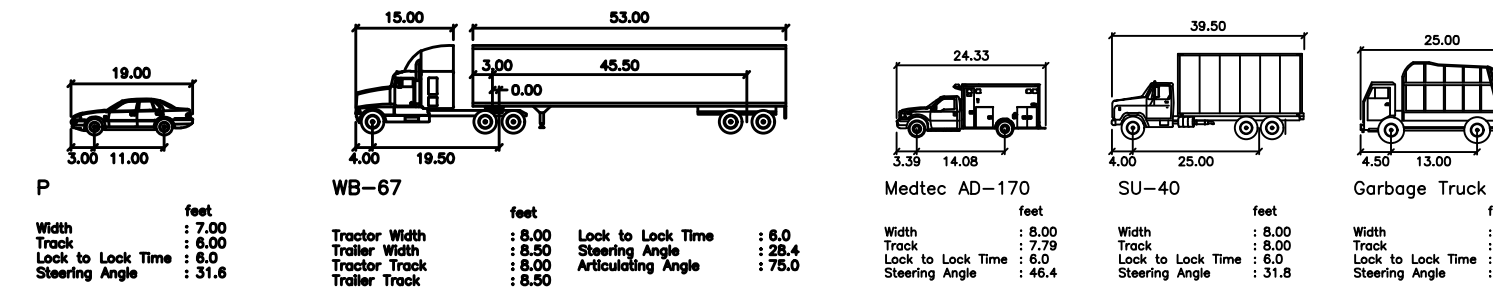
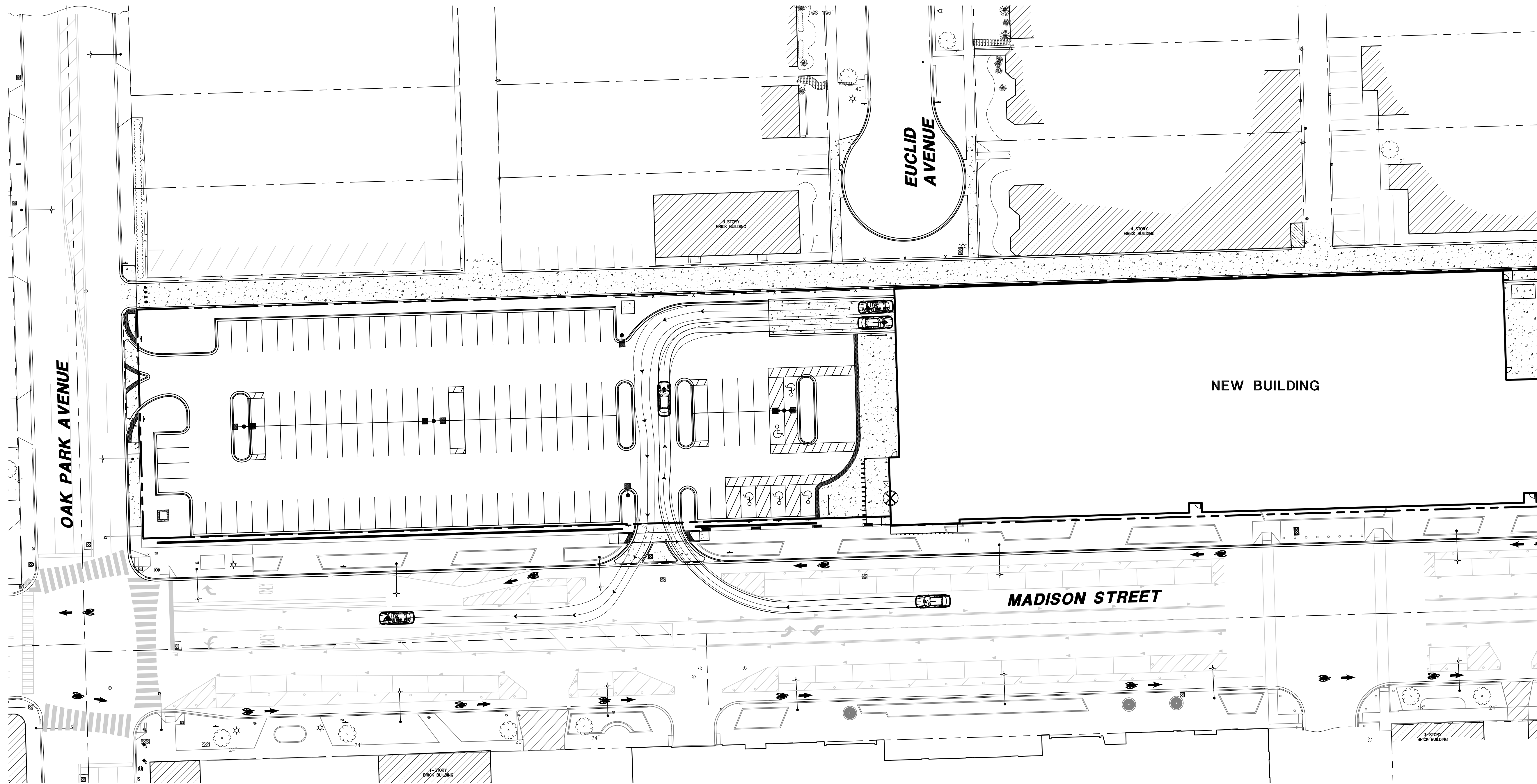
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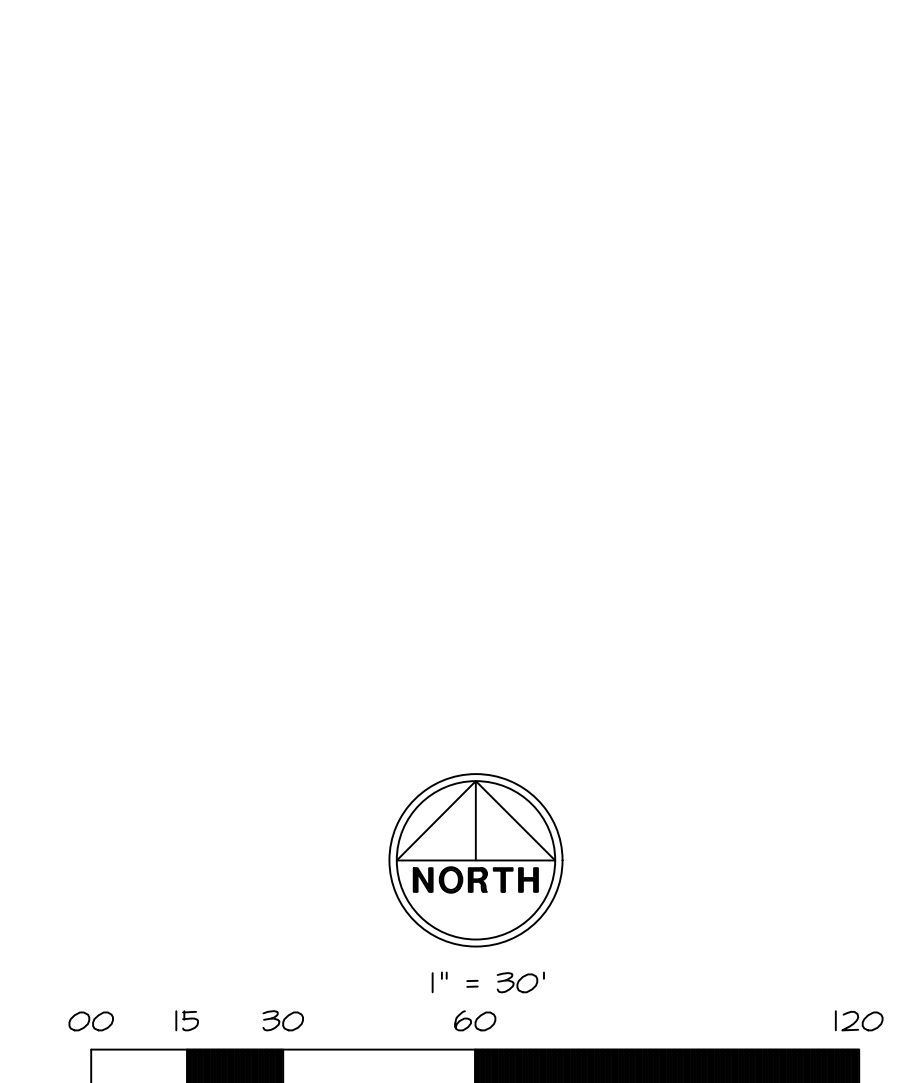
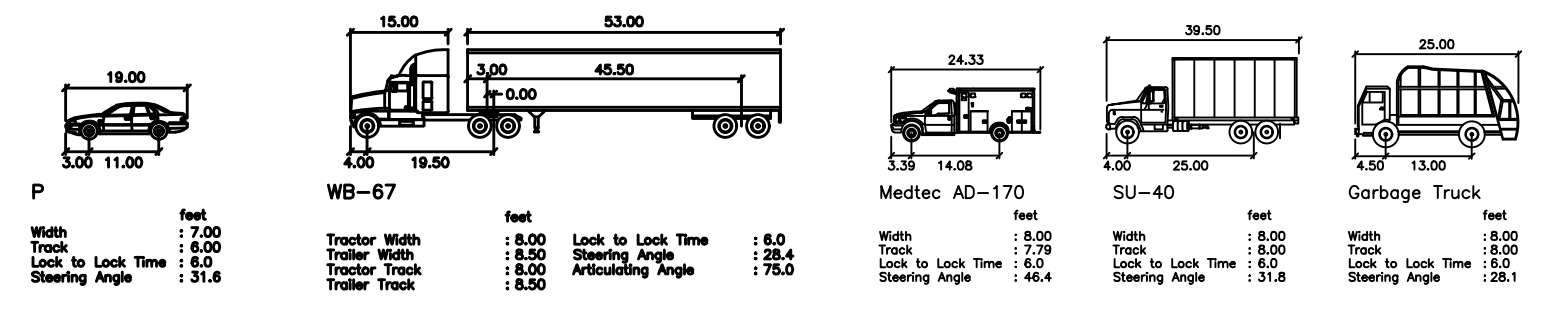
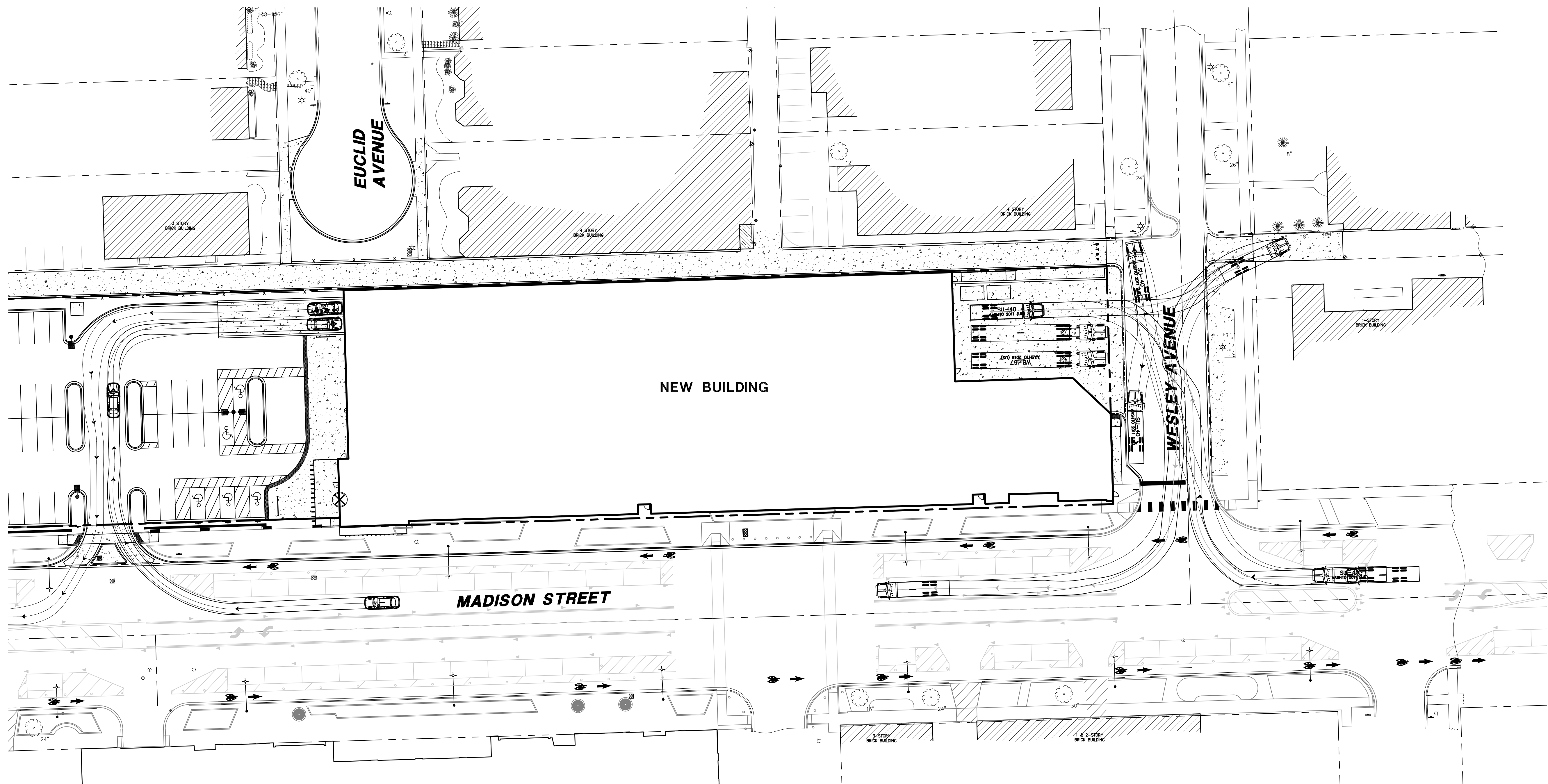
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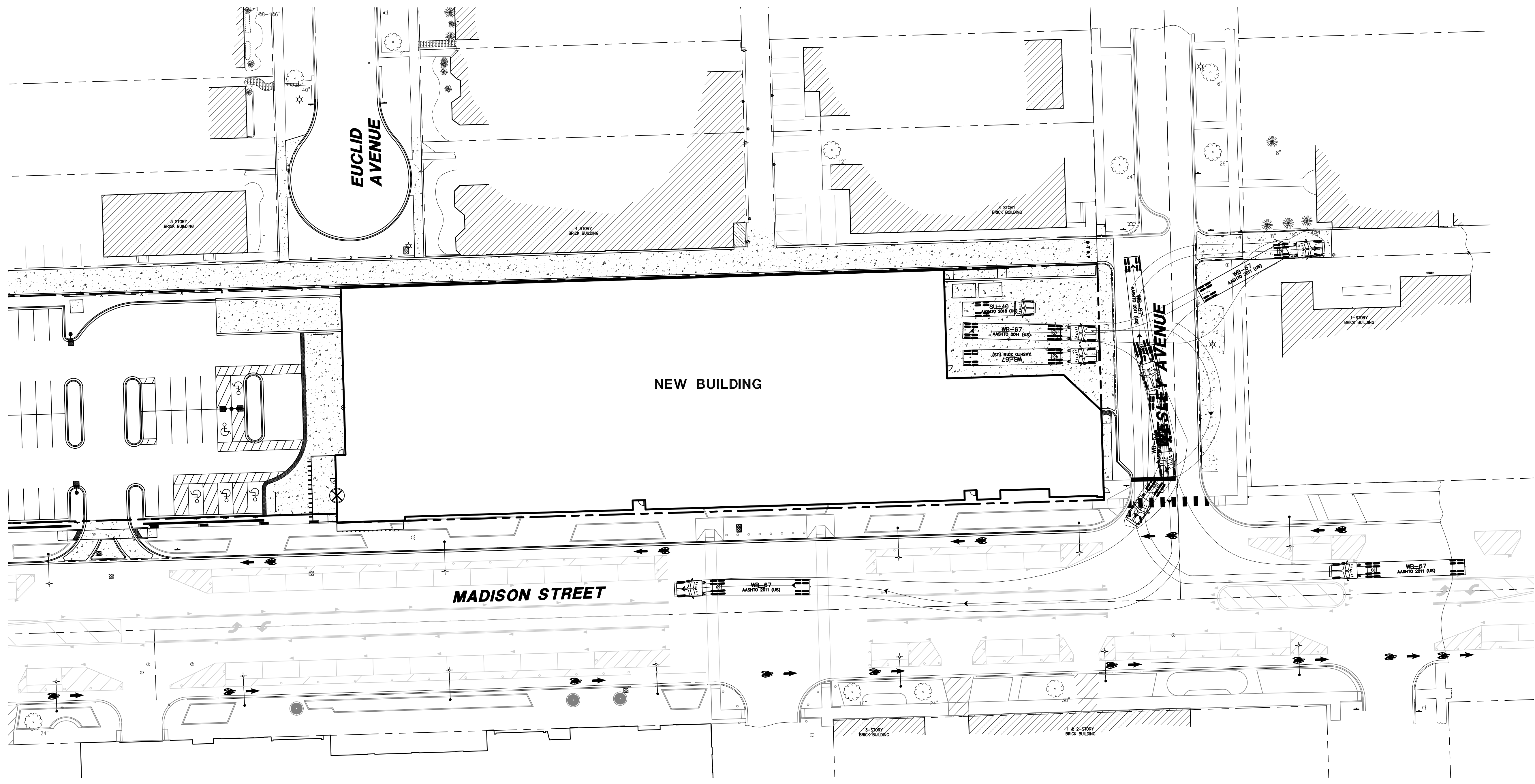
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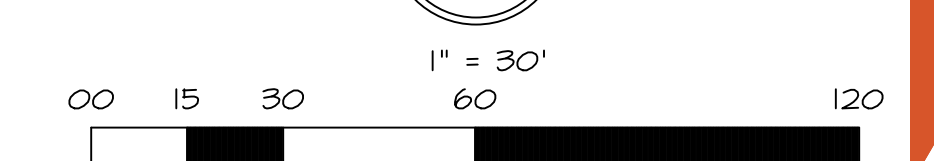
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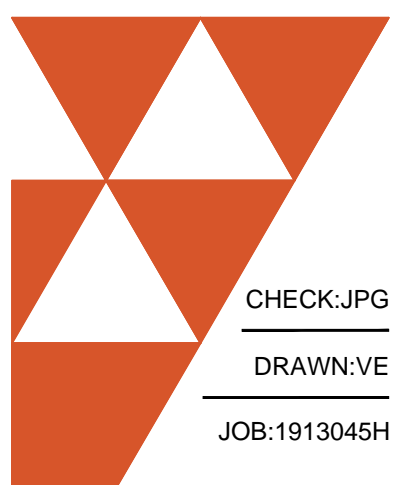
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WB-67	18.00 4.00 19.00 3.00 45.00	feet Tractor Width : 8.00 Trailer Width : 28.00 Tractor Track : 8.00 Trailer Track : 6.00 Lock to Lock Time : 8.0 Steering Angle : 178.4 Articulating Angle : 178.0
Medtec AD-170	24.33 5.35 14.08	feet Width : 5.00 Track : 12.00 Lock to Lock Time : 8.00 Steering Angle : 62.4
SU-40	39.00 4.00 25.00	feet Width : 8.00 Track : 8.00 Lock to Lock Time : 8.00 Steering Angle : 31.8
Garbage Truck	25.00 4.50 13.00	feet Width : 8.00 Track : 8.00 Lock to Lock Time : 8.00 Steering Angle : 28.1



