



Application for Public Hearing SPECIAL USE PERMITS

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if applicable): REAL PT, LLC dba The Movement Guild

Address/Location of Property in Question: 221 Harrison St, OP 60304

Property Identification Number(s)(PIN): 16-17-302-012-0000

Name of Property Owner(s): David Greene - SARA SWIATLOWSKI

Address of Property Owner(s): 221 Harrison St OP 60304

E-Mail of Property Owner(s): dave@crossfitspero.com Phone: 708-628-3784

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) bullsach@gmail.com

Name of Applicant(s): REAL PT LLC dba The Movement Guild -

c/o Adam Wolf
Applicant's Address: 1659 W. Hubbard, Chicago IL 60622

Applicant's Phone Number: Office 312-489-8579 E-Mail adam@movementguild.com

Other: _____

Project Contact: (if Different than Applicant) _____

Contact's Address: _____

Contact's Phone Number: Office _____ E-Mail _____

Other: _____

Property Interest of Applicant: Owner Legal Representative Contract Purchaser Other

(If Other - Describe): _____

Existing Zoning: Harrison Street Describe Proposal: performance of outpatient physical

therapy to be performed in existing space, including an already
built out private room. This will allow us to see some of our
already existing patient base living in oak park + allow a citizen of
Oak Park to operate a business in his hometown.

Size of Parcel (from Plat of Survey): _____ Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North:	<u>H S Harrison street Zoning District</u>	
To the South:	<u>R-4 Single Family Zoning District</u>	
To the East:	<u>H S Harrison street Zoning District</u>	
To the West:	<u>H S Harrison street Zoning District</u>	

How the property in question is currently improved?

Residential Non-Residential Mixed Use OTHER: _____

Describe Improvement: the building + proposed treatment rooms already exist inside crossfit. Allowing physical therapy to be provided enhances the community because we help people move better + eliminate pain.

Is the property in question currently in violation of the Zoning Ordinance? ___ Yes ___ No

If Yes, how? _____

Is the property in question presently subject to a Special Use Permit? ___ Yes ___ No

If Yes, how? _____

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? ___ Yes ___ No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: _____ Section: 8.3 (Table 8-1; Use Matrix)

Article: _____ Section: _____

Article: _____ Section: _____

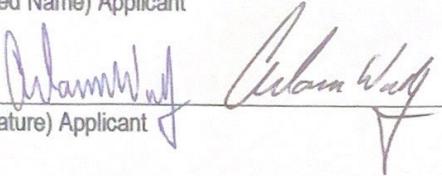
Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

approval for the permit will improve the community offering + be in harmony with the neighborhood b/c we are advocates for health + movement. moving pain free is the key to a vital life, and research demonstrates people are more likely to stick w/ a movement plan when it's convenient. We want to be in their neighborhood, which is my residential neighborhood in order to further integrate into the community where we live. My wife + myself are the owner/operators of the business, live in Oak Park, and have 3 children in the school system.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

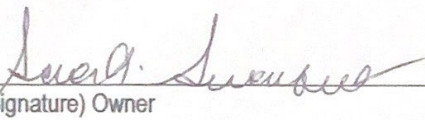
I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Adam Wolf
(Printed Name) Applicant


(Signature) Applicant

25 March 21 aw
~~9 March 21~~
Date

SARA A. SWIATLOWSKI
(Printed Name) Owner

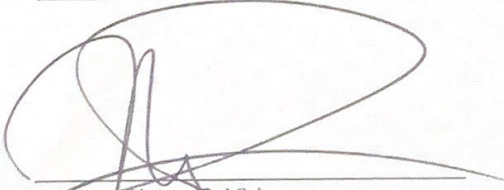

(Signature) Owner

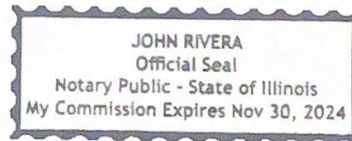
3/25/2021
Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

25 DAY OF March, 2021


(Notary Public)



1. The establishment, maintenance, and operation of the proposed special use will not have a substantial or unduly adverse impact on the neighborhood or endanger the public health, safety, or welfare.

The establishment of Physical Therapy services at 221 Harrison, inside the existing Spero Crossfit, will not have an adverse impact or endanger public health, safety or welfare. In fact, we will promote public health and welfare by promoting pain free activity and community movement. This will be offered not only to those already exercising in this facility but those in the neighborhood. We specialize in 1 on 1 services.

2. The proposed special use is compatible with the general land use of adjacent properties and other property within the immediate vicinity.

It is compatible with the use of land and adjacent property because we will be utilizing the existing structure, including a 10x13.5 square foot room currently not being used.

3. The special use in the specific location proposed is consistent with the spirit and intent of this Ordinance, adopted land use policies and the Comprehensive Plan.

The Oak Park Arts District is known as a high end, artisan part of the community. It's an area I frequent often with my family and friends as a resident of Oak Park. The Movement Guild is consistent with the spirit and intent of what is already there because we too provide artisan physical therapy. It's individualized, 1 on 1 & current literature demonstrates people that utilize neighborhood services that are convenient are more likely to get better and continue utilizing them. Our goal is to be a valuable resource for the community and it's our intention to get involved at a grass roots level to do so.

4. The special use meets the requirements for such classification in this Ordinance.

We believe we meet the special use requirements in order to provide physical therapy services in the facility.

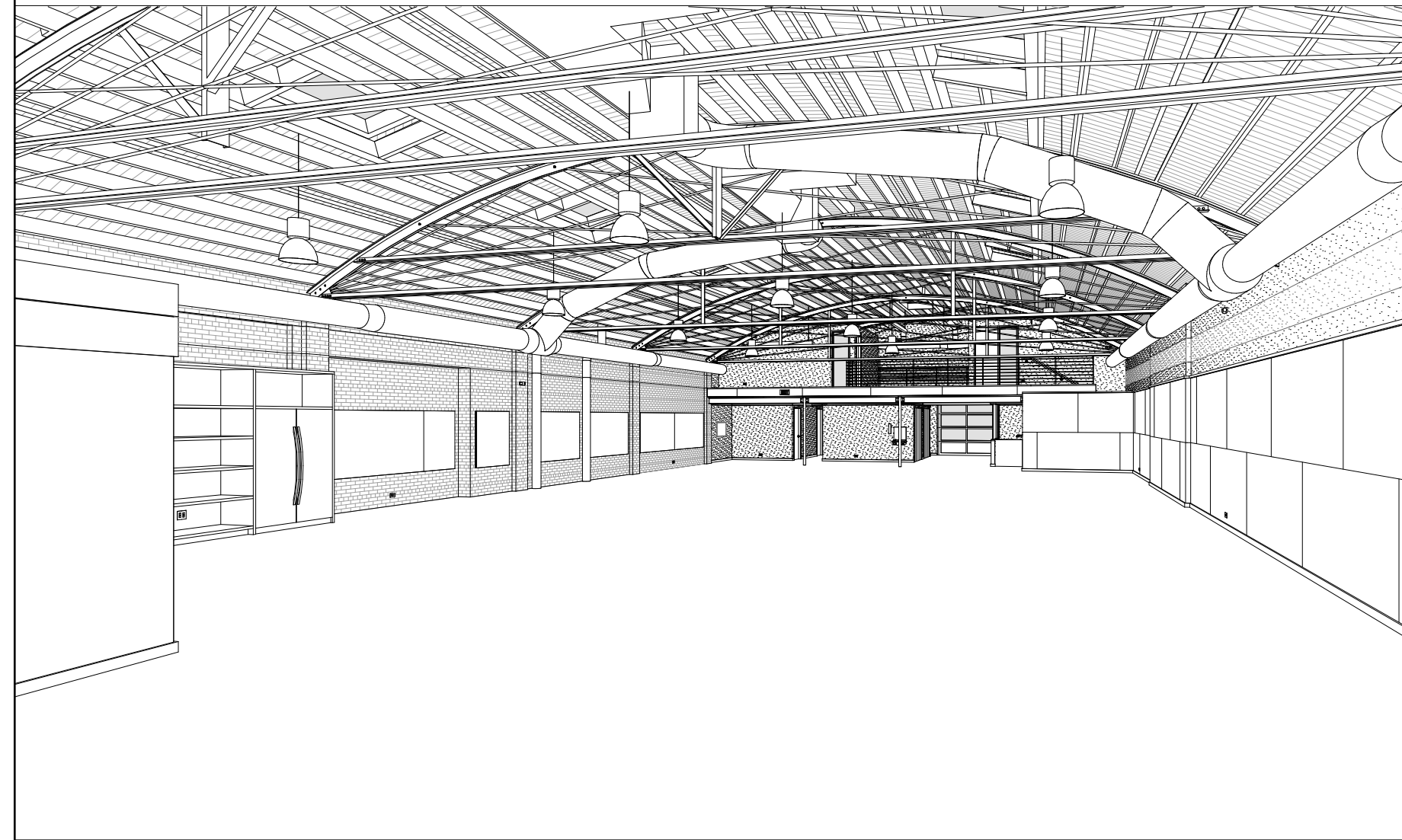
ABBREVIATIONS

A.B.	anchor bolt	FP	fireproof	PROP	property
ABV	above	FPM	feet per minute	PRF	preformed
A/C	air conditioning	FPS	feet per second	PSF	pounds/square
ACT	acoustical tiles	FRP	fiber reinforced	PSI	pounds/square
AD	area drain	FT	feet	PT	point
ADD	addendum	FTG	footing	P.T.	pressure treated
ADJ	adjacent	GA	gauge	PTN	partition
AFF	above finish floor	GC	galvanized	PVC	polyvinyl chloride
AGG	aggregate	GF	general contractor	PVMT	pavement
ALUM	aluminum	GL	ground face	QT	quarry tile
ALT	alternate	GL BK	glass block	QTY	quantity
ANOD	anodized	GVL	gravel	R	riser
AP	access panel	GYP BD	gypsum board	RA	return air
ARCH	architect, architectural	GFRC	glass fiber reinf. conc.	RAD	radius
AUTO	automatic	HB	hose bibb	RD	roof drain
AVG	average	HBD	hardboard	REF	reference
B/	bottom of	HC	hollow core	REFR	refrigerator
BD	board	HDW	hardware	REG	register
BEL	below	HDR	header	RET	return
BTWN	between	HM	hollow metal	REV	revision(s), revised
BIT	bituminous	HORIZ	horizontal	RFG	roofing
BLDG	building	HR	hour	RH	right hand
BLKG	blocking	HP	horse power	RL	railing
BRG (PL)	bearing (plate)	HR	hour	RM	room
BSMT	basement	HTG	heightening	RO	rough opening
BTM	bottom	HVAC	heating/ventilating/air conditioning	RPM	revolutions per minute
CAB	cabinet	HW	hot water	ROW	right of way
C.B.	catch basin	INCL	include	SC	solid core
CCT	circuit	ID	inside diameter	SCH	schedule
CEM	cement	INFO	information	SD	storm drain
CU. FT.	cubic feet	INSUL	insulate(tion)	SF	square foot
CFM	cubic feet/minute	INT	interior	SHT	sheet
CI	cast iron	INV	invert	SIM	similar
CL.G	ceiling	ISLT	isolate	SLNT	slant
CL	center line	JB	junction box	SLV	sleeve
CLR	clear(ance)	JC	janitor's closet	SPEC	specification
CJ	control joint	JCT	junction	SQ	square
CM	centimeter	JT	joint	SST	stainless steel
CMU	conc. masonry unit	KIT	kitchen	STD	standard
CTR	center	KD	knock down	STL	steel
C.O.	coefficient	KO	knock out	STOR	storage
COEF	coefficient	LAB	laboratory	STR	structural
COL	column	LAM	laminate	SURR	surrounding
COM	common	LAV	lavatory	SUSP	suspended
COMB	combustion	LBL	label	SWBD	switchboard
CONC	concrete	LL	left hand	SYM	symmetrical
CONST	construction	LL	live load	SYS	system
CONT	continuous	LP	low point	T	tread
CPR	copper	LT(G)	light(ing)	T/	top of
CPT	carpet(tile)	LWC	lightweight concrete	T&B	top and bottom
CRS	course(s)	LOCA	location	T.C.	terra cotta
CSMT	casement	MAN	manual	TEL	trench drain
CT	ceramic tile	MAS	masonry	TEMP	temperature
CTR	counter	MAX	maximum	T&G	tongue and groove
CW	cold water	MB	machine bolt	THK	thick(ness)
CU. YD.	cubic yard	MECH	mechanical	TPTN	toilet partition
CUB.	cubby	MED	medium	TRTD	pressure treated
DB	decibel	M.C.	medicine cabinet	TSTAT	thermostat
DBL	double	MEZZ	mezzanine	TV	television
DEG	degree	MFR	manufacturer	TYP	typical
DEPT	department	MH	manhole	UC	undercut
DF	drinking fountain	MIN	minimum	UH	unit heater
DH	double hung	MISC	miscellaneous	UL	Underwriters' Laboratory
DIA	diameter	MM	millimeter	UNF	unfinished
DIAG	diagonal	MNT	mount(ed)	UNL	unless noted otherwise
DIM	dimension	MO	masonry opening	U/S	underside
DISP	dispenser	MOD	modular, module	VB	vapor barrier
DIV	division	MTL	metal	VCP	vitritified clay pipe
DL	dead load	MULL	mullion	VCT	vinyl composition tile
DTL	detail	(N)	new	VEN	vener
DN	down	NAT	natural	VER	verify
DR	door	NIC	not in contract	VERT	vertical
DS	downspout	NO	number	VIF	verify in field
DT	drain tile	NOM	nominal	VOL	volume
DWG	drawing	NRC	noise reduction coefficient	W/	with
DWL	dowel	NTS	not to scale	WC	water closet
EB	expansion bolt	OA	overall	WD	wood
EF	each face	OC	on center	WF	water fountain
E.J.	expansion joint	OD	outside diameter	WH	wall hung
EL	elevation	OFF	office	WM	window
ELEC	electric(al)	OH	overhead	WO	wire mesh
ELEV	elevator	OPG	opening	WP	without
EMER	emergency	OPH	opposite hand	WP	waterproofing
ENG	engineer	OPP	opposite	WPT	work point
EPS	expanded polystyrene	OZ	ounce	WR	water repellent
EQ	equal	OA	overall	WSC	wainscot
EST	estimate	PBD	particle board	WT	weight
EVAP	evaporator	PCC	precast concrete	WWF	welded wire fabric
EWC	electric water cooler	PCF	pounds/cubic feet	XPS	extruded polystyrene
EXH	exhaust	PERF	perforate(d)	YD	yard
EXIST/(E)	existing	PERI	perimeter		
EXP	exposed	PFB	prefabricate(d)		
EXT	exterior	PFN	prefinish		
FA(P)	fire alarm (panel)	PH	phase		
FB	face brick	PKG	parking plate		
FBD	fiber board	PL	plate		
FD	floor drain	P.L.	property line		
FF	finish floor	PLAM	plastic laminate		
FFE	finish floor elevation	PLAS	plaster		
FGL	fiberglass	PLBG	plumbing		
FHC	fire hose cabinet	PLF	pounds/linear foot		
FHV	fire hose valve	PLYWD	plywood		
FIL	fillet	PNL	panel		
FIN	finish(ed)	PNT	paint		
FLG	flashing	P.O.	plaster opening		
FLUOR	fluorescent				
FLR	floor(ing)				
FNDN	foundation				
FOC	face of concrete				
F.O.	face of				

FRONT PERSPECTIVE



INTERIOR PERSPECTIVE



PROJECT CONTACTS

OWNER
221 HARRISON STREET LLC
221 HARRISON STREET
OAK PARK, IL 60304

ARCHITECT
TOM BASSETT-DILLEY ARCHITECT, LTD.
PROFESSIONAL DESIGN FIRM REGISTRATION # 184.004847
301 HARRISON STREET
OAK PARK, IL 60304
P 708.434.0381

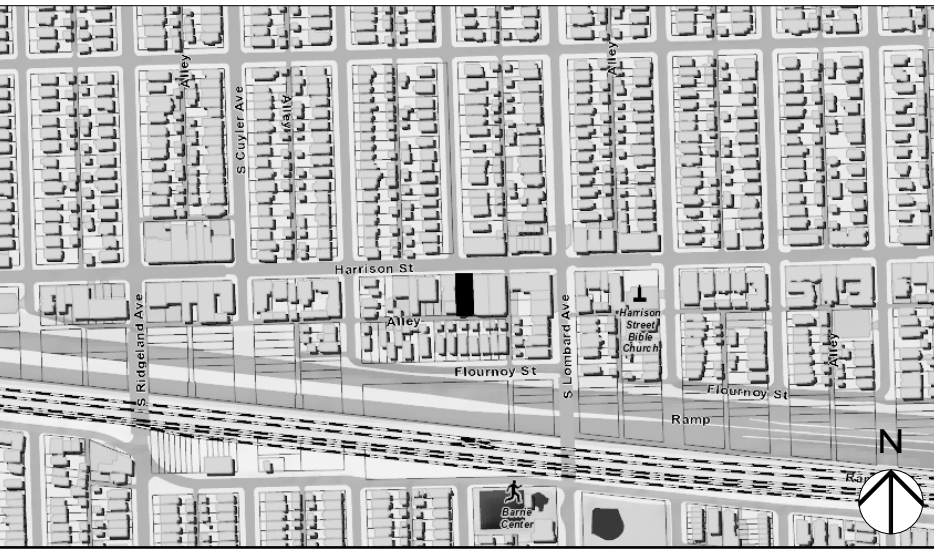
CONTRACTOR
TO BE DETERMINED

MEP ENGINEER
ARCHITECTURAL CONSULTING ENGINEERS
MARK NUSSBAUM
837 HAYES AVE.
OAK PARK, IL 60302
P 708.524.0272
E mark@ace-oakpark.com

STRUCTURAL ENGINEER
JOHN DALEY
625 S. SCOVILLE AVE.
OAK PARK, IL 60304
P 708.358.8108
E jolympicse@gmail.com

FIRE PROTECTION
U.S.A.F.F.
PAUL SUVANICH
28427 N. BALLARD ROAD, UNIT H
LAKE FOREST, IL 60045
P 708.848.4980

VICINITY MAP



REFERENCED CODES

2009 INTERNATIONAL BUILDING CODE (IBC) W/ LOCAL AMENDMENTS
2008 NATIONAL ELECTRICAL CODE (NEC) W/ AMENDMENTS
2009 INTERNATIONAL FIRE CODE (IFC) W/ AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 INTERNATIONAL MECHANICAL CODE (IMC) W/ AMENDMENTS
2009 INTERNATIONAL FUEL GAS CODE (IFGC) W/ AMENDMENTS
2009 INTERNATIONAL EXISTING BUILDING CODE W/ AMENDMENTS
1997 ILLINOIS ACCESSIBILITY CODE (IAC)
2014 ILLINOIS STATE PLUMBING CODE (IPC) W/ AMENDMENTS

PROJECT DESCRIPTION

PROJECT CONSISTS OF RENOVATING AN EXISTING UNUSED 6,098 SQFT., 1-STORY, TYPE III-B WAREHOUSE. A NEW GYM SPACE IS PROPOSED FOR THE NEWLY RENOVATED SPACE. NO CHANGES ARE PROPOSED TO EXPAND THE FOOTPRINT OF THE BUILDING.

ALL NEW WORK WILL OCCUR WITHIN THE EXISTING FOOTPRINT. THE BUILDING WILL RECEIVE NEW ROOFING MEMBRANE, WALL AND ROOF INSULATION; PLUMBING; ENERGY-EFFICIENT LIGHTING SYSTEMS; ELECTRICAL SYSTEMS; HEATING AND COOLING SYSTEMS; INTERIOR FRAMING; ELECTRIC, WATER, AND SEWER CONNECTIONS; WINDOWS; SKYLIGHTS; AND DEMAND CONTROLLED VENTILATION.

FLOOR AREA TABLE

LOCATION	NET AREA	GROSS AREA
1ST FLOOR	5,469 SQFT	6,098 SQFT
OFFICE MEZZANINE	631 SQFT	662 SQFT
TOTAL	6,100 SQFT	6,720 SQFT
OCCUPANT LOAD		6,720 / 50 = 135

DESIGN LOAD INFORMATION

UNIFORMLY DISTRIBUTED LIVE LOADS: SEE STRUCTURAL FOR LOADS

ATTICS WITHOUT STORAGE	10 PSF
ATTICS WITH STORAGE	20 PSF
SLEEPING ROOMS	30 PSF
LIVING ROOMS	40 PSF

STRUCTURAL DEAD LOADS: SEE STRUCTURAL FOR LOADS

DEAD LOAD	20 PSF
GROUND SNOW LOAD	30 PSF
SNOW DRIFT	40 PSF
WIND UPLIFT	20 PSF

ZONING & CODE INFORMATION

LOT INFORMATION

ZONE: HS - HARRISON STREET
LOT PIN: 16-17-302-012-0000
LOT SIZE: 50.0' x 125.5' = 6,275 S.F.

REQUIRED SETBACKS

	ALLOWED:	EXISTING:	PROPOSED:
PRINCIPAL BLDG.:	0	0	UNCHANGED
FRONT YARD (N)	0	0	UNCHANGED
SIDE YARD (E)	0	0	UNCHANGED
REAR YARD (S)	0	0	UNCHANGED
SIDE YARD (W)	0	0	UNCHANGED

BUILDING HEIGHT

EXISTING TO REMAIN UNCHANGED

PARKING SPOTS

VERIFY PARKING STRATEGY WITH VILLAGE

BUILDING CODE STUDY: IBC 2009 W/ LOCAL AMENDMENTS SECTION 302 CLASSIFICATION

EXISTING OCCUPANCY TYPE: LOW-HAZARD STORAGE (S-2)
NEW OCCUPANCY TYPE: GYMNASIUM (A-3) (CHANGE OF USE)

SECTION 503 GENERAL HEIGHT & AREA LIMITATIONS

TABLE 503:
ALLOWABLE HEIGHT: 3 STORIES (75')
ACTUAL BUILDING HEIGHT: EXISTING TO REMAIN UNCHANGED
ALLOWABLE BUILDING AREA: 38,000 S.F.
ACTUAL BUILDING AREA: 6,098 S.F. (UNCHANGED)

SECTION 601 CONSTRUCTION CLASSIFICATION

CONSTRUCTION TYPE: III-B (EXISTING, TO REMAIN UNCHANGED)

TABLE 601 FIRE-RESISTANCE RATING REQ. FOR BUILDING ELEMENTS
STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS, TRUSSES): 0 HRS.
BEARING WALLS (EXTERIOR): 2 HRS.

SECTION 1000 MEANS OF EGRESS

TABLE 1004.1.2 MAX. FLOOR AREA ALLOWANCES PER OCCUPANT
GYM: 6,098 S.F. (EXERCISE ROOMS = 50 GROSS) = 122 OCCUPANTS
OFFICE MEZZANINE: 662 S.F. (BUSINESS AREA = 50 GROSS) = 13 OCCUPANTS

TABLE 1005.1 EGRESS WIDTH PER OCCUPANT SERVED
122 + 13 = 135 TOTAL OCCUPANT LOAD
135 x 0.2 = 27.0 INCHES MIN. REQ. EGRESS WIDTH

SECTION 1008 EGRESS DOORS

DOORS TO PROVIDE MIN. 32" WIDE CLEAR OPENINGS
DOORS TO SWING IN DIRECTION OF TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50+
LANDINGS HAVE A MIN. LENGTH OF 44" IN THE DIRECTION OF TRAVEL
THRESHOLDS NOT TO EXCEED 1/2"
HARDWARE TO BE BETWEEN 34 AND 48 INCHES ABOVE FINISH FLOOR

TABLE 1018.1 MIN. NUMBER OF EXITS FOR OCCUPANT
OCCUPANT LOAD 1-500 = 2 EXITS MIN.