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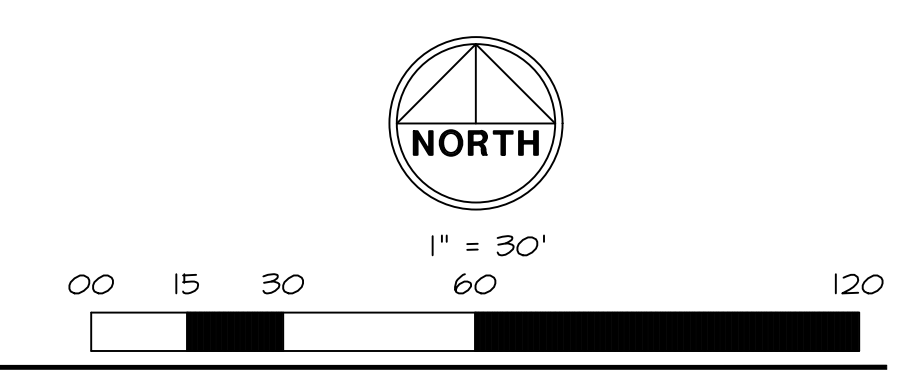
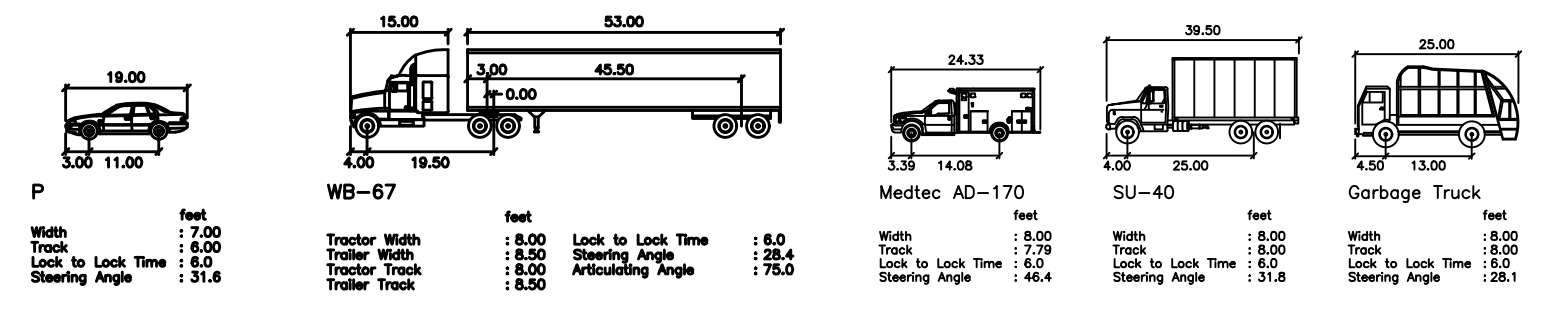
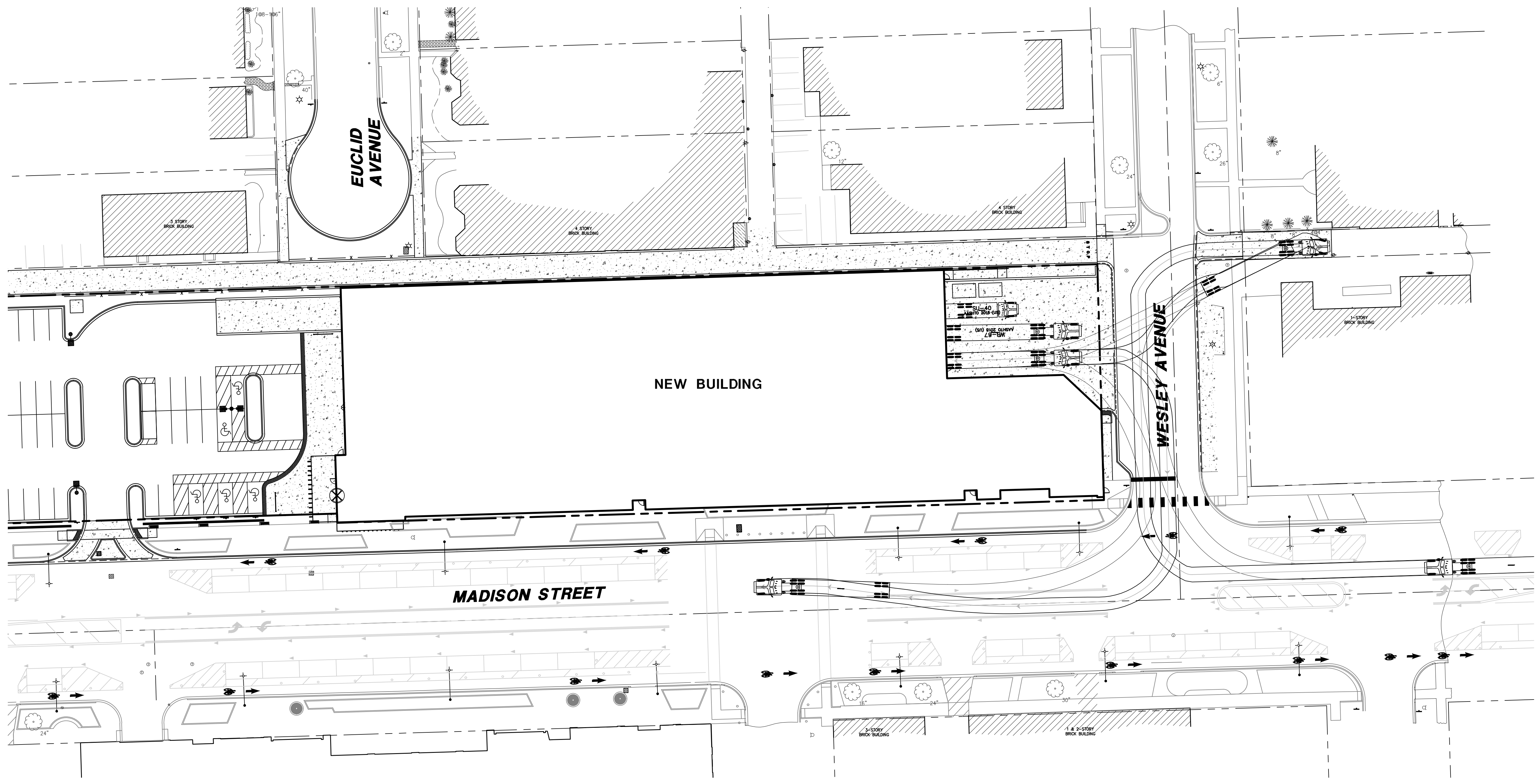
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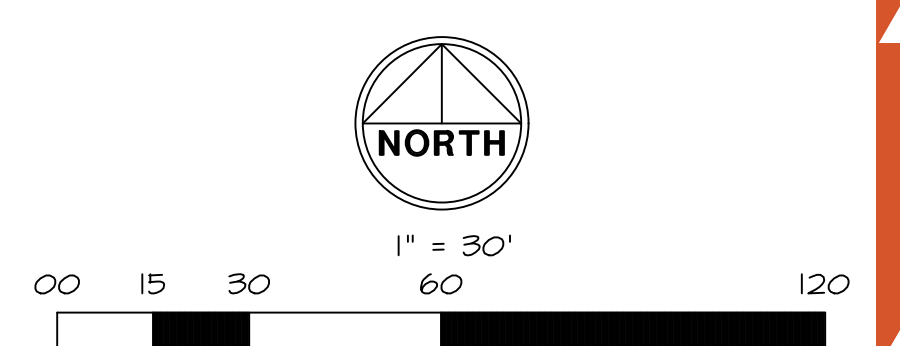
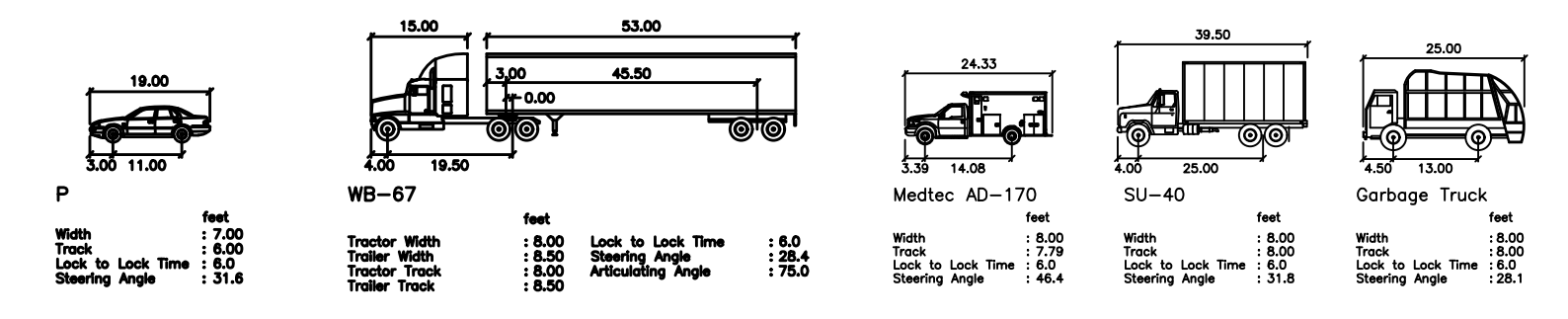
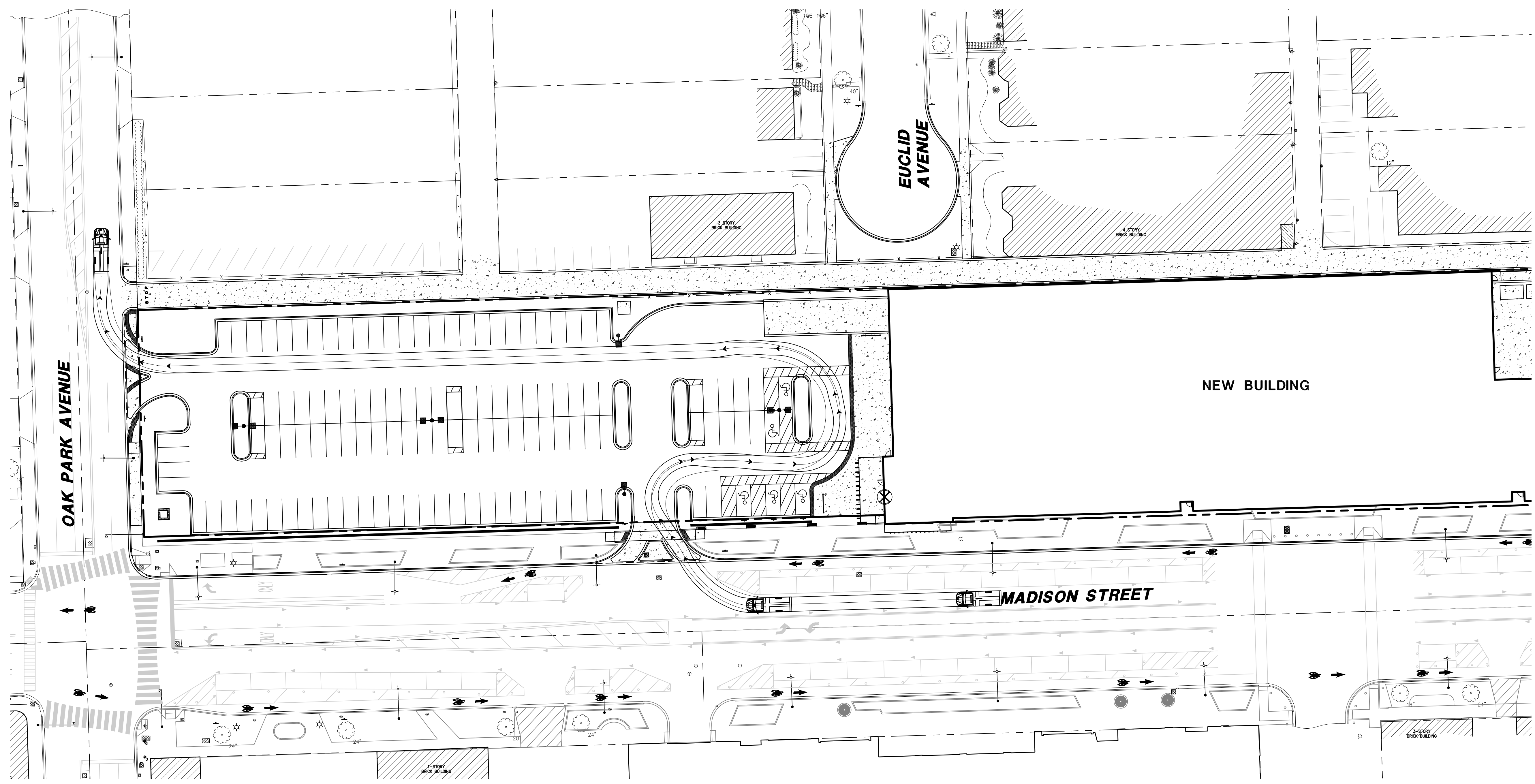
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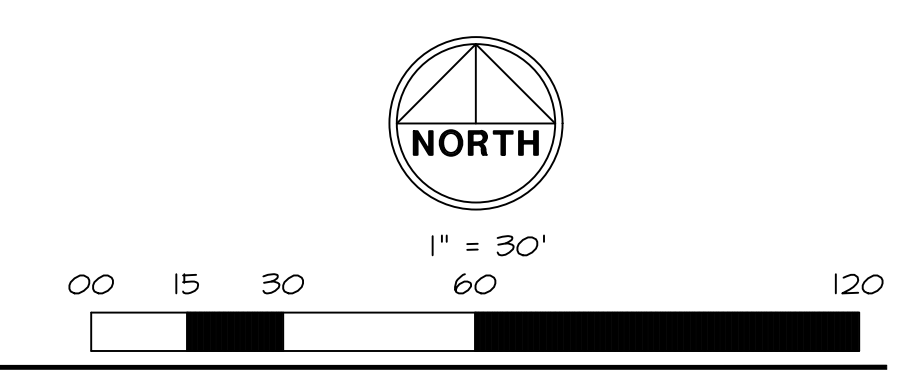
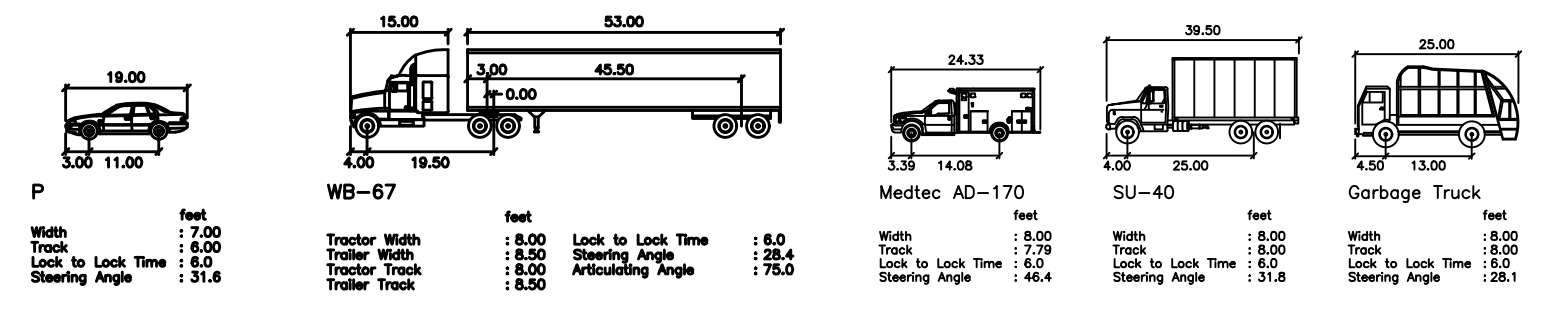
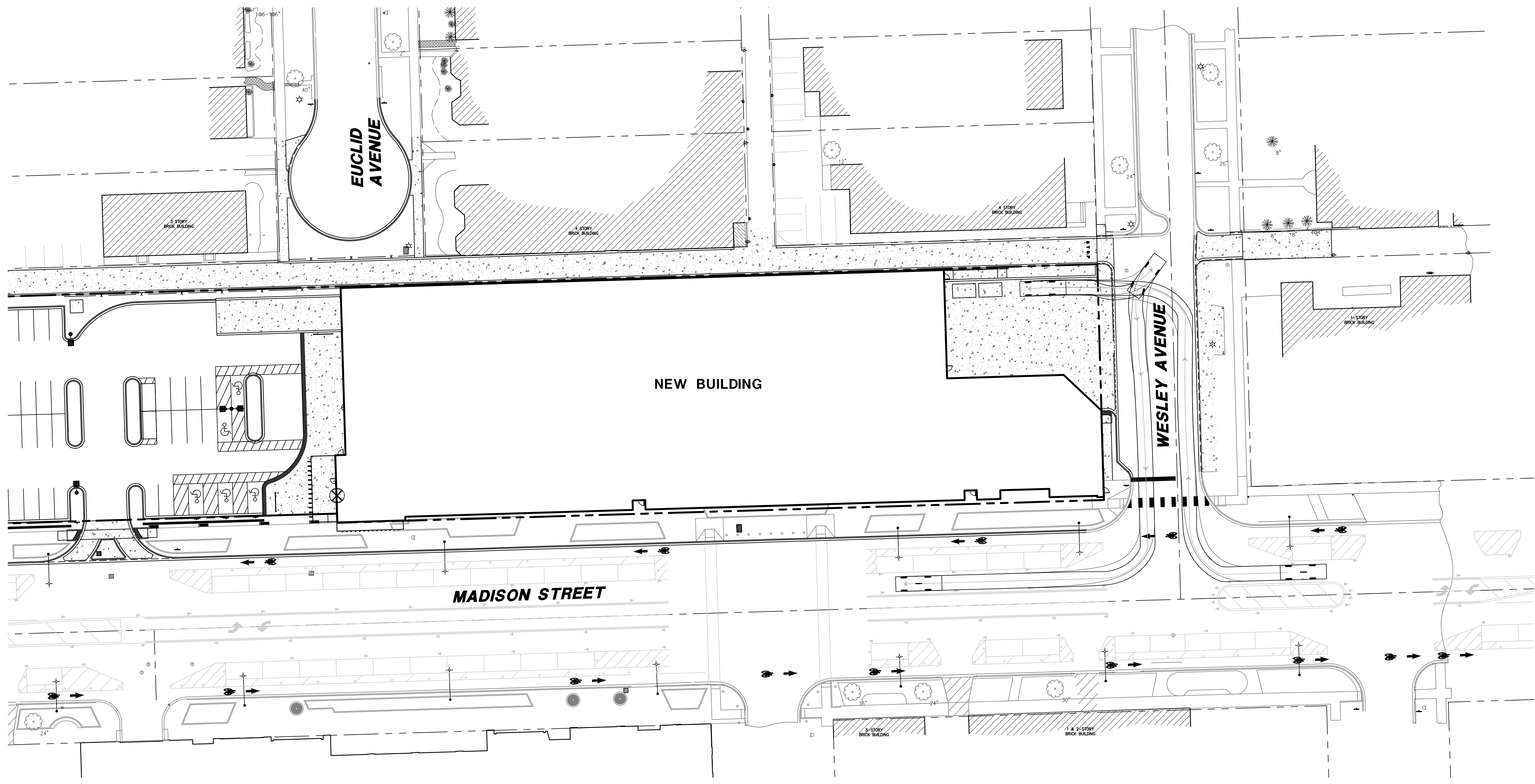
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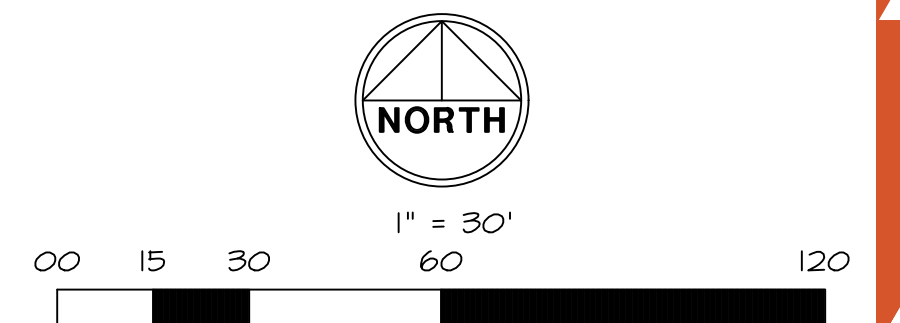
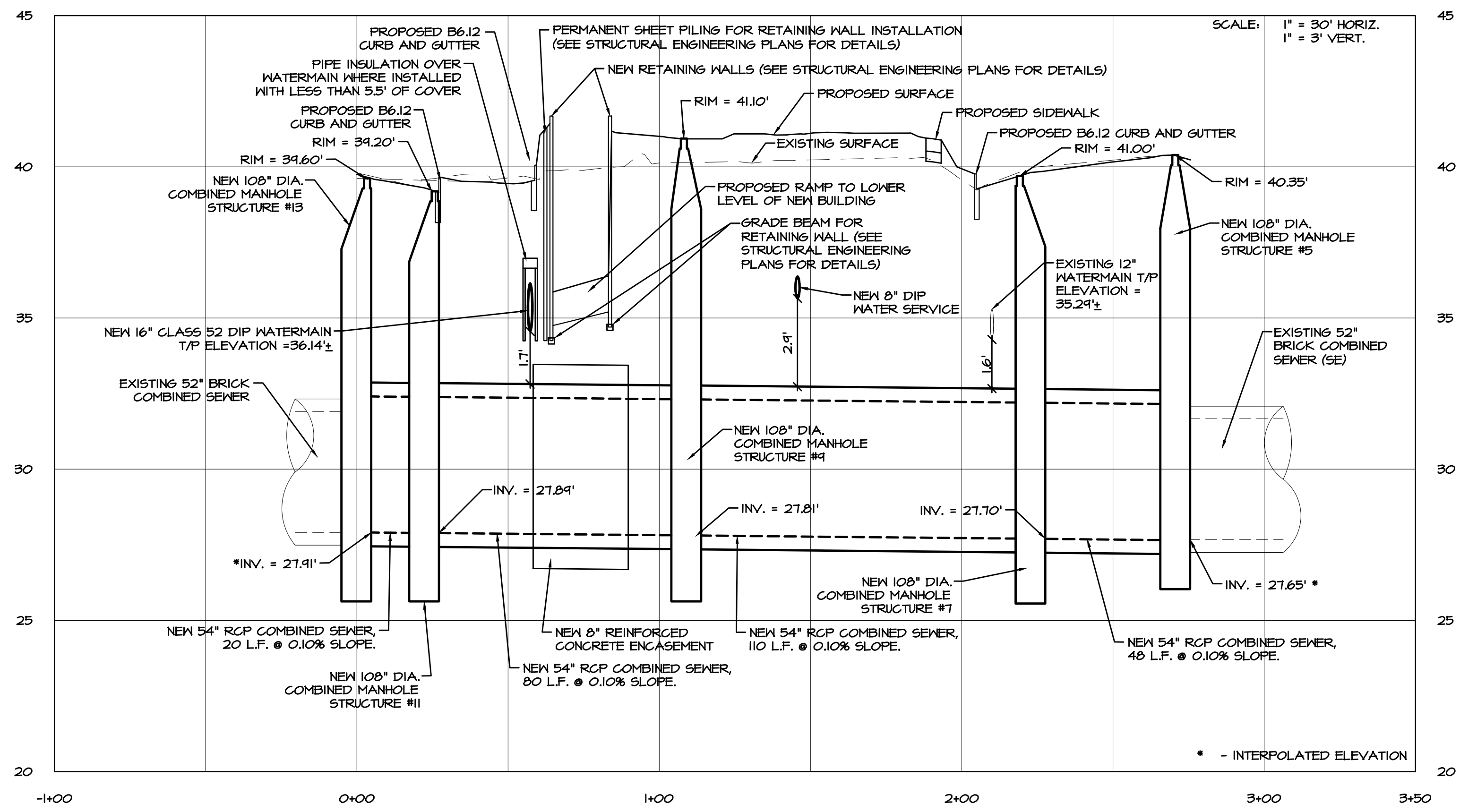
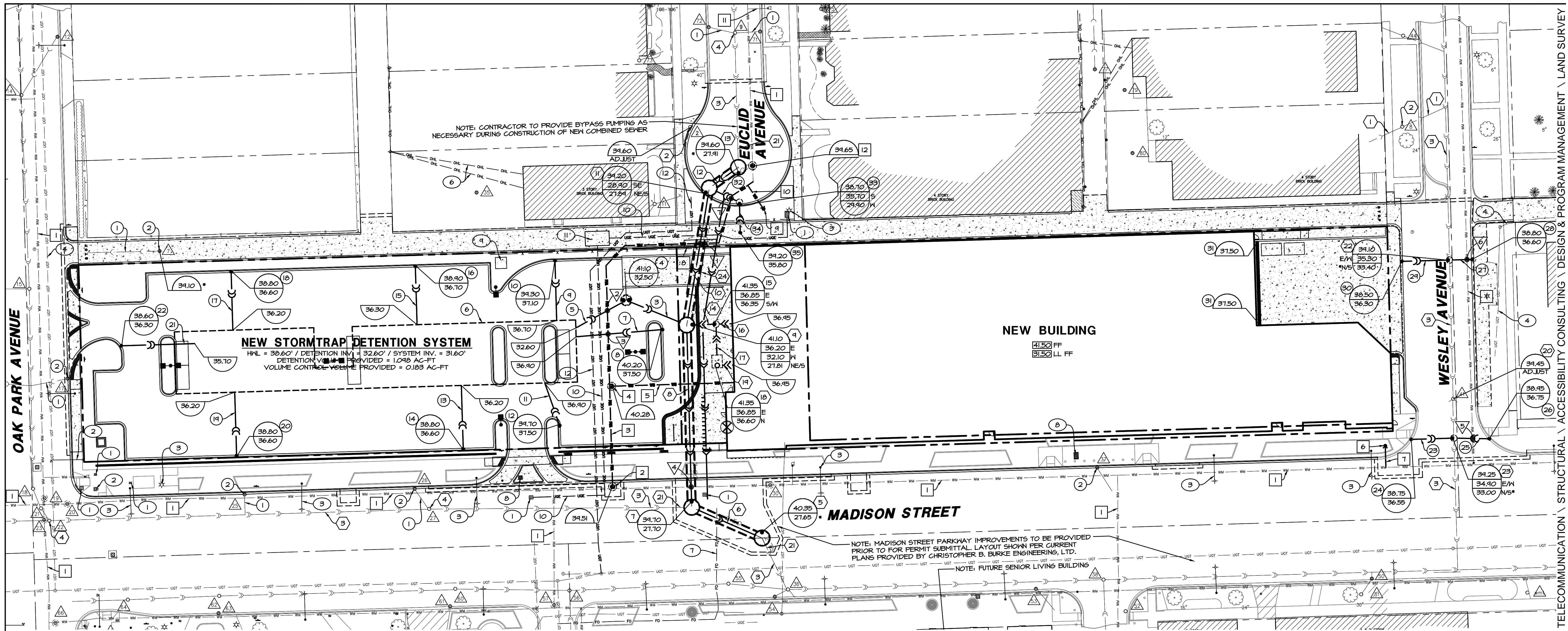
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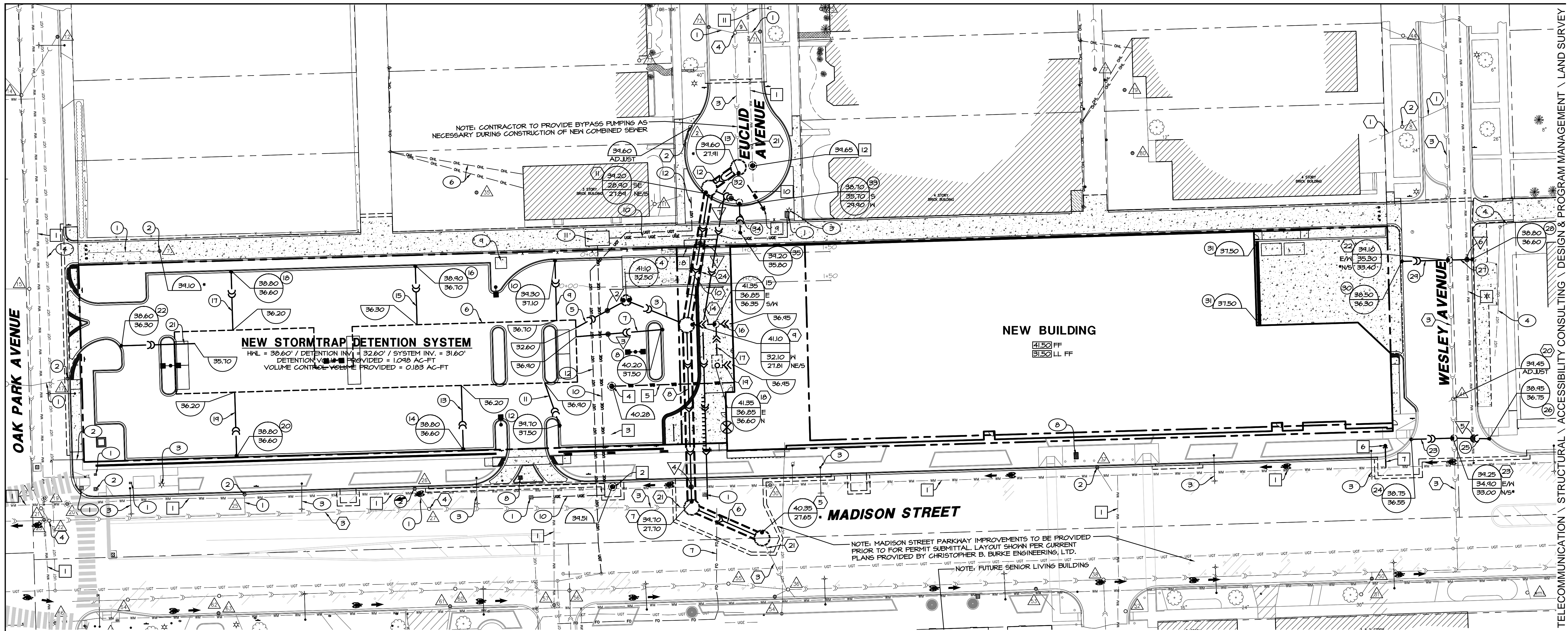
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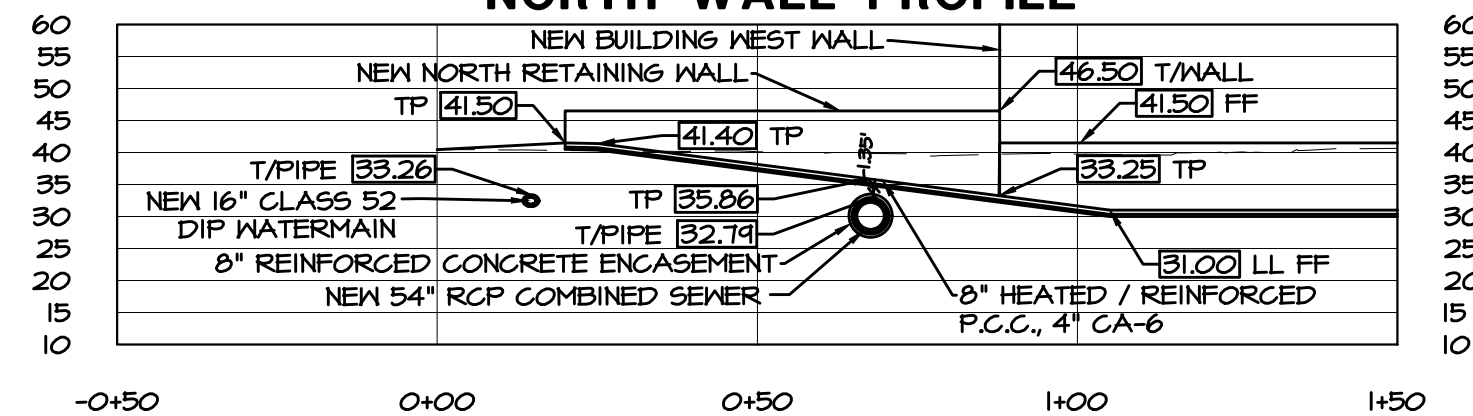
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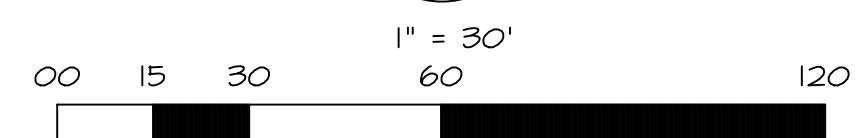
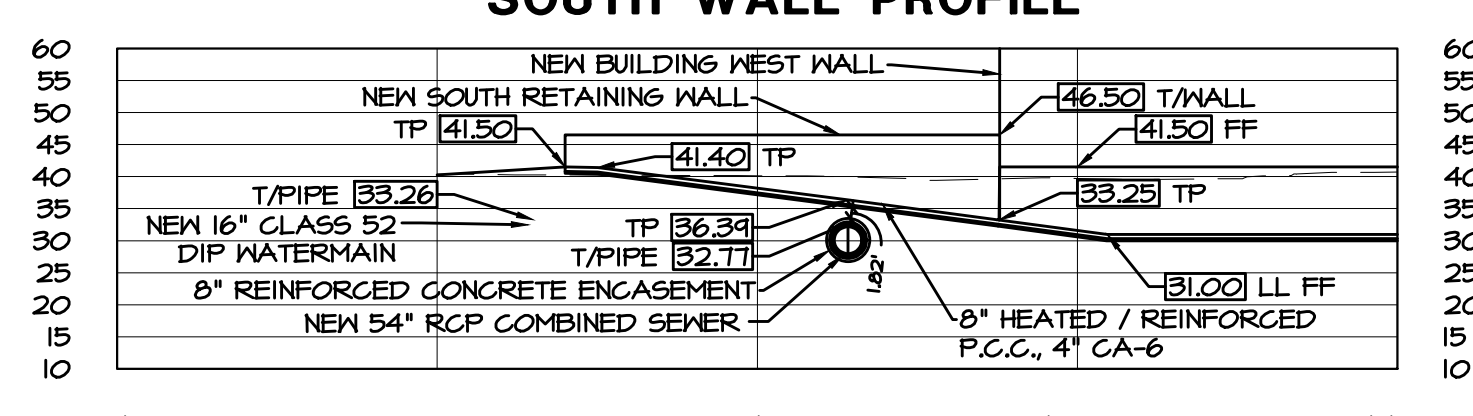
PP-1
 COMBINED SEWER PLAN AND PROFILE



NORTH WALL PROFILE



SOUTH WALL PROFILE



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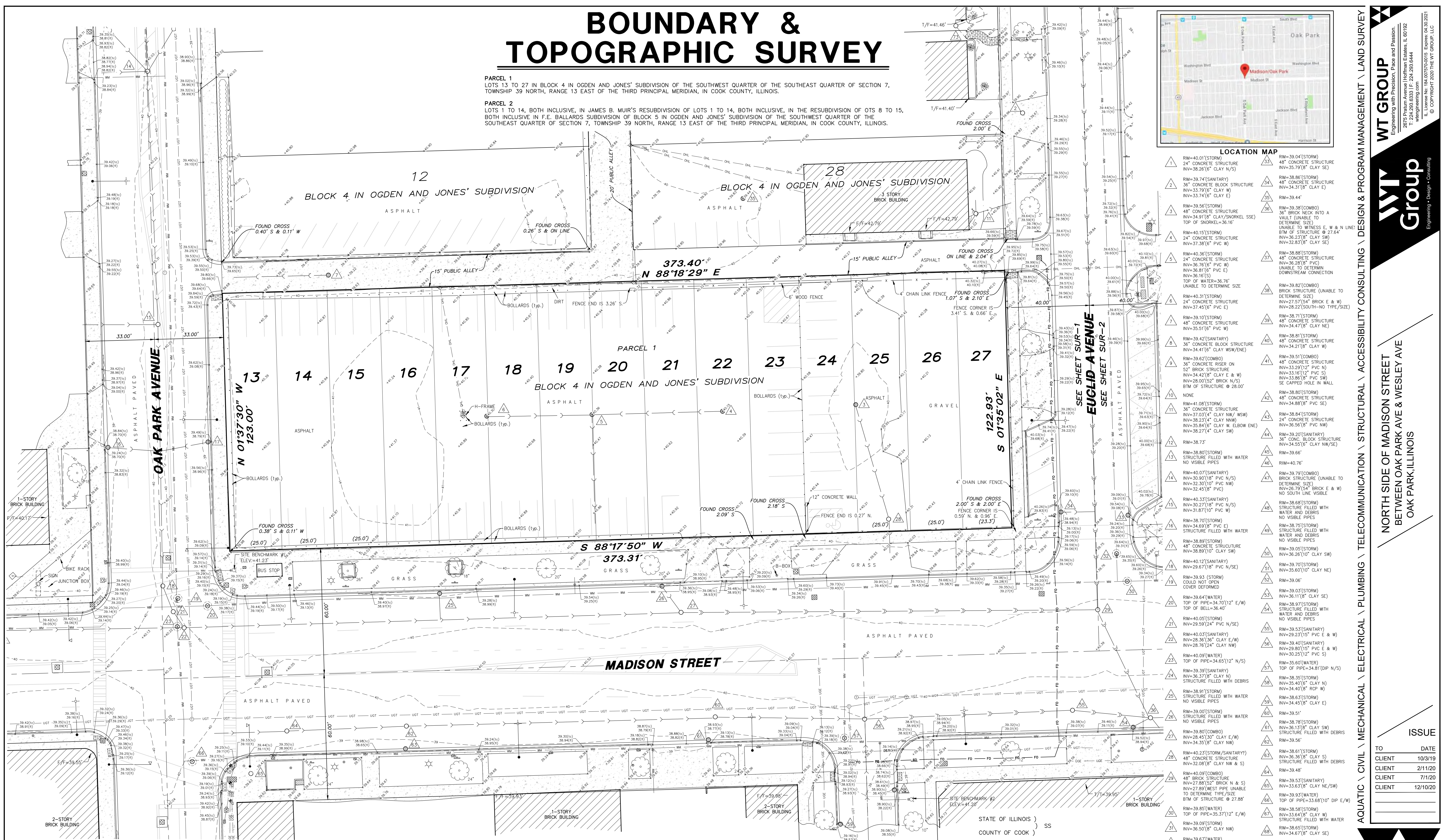
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PP-3
 DRIVEWAY RAMP
 PROFILES

BOUNDARY & TOPOGRAPHIC SURVEY

PARCEL 1
LOTS 13 TO 27 IN BLOCK 4 IN OGDEN AND JONES' SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2
LOTS 1 TO 14, BOTH INCLUSIVE, IN JAMES B. MUIR'S RESUBDIVISION OF LOTS 1 TO 14, BOTH INCLUSIVE, IN THE RESUBDIVISION OF OTS 8 TO 15, BOTH INCLUSIVE, IN F.E. BALLARD'S SUBDIVISION OF BLOCK 5 IN OGDEN AND JONES' SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

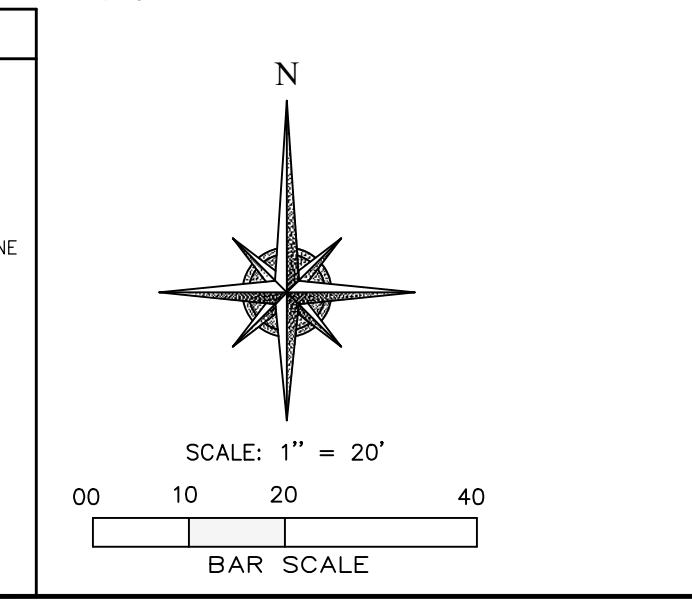


LOCATION MAP

1	RIM=40.01'(STORM) 24" CONCRETE STRUCTURE INV=38.26'(6" CLAY N/S)	33	RIM=39.04'(STORM) 48" CONCRETE STRUCTURE INV=35.79'(8" CLAY SE)
2	RIM=39.74'(SANITARY) 36" CONCRETE BLOCK STRUCTURE INV=33.78'(8" CLAY W) INV=33.74'(8" CLAY E)	34	RIM=38.86'(STORM) 48" CONCRETE STRUCTURE INV=34.31'(8" CLAY E)
3	RIM=39.56'(STORM) 48" CONCRETE STRUCTURE INV=34.91'(8" CLAY/SNOORKEL SSE) TOP OF SNOORKEL=36.16' UNABLE TO WITNESS E, W & N LINE BTM OF STRUCTURE @ 27.64' INV=36.23'(8" CLAY SW) INV=32.83'(8" CLAY SE)	35	RIM=39.44'
4	RIM=40.15'(STORM) 24" CONCRETE STRUCTURE INV=37.38'(6" PVC W)	36	RIM=39.38'(COMBO) 36" BRICK NECK INTO A VAULT (UNABLE TO DETERMINE SIZE) UNABLE TO WITNESS E, W & N LINE BTM OF STRUCTURE @ 27.64' INV=36.23'(8" CLAY SW) INV=32.83'(8" CLAY SE)
5	RIM=40.36'(STORM) 24" CONCRETE STRUCTURE INV=36.76'(6" PVC W) INV=36.81'(6" PVC E) TOP OF WATER=36.76' UNABLE TO DETERMINE SIZE	37	RIM=39.82'(STORM) 48" CONCRETE STRUCTURE INV=36.26'(6" PVC) UNABLE TO DETERMINE DOWNSTREAM CONNECTION
6	RIM=40.31'(STORM) 24" CONCRETE STRUCTURE INV=37.45'(6" PVC E)	38	RIM=39.92'(COMBO) BRICK STRUCTURE (UNABLE TO DETERMINE SIZE) INV=27.57'(54" BRICK E & W) INV=28.22'(SOUTH-NO TYPE SIZE)
7	RIM=39.10'(STORM) 48" CONCRETE STRUCTURE INV=35.51'(6" PVC W)	39	RIM=38.71'(STORM) 48" CONCRETE STRUCTURE INV=34.47'(8" CLAY NE)
8	RIM=39.42'(SANITARY) 36" CONCRETE BLOCK STRUCTURE INV=34.41'(8" CLAY WSW/E)	40	RIM=38.81'(STORM) 48" CONCRETE STRUCTURE INV=34.21'(8" CLAY W)
9	RIM=39.62'(COMBO) 36" CONCRETE RISER ON 52" BRICK STRUCTURE INV=34.42'(8" CLAY E & W) INV=28.00'(52" BRICK N/S) BTM OF STRUCTURE @ 28.00'	41	RIM=39.51'(COMBO) 48" CONCRETE STRUCTURE INV=33.29'(12" PVC N) INV=33.16'(12" PVC S) INV=33.86'(8" CLAY SW) SE CAPPED HOLE IN WALL
10	NONE	42	RIM=38.80'(STORM) 48" CONCRETE STRUCTURE INV=34.55'(6" CLAY NW/SE)
11	RIM=41.08'(STORM) 36" CONCRETE STRUCTURE INV=37.03'(4" CLAY NW/WSW) INV=38.23'(4" CLAY NNW) INV=35.85'(8" CLAY W ELBOW ENE) INV=38.27'(4" CLAY SW)	43	RIM=38.84'(STORM) 24" CONCRETE STRUCTURE INV=35.85'(8" CLAY NW) NO SOUTH LINE VISIBLE
12	RIM=38.73'	44	RIM=39.20'(SANITARY) 36" CONCRETE BLOCK STRUCTURE INV=34.55'(6" CLAY NW/SE)
13	RIM=38.80'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	45	RIM=39.66'
14	RIM=40.07'(SANITARY) INV=30.90'(18" PVC N/S) INV=32.30'(10" PVC NW) INV=32.45'(8" PVC)	46	RIM=40.76'
15	RIM=40.33'(SANITARY) INV=30.27'(18" PVC N/S) INV=31.87'(10" PVC W)	47	RIM=39.79'(COMBO) BRICK STRUCTURE (UNABLE TO DETERMINE SIZE) INV=26.78'(4" BRICK E & W) NO SOUTH LINE VISIBLE
16	RIM=38.70'(STORM) INV=34.69'(8" PVC E) STRUCTURE FILLED WITH WATER	48	RIM=38.68'(STORM) STRUCTURE FILLED WITH DEBRIS AND GUTTERS NO VISIBLE PIPES
17	RIM=38.89'(STORM) 48" CONCRETE STRUCTURE INV=38.89'(10" CLAY SW)	49	RIM=38.75'(STORM) STRUCTURE FILLED WITH WATER AND DEBRIS NO VISIBLE PIPES
18	RIM=40.12'(SANITARY) INV=29.67'(18" PVC N/SE)	50	RIM=39.05'(STORM) INV=36.26'(10" CLAY SW)
19	RIM=39.93 (STORM) STRUCTURE FILLED WITH WATER COVER DEFORMED	51	RIM=39.70'(STORM) INV=35.60'(10" CLAY NE)
20	RIM=39.64'(WATER) TOP OF PIPE=34.70'(12" E/W) TOP OF BELL=36.40'	52	RIM=39.06'
21	RIM=40.05'(STORM) INV=29.59'(24" PVC N/SE)	53	RIM=39.03'(STORM) INV=36.11'(8" CLAY SE)
22	RIM=40.03'(SANITARY) INV=28.36'(36" CLAY E/W) INV=28.76'(24" CLAY NW)	54	RIM=38.97'(STORM) STRUCTURE FILLED WITH WATER AND DEBRIS NO VISIBLE PIPES
23	RIM=40.09'(WATER) TOP OF PIPE=34.63'(12" N/S)	55	RIM=35.60'(WATER) TOP OF PIPE=34.81'(DIP N/S)
24	RIM=39.39'(SANITARY) INV=36.37'(8" CLAY N) STRUCTURE FILLED WITH DEBRIS	56	RIM=38.35'(STORM) INV=35.40'(8" CLAY N) INV=34.40'(8" RCP W)
25	RIM=38.91'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	57	RIM=38.63'(STORM) INV=34.45'(8" CLAY E)
26	RIM=39.00'(STORM) STRUCTURE FILLED WITH WATER NO VISIBLE PIPES	58	RIM=39.51'
27	RIM=39.80'(COMBO) INV=28.45'(30" CLAY E/W) INV=34.35'(8" CLAY NW)	59	RIM=38.78'(STORM) INV=36.13'(8" CLAY SW) STRUCTURE FILLED WITH DEBRIS
28	RIM=40.23'(STORM/SANITARY) 48" CONCRETE STRUCTURE INV=32.08'(8" CLAY NW & S)	60	RIM=39.51'
29	RIM=40.09'(COMBO) 48" BRICK STRUCTURE INV=27.88'(52" BRICK N & S) INV=27.88'(52" BRICK N & S) UNABLE TO DETERMINE TYPE SIZE BTM OF STRUCTURE @ 27.88'	61	RIM=38.61'(STORM) INV=36.36'(8" CLAY S) STRUCTURE FILLED WITH DEBRIS
30	RIM=39.85'(WATER) TOP OF PIPE=35.37'(12" E/W)	62	RIM=39.48'
31	RIM=39.09'(STORM) INV=36.50'(8" CLAY NW)	63	RIM=39.53'(SANITARY) 48" CONCRETE STRUCTURE INV=34.09'(8" PVC NW, W & E) INV=33.82'(8" CLAY NE/SW)
32	RIM=39.67'(WATER) TOP OF PIPE=35.87'(15" N/S)	64	RIM=38.85'(STORM) 48" CONCRETE STRUCTURE FULL OF WATER 35.27' AT WATER LEVEL INV=34.17'(8" CLAY W)
		65	RIM=38.99'(STORM) 48" CONCRETE STRUCTURE FULL OF WATER 35.16' AT WATER LEVEL INV=34.22'(8" CLAY E)
		66	RIM=38.85'(STORM) 48" CONCRETE STRUCTURE FULL OF WATER 35.16' AT WATER LEVEL INV=34.22'(8" CLAY E)
		67	RIM=40.85'(SANITARY) 24" CONCRETE STRUCTURE INV=39.19'(4" CLAY N) INV=38.18'(4" CLAY NE)