SHEET INDEX

A0 COVER SHEETS

A0.0 COVER SHEET, PROJECT INFO, SITE PLAN
A0.1 SITE PROTECTION & RESTORATION NOTES
A0.2 3D VIEWS
A0.3 3D VIEWS
A0.4 RENDERINGS

D1 DEMOLITION PLANS

D1.1 FIRST FLOOR DEMOLITION PLAN
MEP1.1 MEP DEMOLITION PLANS

A1 PLANS

A1.1 FIRST FLOOR PLAN
A1.2 SLAB PLAN
A1.3 ROOF PLAN
A1.4 ROOF PLAN
A1.5 FIRST FLOOR RCP
A1.6 ROOF & FLOOR RCP

A2 ELEVATIONS

A2.1 ELEVATIONS

A3 SECTIONS

A3.1 BUILDING SECTIONS & WALL TYPES
A3.2 BUILDING SECTIONS
A3.3 BUILDING SECTIONS

A4 DETAILS

A4.1 WALL SECTIONS & DETAILS
A4.2 WINDOW & DOOR DETAILS
A4.3 WINDOW & DOOR DETAILS

A5 SCHEDULES

A5.1 SCHEDULES & INT. DETAILS
A5.2 DOOR & WINDOW SCHEDULES

A6 INTERIOR ELEVATIONS

A6.1 INTERIOR ELEV.; RESTROOMS, FINISH SCHEDULES
A6.2 INTERIOR ELEV.; GYM, STAIRS
A6.3 INTERIOR ELEV.; ENTRY, VESTIBULE, REAR HALLWAYS
A6.4 INTERIOR ELEV.; LOFT, KIDS ROOM, PRIVATE

M1 MECHANICAL PLANS

M1.0 MECHANICAL SCHEDULES, NOTES & DETAILS
M1.1 1ST FLOOR MECHANICAL PLAN
M1.2 LOFT MECHANICAL PLAN

P1 PLUMBING PLANS

P1.0 PLUMBING SCHEDULES, NOTES & DETAILS
P1.1 FIRST FLOOR PLUMBING PLAN - SANITARY
P1.2 FIRST FLOOR & LOFT DOMESTIC WATER & GAS PLAN
P1.3 ROOF PLUMBING PLAN & ISOMETRIC DIAGRAMS

E1 ELECTRICAL PLANS

E1.0 ELECTRICAL SCHEDULES, NOTES & DETAILS
E1.1 FIRST FLOOR ELECTRICAL POWER PLAN
E1.2 FIRST FLOOR ELECTRICAL LIGHTING PLAN
E1.3 LOFT AND ROOF ELECTRICAL POWER AND LIGHTING PLAN
E1.4 FIRST FLOOR FIRE ALARM PLAN
E1.5 LOFT FIRE ALARM PLAN

S STRUCTURAL NOTES

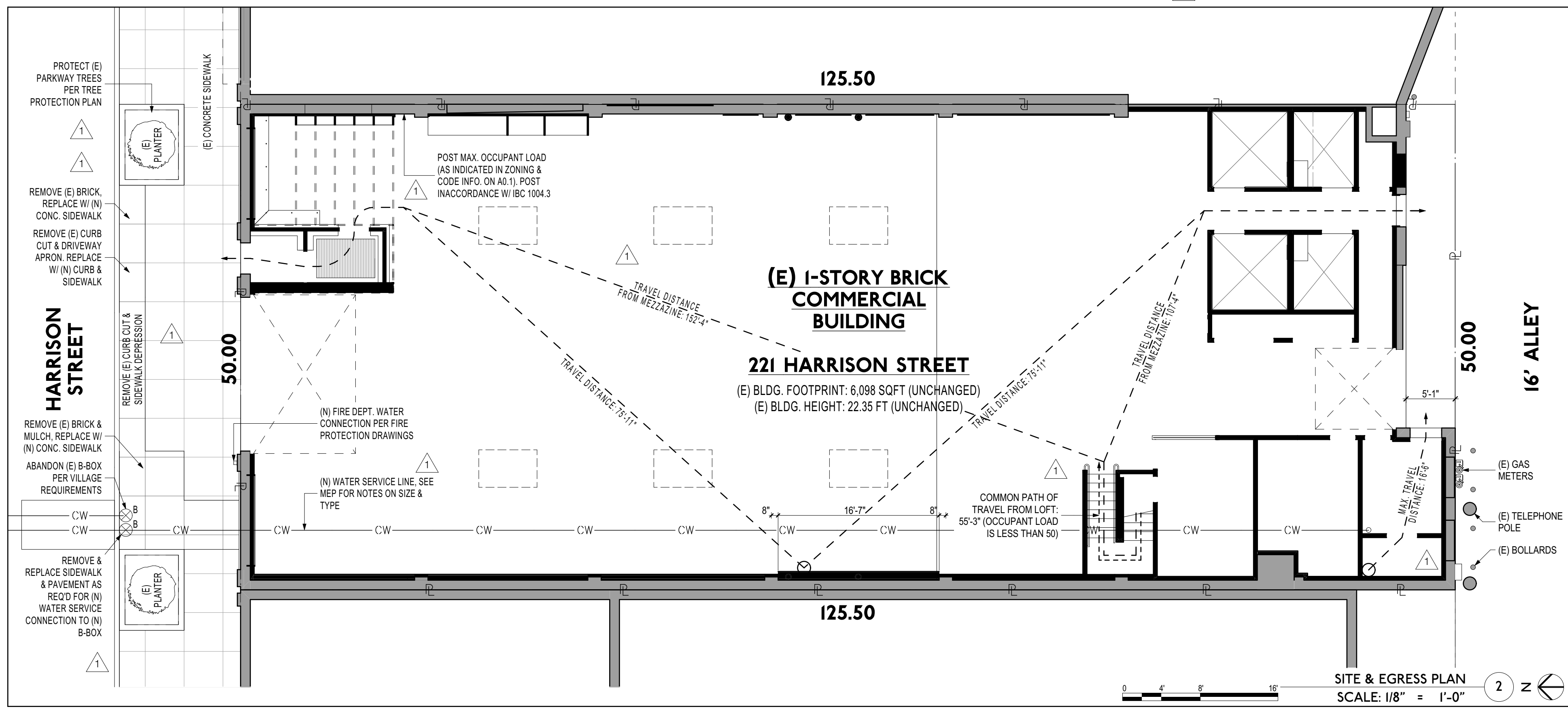
S001 GENERAL NOTES

S STRUCTURAL PLANS

S1 FRAMING PLANS
S2 ROOF MODIFICATIONS
S3 SECTIONS & DETAILS

FP FIRE PROTECTION

FP.1 FIRE PROTECTION PLANS
FP.2 FIRE PROTECTION PLANS



OAK PARK RIGHT OF WAY RESTORATION STANDARDS

ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL COMPLY WITH THE VILLAGE OF OAK PARK VILALGE CODE CHAPTER 22 - STREETS AND SIDEWALKS.

22-3-4 RESTORATION:

A. Paved Roadways. The person interfering with or causing a change in any public way or public property is responsible for restoration. If restoration is not completed by such person within a reasonable time, the restoration (including backfill, concrete replacement and asphalt patching) of any street or paved alley shall be performed by the Village, the cost of such restoration to be deducted from the deposit provided for in Section 22-3-2.

The restoration of the roadway of any street or paved alley will conform to the following standards:

1. No excavated material shall be used for backfill except by the written consent of the Director of Public Works or his authorized agent.
2. Backfill material shall consist of sand or stone screenings and shall be deposited in six inch (6") layers, each layer to be suitably rammed or tamped. Pudding of backfill material may be substituted for tamping.
3. All trenches or excavations made in any improved street or alley, shall be refilled to a point on a level with the subgrade immediately below the pavement with such care and in such a manner that there will be no further settlement of the filling material. The replaced pavement above the subgrade shall be identical with and correspond in every way to the original improvement, except that in all cases where concrete is required Portland cement shall be used.
4. All concrete used for this work shall be delivered from ready mix trucks and shall conform to State highway specifications. The concrete shall contain no more water than is required for a four inch (4") slump. After the concrete has been laid, as above described, the same shall be protected from traffic for one week and until the concrete is thoroughly set.
5. Before final restoration is made to concrete patches, the perimeter of the concrete shall be cut back neatly and squarely at least twelve inches (12") beyond the limits of the original excavation.

B. Parkways. All trenches or other excavations in any parkway shall be refilled and the sod removed in making such trenches and excavations shall be replaced or, after refilling the same, the surface shall be sowed with grass seed or resodded as determined by the Director of Public Works and shall be cared for until the same is restored to as good condition in every way as before the excavations were made.

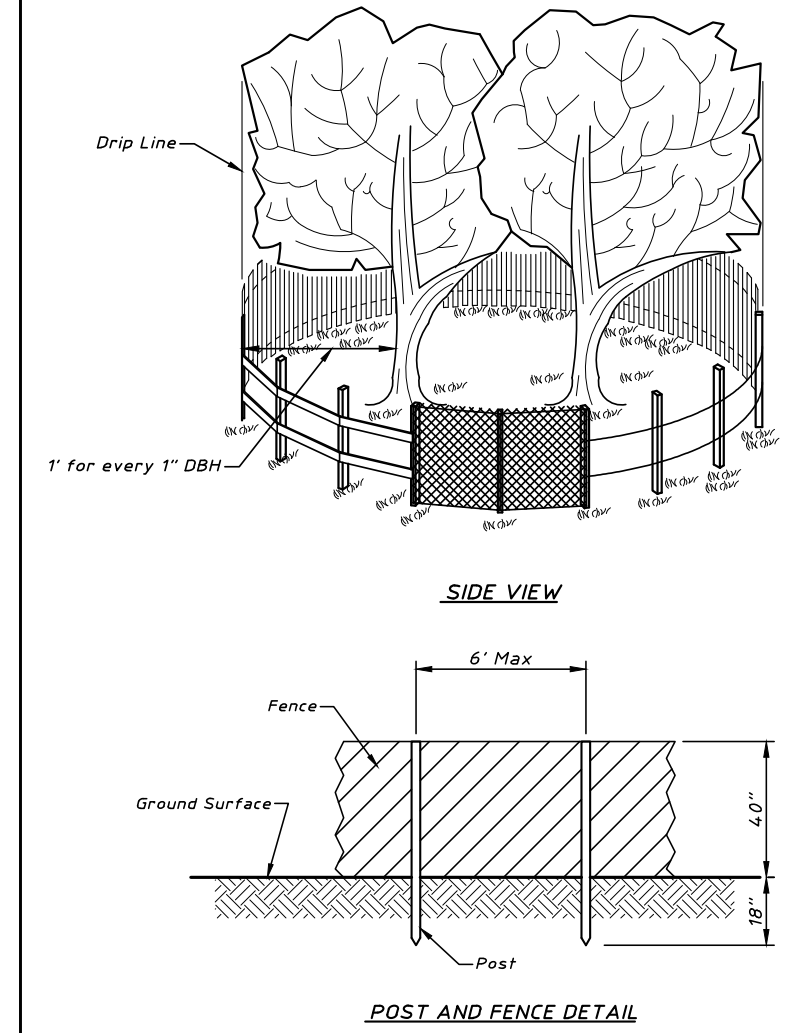
C. Sidewalks and Curbs. All damaged or removed sidewalks shall be replaced with new five inch (5") thick squares equal in width of adjoining squares. Where sidewalk replacements are required, only full squares may be placed.

Where curb and gutter sections are to be replaced, the repair must include all the curb and gutter between joints, unless sawed joints are provided.

Any underground improvements of any kind which may be encountered in making street excavations shall not be molested or disturbed in any way and if injured shall be at once repaired and restored to their original condition without cost to the owners thereof.

All the work herein before referred to shall be done in a good and workmanlike manner and shall be maintained and kept in good order and repair until the deposit aforesaid is refunded, but not to exceed one year. Each person shall from time to time during such year repair or refill any such ditch, trench or other excavation, if called upon so to do by the Director of Public Works or other proper officer of the Village and all such work shall be done and performed to the full and complete satisfaction of the Director of Public Works or of such officer as may hereafter be appointed to perform the same or similar duties as are now performed by such Director and to the full satisfaction of and without expense to the Village.

TREE PROTECTION PLAN



NOTES:

1. The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
3. The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PRESERVATION NOTES:

1. INSTALL TREE PROTECTION FENCE AND PERFORM ROOT PRUNING PER PLAN FOR ALL PROTECTED TREES PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. TREE PROTECTION ZONES IN PUBLIC SPACES (PARKWAY) SHALL BE FENCED WITH A 6" CHAIN-LINK FENCE TO PREVENT WOUNDS TO THE PARKWAY TREE(S) AS WELL AS SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING "TREE PROTECTION ZONE - KEEP OUT".
3. NO TRENCHING SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY UNLESS PRE-APPROVED BY BUILDING DEPARTMENT STAFF.
4. NO GRADE CHANGES SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES OF PARKWAY TREES FOR ANY CONSTRUCTION ACTIVITY.
5. WHERE POSSIBLE, PROPOSED STORM SEWER, SANITARY SEWER, AND WATER MAIN SHALL BE AUGERED WHEN PASSING THROUGH TREE PROTECTION ZONES.
6. ALL TRENCHES WITHIN TREE PROTECTION ZONES (I.E. FOR CONNECTING TO OR CAPPING EXISTING UTILITIES) SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL SMALLER ROOTS THAT REQUIRE CUTTING SHALL BE CUT WITH PRUNING SAWS. CUTS SHALL BE MADE FLUSH WITH THE TREE SIDE OF THE EXCAVATION.
7. REMOVAL OF ANY HARDSCAPE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT UNLESS THERE IS NO FEASIBLE ALTERNATIVE. CUTS WILL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE TREE SIDE OF THE TRENCH.
8. AT NO TIME SHALL ANY EQUIPMENT, MATERIALS, SUPPLIES OR FILL SOIL BE ALLOWED IN THE TREE PROTECTION ZONE(S). DO NOT STORE EXCAVATED SOIL, BUILDING MATERIALS, OR THE DUMPSTER WITHIN THE DRIP-LINE OF THE PARKWAY TREE(S).
9. THE TREE PROTECTION ZONE MAY BE MULCHED TO IMPROVE THE GROWING CONDITIONS FOR TREE ROOTS, AND MINIMIZE THE MAINTENANCE OF THE PARKWAY LAWN.

WATER SERVICE & SANITATION

SANITARY SERVICE NOTES:

1. THE SANITARY SERVICE SHALL BE CONNECTED TO THE EXISTING SERVICE LINE AS SHOWN. IN ORDER TO AVOID IMPACTS WITHIN THE RIGHT-OF-WAY, IF THE EXISTING LINE IS DETERMINED TO BE SUITABLE FOR RE-USE.
2. THE EXISTING SANITARY SERVICE LOCATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. THE LOCATION AND ELEVATION OF THIS LINE MUST BE VERIFIED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TELEVISIONING THE EXISTING SERVICE TO DETERMINE ITS CONDITION AND SHALL COORDINATE AS NECESSARY WITH THE VILLAGE OF OAK PARK ON FINAL ACCEPTANCE FOR REUSABILITY.
4. IF THE EXISTING SERVICE LINE IS DEEMED TO BE IN POOR CONDITION, TOTAL REPLACEMENT WILL BE REQUIRED WITH A NEW CONNECTION TO THE MAIN LINE. NEW SEWER SERVICE SHALL BE 8-INCH PVC SDR26 PIPE AT 1% MINIMUM SLOPE. SHOULD A NEW LINE BE REQUIRED, ANY AREAS DISTURBED WITHIN THE RIGHT-OF-WAY MUST BE REMOVED AND REPLACED IN ACCORDANCE WITH VILLAGE STANDARDS.

WATER SERVICE NOTES:

1. NEW WATER SERVICE SHALL BE 1" TYPE K COPPER SERVICE WITH NEW B-BOX AND CORPORATION PER VILLAGE OF OAK PARK STANDARDS. ANY AREAS DISTURBED WITHIN THE RIGHT-OF-WAY MUST BE REMOVED AND REPLACED IN ACCORDANCE WITH VILLAGE STANDARDS.

PLOTTED
4/27/2018

SIGNED ON DATE
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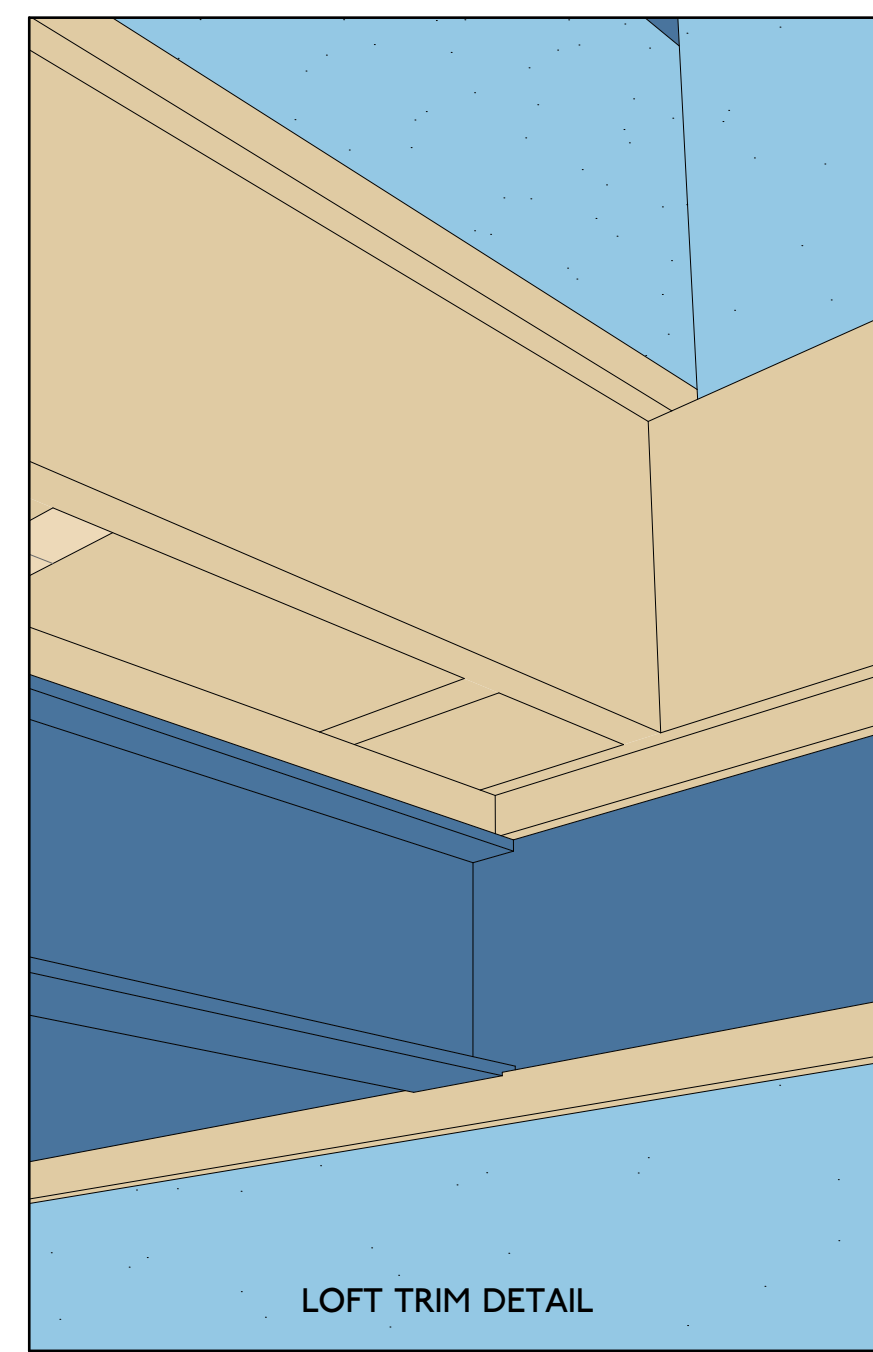
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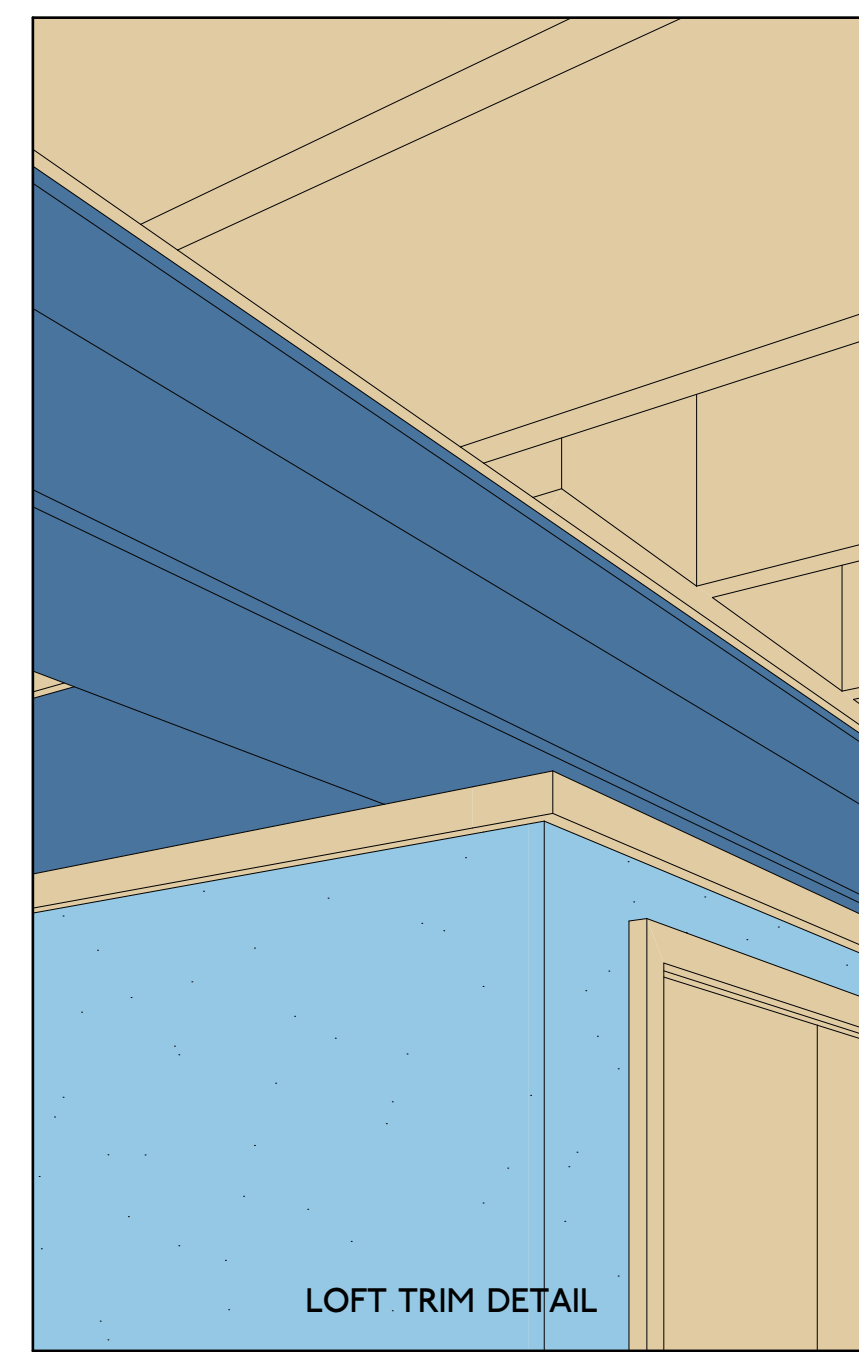
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221 HARRISON STREET
OAK PARK, IL 60304

TOM BASSETT-DILLEY ARCHITECT
216 HARRISON STREET OAK PARK, ILLINOIS 60304
P. 708.434.0381

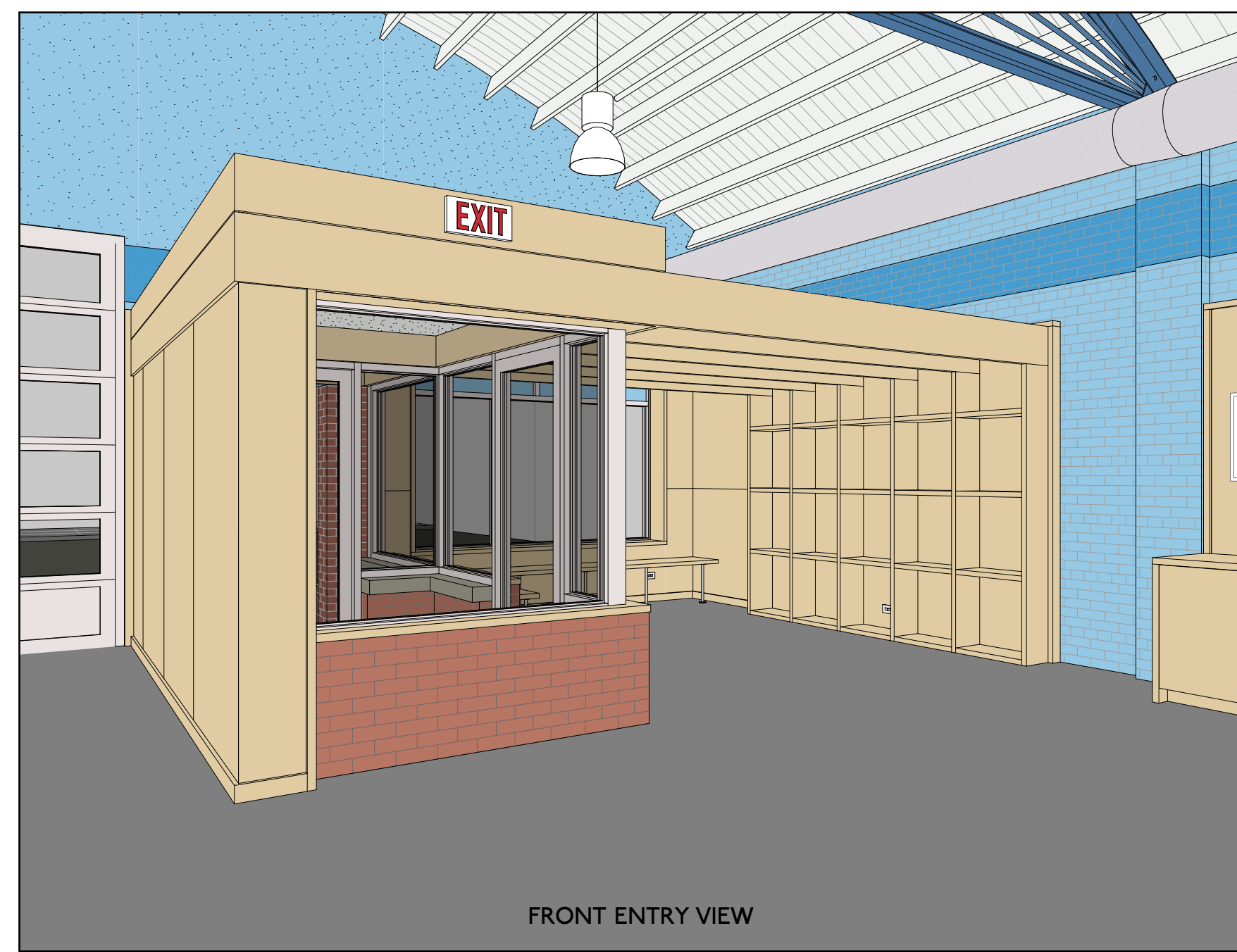
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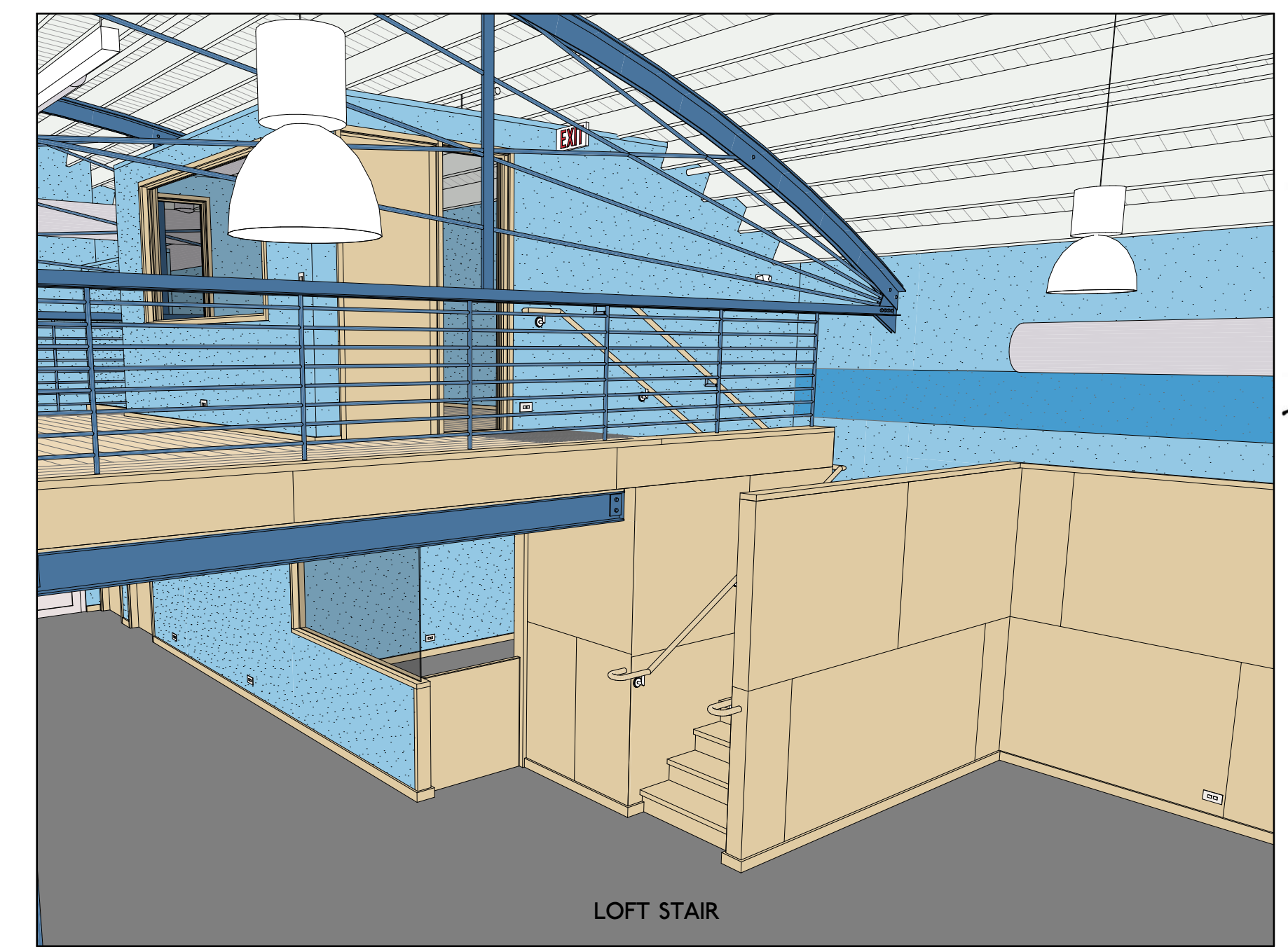
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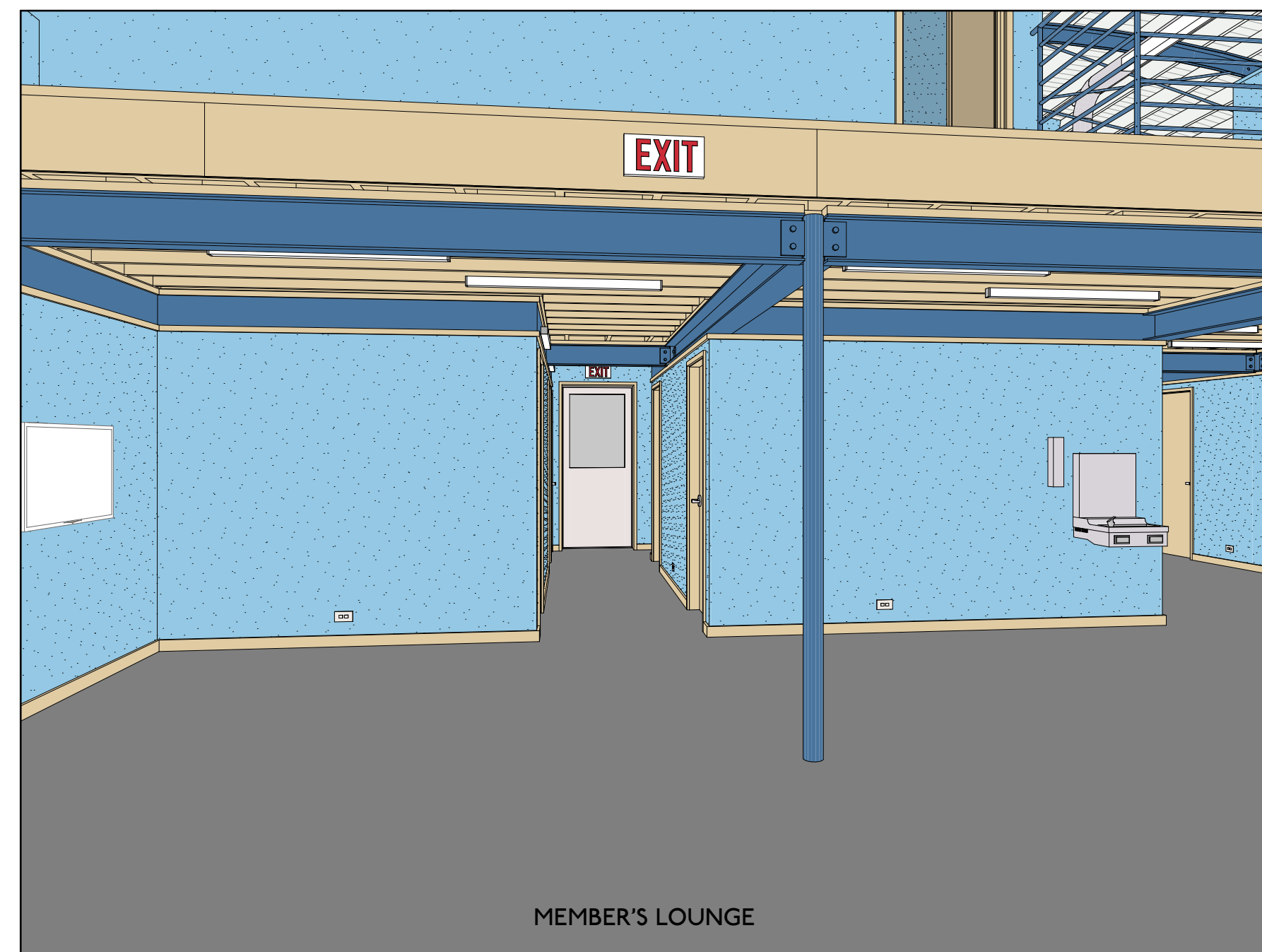
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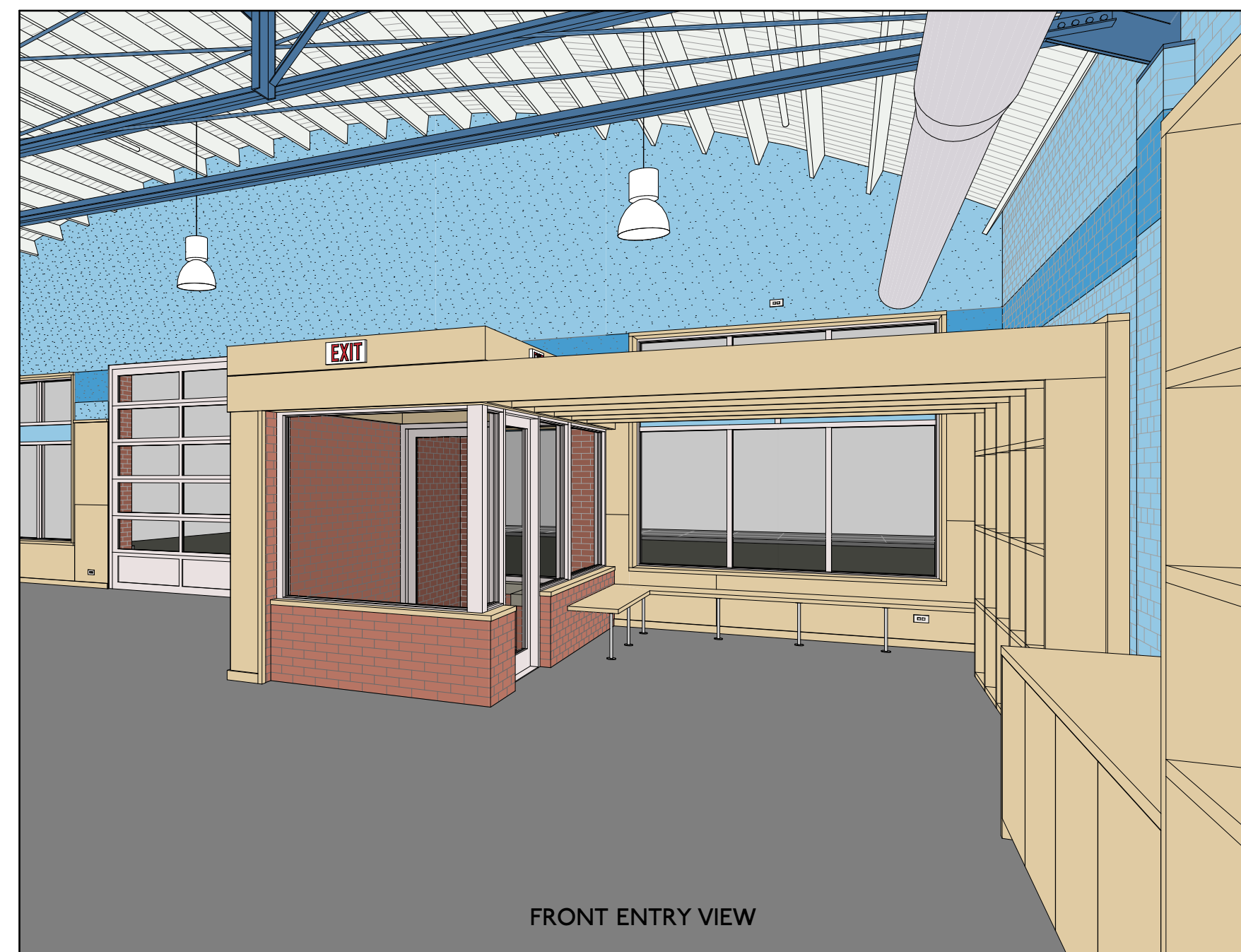
FRONT ENTRY VIEW



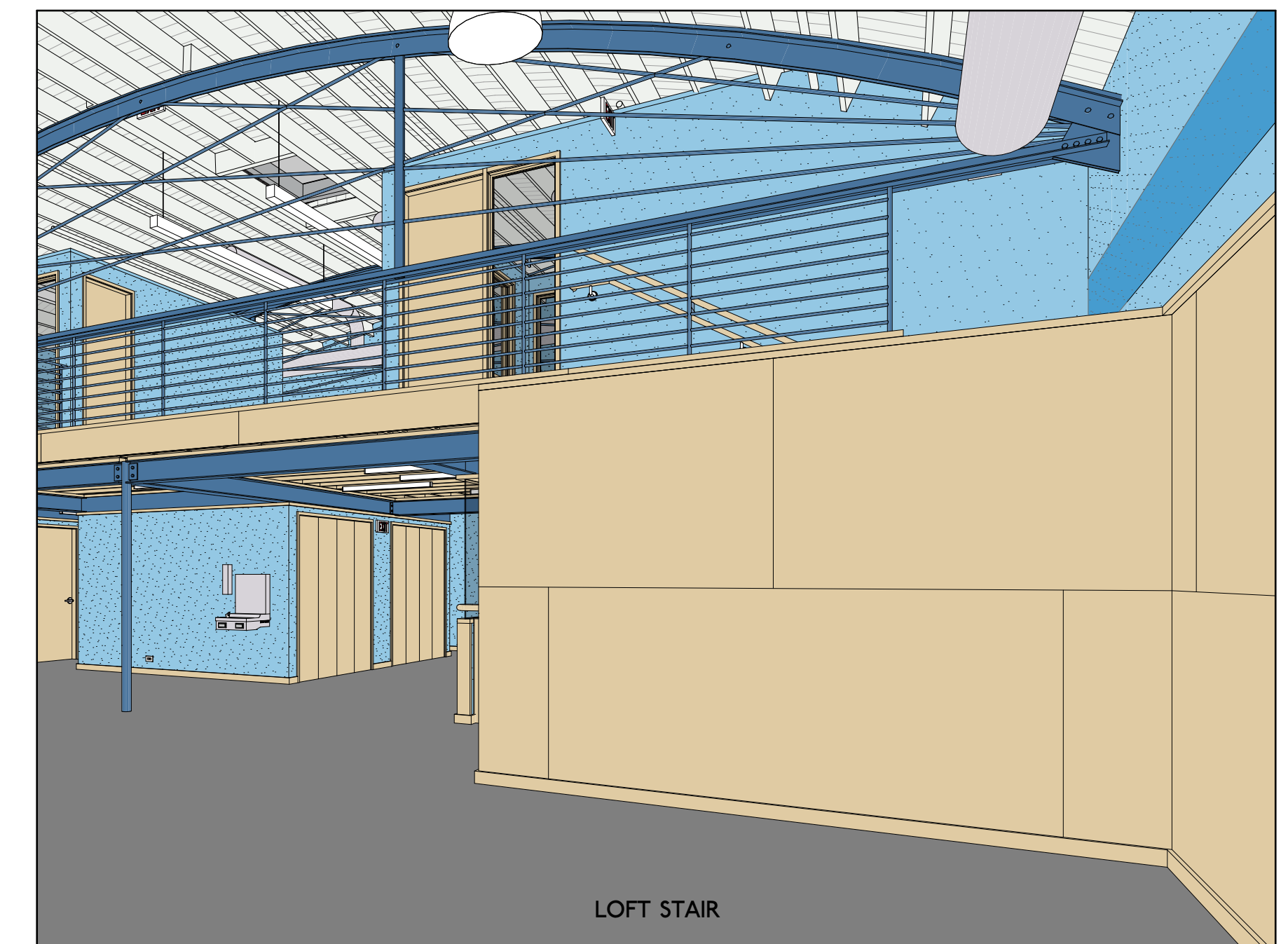
LOFT STAIR



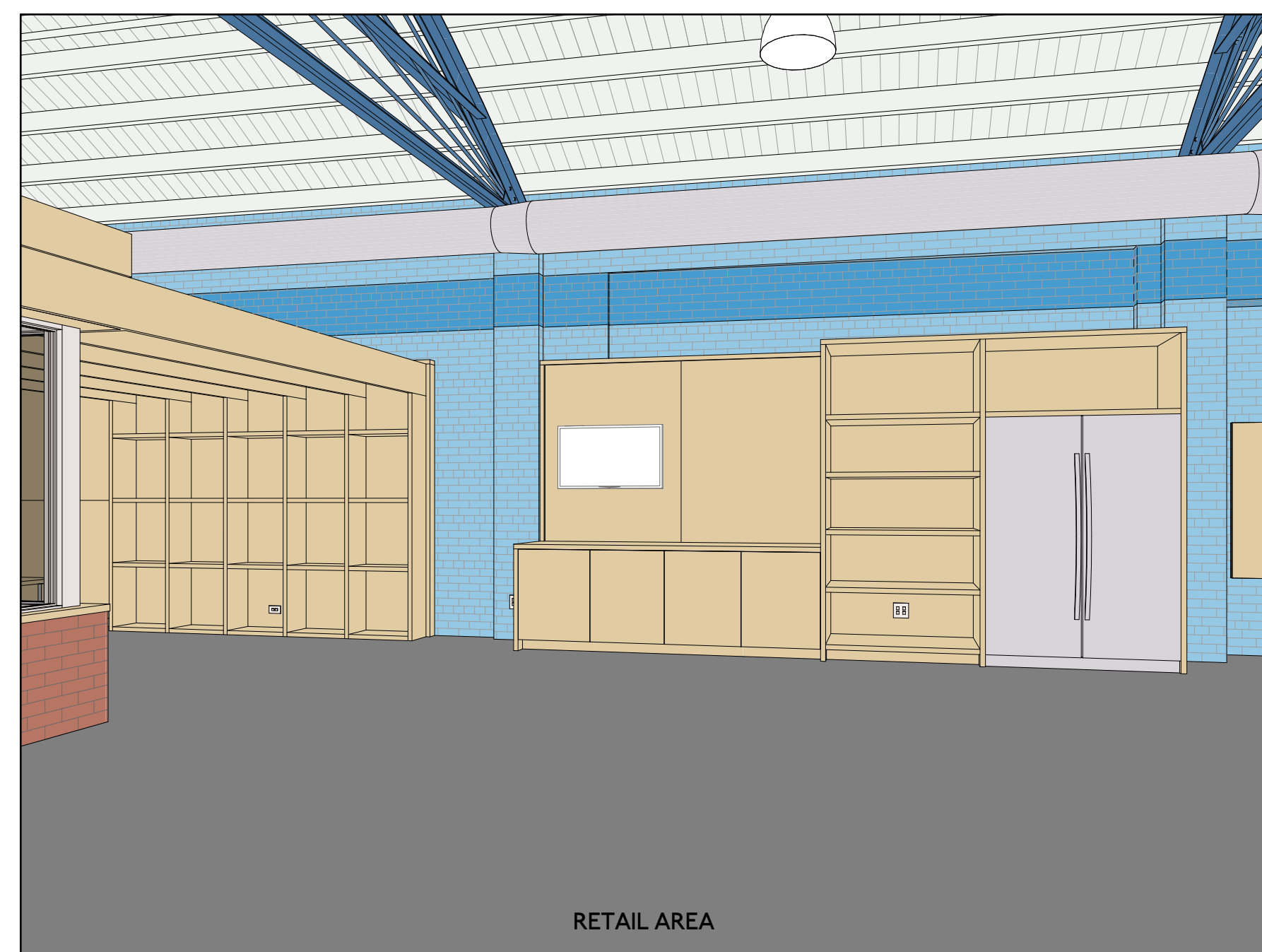
MEMBER'S LOUNGE



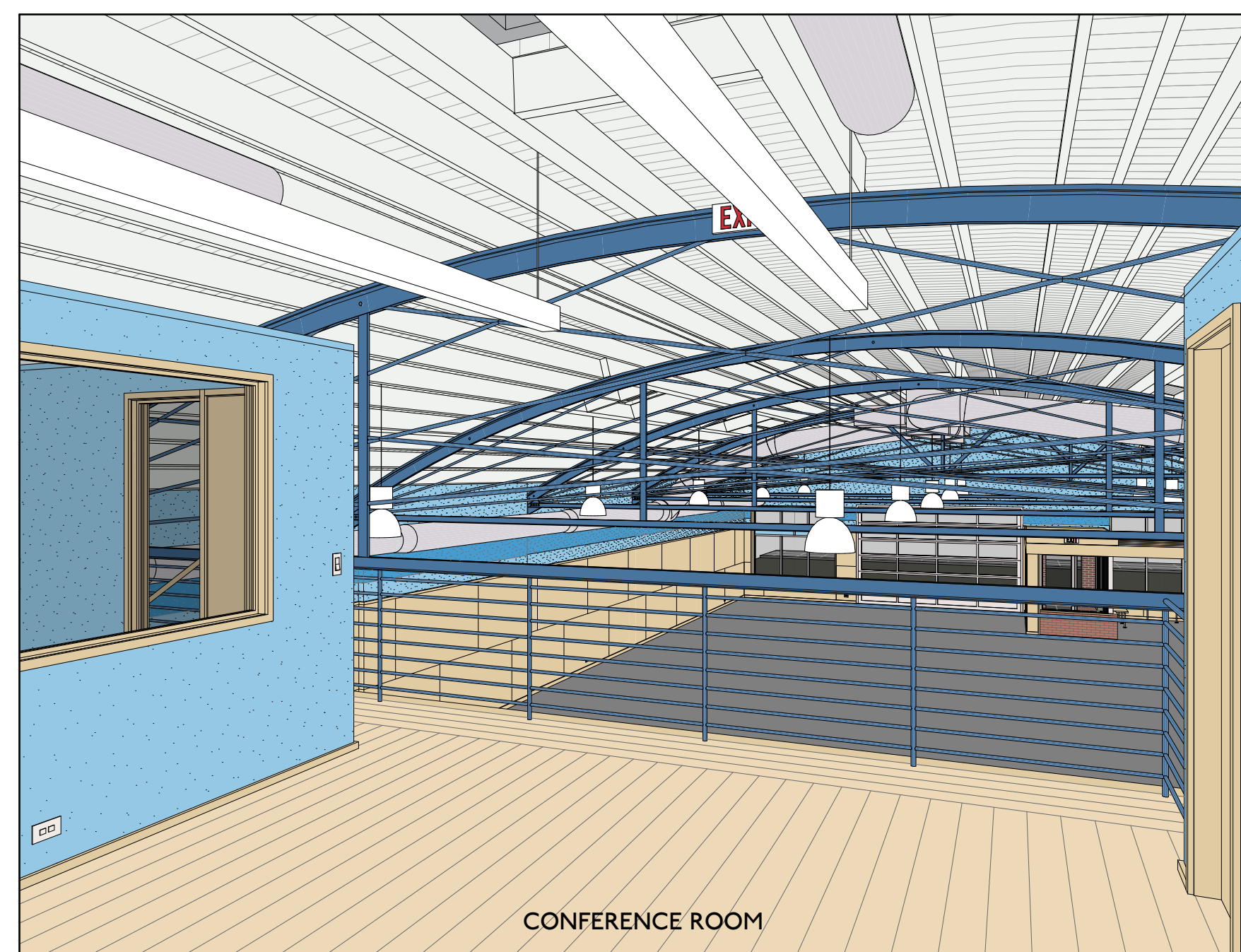
FRONT ENTRY VIEW



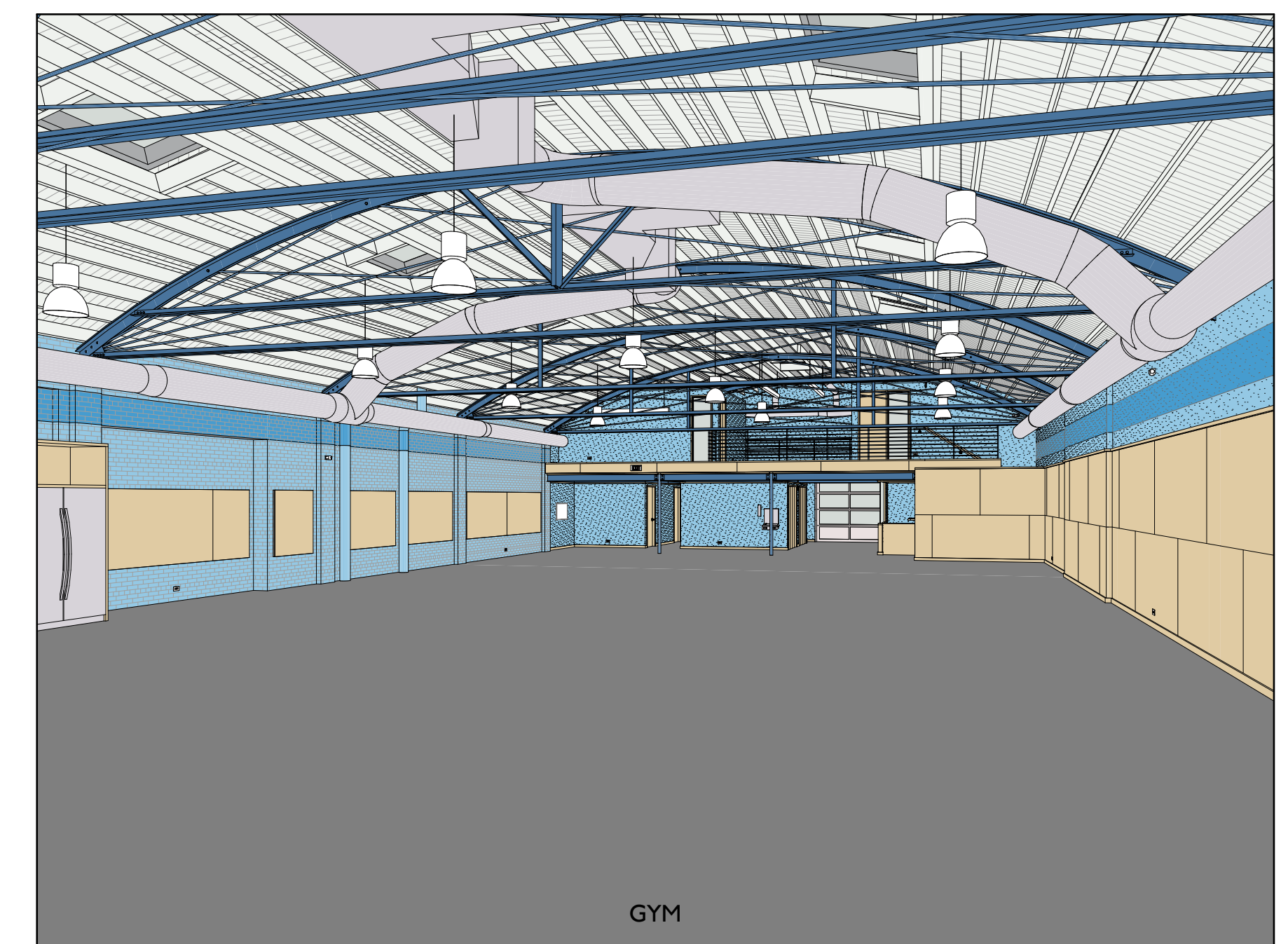
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RETAIL AREA