LEGEND

PROPERTY LINE	1/4" T/1"	TOP FOUNDATION/THRESHOLD	SOIL BORING
CENTER LINE		TYPICAL SIGN	TELECOM MANHOLE
EASEMENT LINE		CLOSED END SECTION	UTILITY POLE
BUILDING SETBACK		OPEN MANHOLE	GUARDRAIL
RECORD DATA		BEEHIVE MANHOLE	OUT WIRE ANCHOR
CONCRETE		GUTTER FRAME MANHOLE	CONTOUR LINE
EVERGREEN/DECIDUOUS		VALVE VAULT	TREE LINE / HEDGE LINE
SHRUB		FIRE HYDRANT	EDGE GRAVEL/STONE
MONITOR WELL		POST LIGHT/GROUND LIGHT	FENCE LINE
GAS VALVE		AREA LIGHT/LIGHT POLE	STORM SEWER
UTILITY MARKINGS		STREET LIGHT	WATER SERVICE LINE
		WATER MAIN	TRAFFIC SIGNAL
		MAST ARM SIGNAL	OVERHEAD LINE
		HANDHOLE (electric/traffic)	FIBER OPTIC LINE
		GAS METER	GAS LINE
		ELECTRIC METER	U.S. TELECO LINE
		REDESTR (telecom, electric, cable)	U.S. ELECTRIC LINE



NOTES:

- SITE BENCHMARK #1 - NORTHWEST FLANGE BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.23' (CITY OF OAK PARK DATUM)
- SITE BENCHMARK #2 - NORTHEAST TAG BOLT OF HYDRANT LOCATED AT THE SOUTHWEST CORNER OF MADISON STREET & OAK PARK AVENUE. ELEVATION=41.20' (CITY OF OAK PARK DATUM)
- PERMANENT INDEX NUMBER (P.I.N.):
PARCEL 1: 16-07-418-014, 16-07-418-017, 16-07-418-018 & 16-07-418-020
PARCEL 2: 16-07-419-017, 16-07-419-018, 16-07-419-019, 16-07-419-020, 16-07-419-021, 16-07-419-022 & 16-07-419-023
- THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
- PROPERTY AREAS:
PARCEL 1: 1.0539 ACRES (45,909 SQ. FT.)
PARCEL 2: 1.0258 ACRES (44,684 SQ. FT.)

NOTES (cont.):

- FIELD WORK COMPLETED ON OCTOBER 1st, 2019
- SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HERON.
- SURVEY PREPARED FOR: PETES FRESH MARKET
- BUILDING TIES & DIMENSIONS SHOWN ARE MEASURED FROM THE OUTSIDE FACE OF THE BUILDING.
- BASES OF BEARINGS IS TRUE NORTH BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM, ILLINOIS EAST 1201 ZONE.
- ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS)
COUNTY OF COOK) SS

WE THE W-T GROUP DO HEREBY DECLARE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 10th DAY OF DECEMBER, A.D. 2020 AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

Franjo L. Matice
FRANJO L. MATICE - PLS #035-003556 EXPIRES 11/30/2022
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

STATE OF ILLINOIS
PROFESSIONAL LAND SURVEYOR
FRANJO L. MATICE
035-003556
HOFFMAN ESTATES
ILLINOIS

CHECK-FIRM
DRAWN:MWO
JOB: 1913045H

ISSUE

TO	DATE
CLIENT	10/31/19
CLIENT	2/11/20
CLIENT	7/11/20
CLIENT	12/10/20

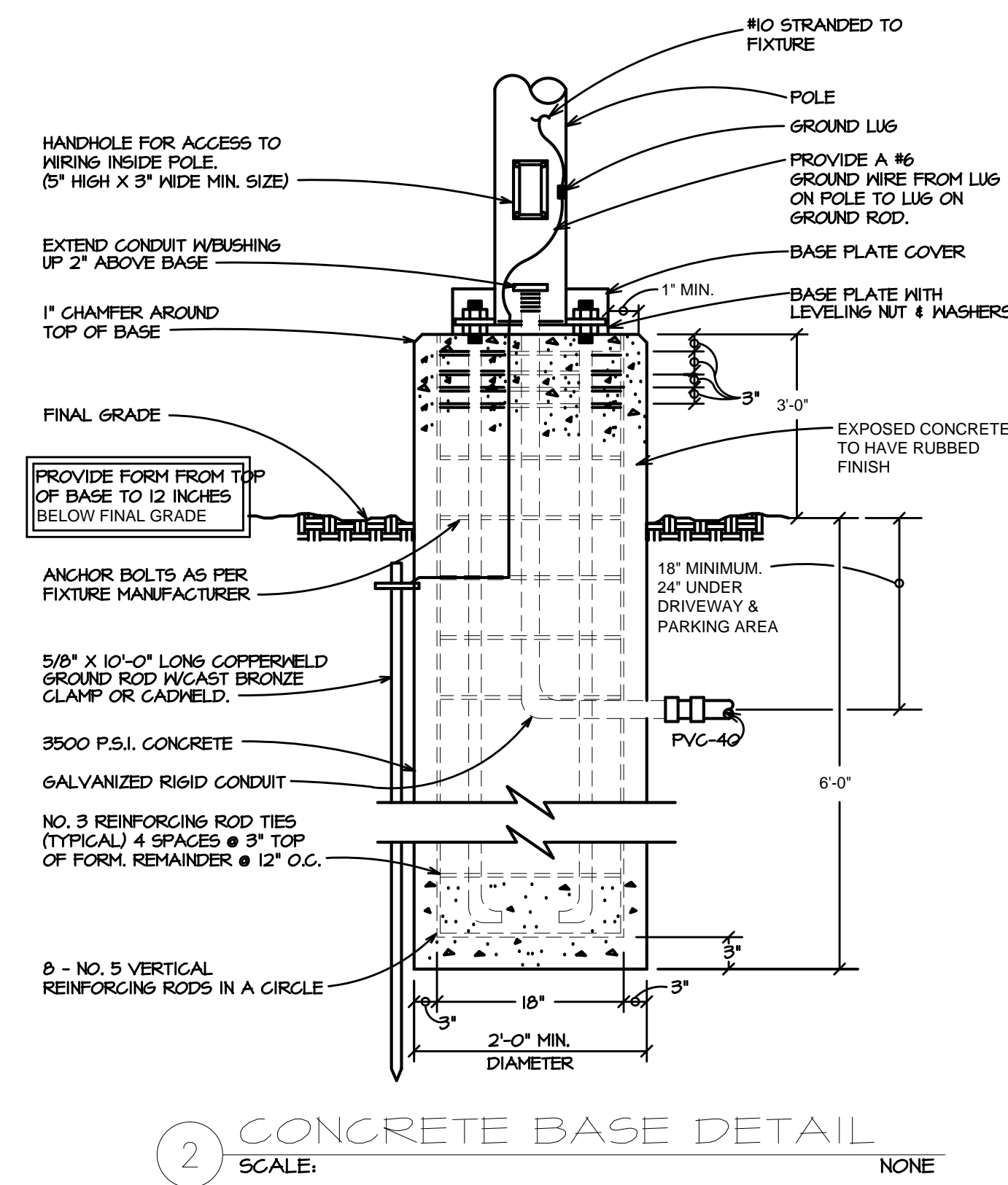
SUR-1
SHEET 1 OF 2
BOUNDARY & TOPOGRAPHIC SURVEY

WT GROUP
Engineering with Precision, Pace and Passion.
2875 Palum Avenue Hoffman Estates, IL 60192
T: 224.293.6333 F: 224.293.6444
wtgroup.com

WT Group
Engineering • Design • Consulting

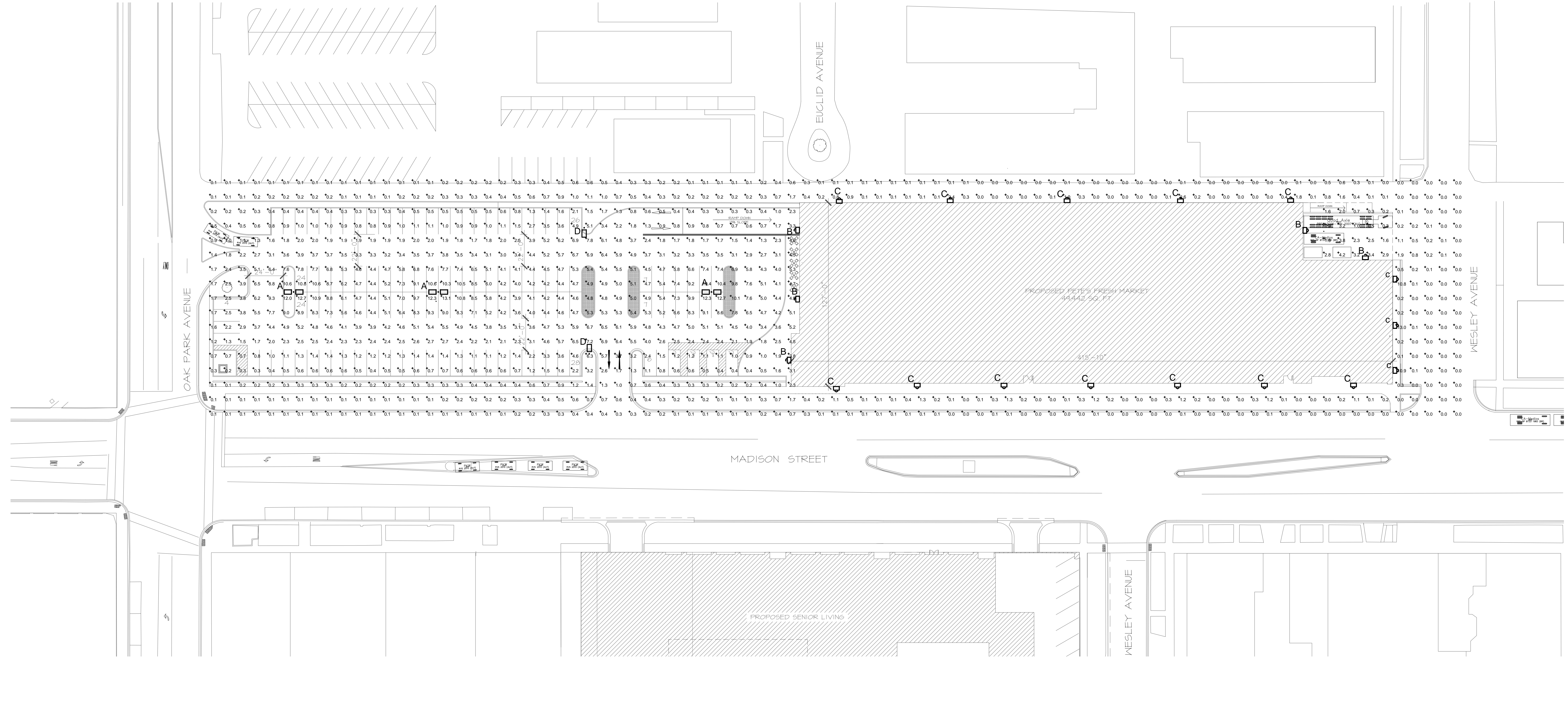
AQUATIC | CIVIL | MECHANICAL | ELECTRICAL | PLUMBING | TELECOMMUNICATION | STRUCTURAL | ACCESSIBILITY CONSULTING | DESIGN & PROGRAM MANAGEMENT | LAND SURVEY

NORTH SIDE OF MADISON STREET
BETWEEN OAK PARK AVE & WESLEY AVE
OAK PARK, ILLINOIS



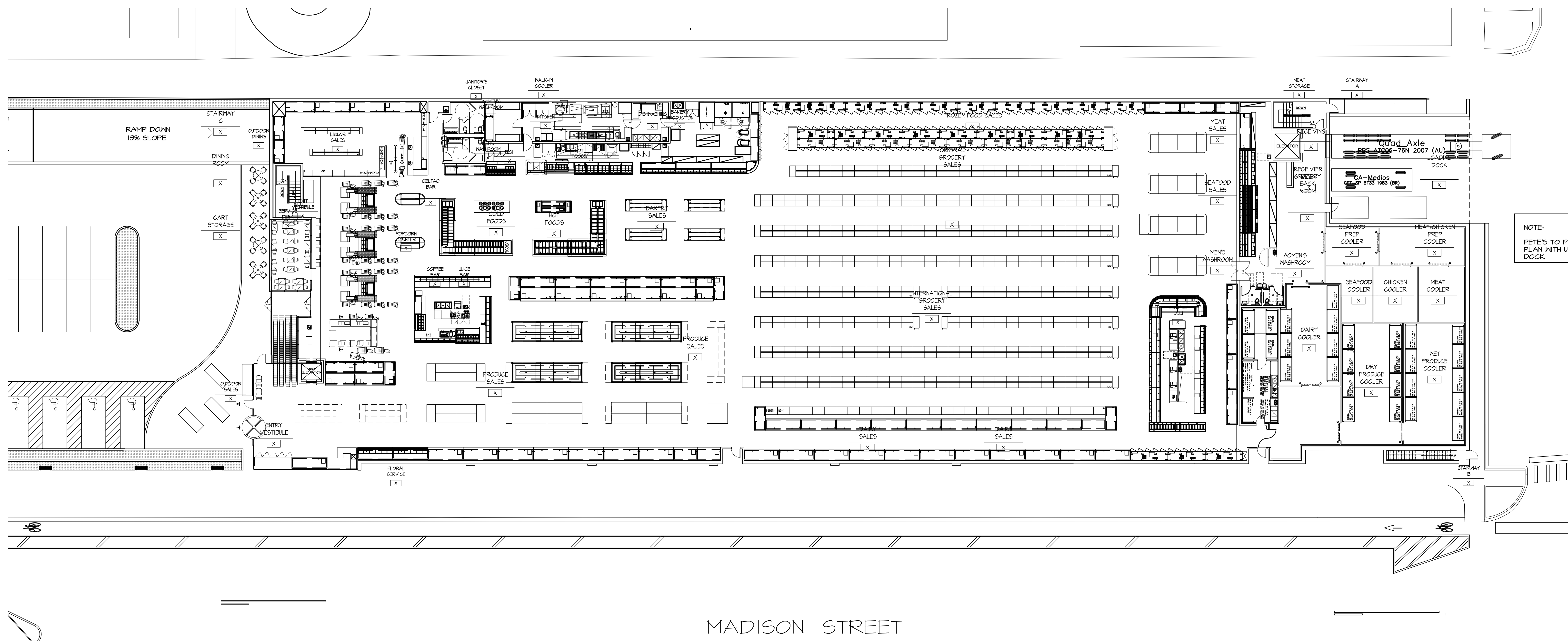
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	3		D626-LED-200-50-UNV-LP-T2	22" L X 15 3/4" W, X 5 7/8" H LED FIXTURE 6 LED MODULES WITH 4 LEDES EACH WITH T2 OPTICS	LED	1	D626-LED-200-50-UNV-LP-T2.ies	2690.05	0.95	372.8
□	B	5		INTW-3600L-50K-DM-2M-BZ	BIEN TO WALL PACK WITH (1) LED MODULE WITH (32) LEDES PER MODULE, (1) FINE II MEDIUM OPTICS AND (1) ELECTRONIC DRIVER IN A BRONZE HOUSING	K1-5000K LED MODULE	1	INTW-3600L-50K-DM-2M-BZ.ies	3454.358	0.95	27.9
□	C	15	Linora Lighting	OLLWU LED P1 40K 120 DOB	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	LED	1	OLLWU_LED_P1_40K_120_DOB.ies	1086	0.95	13.8
□	D	2		D626-LED-200-50-UNV-LP-T2	22" L X 15 3/4" W, X 5 7/8" H LED FIXTURE 6 LED MODULES WITH 4 LEDES EACH WITH T2 OPTICS	LED	1	D626-LED-200-50-UNV-LP-T2.ies	2690.05	0.95	372.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.0 fc	13.1 fc	0.0 fc	N/A	N/A

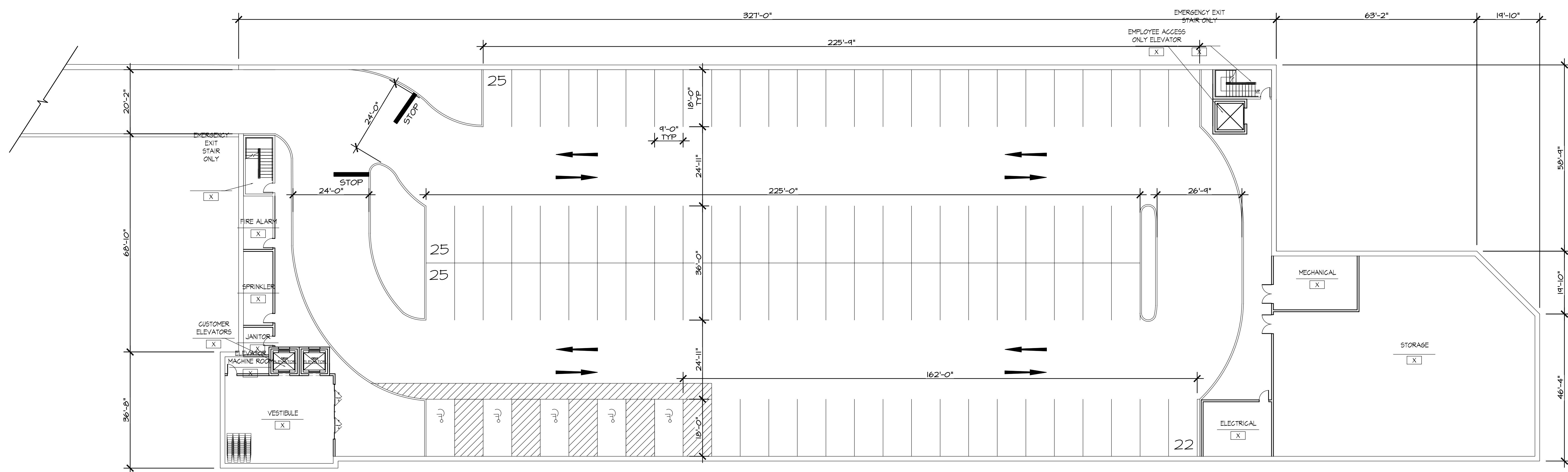


1 SITE PHOTOMETRICS PLAN
SCALE: 1"=30'-0"

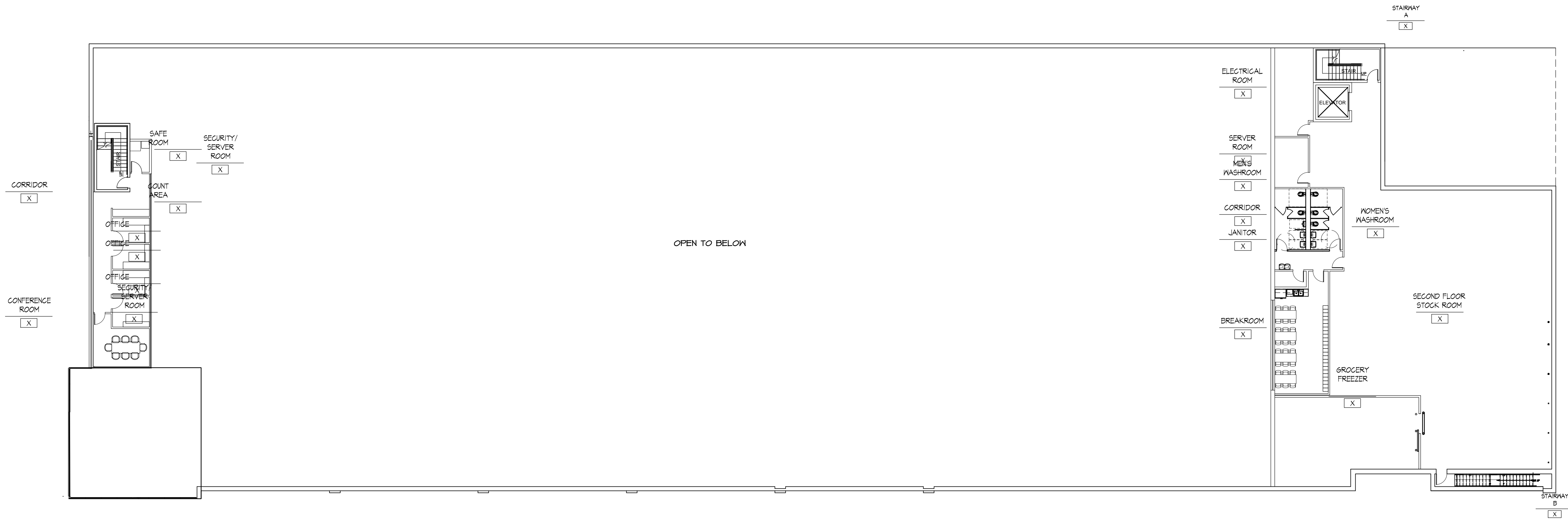




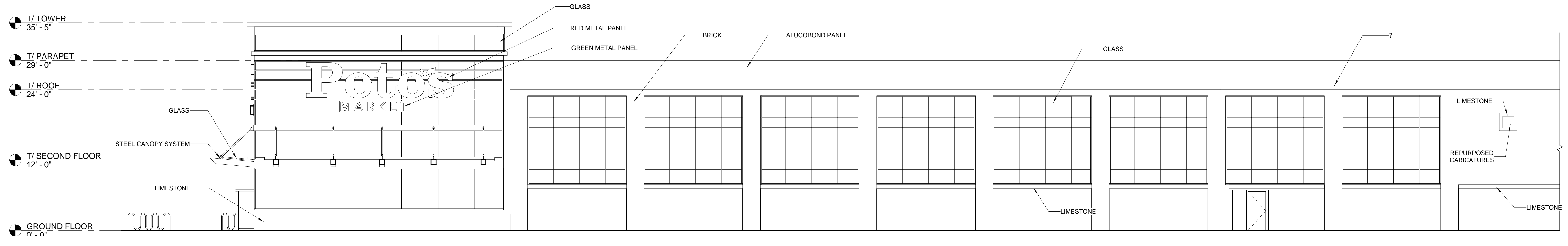
1 GROUND LEVEL FLOOR PLAN
SCALE: 1/16"=1'-0"