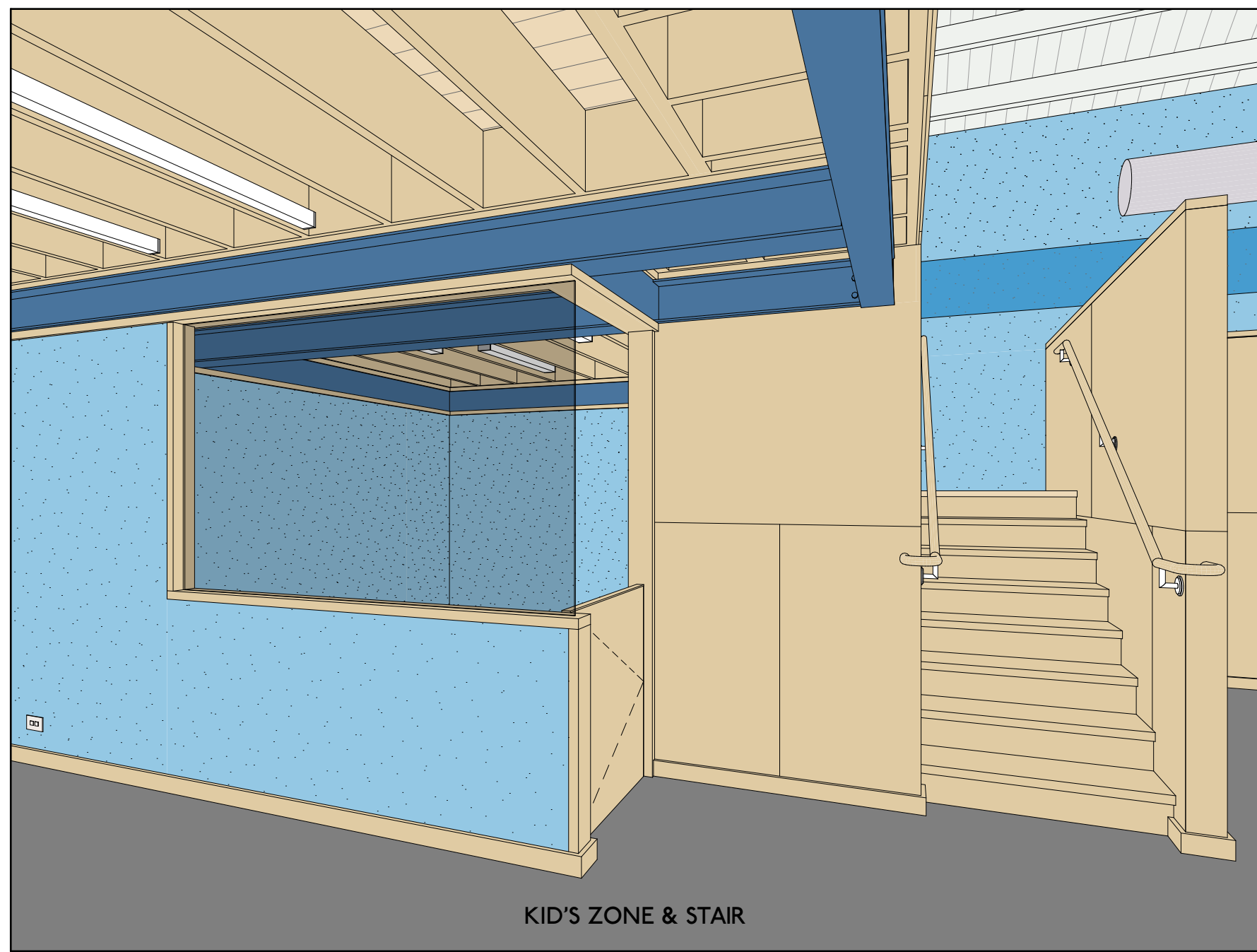


CONFERENCE ROOM

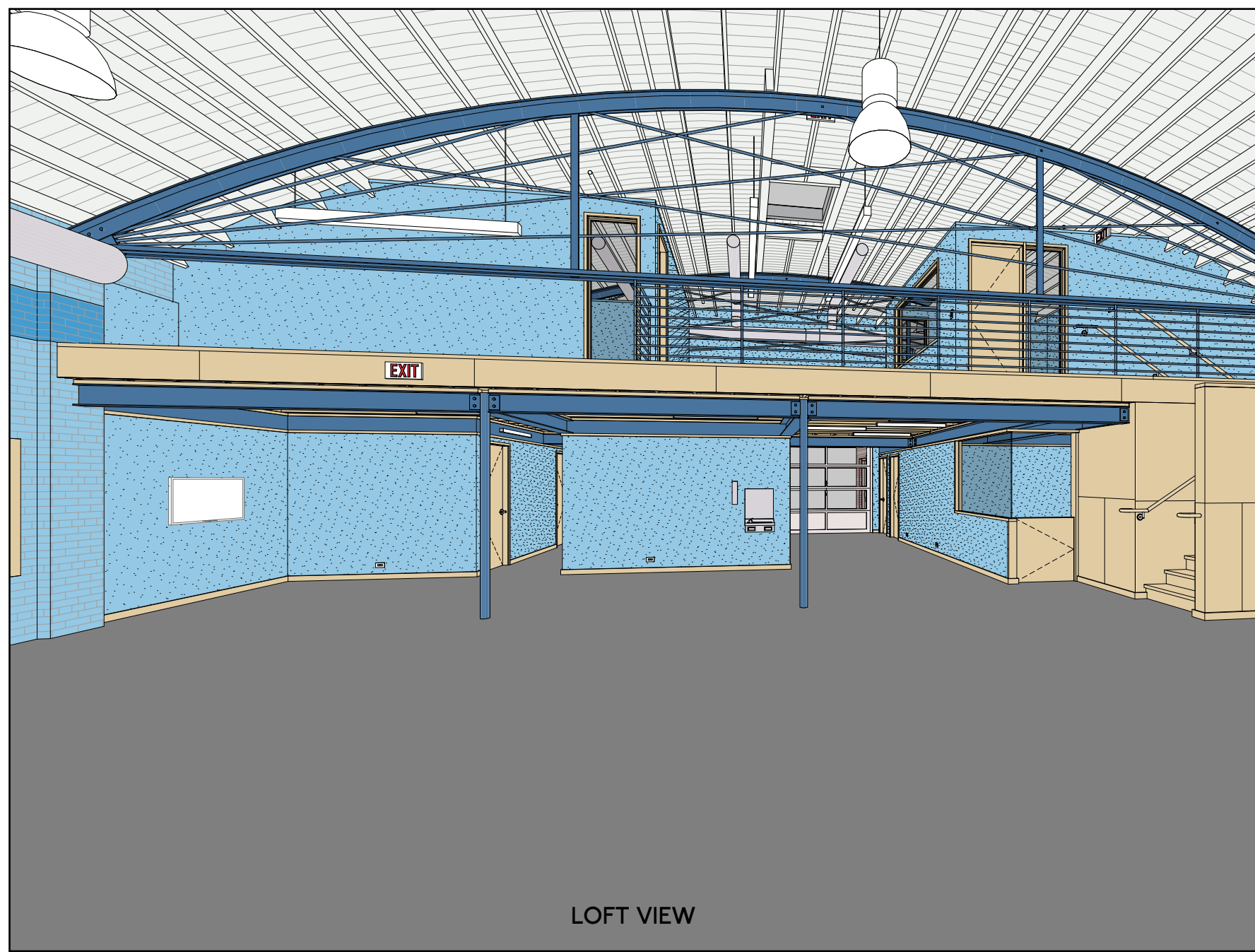


GYM





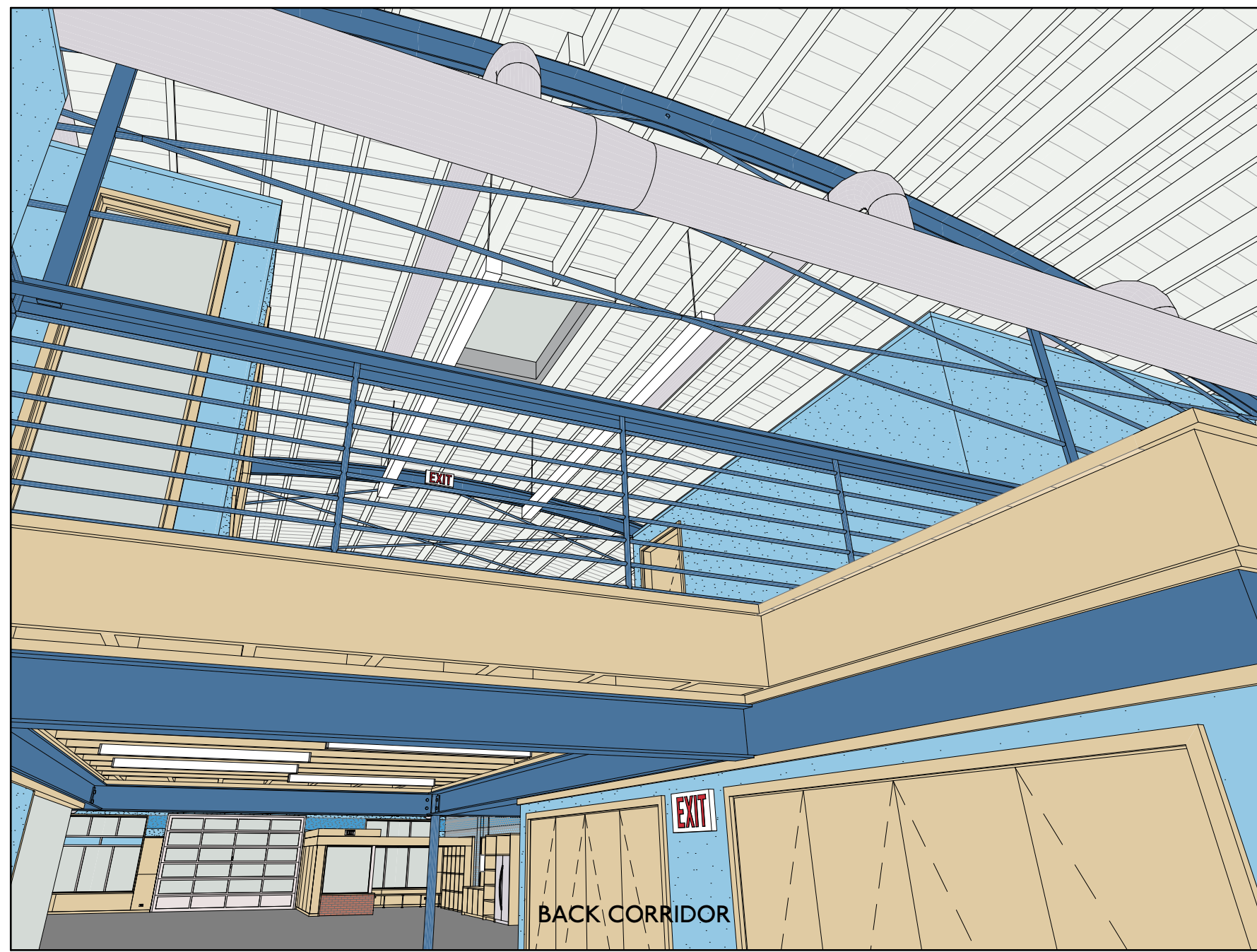
KID'S ZONE & STAIR



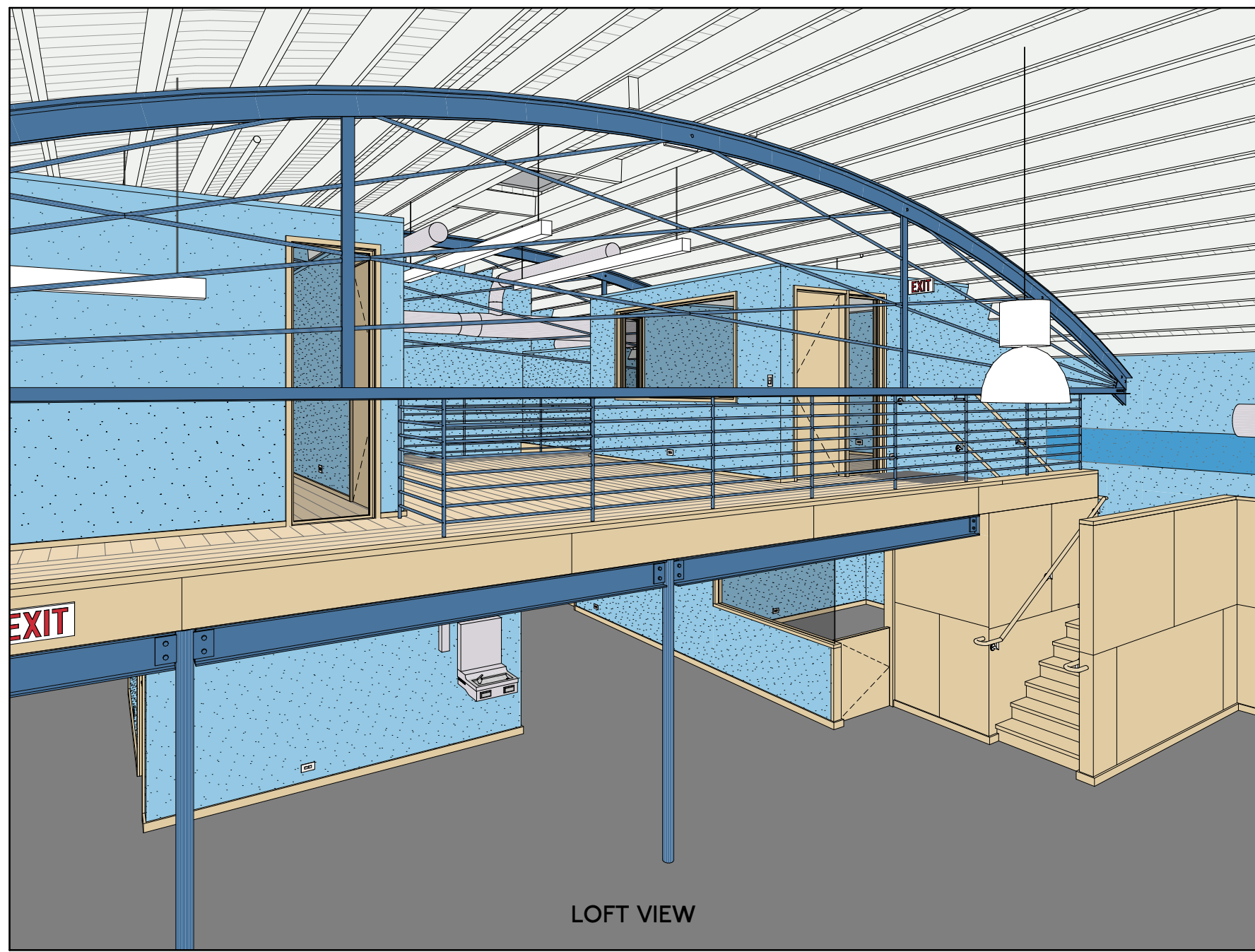
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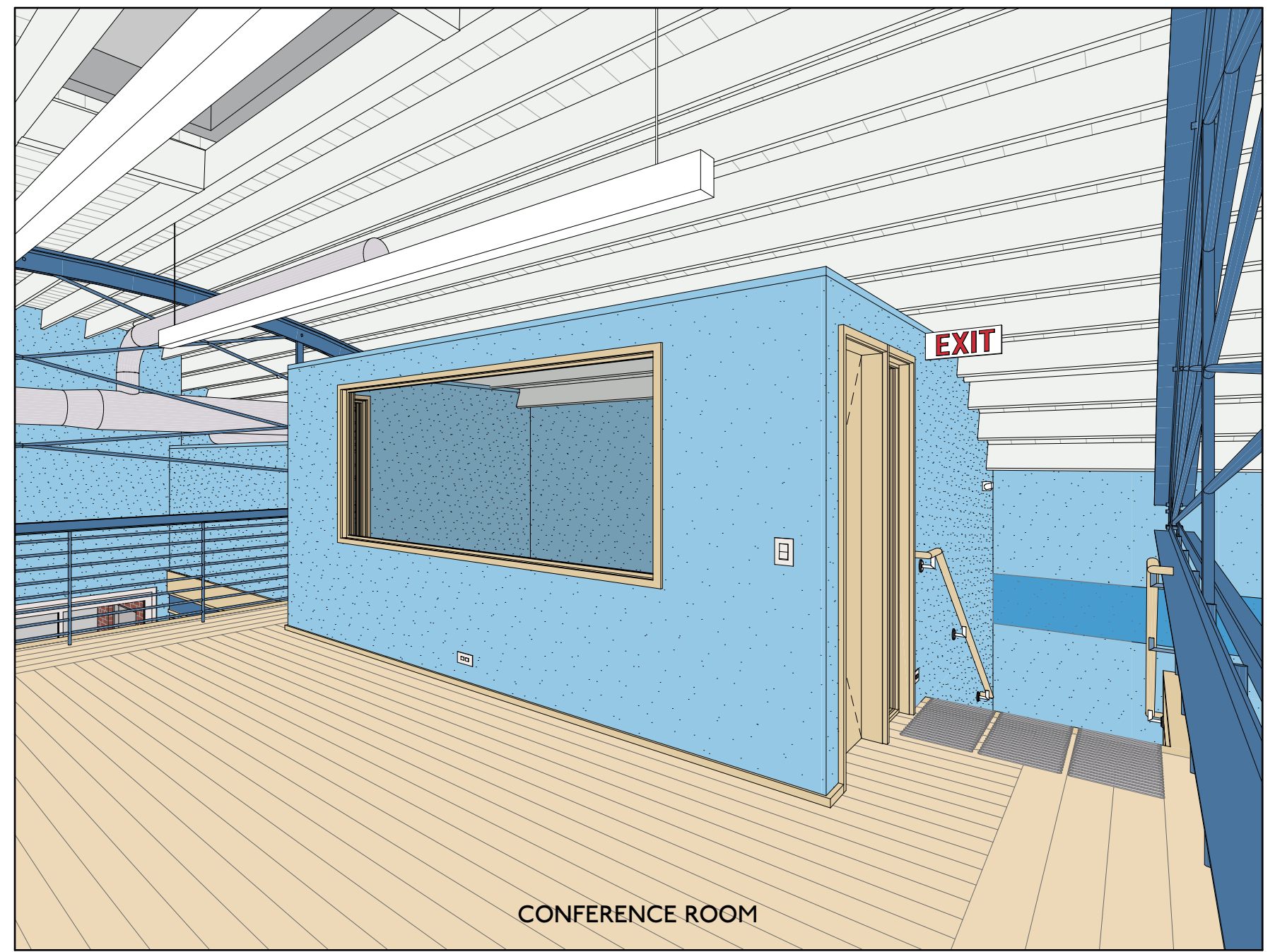
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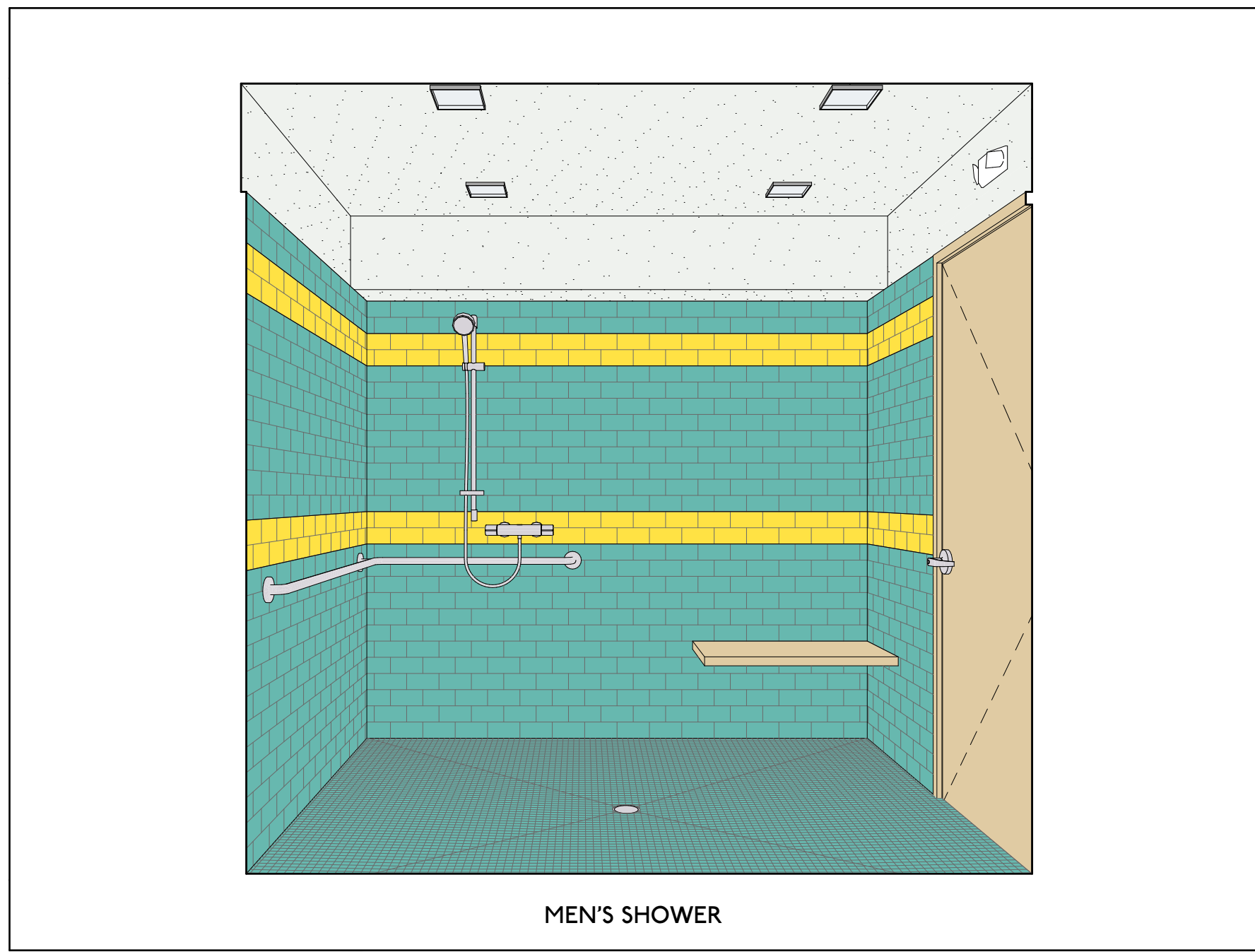
BACK CORRIDOR



LOFT VIEW



CONFERENCE ROOM



MEN'S SHOWER



MEN'S RESTROOM

PLOTTED
4/27/2018

SIGNED ON DATE
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221 HARRISON ST. LLC
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A0.3



SHOWERS



RESTROOMS

PLOTTED
4/27/2018

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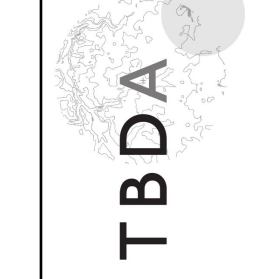
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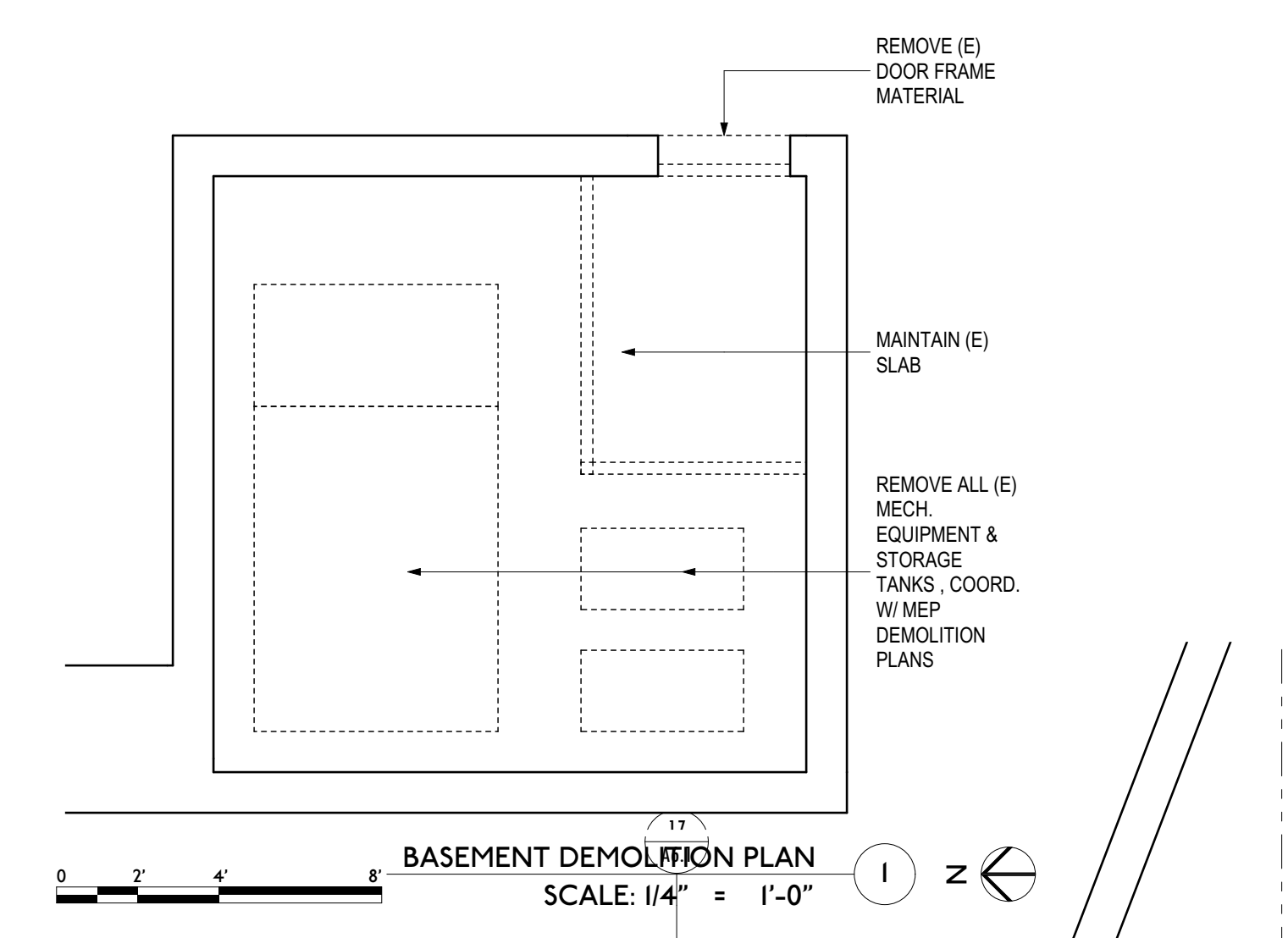
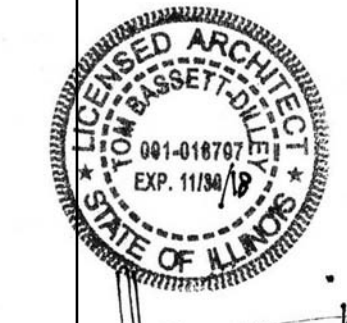
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221 HARRISON ST. LLC
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OAK PARK, IL 60304

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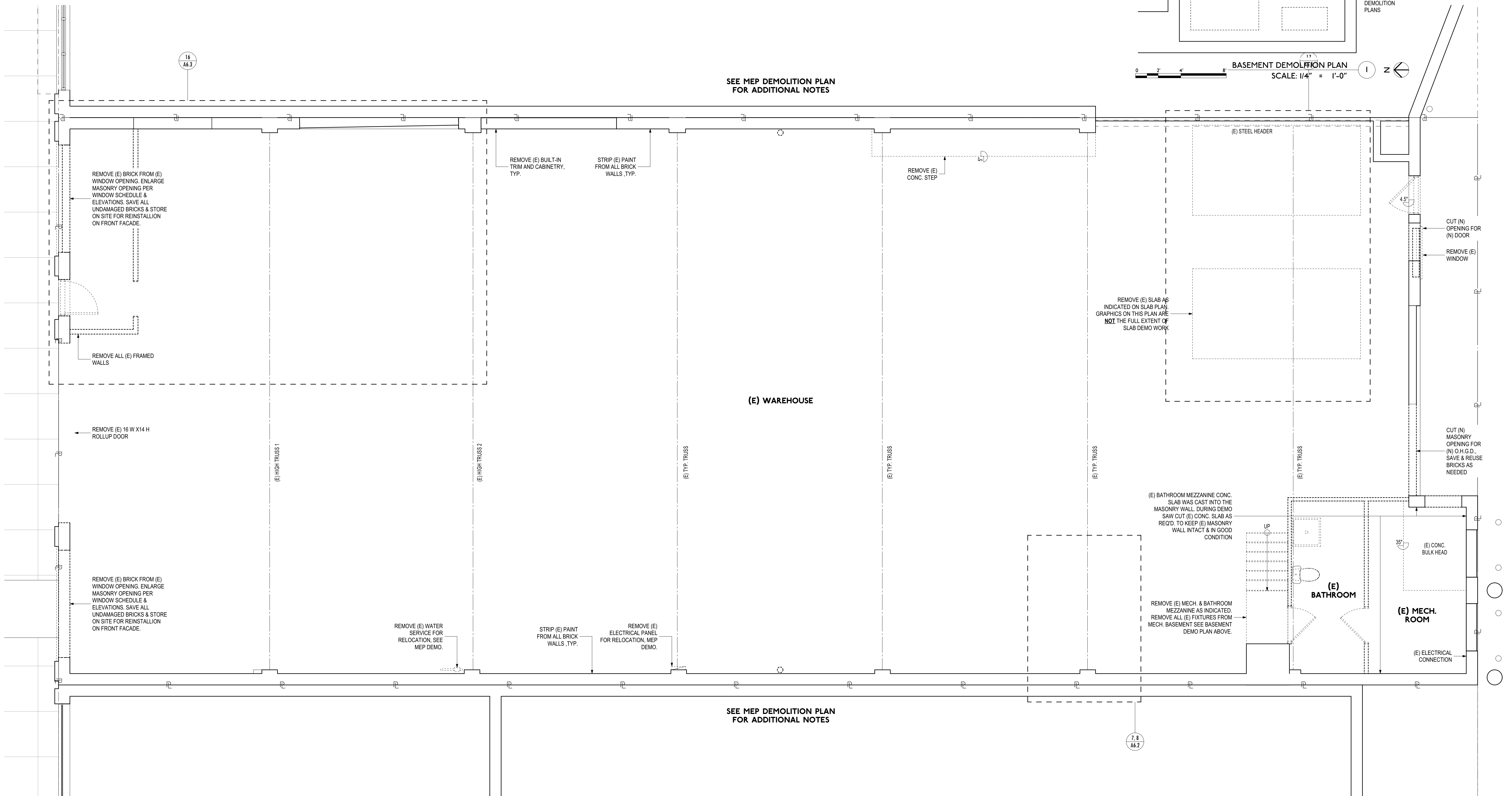
SEE MEP DEMOLITION PLAN
FOR ADDITIONAL NOTES

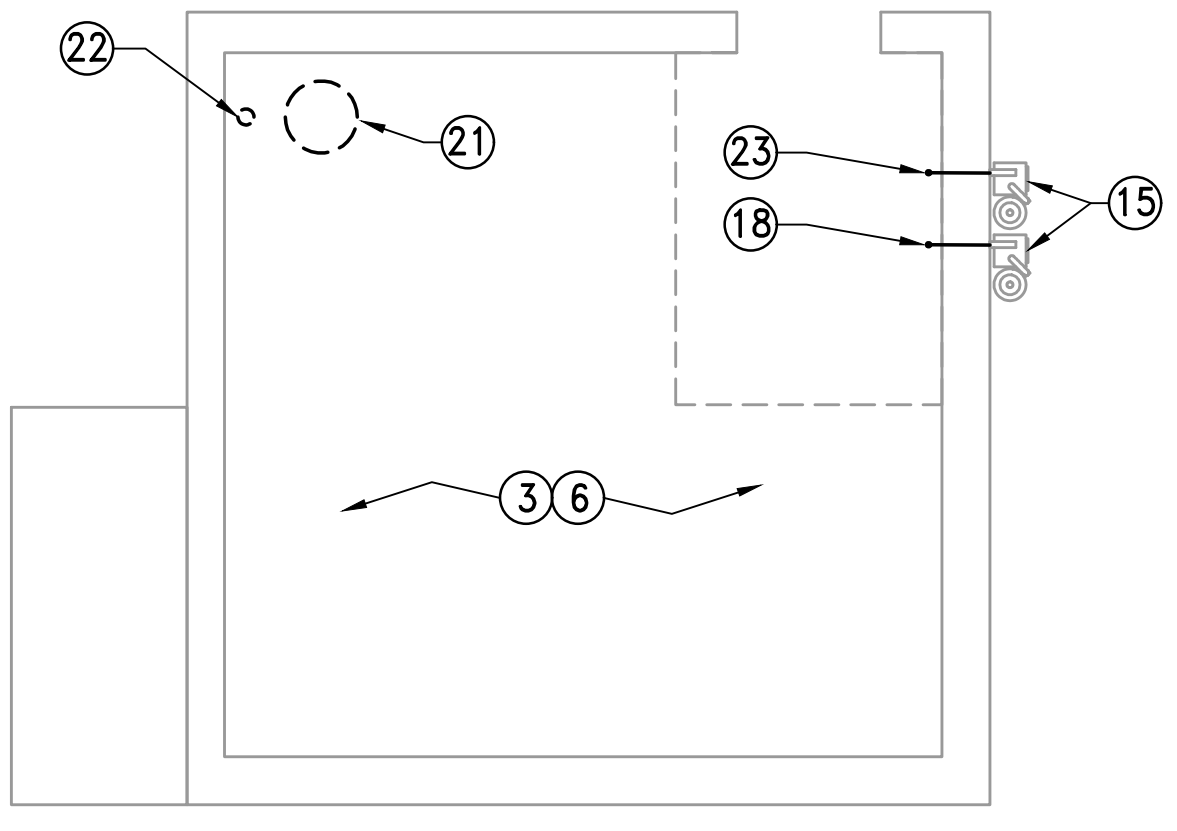
(E) WAREHOUSE

SEE MEP DEMOLITION PLAN
FOR ADDITIONAL NOTES

BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"





2 BASEMENT MEP-DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

- GENERAL DEMOLITION KEYED NOTES:**
1. REMOVE ALL EXISTING EXIT SIGNS, ASSOCIATED CONDUIT AND CONDUCTORS.
 2. REMOVE ALL EXISTING EMERGENCY LIGHTING FIXTURES, ASSOCIATED CONDUIT AND CONDUCTORS.
 3. REMOVE LIGHT FIXTURE AND ASSOCIATED CONDUIT, CONDUCTORS AND SWITCHING.
 4. REMOVE EXISTING UNIT HEATERS, ALL NATURAL GAS PIPING, ELECTRICAL CONDUIT, CABLING AND ASSOCIATED DISCONNECTS, FLUE PIPES AND DUCTWORK.
 5. REMOVE EXISTING ELECTRICAL MAIN DISTRIBUTION PANEL, DISTRIBUTION PANEL, DISCONNECT, METER AND CONDUIT AND CABLING AS REQUIRED TO ACCOMMODATE NEW WORK.
 6. REMOVE EXISTING POWER DEVICES, CONDUIT AND CONDUCTORS.
 7. REMOVE EXISTING TELE/DATA EQUIPMENT, DEVICES AND CABLING.
 8. REMOVE EXISTING FLOOR DRAIN AND ASSOCIATED PIPING AS REQUIRED. CAP UNDERGROUND PIPING LEAK TIGHT WHERE UNDERGROUND PIPING IS TO REMAIN.
 9. REMOVE EXISTING WATER SERVICE AND PIPING. PROVIDE STREET CUT & PATCH AS REQUIRED AND CAP SERVICE AT MAIN.
 10. REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED PIPING.
 11. REMOVE EXISTING ROOF DRAINS AND STORM PIPING FROM ROOF DECK TO CLEAN OUT BASIN. REMOVE CLEAN OUT BASIN AND PREPARE UNDERGROUND STORM DRAIN PIPING TO RECEIVE NEW CLEAN AND ROOF DRAIN.
 12. EXISTING DOMESTIC WATER TO ADJACENT SPACE TO BE REMOVED BY OTHERS.
 13. REMOVE EXISTING VENT PIPING AND VENT THROUGH ROOF.
 14. REMOVE EXISTING WATER PIPING.
 15. EXISTING GAS METER FOR THIS SPACE TO REMAIN.
 16. EXISTING ELECTRICAL SERVICE TO BE DEMOLISHED AND PREPARED FOR NEW SMALLER ELECTRICAL SERVICE. VERIFY ALL REQUIREMENTS WITH COM ED AND VILLAGE OF OAK PARK. COORDINATE ELECTRIC SERVICE CHANGEOVER WITH OWNER AND GENERAL CONTRACTOR.
 17. REMOVE EXISTING TRIPLE BASIN. SEAL EXISTING PIPING TO REMAIN LEAK TIGHT.
 18. REMOVE EXISTING NATURAL GAS FROM GAS METER TO UNIT HEATERS AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT LAYOUT.
 19. ELECTRIC SERVICE FOR ADJACENT BUILDING TO REMAIN.
 20. REMOVE SANITARY AS SHOWN.
 21. ABANDON EXISTING SUMP PIT IN PLACE.
 22. EXISTING SANITARY TO BE PARTIALLY REMOVED AS SHOWN. PRIOR TO REMOVAL, ROD OUT EXISTING SANITARY PIPING TO STREET SEWER AND VIDEO SURVEY BELOW GRADE SANITARY PIPING TO VERIFY CONDITION AND EXACT LOCATION AND INVERT ELEVATION. VIDEO SURVEY SHALL BE COMPLETED IN PRESENCE OF ENGINEER.
 23. EXISTING NATURAL GAS FROM METER TO ADJACENT SPACE TO BE REMOVED BY OTHERS.
 24. EXISTING ELECTRIC SERVICE GROUND FOR ADJACENT SPACE TO BE REMOVED BY OTHERS.
 25. EXISTING GAS METER FOR ADJACENT SPACE TO BE REMOVED BY OTHERS.

- GENERAL DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL PROTECT ALL SURFACES TO REMAIN.
 2. PROVIDE DEMOLITION NOT SHOWN BUT REQUIRED FOR INSTALLATION OF NEW MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS OR AS REQUIRED FOR THE COMPLETION OF THE WORK.
 3. ALL DASHED ITEMS ARE TO BE REMOVED. PATCH AND REPAIR SURFACES SUCH THAT THE DEMOLITION LOCATION CANNOT BE DETECTED.
 4. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL NOTES AND INFORMATION.
 5. SEE "A" SHEETS FOR ADDITIONAL DEMOLITION NOTES AND INFORMATION.
 6. IT IS THE INTENTION OF THIS DEMOLITION TO REMOVE ALL MEP EQUIPMENT AND MATERIALS AS REQUIRED, EXCEPT AS NOTED OTHERWISE, TO ACCOMMODATE THE NEW SCOPE OF WORK.

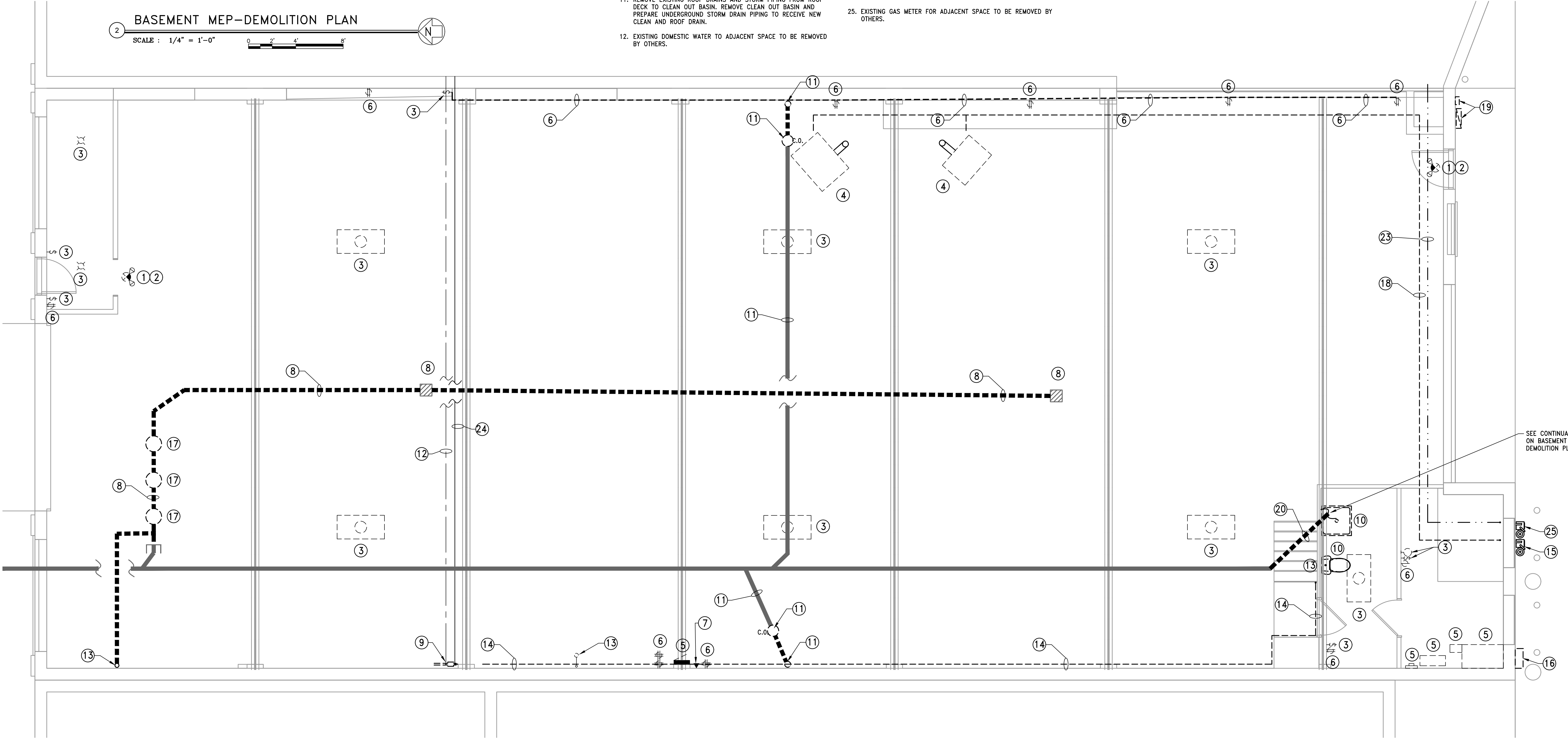
I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION.

MARK E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER:
062-047695
EXPIRES 11/30/2019

PROFESSIONAL DESIGN FIRM
REGISTRATION NUMBER:
184.004075
EXPIRES 04/30/2019

REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

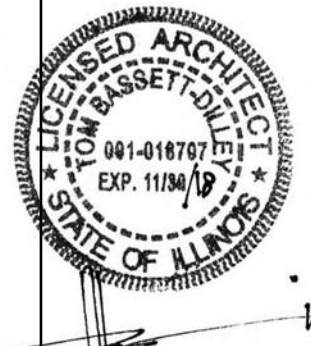
SIGNED: *[Signature]*
DATE: 1/31/2018



1 FIRST FLOOR MEP-DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

SEE CONTINUATION ON BASEMENT DEMOLITION PLAN.

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 221 HARRISON STREET LLC
 221 HARRISON STREET
 OAK PARK, IL 60302
 837 Hayes Avenue
 Oak Park, IL 60302
 708-524-0272
 www.aace-oakpark.com
 ARCHITECTURAL CONSULTING ENGINEERS
 TOM BASSETT-DILLEY ARCHITECT
 301 HARRISON STREET OAK PARK ILLINOIS 60304
 TBDA

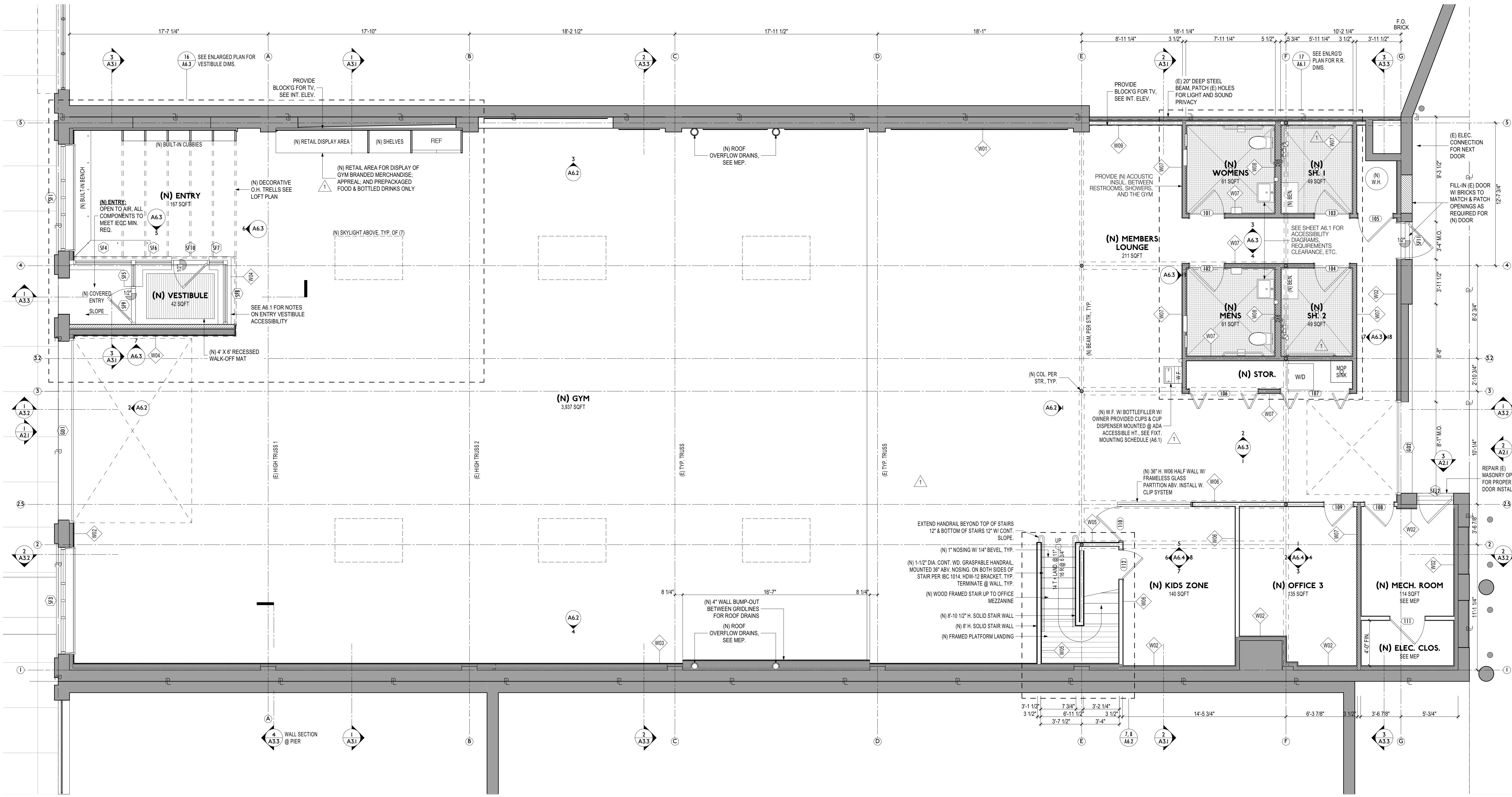


SYMBOL LEGEND

	NEW INSULATED WALL		DETAIL NUMBER
	NEW UNINSULATED WALL		DETAIL TAG
	EXISTING WALL TO REMAIN		SHEET NUMBER
	MATERIAL TO BE REMOVED		INTERIOR DOOR (SEE SCHEDULE)
	SCOPE OF WORK		WINDOW/EXT. DOOR (SEE SCHEDULE)
	SECTION NUMBER		ELEVATION TAG
	SECTION CUT		(E) EXISTING
	SHEET NUMBER		(R) RENOVATED/RESTORED
	ELEVATION NUMBER		(N) NEW
	ELEVATION TAG		1'x6" ACTUAL DIMENSIONS
	SHEET NUMBER		2x6 NOMINAL DIMENSIONS (I.E. 1 1/2" X 5 1/2")

PLAN NOTES

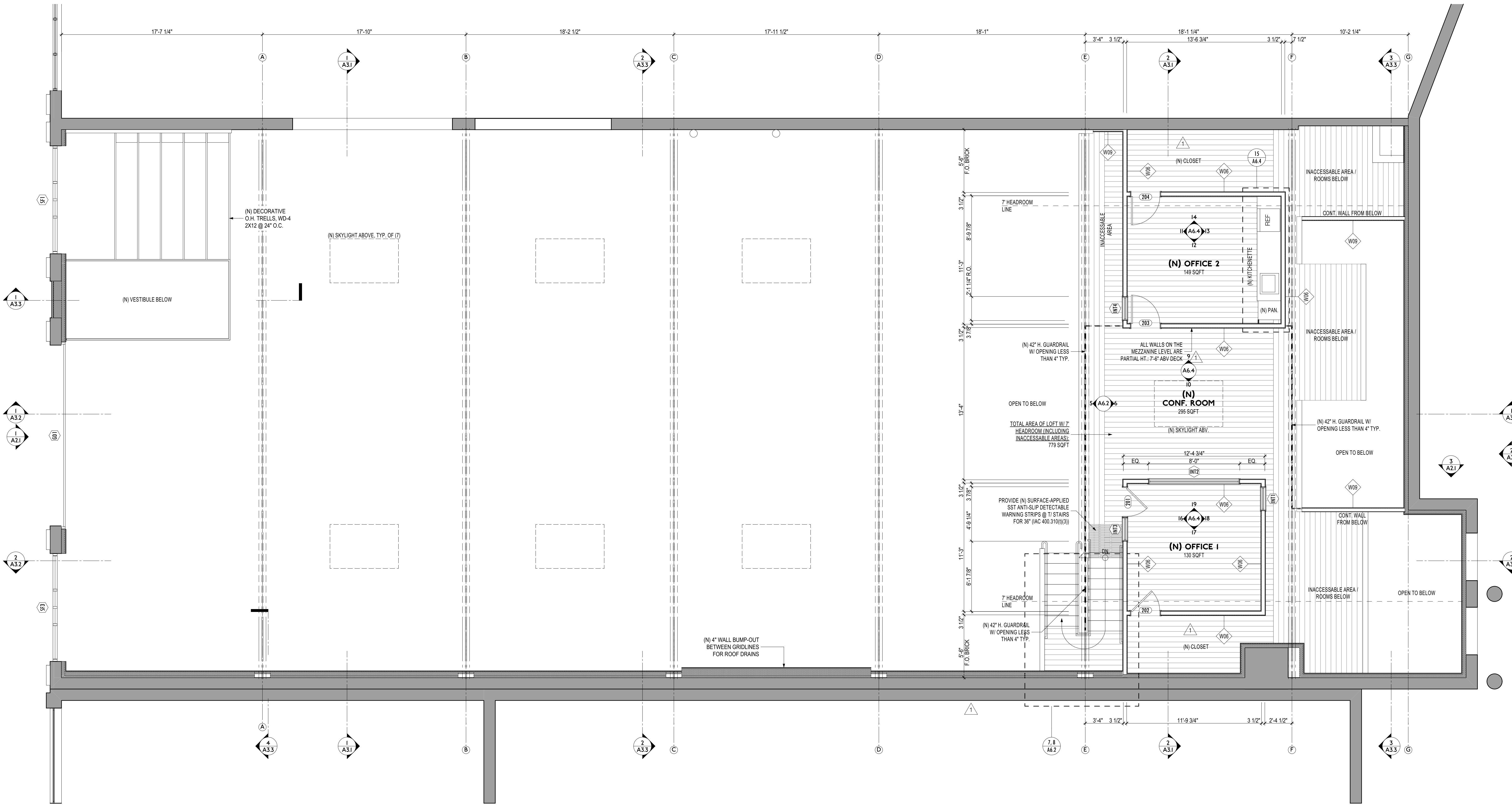
- SEE SECTIONS (A3 SERIES) FOR CONSTRUCTION ASSEMBLIES. SEE ELEVATIONS (A2 SERIES) FOR EXTERIOR MATERIAL CALLOUTS. SEE INTERIOR ELEVATIONS FOR ENLARGED PLANS AND ADA CLEARANCES (A6 SERIES).
- ALL DIMENSIONS ARE TO F/O FRAMING OR F/O MASONRY FINISH DIMENSIONS ARE SHOWN AS "FIN.")
- DOORS NOT DIMENSIONED ARE CENTERED IN THEIR WALL OR THEIR R.O. IS 3 3/8" FROM THE NEAREST WALL FRAMING.
- FOR STRUCTURAL MEMBER SIZING, SEE STRUCTURAL SERIES.
- FOR LOCATIONS AND DIMENSIONS OF WALLS NOT DIMENSIONED ON PLAN OR FOR PARTIAL HEIGHT WALLS, SEE ENLARGED PLANS (A6 SERIES).
- WALL TYPES ARE LISTED ON A3.1

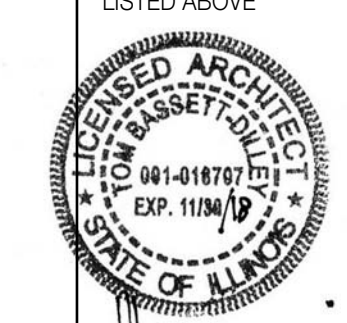


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

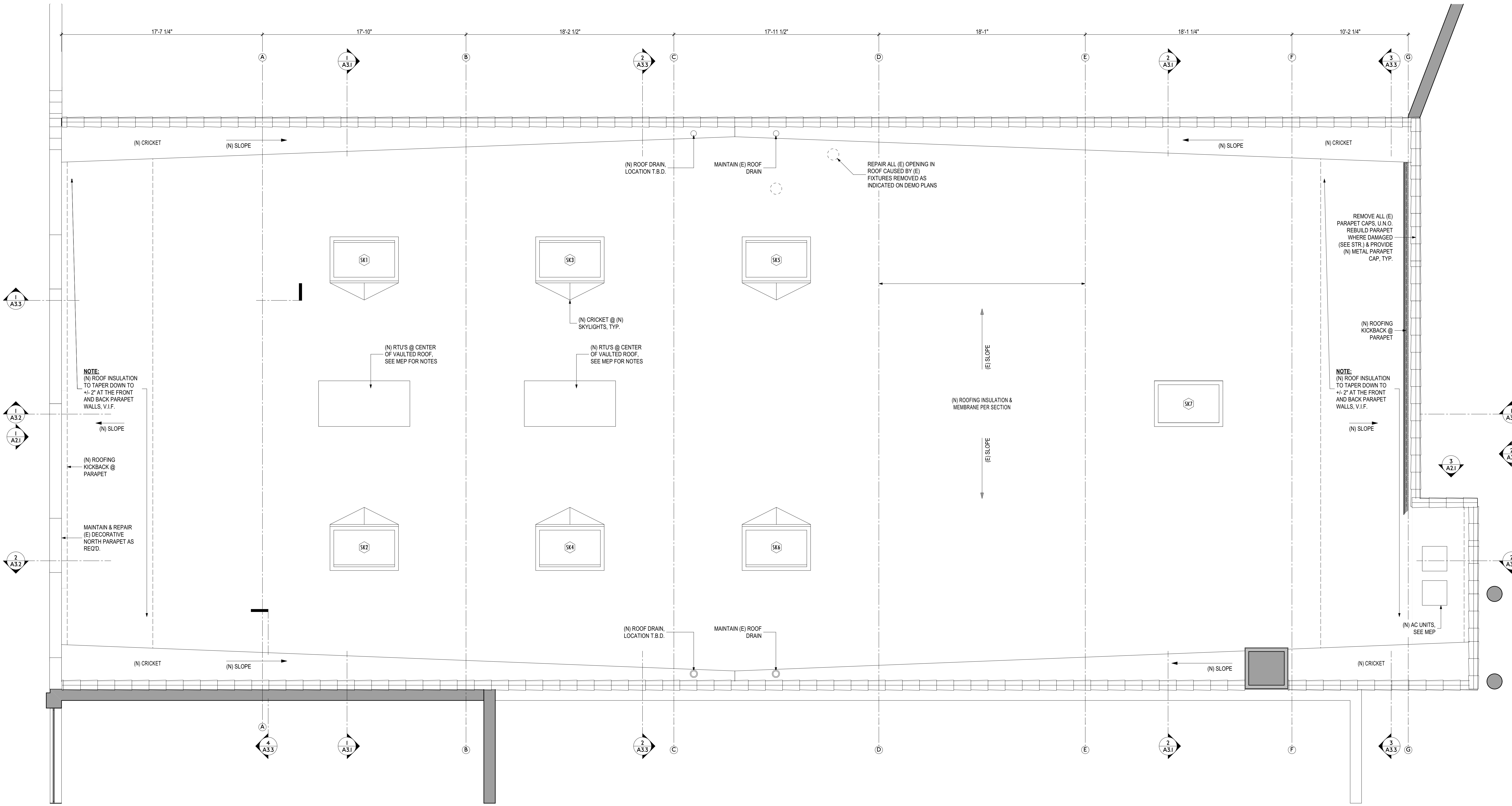


SYMBOL LEGEND		PLAN NOTES	
	NEW INSULATED WALL		DETAIL NUMBER
	NEW UNINSULATED WALL		DETAIL TAG
	EXISTING WALL TO REMAIN		SHEET NUMBER
	MATERIAL TO BE REMOVED		INTERIOR DOOR (SEE SCHEDULE)
	SCOPE OF WORK		WINDOW/EXT. DOOR (SEE SCHEDULE)
	SECTION NUMBER		ELEVATION TAG
	SECTION CUT		(E) EXISTING
	SHEET NUMBER		(R) RENOVATED/RESTORED
	ELEVATION NUMBER		(N) NEW
	ELEVATION TAG		1"x6" ACTUAL DIMENSIONS
	SHEET NUMBER		2X6 NOMINAL DIMENSIONS (I.E. 1 1/2" X 5 1/2")