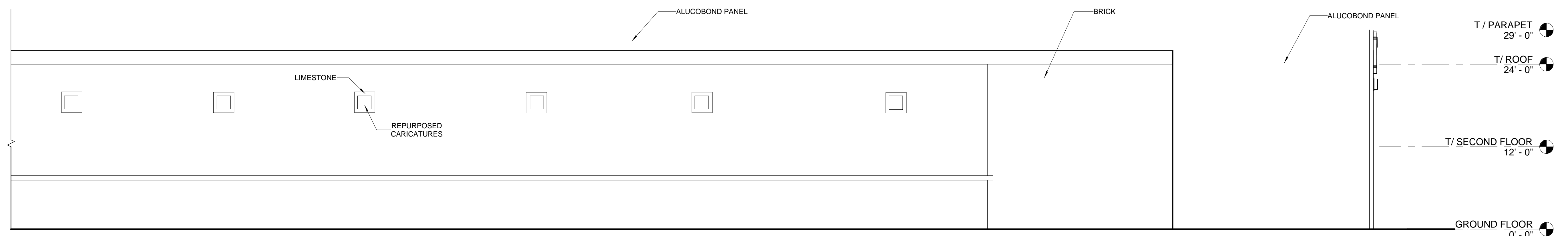
2 UNDERGROUND PARKING FLOOR PLAN
SCALE: 1/16"=1'-0"



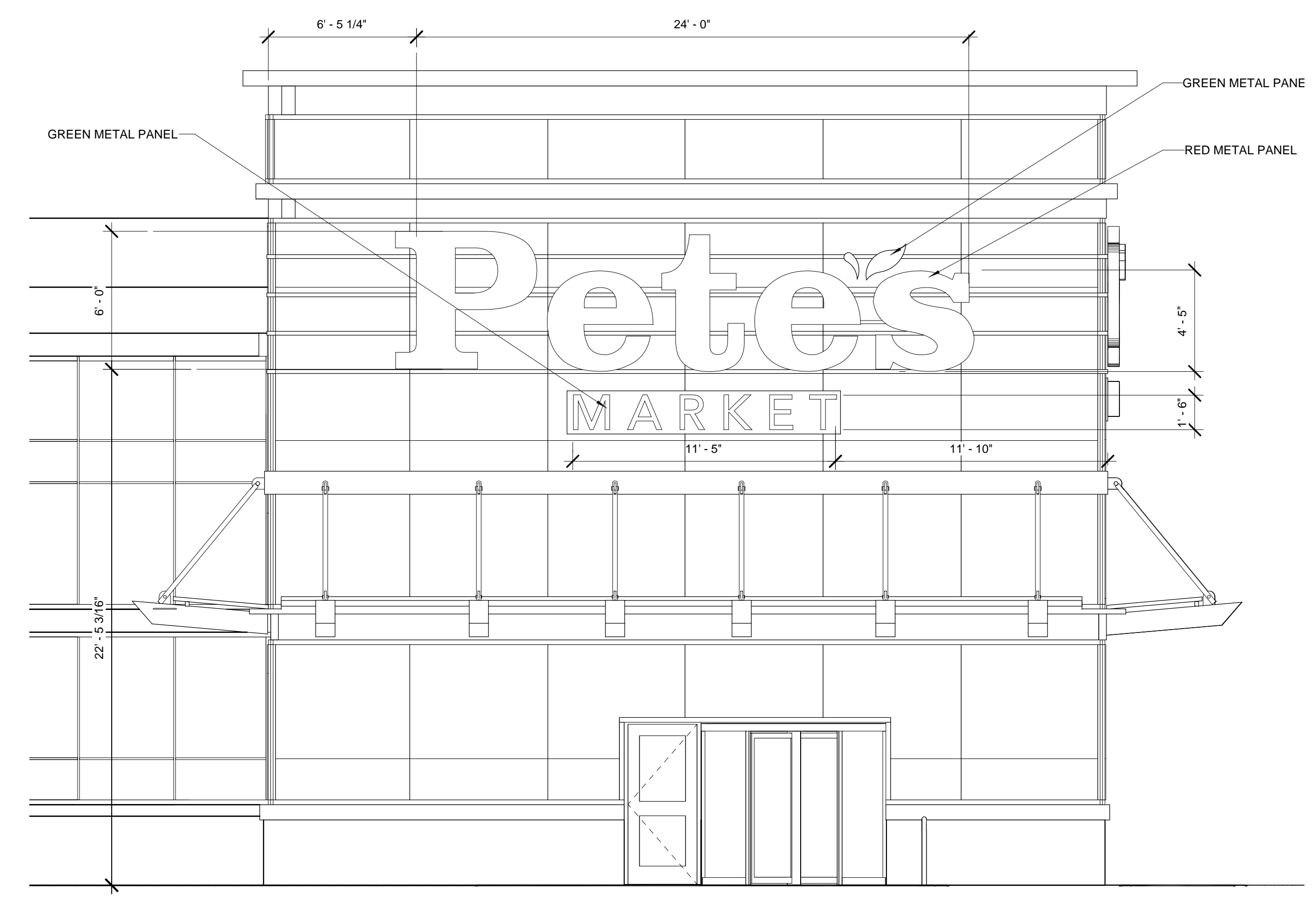
1 MEZZANINE FLOOR PLAN
SCALE: 1/16"=1'-0"



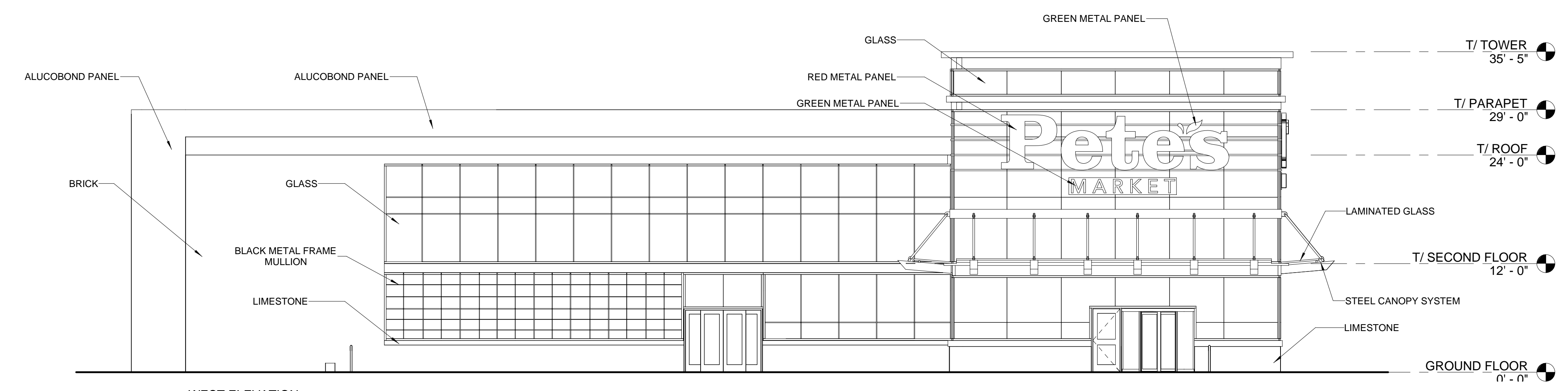
2 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



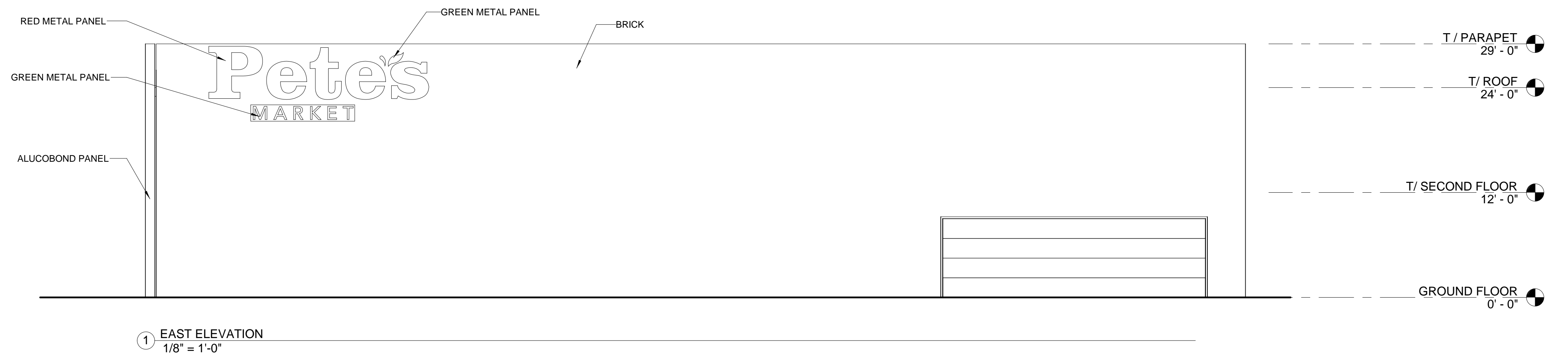
3 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



4 SIGN ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



① EAST ELEVATION
1/8" = 1'-0"



② PARTIAL NORTH ELEVATION
1/8" = 1'-0"



Petes
MARKET

Petes
MARKET



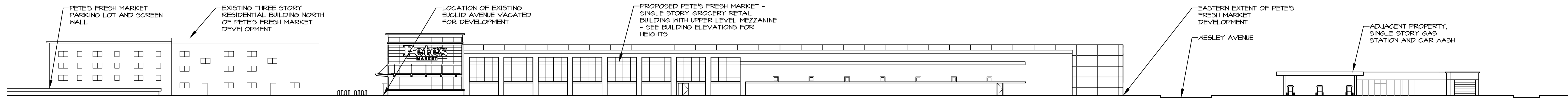


Petes
MARKET

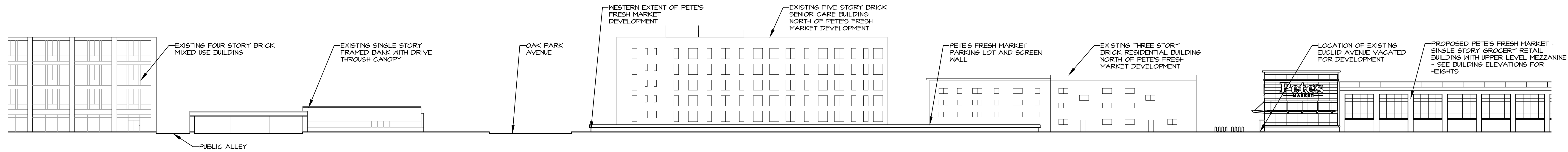


Petes
MARKET





1 STREETScape ELEVATION - EASTERN PORTION (SOUTH ELEVATION - MADISON STREET)
SCALE: NOT TO SCALE



2 STREETScape ELEVATION - WESTERN PORTION (SOUTH ELEVATION - MADISON STREET)
SCALE: NOT TO SCALE



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: **Planned Development Application**
TAB8_I_SHADOW STUDY
Pete's Fresh Market – New Store
Madison Street Oak Park

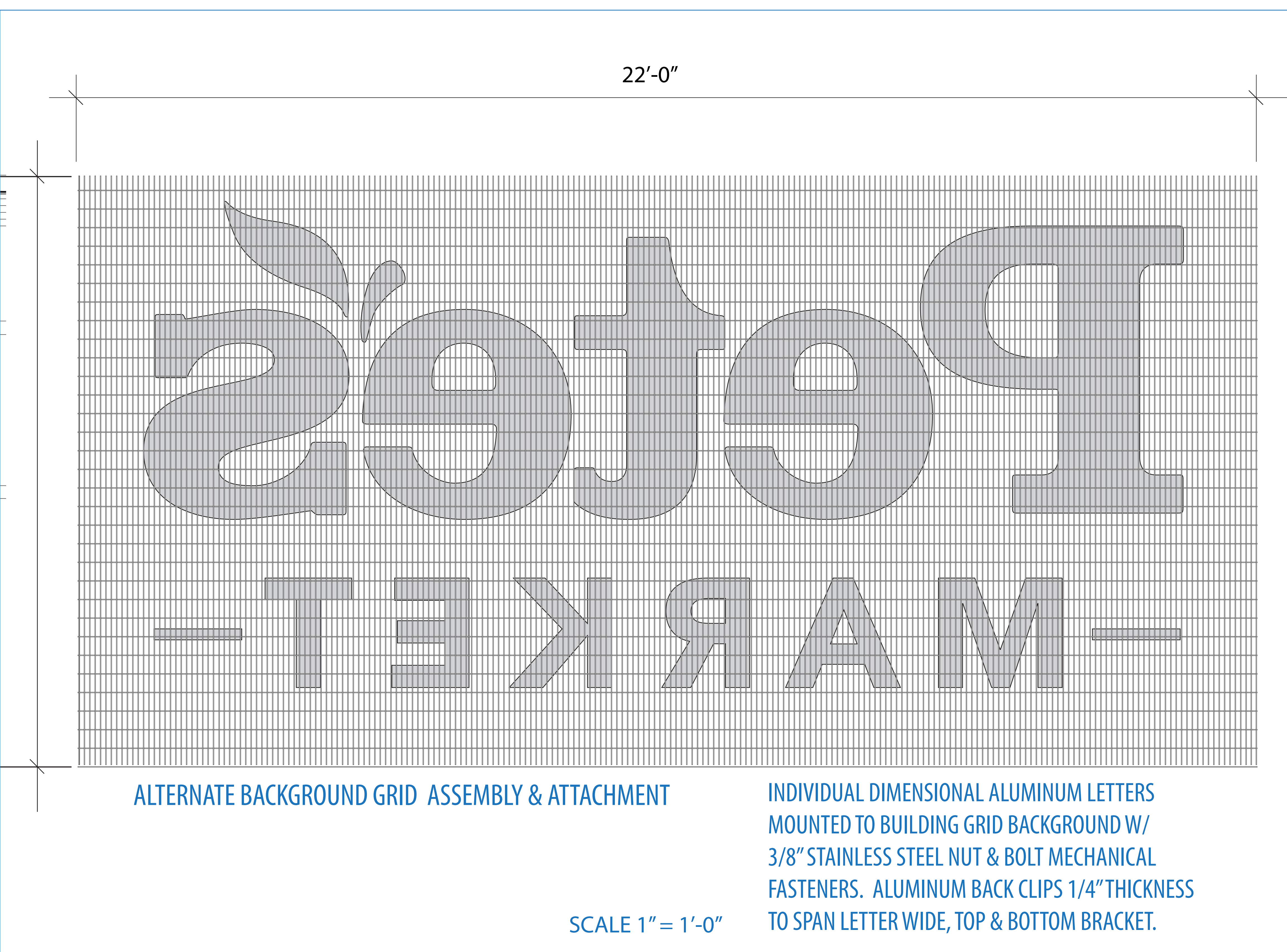
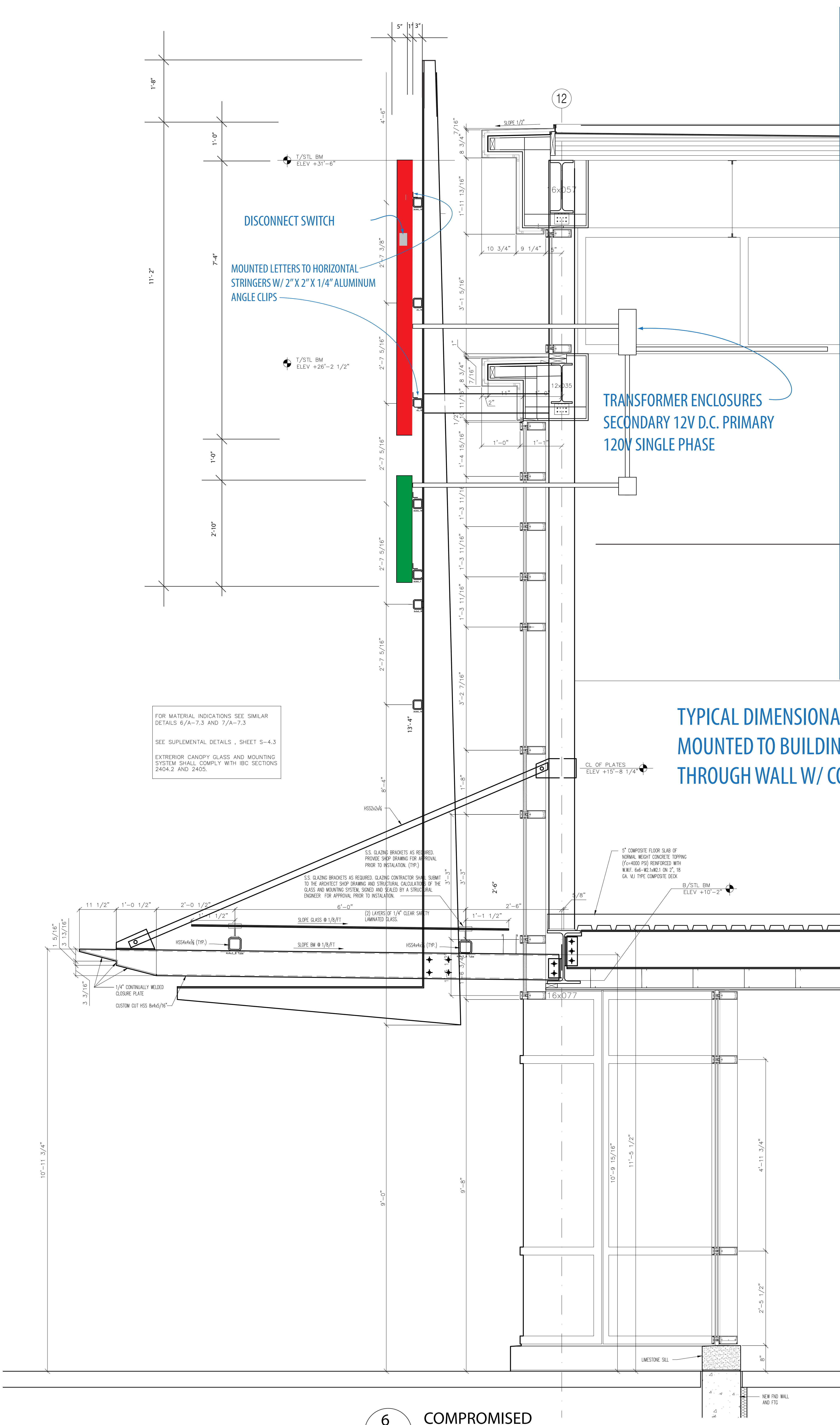
The Shadow Study as is not required or applicable at this time.