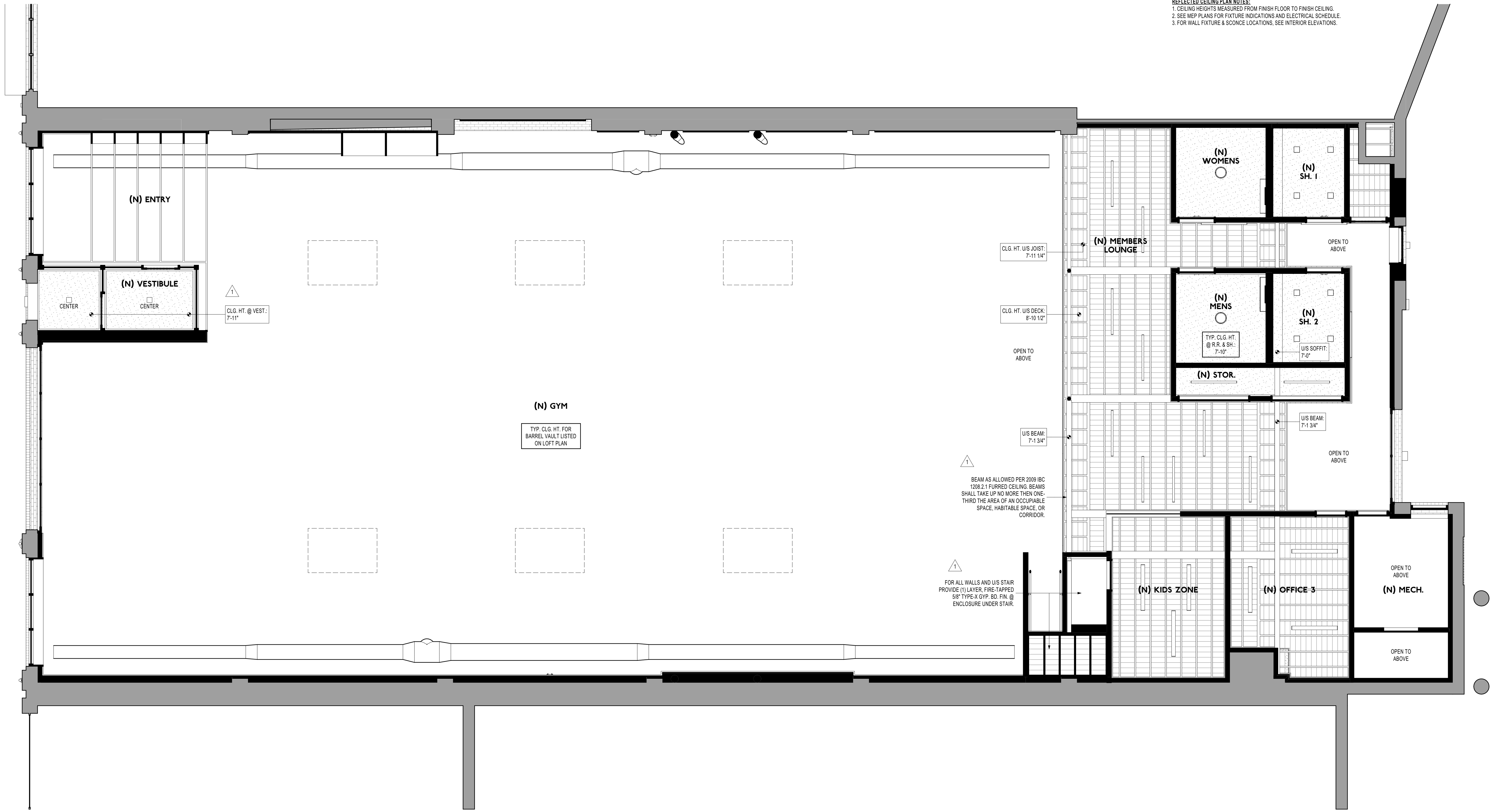
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	NEW UNINSULATED WALL		DETAIL TAG
	EXISTING WALL TO REMAIN		SHEET NUMBER
	MATERIAL TO BE REMOVED		INTERIOR DOOR (SEE SCHEDULE)
	SCOPE OF WORK		WINDOW/EXT. DOOR (SEE SCHEDULE)
	SECTION NUMBER		ELEVATION TAG
	SECTION CUT		(E) EXISTING
	SHEET NUMBER		(R) RENOVATED/RESTORED
	ELEVATION NUMBER		(N) NEW
	ELEVATION TAG		1'x6" ACTUAL DIMENSIONS
	SHEET NUMBER		2'x6" NOMINAL DIMENSIONS (I.E. 1 1/2" X 5 1/2")



ROOF PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND				
SUPPLY	○	CEILING ERV SUPPLY	⊗	CHANDELIER
RETURN	○	CEILING ERV EXHAUST	▬	HANGING FLUORESCENT FIXTURE
SURFACE-MOUNTED FIXTURE	□	RECESSED CAN LIGHT	⊗	CEILING FAN
RECESSED CAN SPOT LIGHT	○	PENDANT MOUNTED FIXTURE	⊗	CEILING MOUNTED RECESSED SPEAKER
WALL SCONCE	○	UNDER CABINET LIGHTING	SPKR	
TRACK LIGHTING	—			

REFLECTED CEILING PLAN NOTES:
 1. CEILING HEIGHTS MEASURED FROM FINISH FLOOR TO FINISH CEILING.
 2. SEE MEP PLANS FOR FIXTURE INDICATIONS AND ELECTRICAL SCHEDULE.
 3. FOR WALL FIXTURE & SCONCE LOCATIONS, SEE INTERIOR ELEVATIONS.



PLOTTED
4/27/2018

SIGNED ON DATE LISTED ABOVE

TOM BASSETT-DILLEY ARCHITECT
 214 HARRISON STREET OAK PARK, ILLINOIS 60304
 P. 708.434.0381

PROFESSIONAL DESIGN FIRM REGISTRATION # 164.004847

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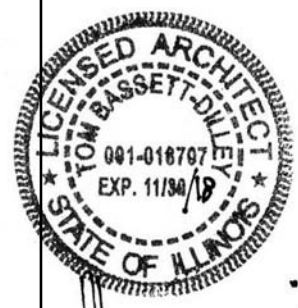
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 221 HARRISON STREET
 OAK PARK, IL 60304

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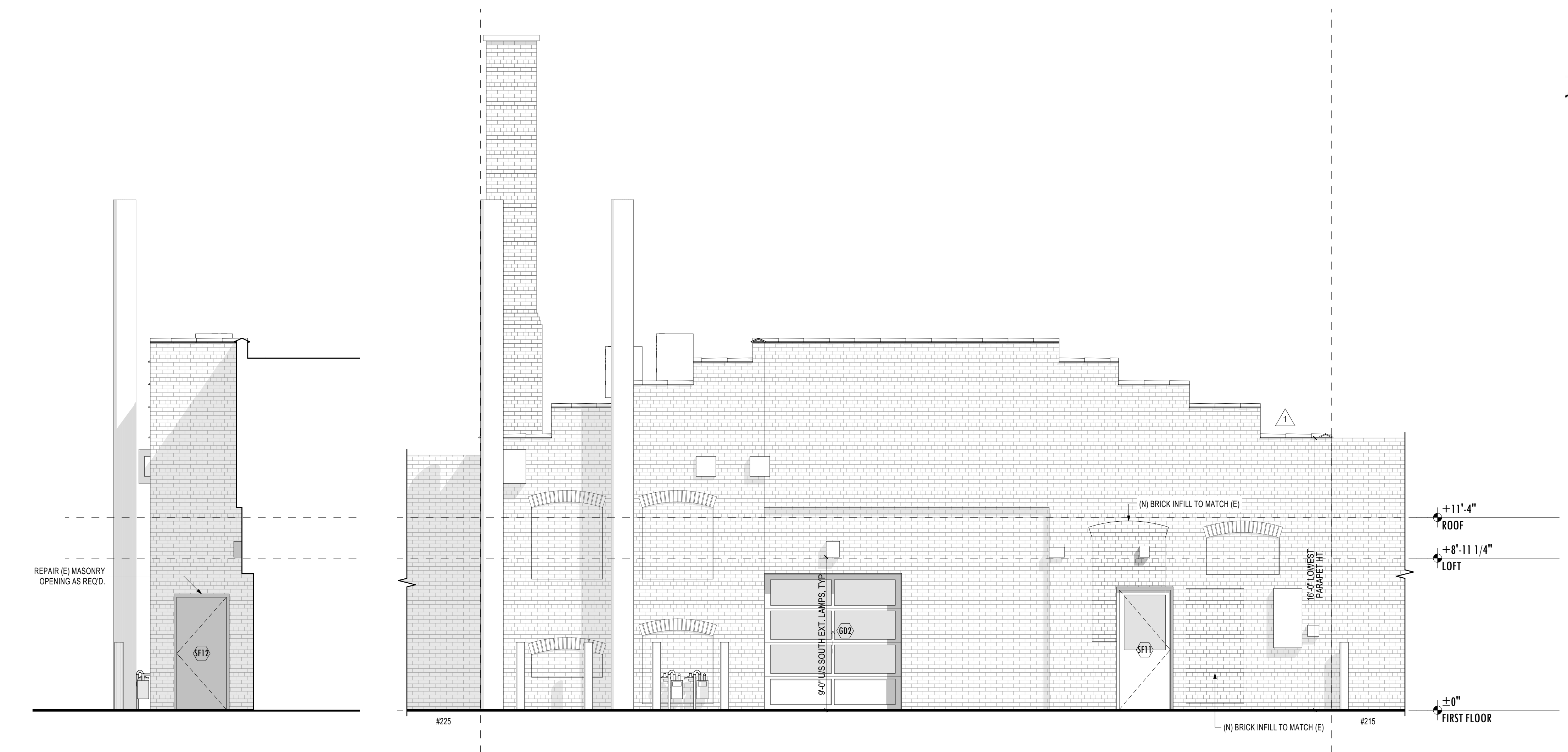
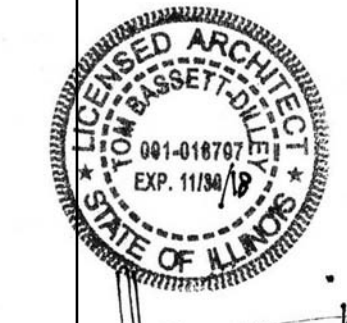
FIRST FLOOR RCP
 SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND				
SUPPLY	○	CEILING ERV SUPPLY	⊗	CHANDELIER
RETURN	○	CEILING ERV EXHAUST	▬	HANGING FLUORESCENT FIXTURE
	○	SURFACE-MOUNTED FIXTURE	⊗	CEILING FAN
	○	RECESSED CAN LIGHT	⊗	CEILING MOUNTED RECESSED SPEAKER
	○	RECESSED CAN SPOT LIGHT		
	○	PENDANT MOUNTED FIXTURE		
	○	WALL SCONCE		
	○	UNDER CABINET LIGHTING		
	○	TRACK LIGHTING		

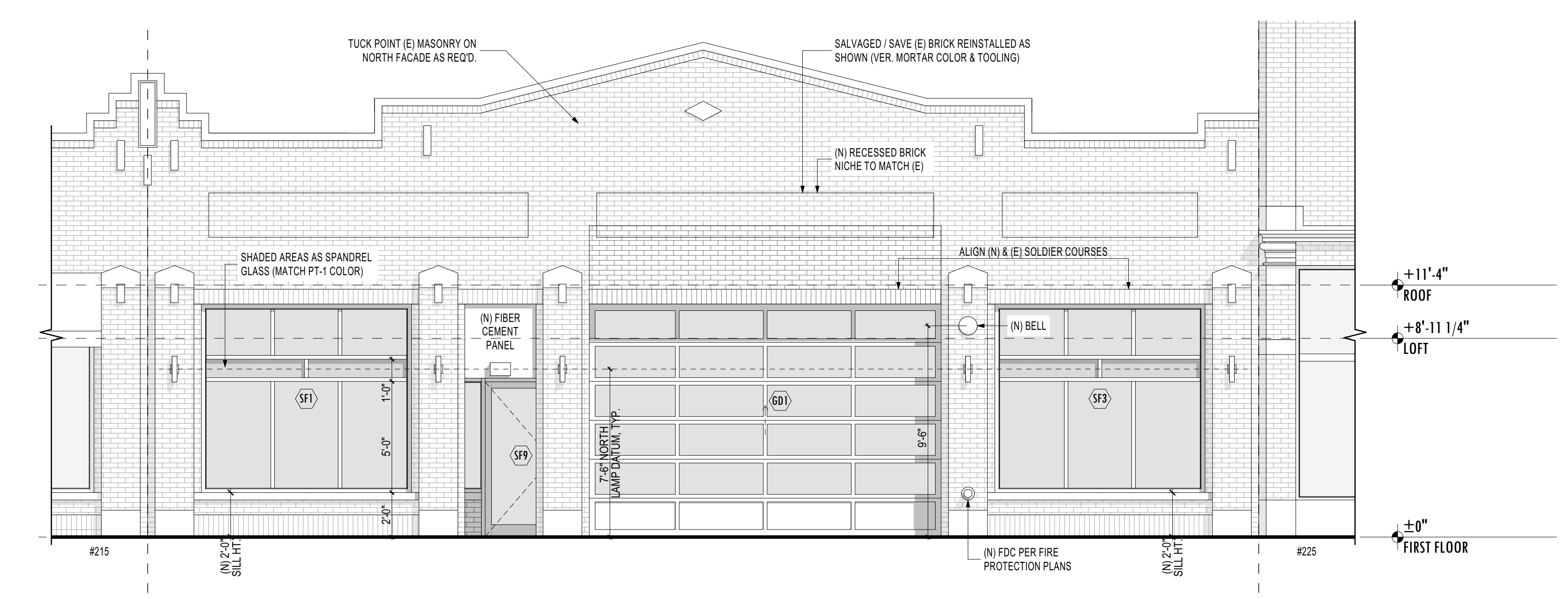
REFLECTED CEILING PLAN NOTES:
 1. CEILING HEIGHTS MEASURED FROM FINISH FLOOR TO FINISH CEILING.
 2. SEE MEP PLANS FOR FIXTURE INDICATIONS AND ELECTRICAL SCHEDULE.
 3. FOR WALL FIXTURE & SCONCE LOCATIONS, SEE INTERIOR ELEVATIONS.



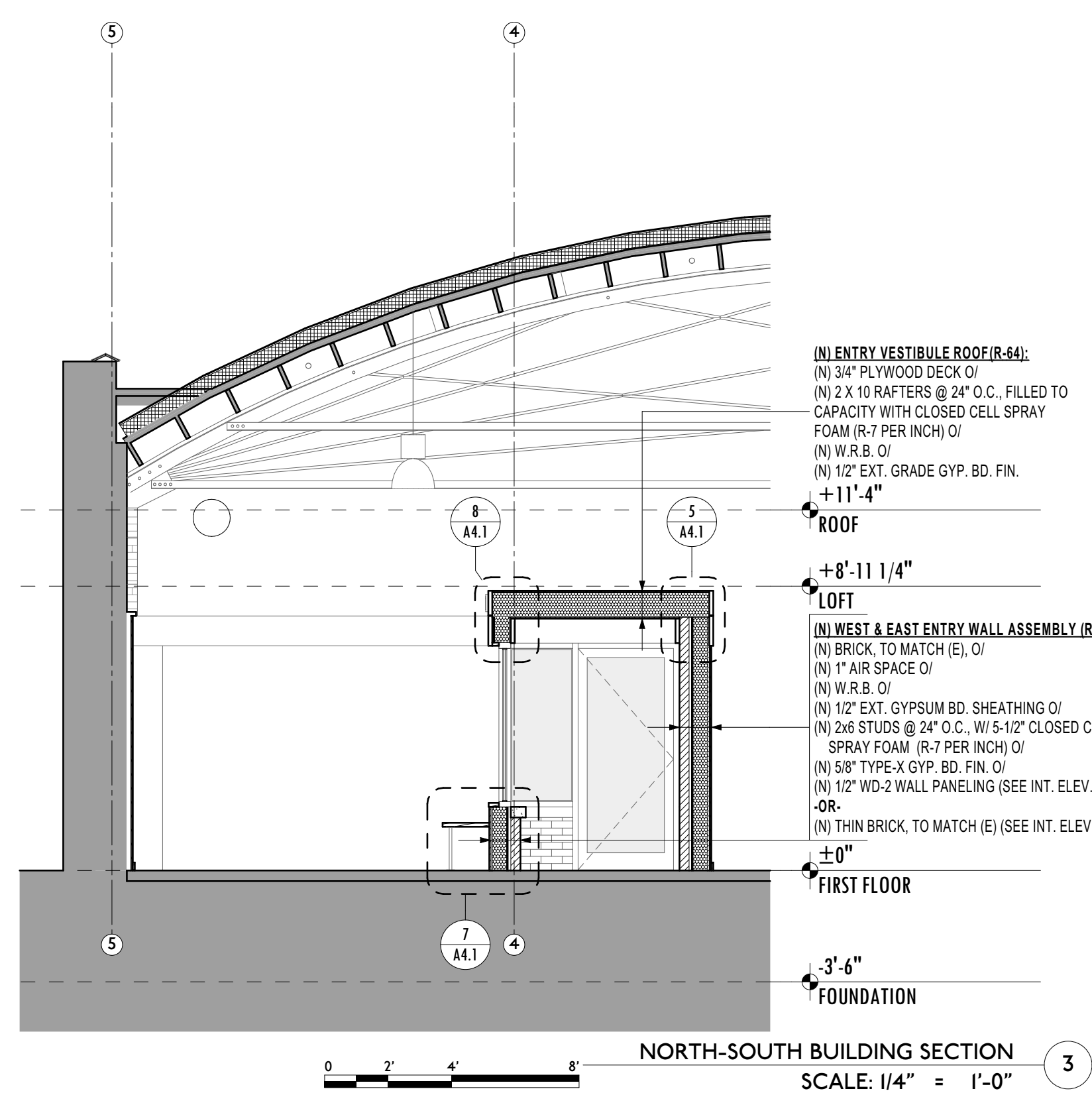


PARTIAL EAST ELEVATION
SCALE: 1/4" = 1'-0" 3

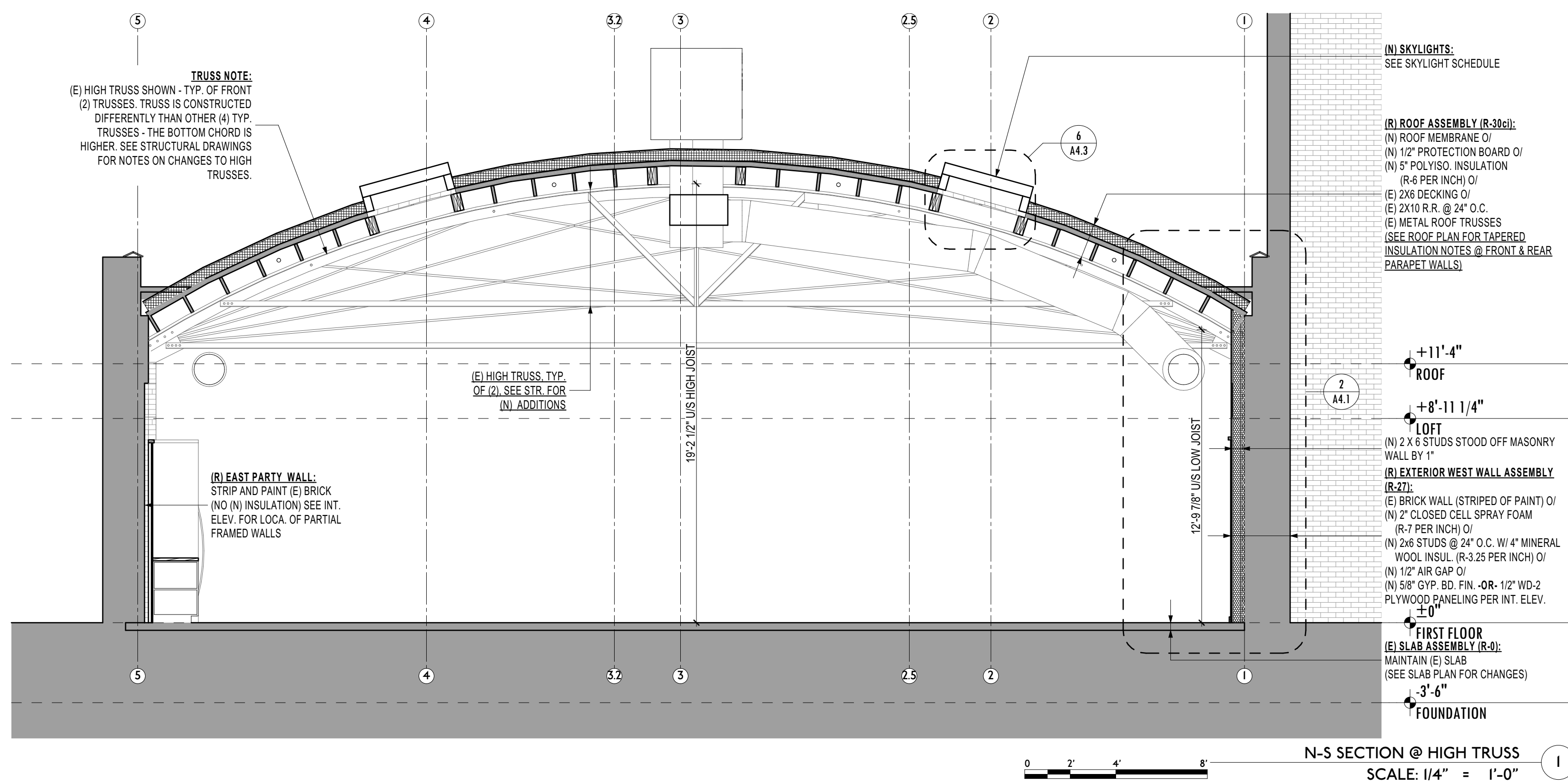
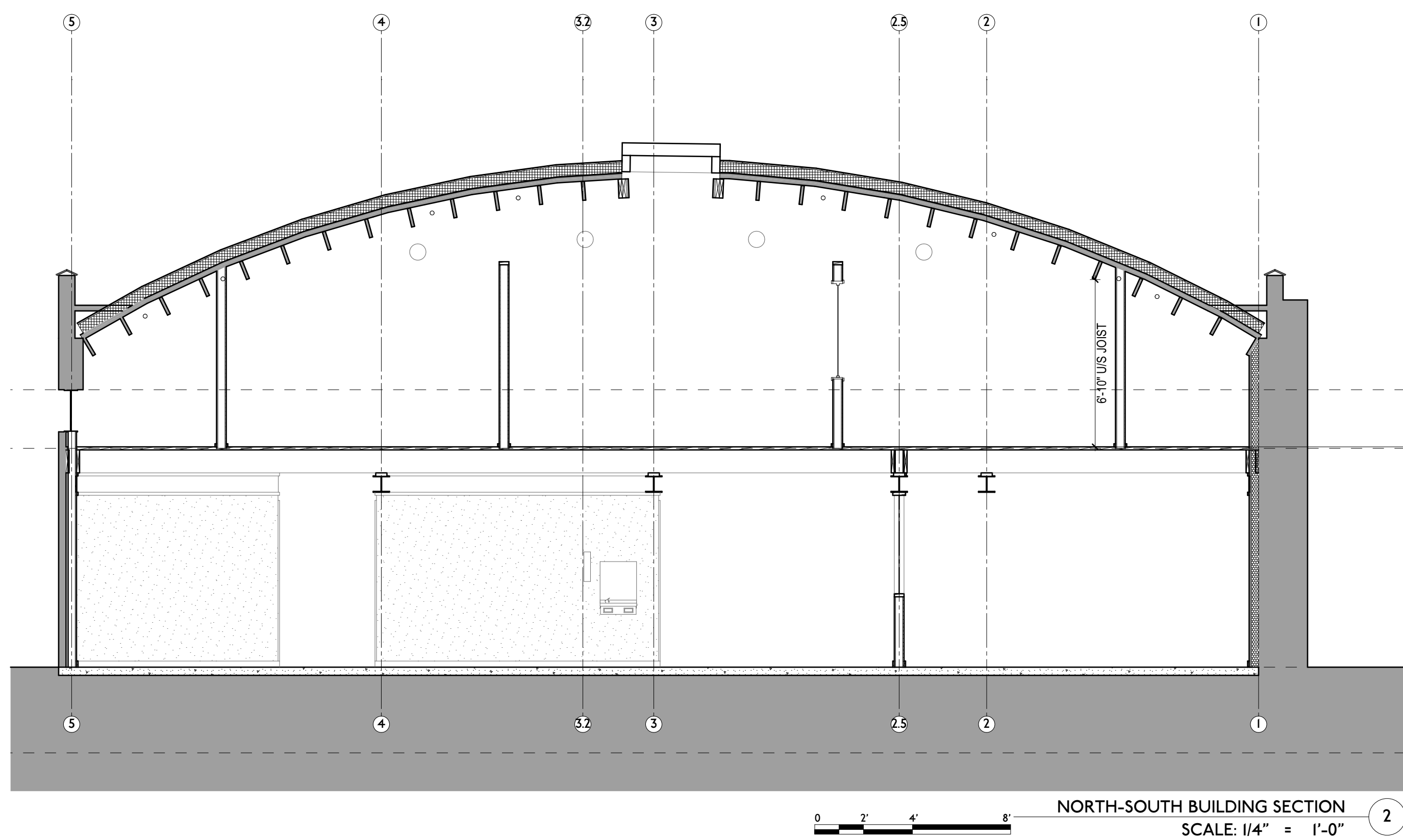
SOUTH ELEVATION
SCALE: 1/4" = 1'-0" 2

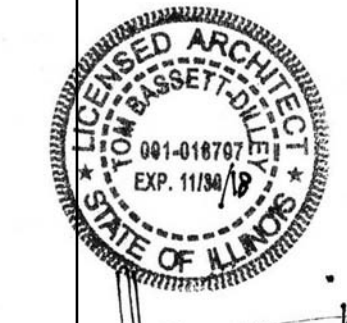


NORTH ELEVATION
SCALE: 1/4" = 1'-0" 1

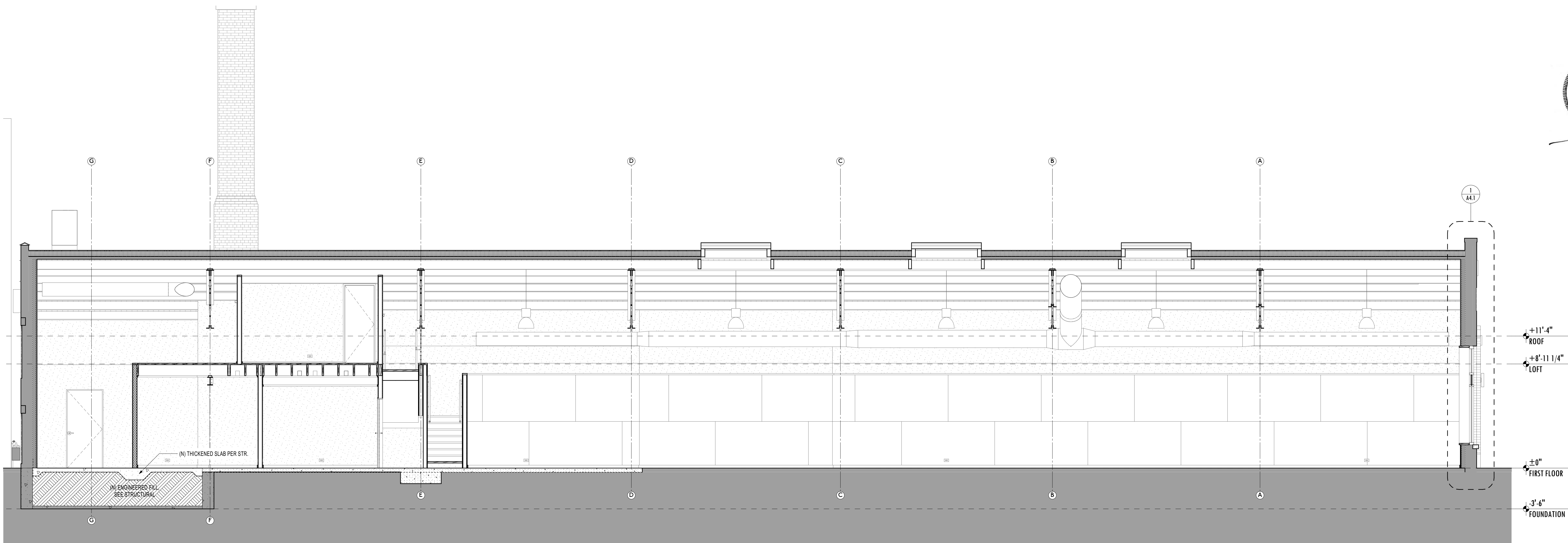


WALL TYPES SCHEDULE		
<p>W01</p> <p>WALL TYPE 01: IEBC ITEM CODES: W-12-M-2 (EAST WALL) • (E) BRICK, STRIPED OF ALL (E) PAINT AND REPAINTED W/ (N) PAINT</p>	<p>W02</p> <p>(R) EXTERIOR WALL ASSEMBLY (R-27): IEBC ITEM CODES: W-12-M-23 (NORTH WALL) W-12-M-2 (SOUTH & WEST) • (E) BRICK WALL (STRIPED OF PAINT) O/ • (N) 2" CLOSED CELL SPRAY FOAM (R-7 PER INCH) O/ • (N) 2x6 STUDS @ 24" O.C. W/ 4" MINERAL WOOL INSUL. (R-3.25 PER INCH) O/ • (N) 1/2" AIR GAP O/ • (N) 1/2" GYP. BD. FIN. -OR- 1/2" ACX PLYWOOD PANELING PER INTERIORS.</p>	<p>W03</p> <p>(R) EXTERIOR WEST WALL ASSEMBLY (R-27) (PIER): • (E) BRICK WALL (STRIPED OF PAINT) O/ • (N) 2" CLOSED CELL SPRAY FOAM (R-7 PER INCH) O/ • (N) 2x6 STUDS @ 24" O.C. W/ 4" MINERAL WOOL INSUL. (R-3.25 PER INCH) O/ • (N) 1/2" AIR GAP O/ • (N) 5/8" GYP. BD. FIN. -OR- 1/2" ACX PLYWOOD PANELING PER INTERIORS.</p>
<p>W04</p> <p>WALL TYPE 04: UL 263 DESIGN NO. U302 • (N) BRICK TO MATCH (E) O/ • (N) 1" AIR SPACE O/ • (N) 1/2" EXT. GYPSUM SHEATHING O/ • (N) 2x6 STUDS @ 24" O.C. W/ 5-1/2" CLOSED CELL SPRAY FOAM (R-7 PER INCH) O/ • (N) 5/8" TYPE-X GYP. BD. FIN. INSTALLED PER UL 263 DESIGN NO. U302.1E W/ VARIOUS FINISHES. SEE INT. ELEVATIONS FOR CALLOUTS</p>	<p>W05</p> <p>WALL TYPE 05: • (N) 1/2" PLYWD. O/ • (N) 2x4 STUDS @ 24" O.C. W/ 1/2" PLYWD.</p>	<p>W06</p> <p>WALL TYPE 06: • (N) 5/8" GYP. BD. FIN. • 2x4 STUD WALL @ 24" O.C. • (N) 5/8" GYP. BD. FIN.</p>
<p>W07</p> <p>WALL TYPE 07: • (N) 5/8" GYP. BD. FIN. O/ • 2x4 STUD WALL @ 24" O.C. W/ FIBERGLASS INSUL. TO CAPACITY O/ • (N) 5/8" GYP. BD. FIN.</p>	<p>W08</p> <p>WALL TYPE 07: • (N) 1/2" PLYWD. O/ • 2x6 STUD WALL @ 24" O.C. W/ FIBERGLASS INSUL. TO CAPACITY O/ • (N) 5/8" GYP. BD. FIN.</p>	<p>W09</p> <p>WALL TYPE 08: • (N) 1/2" PLYWD. O/ • (N) 2x4 STUDS @ 24" O.C.</p>

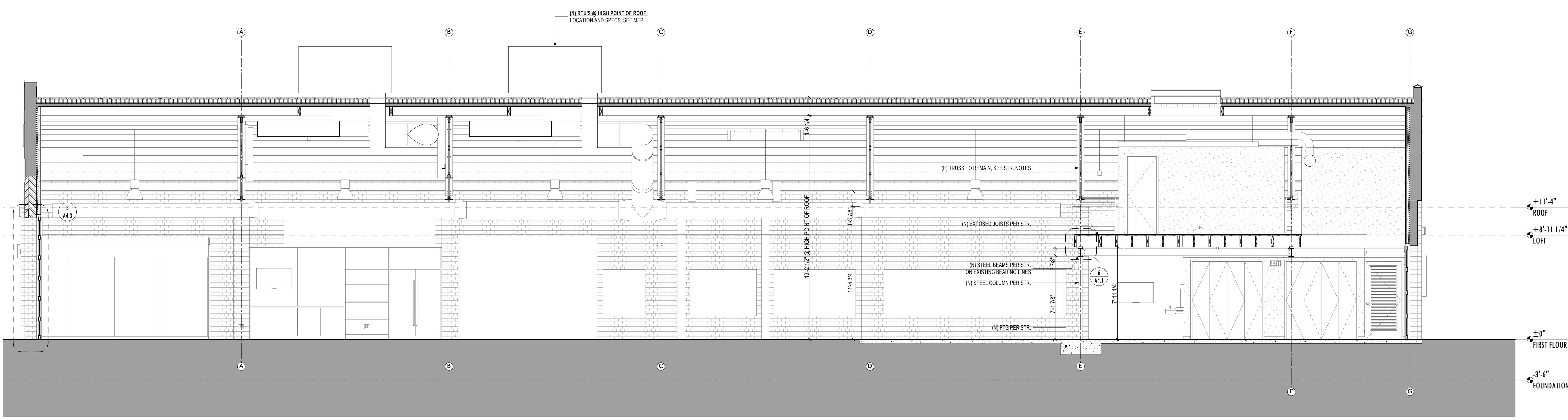




C.157



EAST-WEST BUILDING SECTION 2
SCALE: 1/4" = 1'-0"

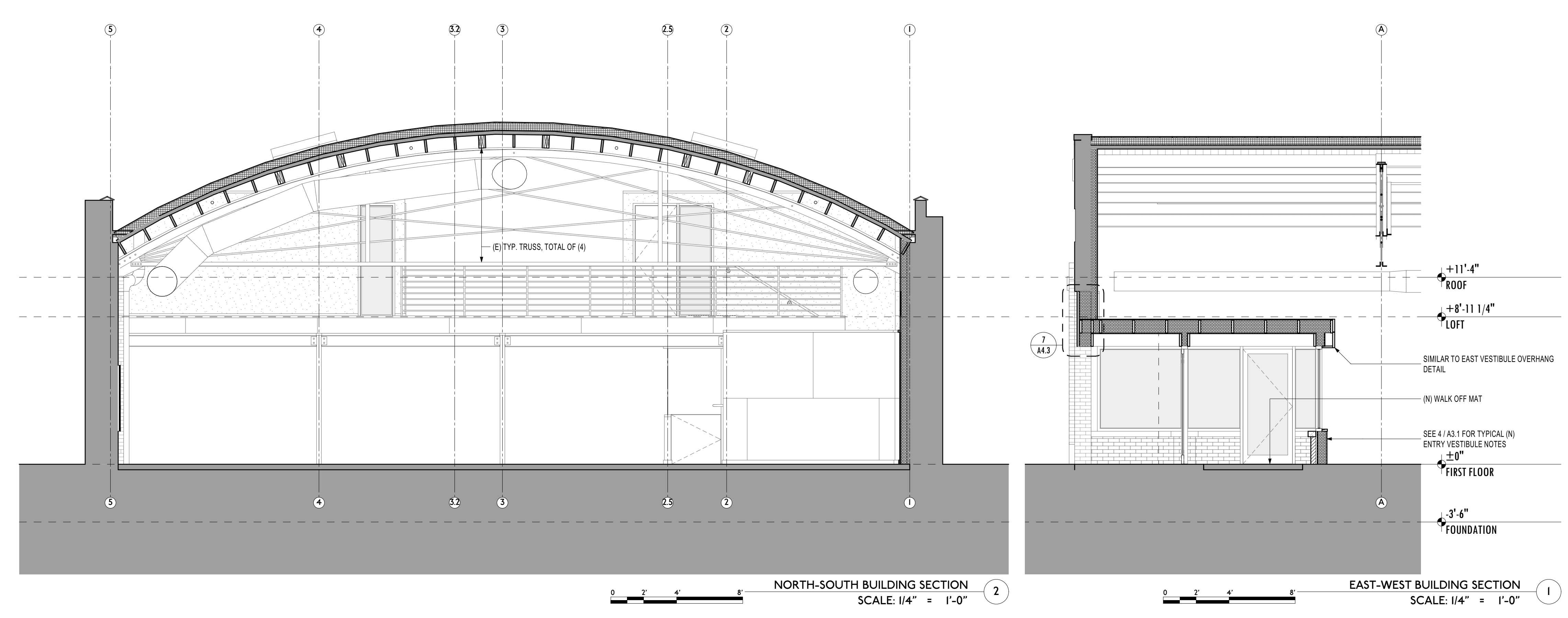
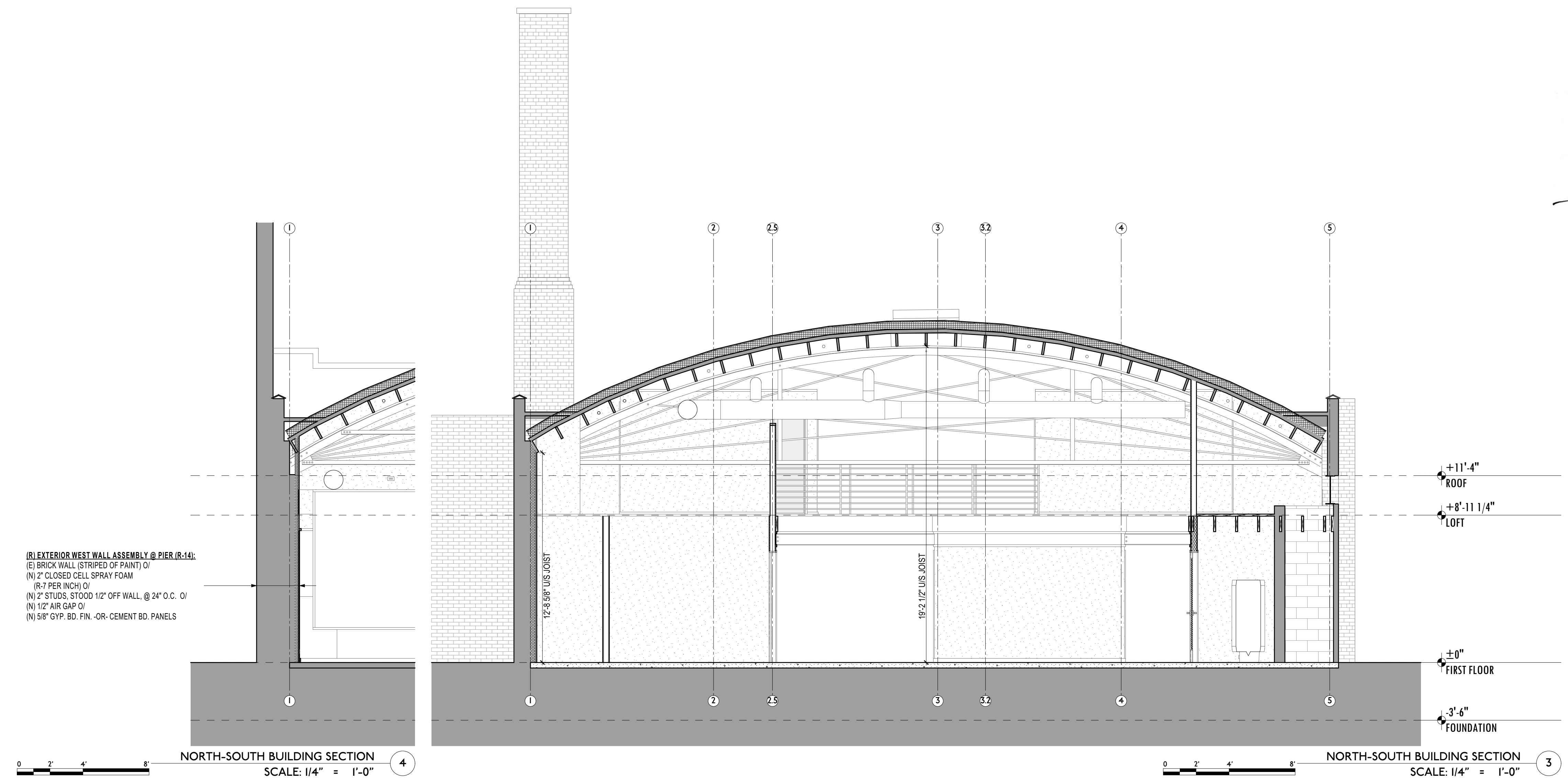
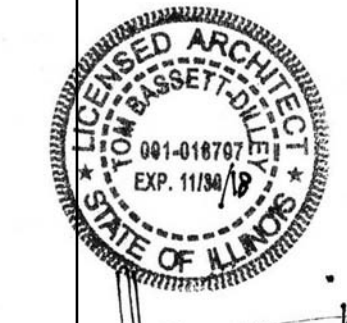


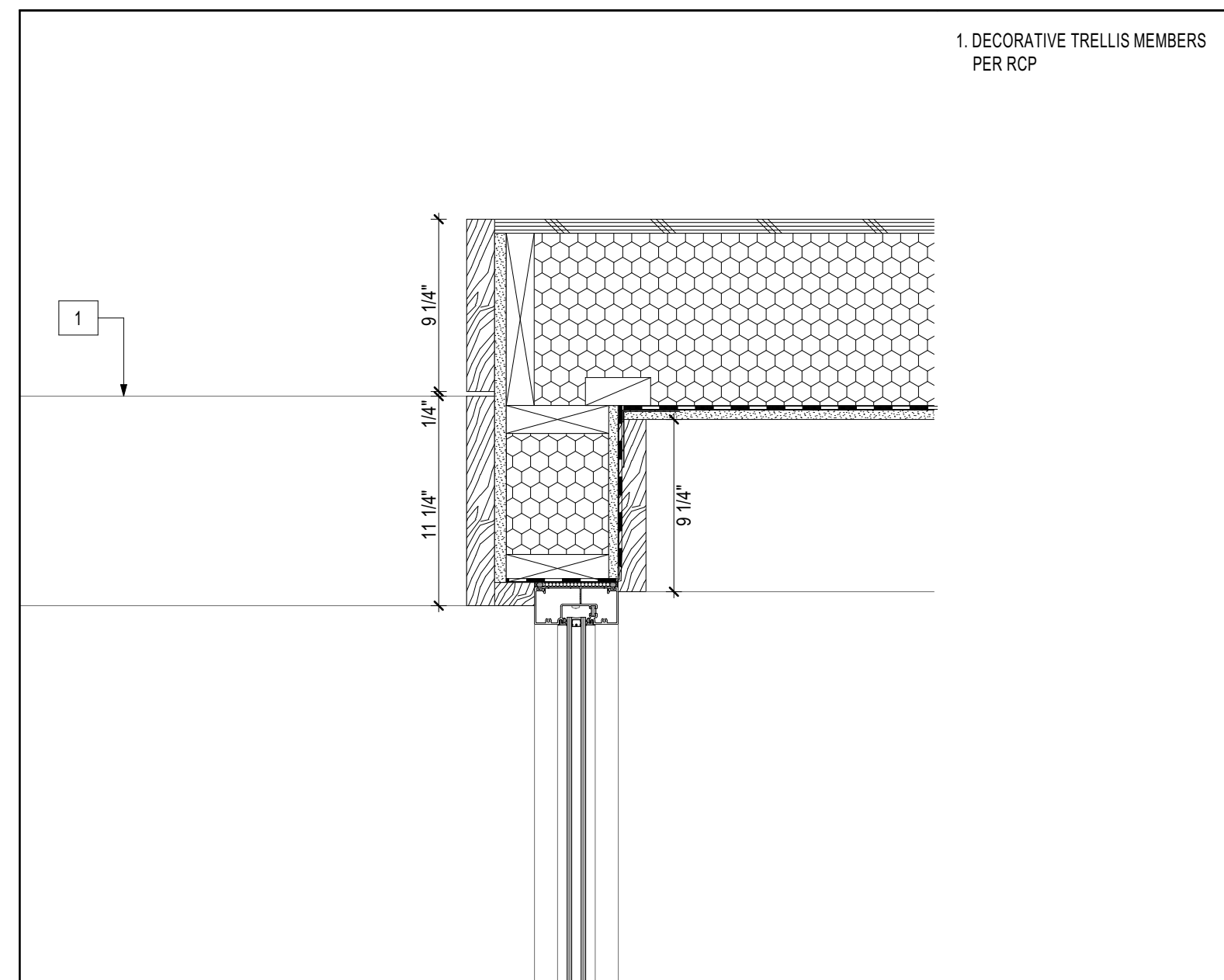
EAST-WEST BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

221 HARRISON ST. LLC
221 HARRISON STREET
OAK PARK, IL 60304

TOM BASSETT-DILLEY ARCHITECT
214 HARRISON STREET OAK PARK ILLINOIS 60304
P. 708.434.0381

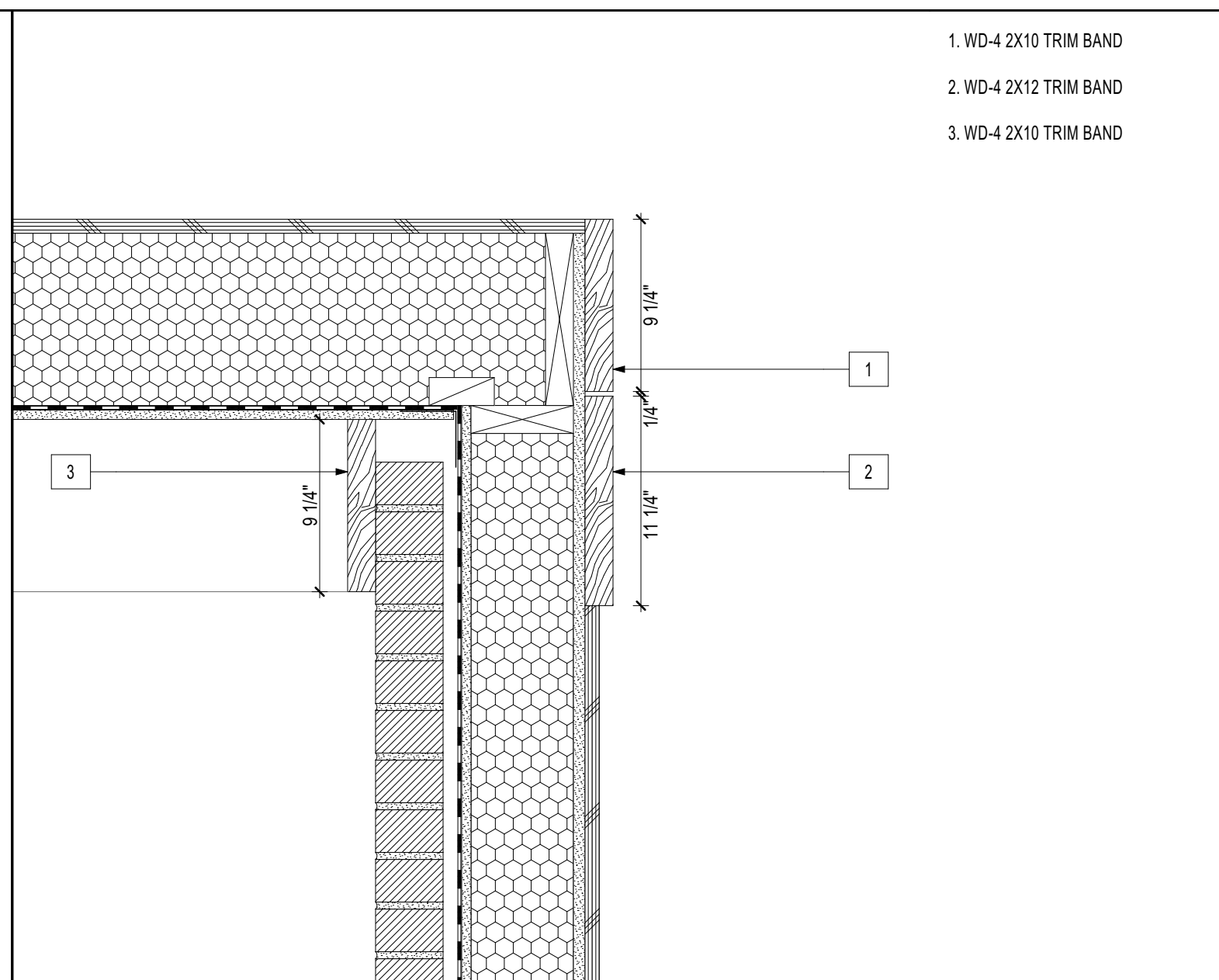






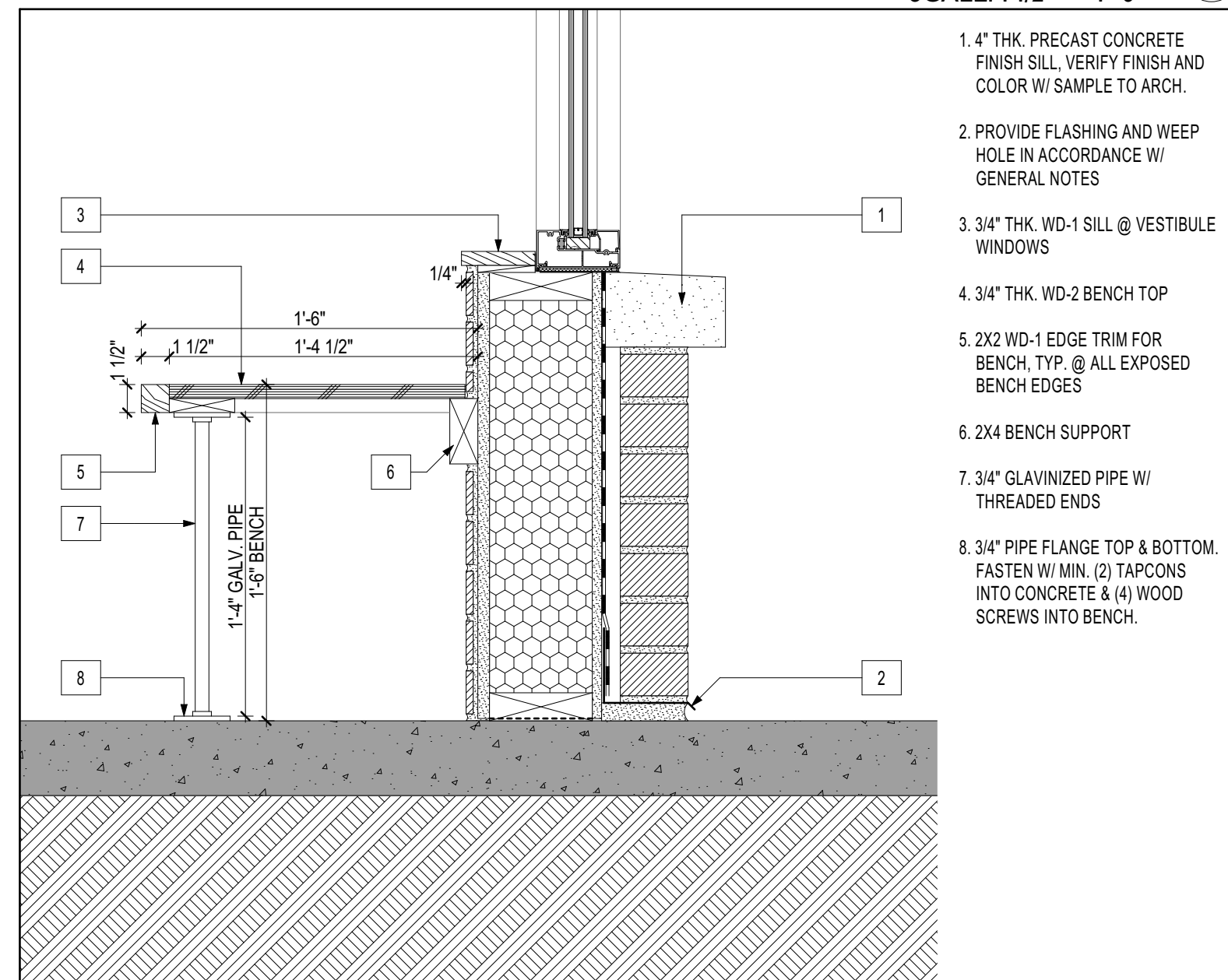
1. DECORATIVE TRELLIS MEMBERS PER RCP

VESTIBULE TYP. O.H.
SCALE: 1 1/2" = 1'-0"