Regards,

Kenneth Nadolski
Principal

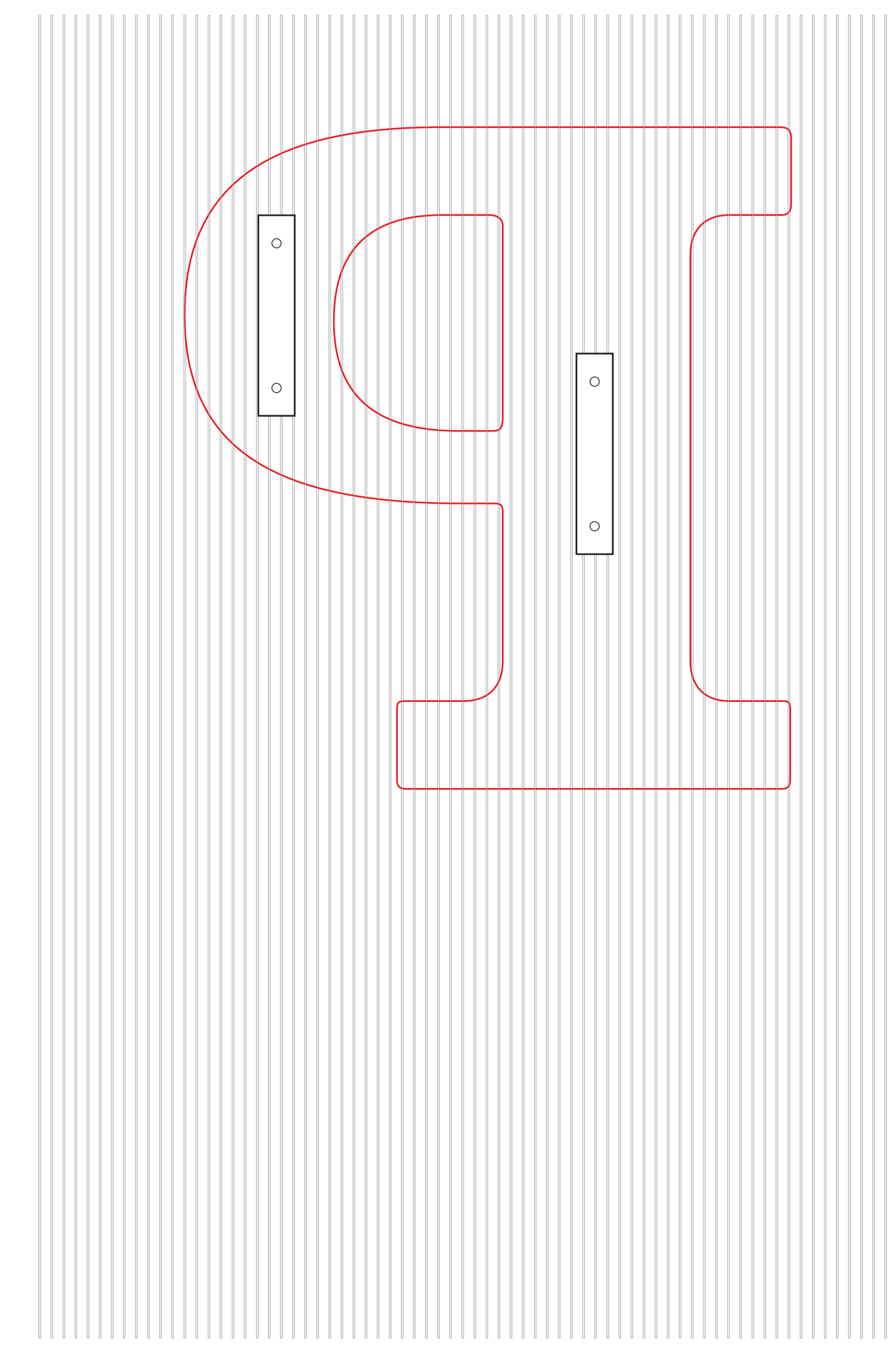
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CIVIL ENGINEERING | STRUCTURAL ENGINEERING | ACCESSIBILITY CONSULTING
MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT



TYPICAL DIMENSIONAL ALUMINUM FABRICATED LETTER MOUNTED TO BUILDING BACKGROUND W/ ELECTRICAL CONNECTION THROUGH WALL W/ CONDUIT.

ALUMINUM MOUNTING BRACKETS



SCALE 1" = 1'-0" SECTION 6 COMPROMISED W/ SIGN DETAIL A-7.3

REV. 02-13-2017 ATH/ SIZE

Underwriters Laboratories
The Holland Design Group
 1090 BROWN STREET
 WAUCONDA, ILLINOIS 60084-1106
 PHONE 847 526-8848
 FAX 847 526-8945
 email: artsign5@aol.com

P-3
 SHEET NUMBER

SIGN TYPE: WALL SIGN, DIMENSIONAL LETTERS & LOGO
LOCATION: ROUTE 83 & PLAINFIELD ROAD, WILLOWBROOK, IL.
JOB NO. 10-03-2016

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PETE'S MARKET
 RT. 83 & PLAINFIELD ROAD
 WILLOWBROOK, IL.

DATE: 10-03-2016
 DRAWN BY: ATH
 SCALE: AS NOTED

Underwriters Laboratories

The Holland Design Group
 1090 BROWN STREET
 WAUCONDA, ILLINOIS 60084-1106
 PHONE 847 526-8848
 FAX 847 526-8945
 email: artsign5@aol.com

CUSTOMERS APPROVAL OF DRAWING
 DATE: _____
 SIGNATURE: _____
 ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SEE THE SCALE AND WILL BE FINALIZED WITH FINAL DIMENSIONS SHALL BE.

COLORS
 SIZES
 PLACEMENT

Pete's Market 644 Madison Street Logistic Plan

- Red line** - Construction Fence
- Blue line** - Sliding gate G1 main & G2 secondary
- Yellow line** - Signage
- Green line** - Area of main construction
- Orange line** - Dedicated construction parking

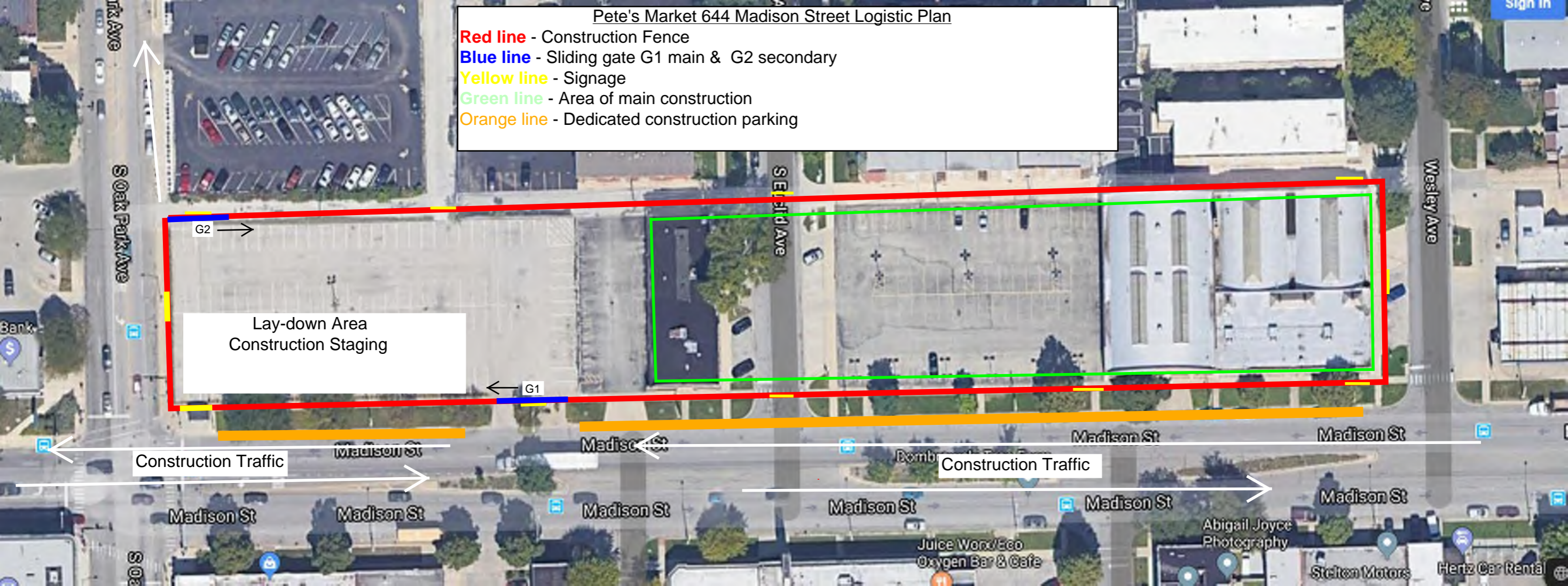
Lay-down Area
Construction Staging

G2 →

← G1

Construction Traffic

Construction Traffic



PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020

ID	Task Mode	Task Name	Duration	Start	Finish	Predecessors	May 21		October
							5/12	7/14	9/15
1		PRE-CONSTRUCTION PLANING	391 days	Mon 9/2/19	Mon 3/1/21				
2		PM-API Site Planning	95 days	Mon 9/2/19	Fri 1/10/20				
3		Reviews	160 days	Mon 10/14/19	Fri 5/22/20				
4		OP Utility Coordination	234 days	Tue 12/10/19	Fri 10/30/20				
5		Initial PUD Submittal to Village of Oak Park	1 day	Fri 1/31/20	Fri 1/31/20				
6		Traffic Study	1 day	Tue 3/31/20	Tue 3/31/20				
7		OP Initial PUD Submittal Feedback	15 days	Mon 4/6/20	Fri 4/24/20				
8		OP Initial incomplete comments received	1 day	Fri 4/24/20	Fri 4/24/20				
9		PM-API Revised PUD Submittal based on initial comments on going	5 days	Mon 4/27/20	Fri 5/1/20				
10		Oak Park Formal PUD App Comments Received	1 day	Fri 7/24/20	Fri 7/24/20				
11		Oak park 2nd review API Submittal	10 days	Mon 5/4/20	Fri 5/15/20				
12		PM API PUD 2nd Formal Submittal to Oak Park	1 day	Thu 10/15/20	Thu 10/15/20				
13		Oak Park 2nd review of API Submittal	10 days	Fri 10/16/20	Thu 10/29/20				
14		PUD Hearing	10 days	Tue 5/26/20	Mon 6/8/20				
15		PUD Hearing revised	1 day	Thu 12/3/20	Thu 12/3/20				
16		Staff comments	10 days	Mon 6/8/20	Fri 6/19/20				
17		Staff comments	10 days	Fri 12/4/20	Thu 12/17/20				
18		Plan Commission	10 days	Mon 6/22/20	Fri 7/3/20				
19		Plan Commission revised	10 days	Fri 12/18/20	Thu 12/31/20				
20		Final Hearing	1 day	Tue 7/7/20	Tue 7/7/20				

Project: PM Preliminary Schedule	Task		External Milestone		Manual Summary Rollup	
	Split		Inactive Task		Manual Summary	
	Milestone		Inactive Milestone		Start-only	
	Summary		Inactive Summary		Finish-only	
	Project Summary		Manual Task		Deadline	
	External Tasks		Duration-only		Progress	

PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020

ID	Task Mode	Task Name	Duration	Start	Finish	Predecessors	May 21		October
							5/12	7/14	9/15
21		Final Hearing revised	38 days	Thu 1/7/21	Sun 2/28/21				
22									
23		CONSTRUCTION	365 days	Mon 3/15/21	Fri 8/5/22				
24		Demolition	15 days	Mon 3/15/21	Fri 4/2/21				
25		Sheet Piling (affected by CE Pole relocation)	25 days	Mon 4/26/21	Fri 5/28/21				
26		Excavation	15 days	Tue 6/1/21	Mon 6/21/21				
27		Utility Relocation C.E. / ATT / Sewer	125 days	Mon 11/2/20	Fri 4/23/21				
28		Concrete	60 days	Tue 6/22/21	Mon 9/13/21				
29		Steel	28 days	Mon 7/19/21	Wed 8/25/21				
30		Masonry	65 days	Mon 8/23/21	Fri 11/19/21				
31		Carpentry Exterior	60 days	Mon 8/2/21	Fri 10/22/21				
32		Roofing	45 days	Mon 9/6/21	Fri 11/5/21				
33		Glazing	34 days	Mon 8/23/21	Thu 10/7/21				
34									
35		PM SITE UTILITIES	105 days	Mon 5/10/21	Fri 10/1/21				
36		Electric	75 days	Mon 6/21/21	Fri 10/1/21				
37		Sewer and Water	75 days	Mon 3/15/21	Fri 6/25/21				
38									
39		INTERIOR CONSTRUCTION	255 days	Mon 8/16/21	Fri 8/5/22				
40		Refrigeration	195 days	Mon 8/16/21	Fri 5/13/22				
41		Plumbing	190 days	Mon 8/16/21	Fri 5/6/22				

Project: PM Preliminary Schedule

Task		External Milestone		Manual Summary Rollup	
Split		Inactive Task		Manual Summary	
Milestone		Inactive Milestone		Start-only	
Summary		Inactive Summary		Finish-only	
Project Summary		Manual Task		Deadline	
External Tasks		Duration-only		Progress	

PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020

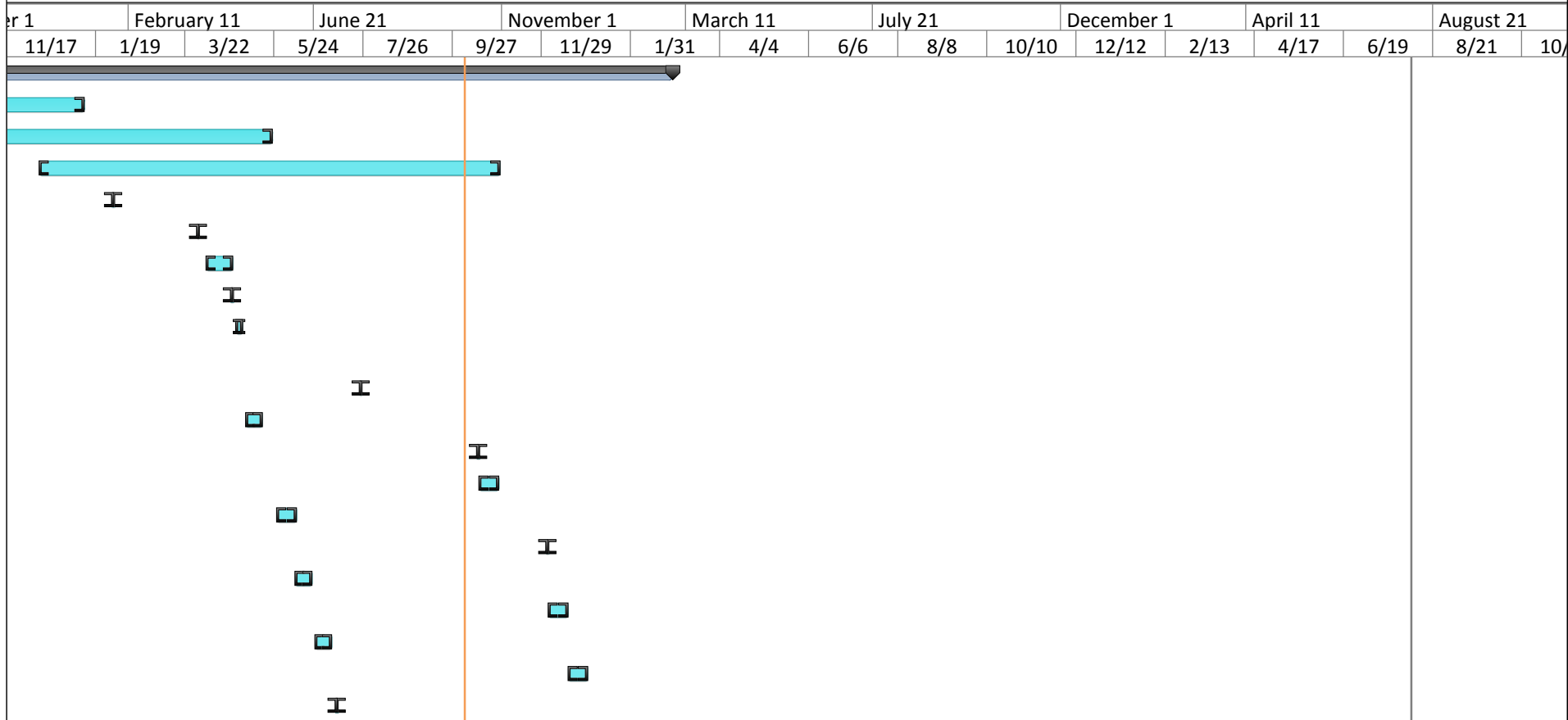
ID	Task Mode	Task Name	Duration	Start	Finish	Predecessors	May 21		October
							5/12	7/14	9/15
42		Electric	220 days	Mon 8/16/21	Fri 6/17/22				
43		Fire Sprinkler	160 days	Mon 8/16/21	Fri 3/25/22				
44		HVAC	165 days	Mon 8/16/21	Fri 4/1/22				
45		PM Interior Fit-out	70 days	Mon 5/2/22	Fri 8/5/22				

Project: PM Preliminary Schedule

Task		External Milestone		Manual Summary Rollup	
Split		Inactive Task		Manual Summary	
Milestone		Inactive Milestone		Start-only	
Summary		Inactive Summary		Finish-only	
Project Summary		Manual Task		Deadline	
External Tasks		Duration-only		Progress	

PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020

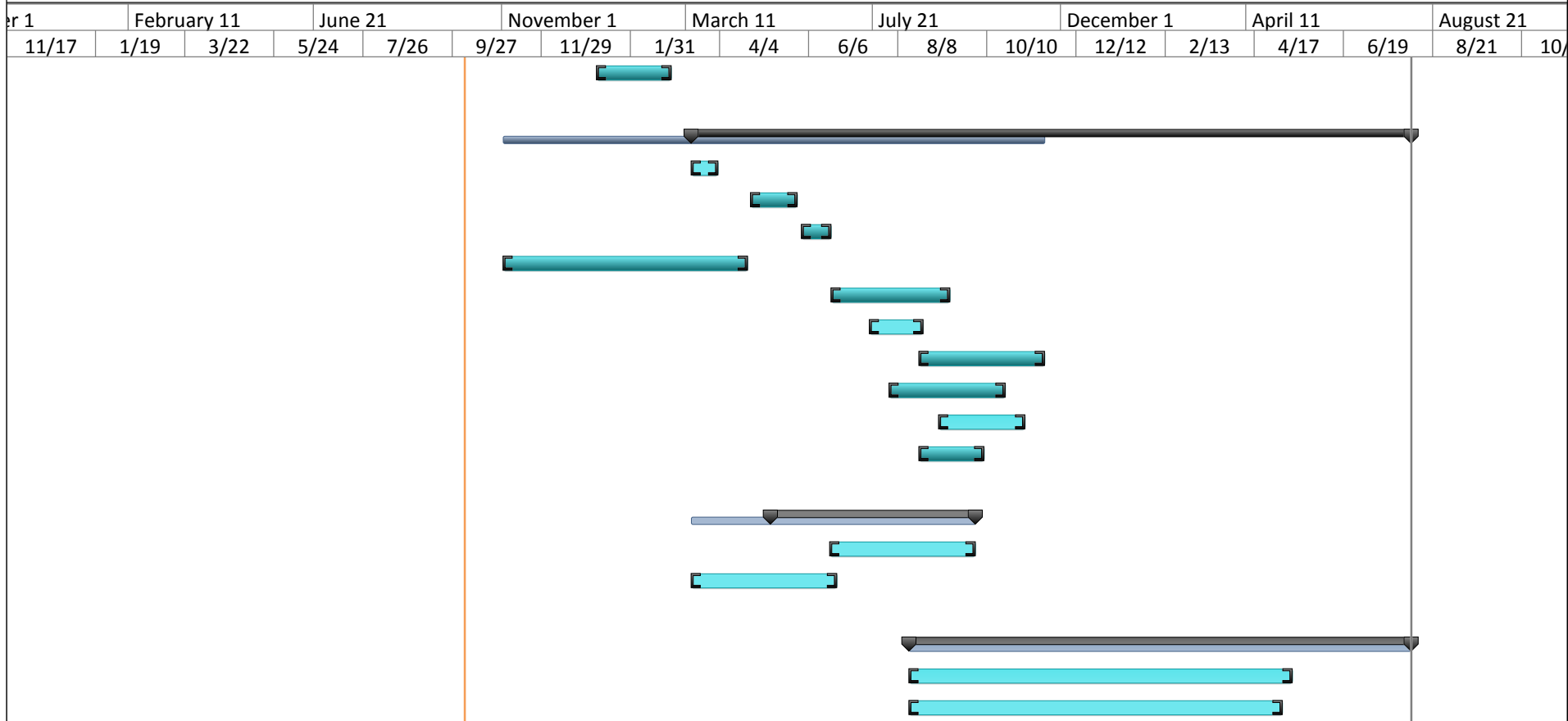


Project: PM Preliminary Schedule

Task		External Milestone		Manual Summary Rollup	
Split		Inactive Task		Manual Summary	
Milestone		Inactive Milestone		Start-only	
Summary		Inactive Summary		Finish-only	
Project Summary		Manual Task		Deadline	
External Tasks		Duration-only		Progress	

PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020

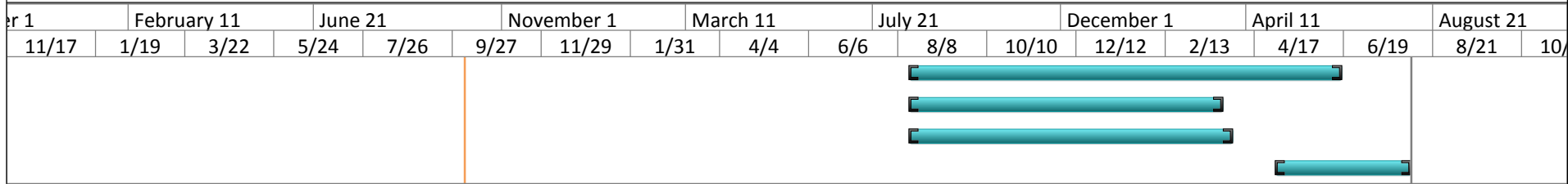


Project: PM Preliminary Schedule

Task		External Milestone		Manual Summary Rollup	
Split		Inactive Task		Manual Summary	
Milestone		Inactive Milestone		Start-only	
Summary		Inactive Summary		Finish-only	
Project Summary		Manual Task		Deadline	
External Tasks		Duration-only		Progress	

PROJECT: Pete's Market
 644 Madison Street
 Oak Park, IL 60302

Updated April 2020



Project: PM Preliminary Schedule

Task		External Milestone		Manual Summary Rollup	
Split		Inactive Task		Manual Summary	
Milestone		Inactive Milestone		Start-only	
Summary		Inactive Summary		Finish-only	
Project Summary		Manual Task		Deadline	
External Tasks		Duration-only		Progress	



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: **Planned Development Application**
TAB9_A_INCLUSIONARY HOUSING PLAN
Pete's Fresh Market – New Store
Madison Street Oak Park

The Inclusionary Housing Plan is not applicable to the Pete's Fresh Market Development project.

Regards,

Kenneth Nadolski
Principal

ONE SOURCE. INFINITE SOLUTIONS.

CIVIL ENGINEERING | STRUCTURAL ENGINEERING | ACCESSIBILITY CONSULTING
MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT



API ARCHITECTS

2675 PRATUM AVENUE | HOFFMAN ESTATES, IL 60192
PH: (312)505-1392

November 3, 2020

Craig Failor, AICP, LEED AP
Village Planner
Village of Oak Park
Oak Park, IL

Re: Planned Development Application
TAB10_A_MODEL
Pete's Fresh Market – New Store
Madison Street Oak Park

The Model is not applicable to the Pete's Fresh Market Development project.

Regards,

Kenneth Nadolski
Principal

ONE SOURCE. INFINITE SOLUTIONS.

CIVIL ENGINEERING | STRUCTURAL ENGINEERING | ACCESSIBILITY CONSULTING
MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING | LAND SURVEYING
COMMUNICATION DESIGN | CONSTRUCTION | AQUATIC DESIGN | PROJECT MANAGEMENT



Re: Recording of Deed – Pete’s Market Oak Park-Madison

ARTHUR E. STAMAS, P.C. will officially record the deed.

Contact: Margaret A. Stack – Paralegal

ARTHUR E. STAMAS, P.C.
444 N. Michigan Avenue
Suite 1200
Chicago, Illinois 60611
312.222.9000

Sincerely,

Eugene Grzynkowicz

Eugene Grzynkowicz

eugene@pmrealtyinc.com


Ph. 773-908-5145

File: OP-M Recorded Deed

Affidavit of Notice

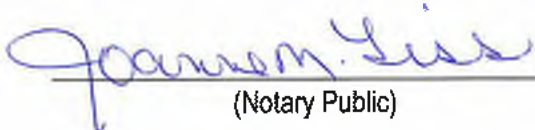
The undersigned Applicant, on oath states that the undersigned provided the Village of Oak Park, in writing, the list of owners of all property within 300 feet, excluding rights-of-way, in each direction of the property to which the petition relates; that documentation is from a reputable title company (or other approved agency) indicating the identity of all such owners required to receive notice has been submitted; that such list was prepared in sufficient time for the Applicant to provide notice no less than fifteen (15) days prior and no more than thirty (30) days in advance of such hearing; and that the owners so notified, are those shown on the last available tax records of the county. *(Please attach a list of the notified property owners)*

KEN NADOLSKI
(Printed Name of Applicant)


(Signature of Applicant)

SUBSCRIBED AND SWORN TO BEFORE ME THIS

22nd DAY OF December, 2020


(Notary Public)



Notice to Adjacent Property Owners of a Public Hearing before the Oak Park Plan Commission

December 22, 2020

Dear Neighboring Property Owner:

The Oak Park Zoning Ordinance requires owners of property within 300 feet of the subject property be notified of a public hearing by regular mail. The property owner shall be notified of the date, time and place of the hearing, a description of the application, the name of the applicant, and the address of the subject property where the development is proposed.

A Hearing Notice will appear in the December 23, 2020 edition of the Wednesday Journal. The hearing will take place at 7:00 PM on January 7, 2021. The Plan Commission will conduct the public hearing remotely with live audio available and optional video. The meeting will be streamed live and archived online for on-demand viewing at www.oak-park.us/commissiontv as well as cablecast on VOP-TV, which is available to Comcast subscribers on channel 6 and ATT Uverse subscribers on channel 99. The remote public hearing is authorized pursuant to Section 7(e) of the Open Meetings Act. The Village President has determined that an in-person public hearing is not practical or prudent due to the COVID-19 outbreak. Written testimony or comments regarding the application may be provided prior to the public hearing by email to planning@oak-park.us. The individual's name and a reasonable part of their testimony or comment will be read aloud into the record at the public hearing if received no later than 30 minutes prior to the start of the public hearing. If email is not an option, written testimony or comment can be dropped off in the Oak Park Payment Drop Box across from the south entrance to Village Hall, 123 Madison Street, to be received no later than 5:00 PM on January 7, 2021. All written testimony and comments will be distributed to the Plan Commission and made a part of the official hearing record. Those wishing to provide public testimony at the hearing shall contact the Village Planner at planning@oak-park.us for instruction on attending the live Zoom meeting by 5:00 PM the day of the hearing. Interested persons may also participate in the hearing to cross examine the applicant and its witnesses by emailing the cross examination form to clerk@oak-park.us before 5:00 PM on the day prior to the public hearing to sign up. Individuals who sign up to participate in this manner will receive an email from Village staff with information about how to join the meeting online through Zoom web-conference means or by phone. Questions regarding written testimony or comment can be directed to 708-358-5420 or email to planning@oak-park.us.

The Applicant JD Real Estates, Inc. 4333 South Pulaski Road, Chicago IL 60632 is requesting a planned development for an approximate 46,200 square feet retail grocery with the following Zoning Ordinance allowances: Article 5: Commercial Districts -Table 5-1: Required Setbacks

which states that a build-to zone of 5-15 feet setback along Oak Park Avenue is required. This will be increased to 408 feet, Article 5: Commercial Districts -Table 5-1: Required Setbacks states that a rear yard setback along the north side of the abutting alley is required to be 25 feet. The request is to reduce this to 15 feet (the width of the alley), Article 10: Off-Street Parking and Loading; Subsection 10.2: Location of Off-Street Parking Spaces (B)(4) states that parking areas shall be located to the rear of the principal structure. The proposed surface parking is not proposed to be in the rear of the principal structure, Article 7: Design Guidelines; Subsection 7.4 Building Design Standards (A)(1) states that a building wall that faces a street must not have a blank uninterrupted length exceeding 30 feet. The eastern portion of the proposed building does not comply, Article 7: Design Guidelines; Subsection 7.4 Building Design Standards (A)(4)(b) states all ground floor front building facades must include display windows at ground level and must cover 60% of the ground floor building façade facing the public way, (except alleys), Article 11: Landscaping; Subsection 11.7 Required Parking Lot Interior Landscape (A) & (B) states that one parking lot island must be provided between every 10 parking spaces. The proposal is reduced by 8 islands. The minimum total landscape area of a parking lot must be 10% of the total parking lot area. The proposal is at 6.2%.

In addition, the applicant is requesting a Street Vacation for a portion of Euclid Avenue between Madison Street and the northern abutting east-west alley. They are also requesting a partial Street Vacation for a five-foot-wide strip of Madison Street between Oak Park Avenue and Wesley Avenue.

If you have questions or concerns regarding this proposal prior to the public hearing, please contact the applicant's architect Ken Nadolski of API Architects at 312-505-1392 or ken@api-architects.net or the Department of Development Customer Service at 708-358-5420 or send an email to the Village Planner at planning@oak-park.us.

The application will be posted on the Village of Oak Park's website at www.oak-park.us/your-government/citizen-boards-commissions-committees

Thank you for your time and consideration

Respectfully,

Ken Nadolski
Architect for the Applicant



FOR PLAN COMMISSION PUBLIC HEARING

Docket No: PC _____ - _____

Name of Planned Development Project: _____

APPEARANCE OF INTERESTED PARTY WITH RIGHT TO CROSS-EXAMINE

I, _____, hereby enter my appearance in the above proceedings with the right to cross-examine witnesses pursuant to the Rules of Procedure of the Oak Park Plan Commission.

I am an Interested Party, which is a person with a special interest beyond that of the general public, for the following reason(s): *

_____.

**The reason(s) must be stated and is subject to review and approval by the Plan Commission.*

**Property owners within the 300 foot notice area are considered to be Interested Parties.*

Date

Signature

Name (PRINTED)

Address - Street

Community

PLEASE NOTE: This appearance bearing an **ORIGINAL** signature *must be filed* with the Village Clerk not later than 5:00 P.M. on the business day preceding the commencement of the public hearing.



FOR PLAN COMMISSION PUBLIC HEARING

Docket No: PC _____ - _____

Name of Planned Development Project: _____

APPEARANCE OF INTERESTED PARTY WITH RIGHT TO CROSS-EXAMINE

I, _____, hereby enter my appearance in the above proceedings with the right to cross-examine witnesses pursuant to the Rules of Procedure of the Oak Park Plan Commission.

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Date

Signature

Name (PRINTED)

Address - Street

Community

PLEASE NOTE: This appearance bearing an **ORIGINAL** signature *must be filed* with the Village Clerk not later than 5:00 P.M. on the business day preceding the commencement of the public hearing.

Jay and Elizabeth Dias
Or Current Resident
420 S Grove Ave
Oak Park, IL 60302

Louis and Lori Marchi
Or Current Resident
424 S Grove Ave
Oak Park, IL 60302

Wayne and Rita Richert
Or Current Resident
428 S Grove Ave
Oak Park, IL 60302

Jeffrey and Susan Tsan
Or Current Resident
430 S Grove Ave
Oak Park, IL 60302

Marco Lemoncello
Or Current Resident
434 S Grove Ave
Oak Park, IL 60302

William Crozier
Or Current Resident
413 S Oak Park Ave
Oak Park, IL 60302

417 OP LLC
Or Current Resident
417 S Oak Park Ave
Oak Park, IL 60302

Management Circle
Or Current Resident
421 S Oak Park Ave
Oak Park IL 60302

First Chicago 2115
Or Current Resident
433 S Oak Park Ave
Oak Park IL 60302

Mediaone
Or Current Resident
800 Madison St
Oak Park IL 60302

Leila Amiri
Or Current Resident
425 S Oak Park Ave, Apt A
Oak Park IL 60302

Charles and Michelle Powell
Or Current Resident
425 S Oak Park Ave, Apt B
Oak Park IL 60302

Maria Cruz
Or Current Resident
425 S Oak Park Ave, Apt C
Oak Park IL 60302

Bonnita Boone
Or Current Resident
425 S Oak Park Ave, Apt D
Oak Park IL 60302

Irvin and Joan Volk
Or Current Resident
425 S Oak Park Ave
Oak Park IL 60302

Bruce and Mary Woodley
Or Current Resident
429 S Oak Park Ave, Apt A
Oak Park IL 60302

Iris Gan and John Colville
Or Current Resident
429 S Oak Park Ave
Oak Park IL 60302

Kari Marx
Or Current Resident
429 S Oak Park Ave
Oak Park IL 60302

Stephanie Crawford
Or Current Resident
429 S Oak Park Ave, Apt D
Oak Park IL 60302

Dwyer and Ascroft
Or Current Resident
429 S Oak Park Ave, Apt E
Oak Park IL 60302

Maria Cruz
Or Current Resident
429 S Oak Park Ave, Apt C
Oak Park IL 60302

Charles and Michelle Powell
Or Current Resident
429 S Oak Park Ave
Oak Park IL 60302

Oleg Leonov
Or Current Resident
429 S Oak Park Ave, Apt B
Oak Park IL 60302

Bruce Woodley
Or Current Resident
429 S Oak Park Ave, Apt A
Oak Park IL 60302

D and J Allen
Or Current Resident
429 S Oak Park Ave, Apt B
Oak Park IL 60302

Sullivan Lane Twins Association
Or Current Resident
425 S Oak Park Ave
Oak Park IL 60302

Interfaith Housing
Or Current Resident
442 S Grove Ave, Suite 400
Oak Park IL 60302

812 Madison LLC
Or Current Resident
820 Madison St, Suite 400
Oak Park IL 60302

Oak Park Arms
Or Current Resident
408 S Oak Park Ave
Oak Park IL 60302

Oak Park Arms Hotel
Or Current Resident
424 S Oak Park Ave
Oak Park IL 60302

Oak Park Arms Management
426 S Oak Park Ave
Oak Park IL 60302

Oak Park Arms Management
430 S Oak Park Ave
Oak Park IL 60302

Joseph Ruggirello
Or Current Resident
415 S Euclid Ave
Oak Park IL 60302

Village of Oak Park
Or Current Resident
700 Madison St
Oak Park IL 60302

West Suburban Management
Or Current Resident
419 S Euclid Ave
Oak Park IL 60302

Paige Mushinsky
Or Current Resident
717 Washington Blvd, Unit 322
Oak Park IL 60302

Joan Gipson & Shawn Dorsey
Or Current Resident
717 Washington Blvd
Oak Park IL 60302

Patricia Melgar
Or Current Resident
715 Washington Blvd, Apt 1D
Oak Park, IL 60302

Jennifer Fortney
Or Current Resident
717 Washington Blvd, Apt 2A
Oak Park, IL 60302

Meghan Wilgus
Or Current Resident
717 Washington Blvd, Apt 2B
Oak Park IL 60302

Jeremy Custer
Or Current Resident
717 Washington Blvd, Apt 2C
Oak Park IL 60302

Mark Lehnus & Stephanie Dowell
Or Current Resident
715 Washington Blvd, Apt 2D
Oak Park IL 60302

David Kudlinski
Or Current Resident
717 Washington Blvd, Apt 3A
Oak Park IL 60302

Hillary St Peter
Or Current Resident
717 Washington Blvd, Apt 3B
Oak Park IL 60302

Michael Kosinski
Or Current Resident
715 Washington Blvd, Apt 3C
Oak Park IL 60302

Lori Barnicke
Or Current Resident
711 Washington Blvd, Apt 1E
Oak Park IL 60302

Janet Anderson
Or Current Resident
713 Washington Blvd, Apt 1W
Oak Park IL 60302

Ellen Cutter
Or Current Resident
711 Washington Blvd
Oak Park IL 60302

T Foster
Or Current Resident
711 Washington Blvd, Apt 2W
Oak Park IL 60302

Jason Smud
Or Current Resident
711 Washington Blvd, Apt 3E
Oak Park IL 60302

Heather Bussiere
Or Current Resident
713 Washington Blvd, Apt 3W
Oak Park IL 60302

Lori Barnicke
Or Current Resident
711 Washington Blvd, Apt 1E
Oak Park IL 60302

Jason Smud
Or Current Resident
711 Washington Blvd, Apt 3E
Oak Park IL 60302

Geoffrey Greer
Or Current Resident
427 S Euclid Ave
Oak Park IL 60302

Julie Bausch
Or Current Resident
427 S Euclid Ave
Oak Park IL 60302

Maria Warcalde & Daniel Hakola
Or Current Resident
427 S Euclid Ave, Apt C
Oak Park IL 60302

M Anderson
Or Current Resident
427 S Euclid Ave, Apt D
Oak Park IL 60302

Kimberly Coughran
Or Current Resident
427 S Euclid Ave, Apt E
Oak Park IL 60302

Daniel Martinez & Brenda Guzman
Or Current Resident
427 S Euclid Ave, Apt F
Oak Park IL 60302

Madlyn Galbreath
Or Current Resident
427 S Euclid Ave
Oak Park IL 60302

Nancy Lima
Or Current Resident
427 S Euclid Ave, Apt 1H
Oak Park IL 60302

Diana Calderon Kuehl
Or Current Resident
427 S Euclid Ave, Apt 1
Oak Park IL 60302

Current Resident
427 S Euclid Ave, Apt 1J
Or Current Resident
Oak Park IL 60302

Eugene Hahm
Or Current Resident
427 S Euclid Ave, Apt K
Oak Park IL 60302

Norbella Lagunas & Manuel Velazco
Or Current Resident
431 S Euclid Ave, Apt 1A
Oak Park IL 60302

Francis Cordero
Or Current Resident
431 S Euclid Ave, Apt 3A
Oak Park IL 60302

Joseph Ku
Or Current Resident
431 S Euclid Ave, Apt 4A
Oak Park IL 60302

Kyle & Lisa Marten
Or Current Resident
431 S Euclid Ave, Apt 5A
Oak Park IL 60302

David & Yosra Cruz
Or Current Resident
431 S Euclid Ave, Apt 6A
Oak Park IL 60302

Claudia Berman
Or Current Resident
431 S Euclid Ave
Oak Park IL 60302

Andrea Sandoval
Or Current Resident
431 S Euclid Ave
Oak Park IL 60302

Murtaza & Sarah Udaipurwala
Or Current Resident
431 S Euclid Ave, Apt 4B
Oak Park IL 60302

Kirby Igoe
Or Current Resident
431 S Euclid Ave, Apt 5
Oak Park IL 60302

Salvador R
Or Current Resident
431 S Euclid Ave
Oak Park IL 60302

Ebert Estates LLC
651 Washington Blvd
Or Current Resident
Oak Park IL 60302

Mary Kelly
Or Current Resident
655 Washington Blvd
Oak Park IL 60302

Zena Naiditch
Or Current Resident
416 S Euclid Ave
Oak Park IL 60302

Erol Feratovic
Or Current Resident
422 S Euclid Ave
Oak Park IL 60302

Current Resident
Or Current Resident
414 S Euclid Ave
Oak Park IL 60302

Emil Venuti
Or Current Resident
661 Washington Blvd
Oak Park IL 60302

David Mausner
Or Current Resident
405 Wesley Ave
Oak Park IL 60302

Dennis Donlan
Or Current Resident
405 Wesley Ave, Apt 2
Oak Park IL 60302

Aswath Mugabala
Or Current Resident
405 Wesley Ave
Oak Park IL 60302

Brenda Stovall
Or Current Resident
405 Wesley Ave, Apt 4
Oak Park IL 60302

Christine Becker
Or Current Resident
405 Wesley Ave, Apt 5
Oak Park IL 60302

Marcia Clayton
Or Current Resident
405 Wesley Ave
Oak Park IL 60302

Marcia Clayton
Or Current Resident
407 Wesley Ave
Oak Park IL 60302

Kevin & Adrian Newell
Or Current Resident
407 Wesley Ave
Oak Park IL 60302

Merchior Ernst
Or Current Resident
407 Wesley Ave
Oak Park IL 60302

A&S Marfisi and D Porter
Or Current Resident
407 Wesley Ave
Oak Park IL 60302

Priscilla Wright
Or Current Resident
415 Wesley Ave, Apt 1
Oak Park IL 60302

Audrey Dill
Or Current Resident
415 Wesley Ave, Apt 2
Oak Park IL 60302

Lula Howard
Or Current Resident
415 Wesley Ave, Apt 3
Oak Park IL 60302

Larry Davis
Or Current Resident
415 Wesley Ave, Apt 4
Oak Park IL 60302

Noopoth & Craig Stevaux
Or Current Resident
415 Wesley Ave, Apt 21
Oak Park IL 60302

Kimberleigh Austin
Or Current Resident
415 Wesley Ave, Apt 22
Oak Park IL 60302

Kristen Smith & Carrie Vacon
Or Current Resident
415 Wesley Ave, Apt 23
Oak Park IL 60302

Marijo & Ankica Pehar
Or Current Resident
415 Wesley Ave
Oak Park IL 60302

George Musinski
Or Current Resident
415 Wesley Ave, Apt 25
Oak Park IL 60302

Iris Erzao
Or Current Resident
415 Wesley Ave, Apt 27
Oak Park IL 60302

Donald & Robert Dicke
Or Current Resident
415 Wesley Ave
Oak Park IL 60302

Jane Cho
Or Current Resident
415 Wesley Ave, Apt 29
Oak Park IL 60302

William Rakes
Or Current Resident
415 Wesley Ave, Apt 31
Oak Park IL 60302

Ewelina Sakowska
Or Current Resident
415 Wesley Ave, Apt 33
Oak Park IL 60302

Obryant
Or Current Resident
415 Wesley Ave, Apt 34
Oak Park IL 60302

Robin Lee
Or Current Resident
415 Wesley Ave, Apt 35
Oak Park IL 60302

Patricia Haywood
Or Current Resident
415 Wesley Ave, Apt 36
Oak Park IL 60302

Julie Weston
Or Current Resident
415 Wesley Ave, Apt 37
Oak Park IL 60302

Wayne Padmore
Or Current Resident
415 Wesley Ave, Apt 38
Oak Park IL 60302

Michael Stoller
Or Current Resident
415 Wesley Ave
Oak Park IL 60302

Lucrecia Mendoza
Or Current Resident
415 Wesley Ave, Apt 41
Oak Park IL 60302

Ronald McCord
Or Current Resident
415 Wesley Ave, Apt 42
Oak Park IL 60302

Patricia Cuevas
Or Current Resident
415 Wesley Ave, Apt 43
Oak Park IL 60302

Clay Williams
Or Current Resident
415 Wesley Ave, Apt 17C
Oak Park IL 60302

Marijo & Ankica Pehar
Or Current Resident
415 Wesley Ave, Apt F
Oak Park IL 60302

John Messner
Or Current Resident
415 Wesley Ave, Apt 46
Oak Park IL 60302

Wesley Terrace Condominium Assoc.
Or Current Resident
415 Wesley Ave
Oak Park IL 60302

Kenneth Woods
Or Current Resident
415 Wesley Ave, Apt 49
Oak Park IL 60302

Jamie Mui
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

James Holt
Or Current Resident
425 Wesley Ave, Apt 102
Oak Park IL 60302

Barbara Overton
Or Current Resident
425 Wesley Ave, Apt 103
Oak Park IL 60302

Richard Robertson
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Yen Putnam
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Landis Sikorski
Or Current Resident
425 Wesley Ave, Apt 201
Oak Park IL 60302

Kuecker S
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Susan Nguyen
Or Current Resident
425 Wesley Ave, Apt 203
Oak Park IL 60302

Yixin Shi
Or Current Resident
425 Wesley Ave, Apt 204
Oak Park IL 60302

Eva Pearson
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Jeffrey & Mary Degrazia
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Ctltc Trust
Or Current Resident
425 Wesley Ave, Apt 4C
Oak Park IL 60302

Abel Morales
Or Current Resident
425 Wesley Ave
Oak Park IL 60302

Rajeev Kumar
Or Current Resident
425 Wesley Ave, Apt 305
Oak Park IL 60302

Maria Kois
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Marcia Clayton
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Laura Thompson
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Joyce Stokes
Or Current Resident
429 Wesley Ave, Apt 302
Oak Park IL 60302

Terence Hansa
Or Current Resident
429 Wesley Ave, Apt 304
Oak Park IL 60302

Melvin Cole
Or Current Resident
429 Wesley Ave, Apt 401
Oak Park IL 60302

Aaron Stigger
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Rick Chu
Or Current Resident
429 Wesley Ave, Apt 403
Oak Park IL 60302

Charvia Hunter
Or Current Resident
425 Wesley Ave, Apt 302
Oak Park IL 60302

Hongyan Ning
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Gregory Haynes
Or Current Resident
429 Wesley Ave
Oak Park IL 60302

Mary Butnariu
Or Current Resident
415 Wesley Ave, Apt 26
Oak Park IL 60302

Current Resident
Or Current Resident
429 Wesley Ave, Apt 202
Oak Park IL 60302

Boleslaw & Cynthia Cwik
426 S Euclid Ave
Or Current Resident
Oak Park IL 60302

Richi & Upendra Shah
Or Current Resident
426 S Euclid Ave, Apt 2N
Oak Park IL 60302

Mari Luangrath
Or Current Resident
426 S Euclid Ave, Apt 3N
Oak Park IL 60302

Dana Summers
Or Current Resident
426 S Euclid Ave, Apt 1S
Oak Park IL 60302

Charles & Melissa Neveu
Or Current Resident
426 S Euclid Ave, Apt 301
Oak Park IL 60302

Giovanni & Shawnaapate Bilotti
Or Current Resident
428 S Euclid Ave, Apt 3S
Oak Park IL 60302

Alexander Kazarov
Or Current Resident
428 S Euclid Ave
Oak Park IL 60302

Bruce Janacek
Or Current Resident
428 S Euclid Ave, Apt 2W
Oak Park IL 60302

Leonardo Varady & Natalia Bazzi
Or Current Resident
428 S Euclid Ave, Apt 3W
Oak Park IL 60302

Melinda Beebe
Or Current Resident
428 S Euclid Ave, Apt 1E
Oak Park IL 60302

William Hoff LLC
Or Current Resident
428 S Euclid Ave
Oak Park IL 60302

Bill & Cynthia Anagnos
Or Current Resident
428 S Euclid Ave, Apt 6
Oak Park IL 60302

Elizabeth Vaquez
Or Current Resident
428 S Euclid Ave
Oak Park IL 60302

Barnes & Holden
Or Current Resident
430 S Euclid Ave, Apt 1W
Oak Park IL 60302

Chicago Title Land Tru
Or Current Resident
430 S Euclid Ave, Suite 2700
Oak Park IL 60302

Ryan Flickinger
Or Current Resident
430 S Euclid Ave, Apt 3W
Oak Park IL 60302

Lucretia Boboc
Or Current Resident
430 S Euclid Ave, Apt 1E
Oak Park IL 60302

Gunther & Anderson
Or Current Resident
430 S Euclid Ave, Apt 2E
Oak Park IL 60302

Harini Kolluri & Vinay Tumuluri
Or Current Resident
430 S Euclid Ave
Oak Park IL 60302

Scott Slocik
Or Current Resident
432 S Euclid Ave, Apt 1E
Oak Park IL 60302

Jaime Gutierrez
Or Current Resident
432 S Euclid Ave, Apt 2E
Oak Park IL 60302

Juliana Ejsmont
Or Current Resident
432 S Euclid Ave, Apt 1W
Oak Park IL 60302

John Gaunt
Or Current Resident
432 S Euclid Ave, Apt 2W
Oak Park IL 60302

H Kolluri
Or Current Resident
432 S Euclid Ave
Oak Park IL 60302

John & Jacqueline Castaneda
Or Current Resident
434 S Euclid Ave, Apt 1E
Oak Park IL 60302

Matthew Mammoser
Or Current Resident
434 S Euclid Ave
Oak Park IL 60302

Jennifer Ban
Or Current Resident
434 S Euclid Ave, Apt 3E
Oak Park IL 60302

Soundara Robert
Or Current Resident
434 S Euclid Ave, Apt 1N
Oak Park IL 60302

Neemah Bassiri
Or Current Resident
434 S Euclid Ave, Apt 2W
Oak Park IL 60302

Kristin Hoving
Or Current Resident
434 S Euclid Ave, Apt 3W
Oak Park IL 60302

Jeff Tobin
Or Current Resident
436 S Euclid Ave, Apt 1S
Oak Park IL 60302

Catherine Chojnacki
Or Current Resident
436 S Euclid Ave, Apt 2S
Oak Park IL 60302

Christopher Heitzman
Or Current Resident
436 S Euclid Ave, Apt 3S
Oak Park IL 60302

Soheila Mozayanni & Omeed Rabbar
Or Current Resident
436 S Euclid Ave
Oak Park IL 60302

Gayle Thurston
Or Current Resident
436 S Euclid Ave, Apt 2N
Oak Park IL 60302

Patricia True
Or Current Resident
436 S Euclid Ave
Oak Park IL 60302

Matthew Ebbing & Thomas Earle
Or Current Resident
436 S Euclid Ave, Apt G
Oak Park IL 60302

Current Resident
412 Wesley Ave
Oak Park IL 60302

Richard & Carol Jancy
Or Current Resident
416 Wesley Ave
Oak Park IL 60302

3522 Artesian LLC
Or Current Resident
420 Wesley Ave
Oak Park IL 60302

Skiritai Wesley LLC
Or Current Resident
426 Wesley Ave, Suite 200
Oak Park IL 60302

Paula Murphy
Or Current Resident
423 S East Ave
Oak Park IL 60302

Rich Marroquin
Or Current Resident
425 S East Ave
Oak Park IL 60302

Snk of Illinois Ltd
Or Current Resident
622 W Madison St
Oak Park IL 60302

Haberkorn Company Inc
Or Current Resident
616 W Madison St
Oak Park IL 60302

Paulo & Jaruwana Familara
Or Current Resident
431 S East Ave, Apt 1N
Oak Park IL 60302

Charlene Gage
Or Current Resident
431 S East Ave
Oak Park IL 60302

Mary Earle
Or Current Resident
433 S East Ave
Oak Park IL 60302

Diana Distefano
Or Current Resident
433 S East Ave
Oak Park IL 60302

Francisco Moreno & Lindsey Bogart
Or Current Resident
428 Wesley Ave, Apt G
Oak Park IL 60302

Alexandra & Laurence Armstrong
Or Current Resident
428 Wesley Ave, Apt 1N
Oak Park IL 60302

Jeffery & Jeffery Siddall
Or Current Resident
428 Wesley Ave, Apt 2N
Oak Park IL 60302

William Wallace
Or Current Resident
430 Wesley Ave
Oak Park IL 60302

Sarah Carr
Or Current Resident
430 Wesley Ave
Oak Park IL 60302

Jeffery & Jeffery Siddall
Or Current Resident
430 Wesley Ave, Apt 2N
Oak Park IL 60302

Alexandra & Laurence Armstrong
Or Current Resident
430 Wesley Ave, Apt 1N
Oak Park IL 60302

William Wallace
Or Current Resident
428 Wesley Ave
Oak Park IL 60302

Quinton Edwards
Or Current Resident
400 Wesley Ave, Apt G
Oak Park IL 60302

Donald Weir
Or Current Resident
402 Wesley Ave, Apt 1
Oak Park IL 60302

Halajian
Or Current Resident
402 Wesley Ave, Apt 2
Oak Park IL 60302

Gloria Smith
Or Current Resident
402 Wesley Ave, Apt 3
Oak Park IL 60302

Alicia Capraro
Or Current Resident
404 Wesley Ave, Apt 1
Oak Park IL 60302

Alicia Capraro
Or Current Resident
404 Wesley Ave, Apt 1
Oak Park IL 60302

Piotr Adamov
Or Current Resident
404 Wesley Ave, Apt 2
Oak Park IL 60302

Lauren Pulkstenis
Or Current Resident
404 Wesley Ave, Apt 3
Oak Park IL 60302

Nicole Nieciak
Or Current Resident
406 Wesley Ave, Apt 1
Oak Park IL 60302

Brian & Carolin Shields
Or Current Resident
406 Wesley Ave, Apt 2
Oak Park IL 60302

Rani Associates LLC
Or Current Resident
406 Wesley Ave
Oak Park IL 60302

Zeeshan Butt
Or Current Resident
627 Washington Blvd, Apt 1
Oak Park IL 60302

A & V Sherwood
Or Current Resident
627 Washington Blvd, Apt 2
Oak Park IL 60302

Brian Hammersey
Or Current Resident
627 Washington Blvd
Oak Park IL 60302

Heather Anderson
Or Current Resident
623 Washington Blvd
Oak Park IL 60302

Raque
Or Current Resident
623 Washington Blvd, Apt 2S
Oak Park IL 60302

John & Gina Lascody
Or Current Resident
623 Washington Blvd
Oak Park IL 60302

Kevin Maginnis
Or Current Resident
623 Washington Blvd, Apt 1N
Oak Park IL 60302

Andrea Garcia Gallegos
Or Current Resident
623 Washington Blvd, Apt 2N
Oak Park IL 60302

Laura Goodey
Or Current Resident
623 Washington Blvd, Apt 3N
Oak Park IL 60302

Alex Martini
Or Current Resident
621 Washington Blvd, Apt G
Oak Park IL 60302

Steven & Karen Spaccarelli
Or Current Resident
621 Washington Blvd
Oak Park IL 60302

Judson Allen
Or Current Resident
621 Washington Blvd, Apt 2N
Oak Park IL 60302

Fox Partners, L.P.
Or Current Resident
621 Washington Blvd
Oak Park IL 60302

Richard Prokup
Or Current Resident
621 Washington Blvd, 1S
Oak Park IL 60302

Jeff Tobin
Or Current Resident
619 Washington Blvd
Oak Park IL 60302

Kathryn Ashton
Or Current Resident
619 Washington Blvd, Apt 1E
Oak Park IL 60302

Eric Swanson
Or Current Resident
619 Washington Blvd, Apt 2E
Oak Park IL 60302

William Hughes
Or Current Resident
619 Washington Blvd, Apt 3
Oak Park IL 60302

Maureen Hannon
Or Current Resident
619 Washington Blvd, Apt 1W
Oak Park IL 60302

Current Resident
Or Current Resident
619 Washington Blvd, Apt 2W
Oak Park IL 60302

Robin Pottraz & Ebony Echols
Or Current Resident
619 Washington Blvd, Apt 3W
Oak Park IL 60302

Anthony Lazzarini
Or Current Resident
617 Washington Blvd, Apt 1S
Oak Park IL 60302

Joseph Sanchez
Or Current Resident
617 Washington Blvd, Apt 2S
Oak Park IL 60302

Stroud M.
Or Current Resident
617 Washington Blvd
Oak Park IL 60302

Anthony Deleon
Or Current Resident
617 Washington Blvd, Apt 1N
Oak Park IL 60302

Meredith Lane
Or Current Resident
617 Washington Blvd, Apt 2N
Oak Park IL 60302

Joseph Wehmeyer
Or Current Resident
617 Washington Blvd, Apt 3N
Oak Park IL 60302

Charles & Karen Anderson
Or Current Resident
615 Washington Ave
Oak Park IL 60302

Montrell Brooks
Or Current Resident
615 Washington Ave, Apt 2S
Oak Park IL 60302

Octavio Garcia & Rose Capone
Or Current Resident
615 Washington Ave
Oak Park IL 60302

Brian Zwolak & Anna Asselt
Or Current Resident
615 Washington Ave, Apt 1N
Oak Park IL 60302

Thomas & Sheri Dahl
Or Current Resident
615 Washington Ave, Apt 2N
Oak Park IL 60302

Vanessa Zahora
Or Current Resident
615 Washington Ave
Oak Park IL 60302

Walgreens Co 11760
Or Current Resident
809 Madison St
Oak Park IL 60302

Walgreens Co 11760
Or Current Resident
801 Madison St
Oak Park IL 60302

Vivas G
Or Current Resident
511 S Oak Park Ave
Oak Park IL 60302

Janet Tendick
Or Current Resident
515 S Oak Park Ave
Oak Park IL 60302

Walgreens Co 11760
Or Current Resident
821 Madison St
Oak Park IL 60302

Walgreens Co 11760
Or Current Resident
811 Madison St
Oak Park IL 60302

508 S Oak Park Ave LLC
Or Current Resident
508 S Oak Park Ave
Oak Park IL 60302

Rose Becker
Or Current Resident
741 Madison St
Oak Park IL 60302

M & L Three Partnership
Or Current Resident
733 Madison St, Suite 1000
Oak Park IL 60302

Medical Fresenius
Or Current Resident
729 Madison St
Oak Park IL 60302

Spikes Inc
Or Current Resident
725 Madison St
Oak Park IL 60302

Anthony Abboreno
Or Current Resident
512 S Oak Park Ave
Oak Park IL 60302

Matthew & Lindsay Hammer
Or Current Resident
515 S Euclid Ave
Oak Park IL 60302

Laura Ramirez
Or Current Resident
517 S Euclid Ave
Oak Park IL 60302

Jason Fetzer & Constance Grieves
Or Current Resident
512 S Euclid Ave
Oak Park IL 60302

Scott & Alexandra Pedersen
Or Current Resident
515 Wesley Ave
Oak Park IL 60302

Steve Cadillac
Or Current Resident
711 Madison St
Oak Park IL 60302

Wesley & Madison Group LLC
Or Current Resident
649 Madison St
Oak Park IL 60302

J Rodriguez & Paola Rios
Or Current Resident
643 Madison St
Oak Park IL 60302

Raymond Traynor
Or Current Resident
641 Madison St
Oak Park IL 60302

Daniel Towner
Or Current Resident
639 Madison St
Oak Park IL 60302

Peter Tsagaris
Or Current Resident
633 Madison St
Oak Park IL 60302

Ramezan Beikzadeh
Or Current Resident
631 Madison St
Oak Park IL 60302

Ramezan Beikzadeh
Or Current Resident
629 Madison St
Oak Park IL 60302

Ramezan Beikzadeh
Or Current Resident
627 Madison St
Oak Park IL 60302

Jessica Montanez
Or Current Resident
512 Wesley Ave
Oak Park IL 60302

Michael & Natalie Boschert
Or Current Resident
514 Wesley Ave
Oak Park IL 60302

Matthew & Lindsay Hammer
Or Current Resident
515 S Euclid Ave
Oak Park IL 60302

Laura Ramirez
Or Current Resident
517 S Euclid Ave
Oak Park IL 60302

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Or Current Resident
641 Madison St
Oak Park IL 60302

Daniel Towner
Or Current Resident
639 Madison St
Oak Park IL 60302

Peter Tsagaris
Or Current Resident
633 Madison St
Oak Park IL 60302

Ramezan Beikzadeh
Or Current Resident
631 Madison St
Oak Park IL 60302

Ramezan Beikzadeh
Or Current Resident
629 Madison St
Oak Park IL 60302

Business Owner
Popeyes Louisiana Kitchen
610 Madison St
Oak Park, IL 60302

Current Resident
516 S. Euclid Avenue
Oak Park, IL 60304

Current Resident
517 Westley Avenue
Oak Park, IL 60304

Current Resident
515 Clarence Avenue
Oak Park, IL 60304

Business Owner
621 Madison Street
Oak Park, IL 60302

Business Owner
619 Madison Street
Oak Park, IL 60302

Current Resident
617 Madison Street
Oak Park, IL 60302

Pete's Market
Oak Park Madison

November 24, 2020

To: SNK of Illinois Ltd., 5114 S. Pulaski Rd, Chicago, IL 60632

D.B.A Mobil
Address: 622 Madison Oak Park IL.

Ph. 773-744-5801

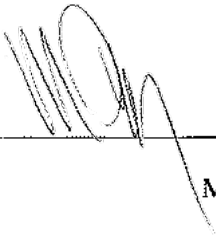
Project:
Pete's Market – Madison Street
Oak Park, IL 60302

TRANSMITTAL

Mr. Mike Duffy

The Village of Oak Park has asked us to seek your approval for Pete's Market trucks to use a small portion of the Northwest Mobil driveway near the alley –see attached exhibit for additional reference.

Per our conversations, and field meeting on site today your consideration, and acceptance is graciously appreciated.



MICHAEL DUFFY, G.M. CORP. SEC'Y Date 12/01/20200

Mike Duffy

Feel free to contact me with any questions or comments at 773-908-5145.

Regards,

Eugene Grzynkowitz

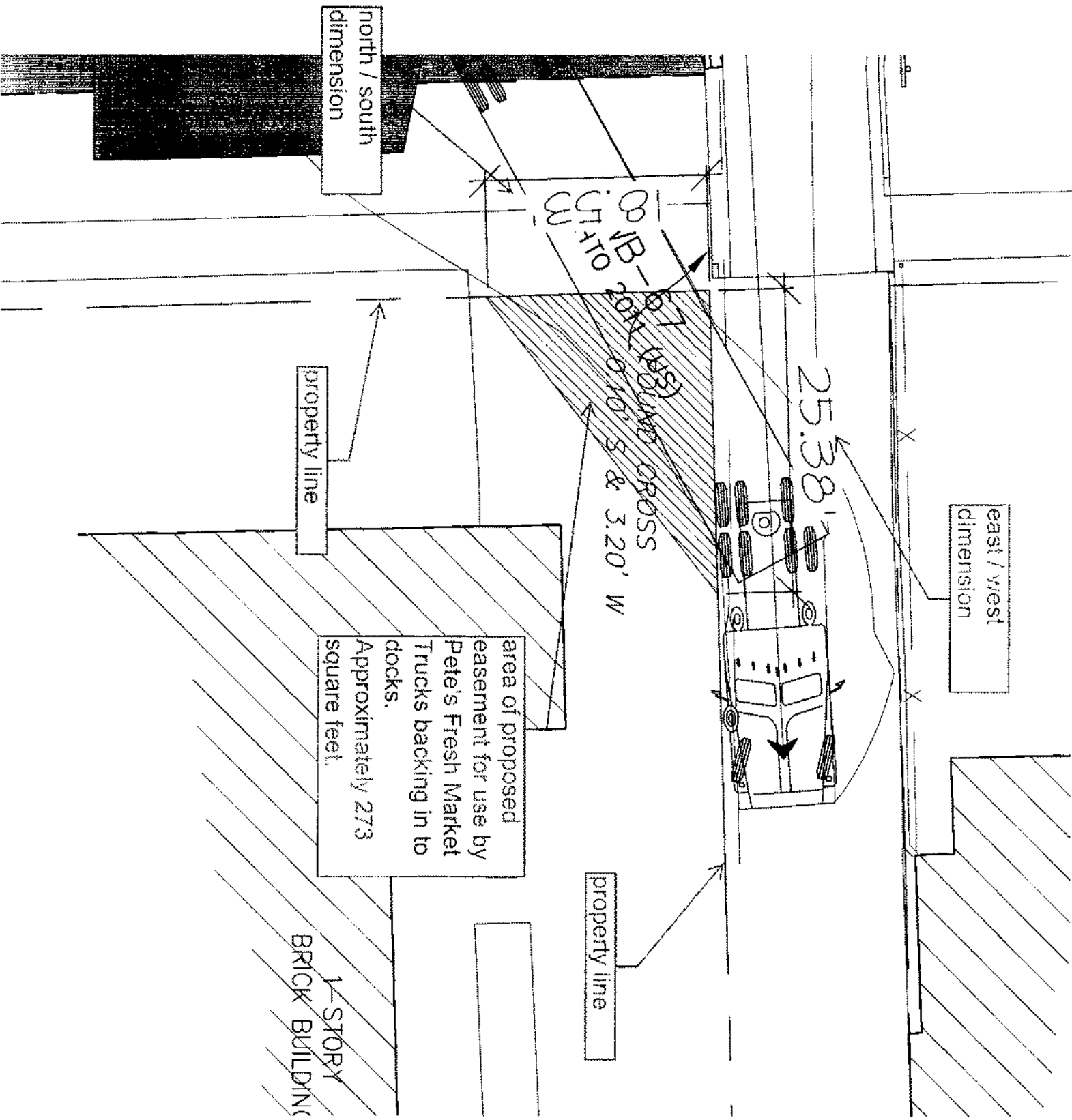
Eugene Grzynkowitz
C) 773-908-5145
eugene@pmrealtyinc.com

File: PM-Oak Park –Madison / Mobil Gas Station -Exhibit

Ph. 773-843-1400

PMR Inc.
4333 S. Pulaski
Chicago, IL 60632

Fax.773-843-9090



north / south dimension

east / west dimension

property line

property line

area of proposed easement for use by Pete's Fresh Market Trucks backing in to docks. Approximately 273 square feet.

1-STORY BRICK BUILDING

10' BOUNDARY CROSS
0.10' S & 3.20' W

25.38'