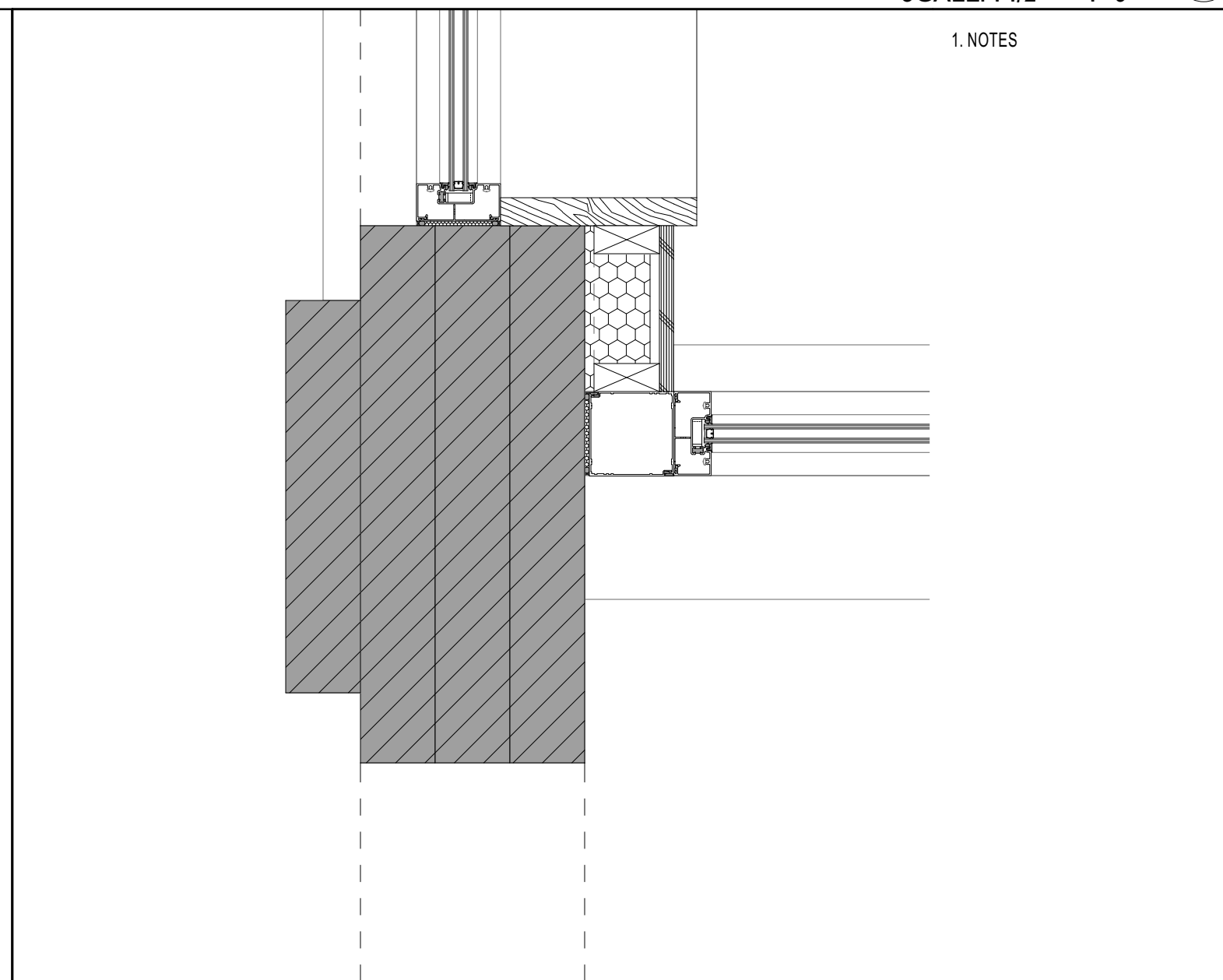
1. WD-4 2X10 TRIM BAND
2. WD-4 2X12 TRIM BAND
3. WD-4 2X10 TRIM BAND

VESTIBULE WEST O.H.
SCALE: 1 1/2" = 1'-0"



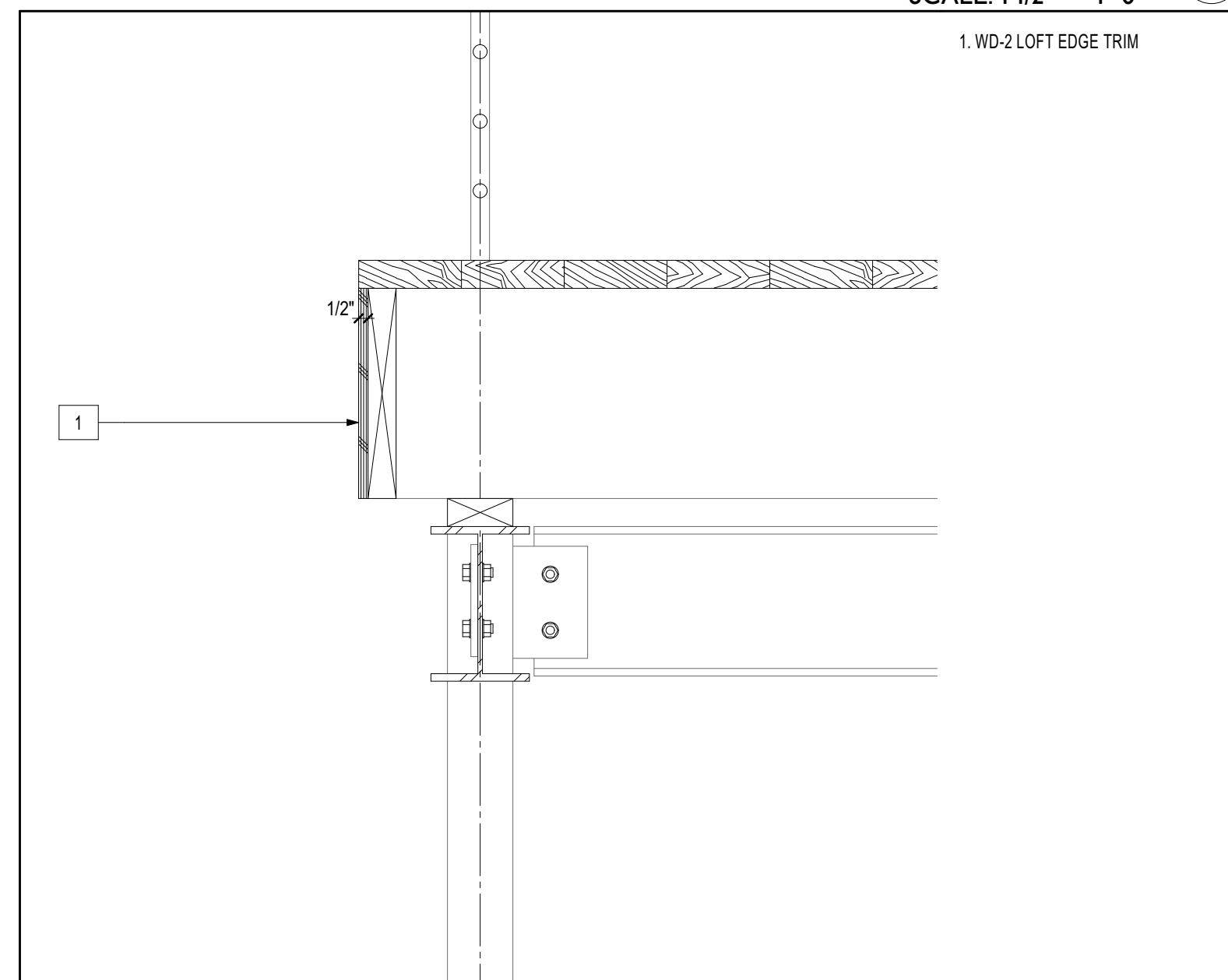
1. 1.4" THK. PRECAST CONCRETE FINISH SILL. VERIFY FINISH AND COLOR W/ SAMPLE TO ARCH.
2. PROVIDE FLASHING AND WEEP HOLE IN ACCORDANCE W/ GENERAL NOTES
3. 3.34" THK. WD-1 SILL @ VESTIBULE WINDOWS
4. 3.34" THK. WD-2 BENCH TOP
5. 2X2 WD-1 EDGE TRIM FOR BENCH, TYP. @ ALL EXPOSED BENCH EDGES
6. 2X4 BENCH SUPPORT
7. 3.34" GALVANIZED PIPE W/ THREADED ENDS
8. 3.34" PIPE FLANGE TOP & BOTTOM. FASTEN W/ MIN. (2) TAPCONS INTO CONCRETE & (4) WOOD SCREWS INTO BENCH.

VESTIBULE LOW BRICK WALL / BENCH DTL.
SCALE: 1 1/2" = 1'-0"



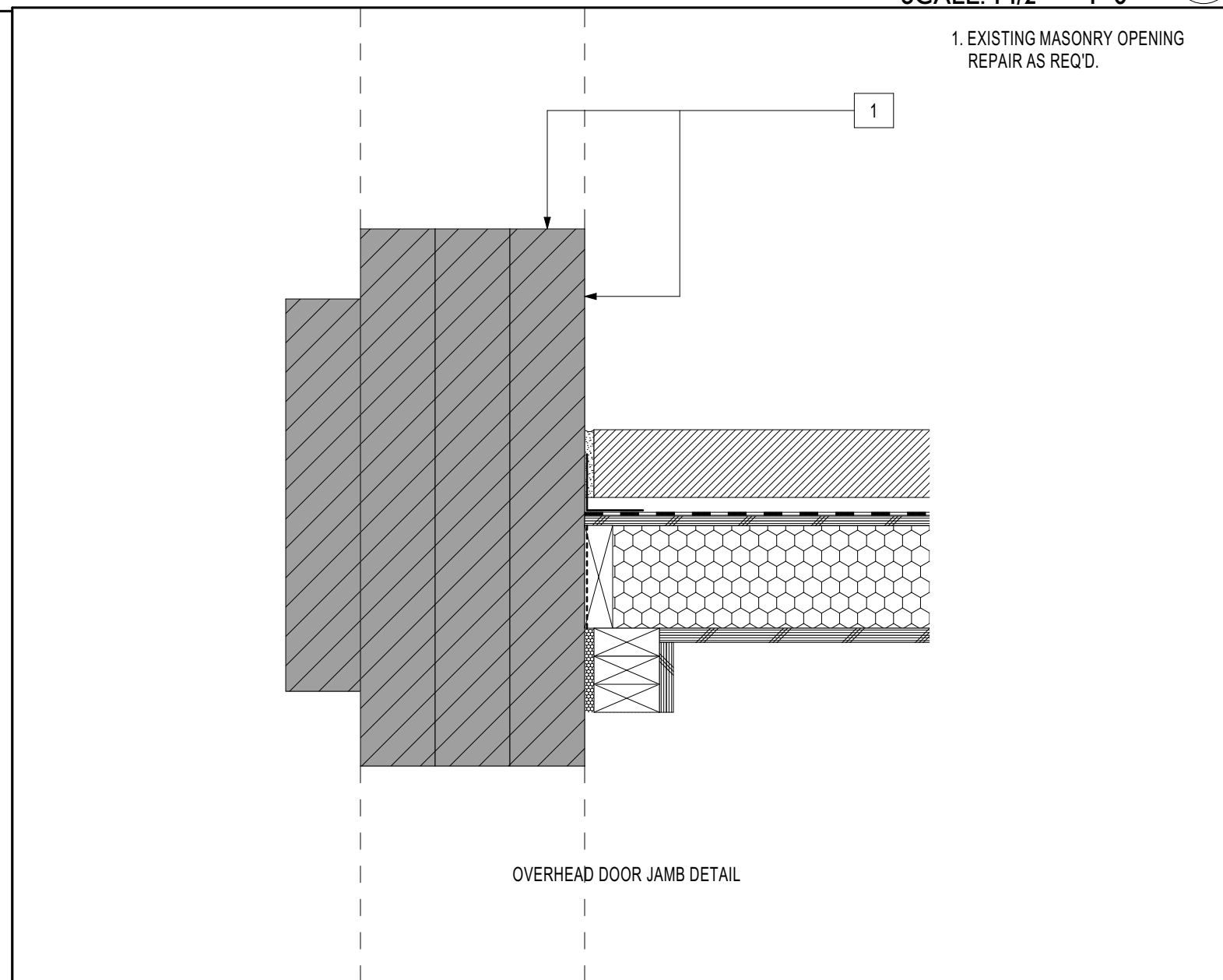
1. NOTES

VESTIBULE EAST JAMB
SCALE: 1 1/2" = 1'-0"



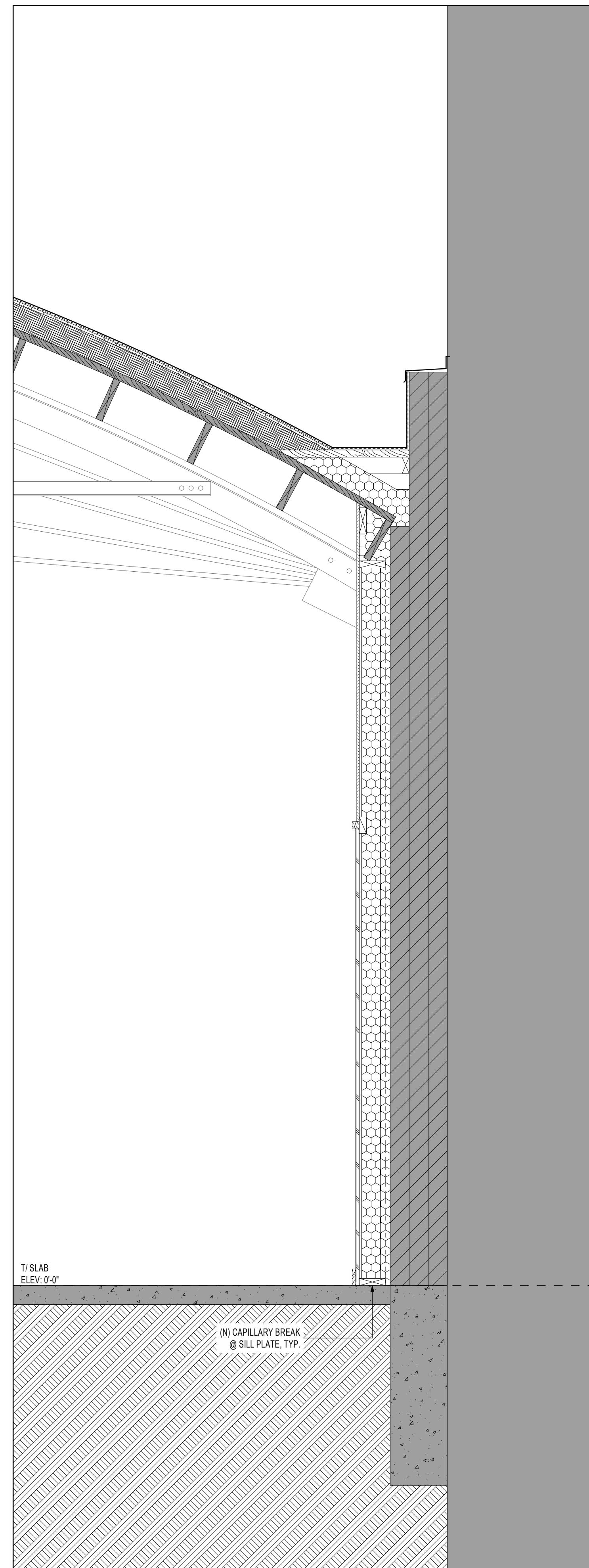
1. WD-2 LOFT EDGE TRIM

LOFT FLOOR DECK EDGE DTL.
SCALE: 1 1/2" = 1'-0"

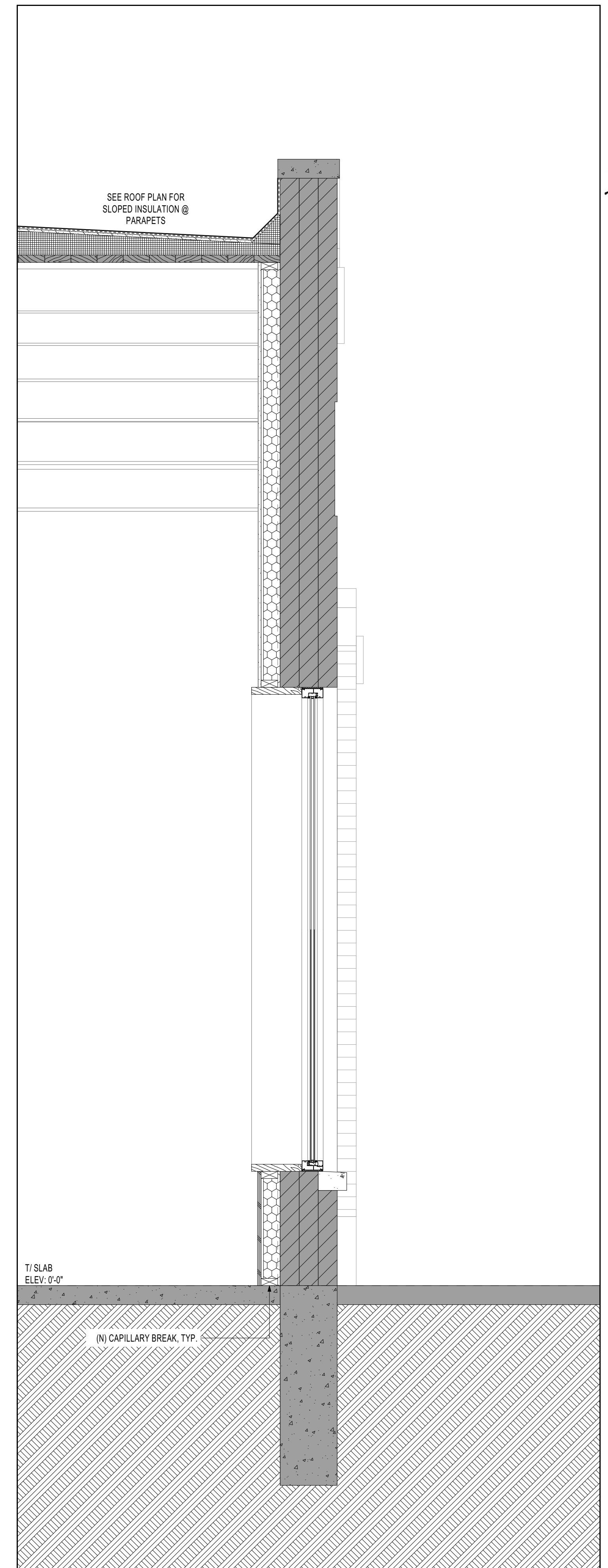


1. EXISTING MASONRY OPENING REPAIR AS REQ'D.

VESTIBULE WEST JAMB
SCALE: 1 1/2" = 1'-0"



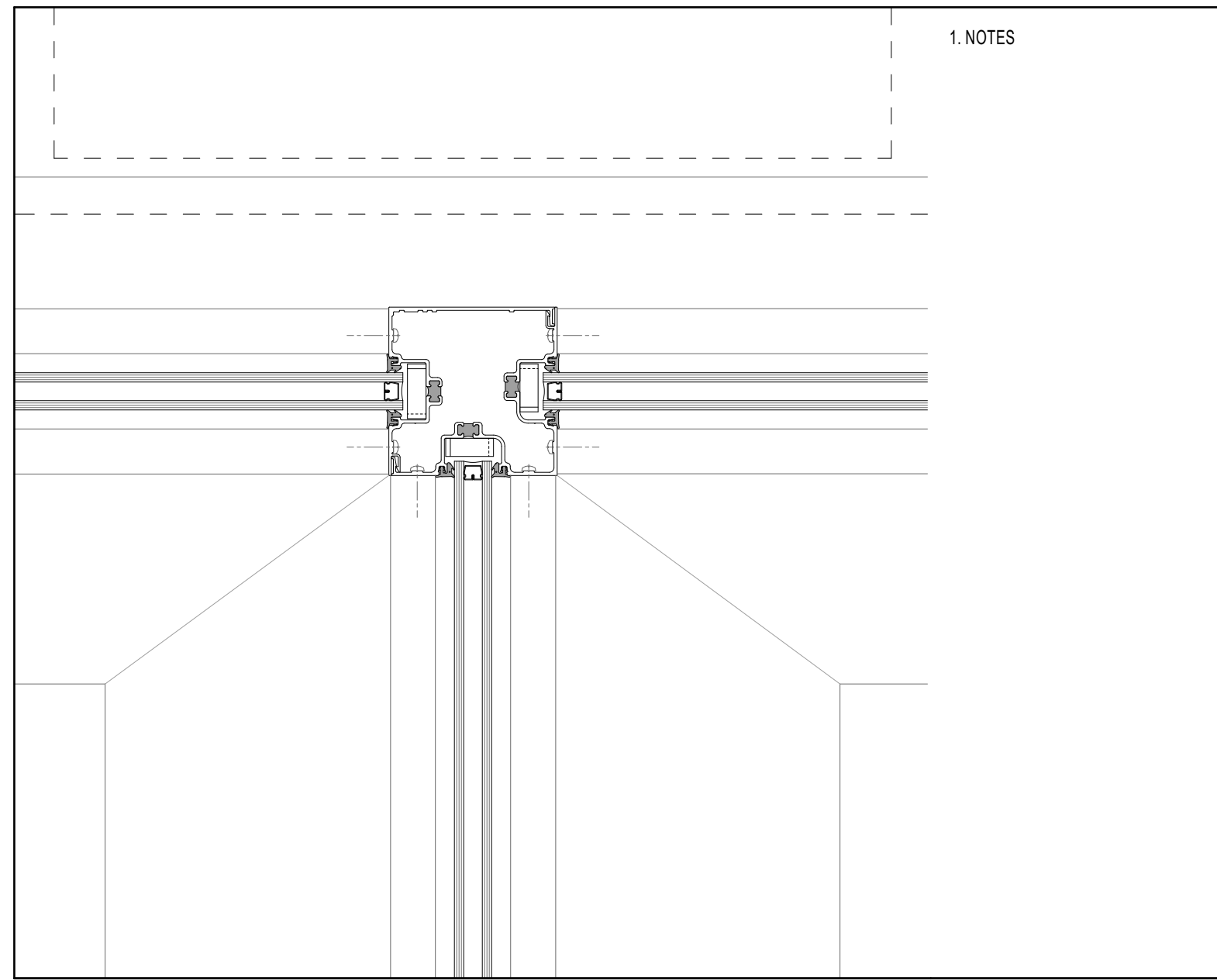
WEST GYM WALL SECTION
SCALE: 3/4" = 1'-0"



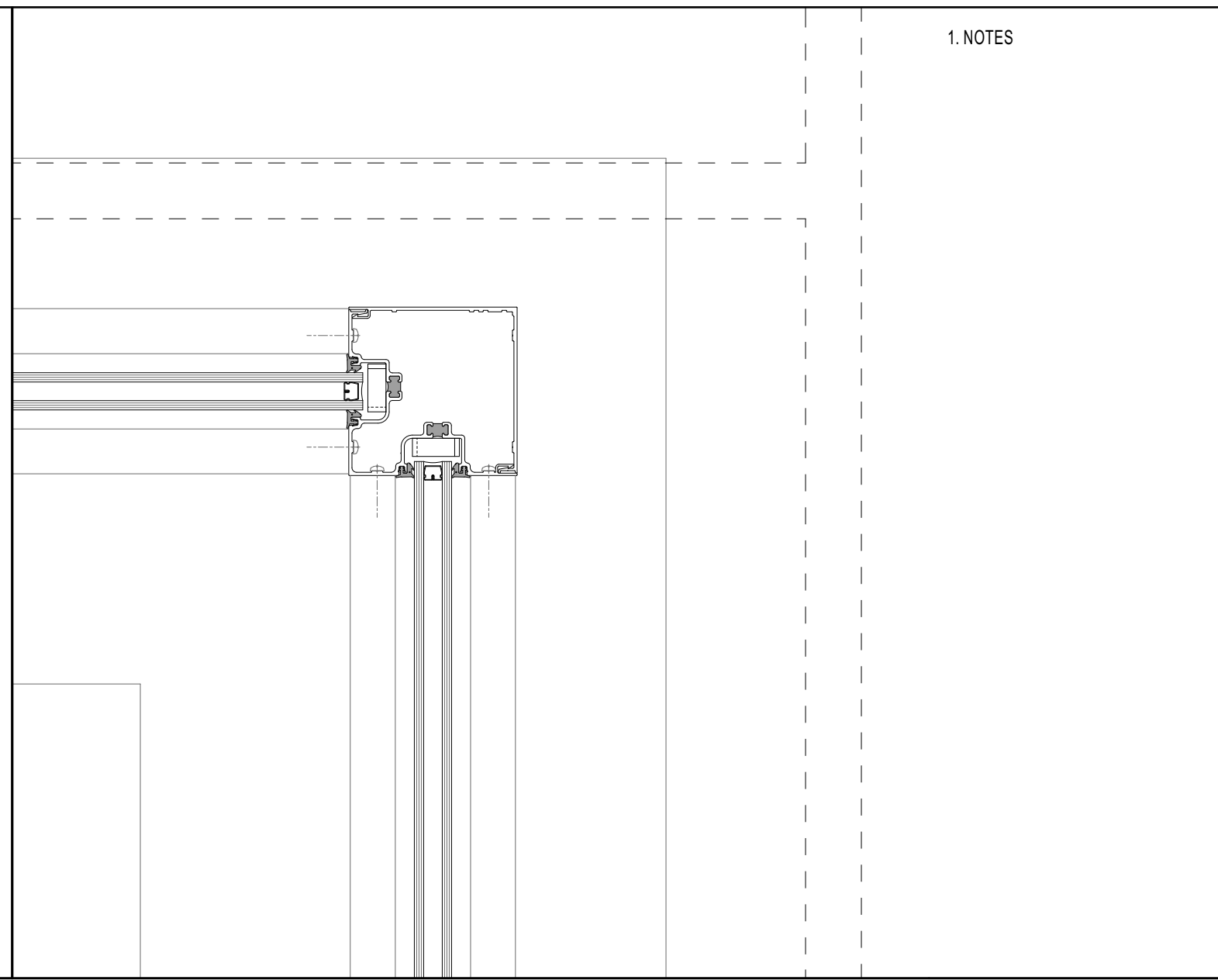
TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

SCALE: 3" = 1'-0" 0 1" 2" 4" 8"
SCALE: 1 1/2" = 1'-0" 0 2" 4" 8" 16"
SCALE: 3/4" = 1'-0" 0 4" 8" 16" 32"

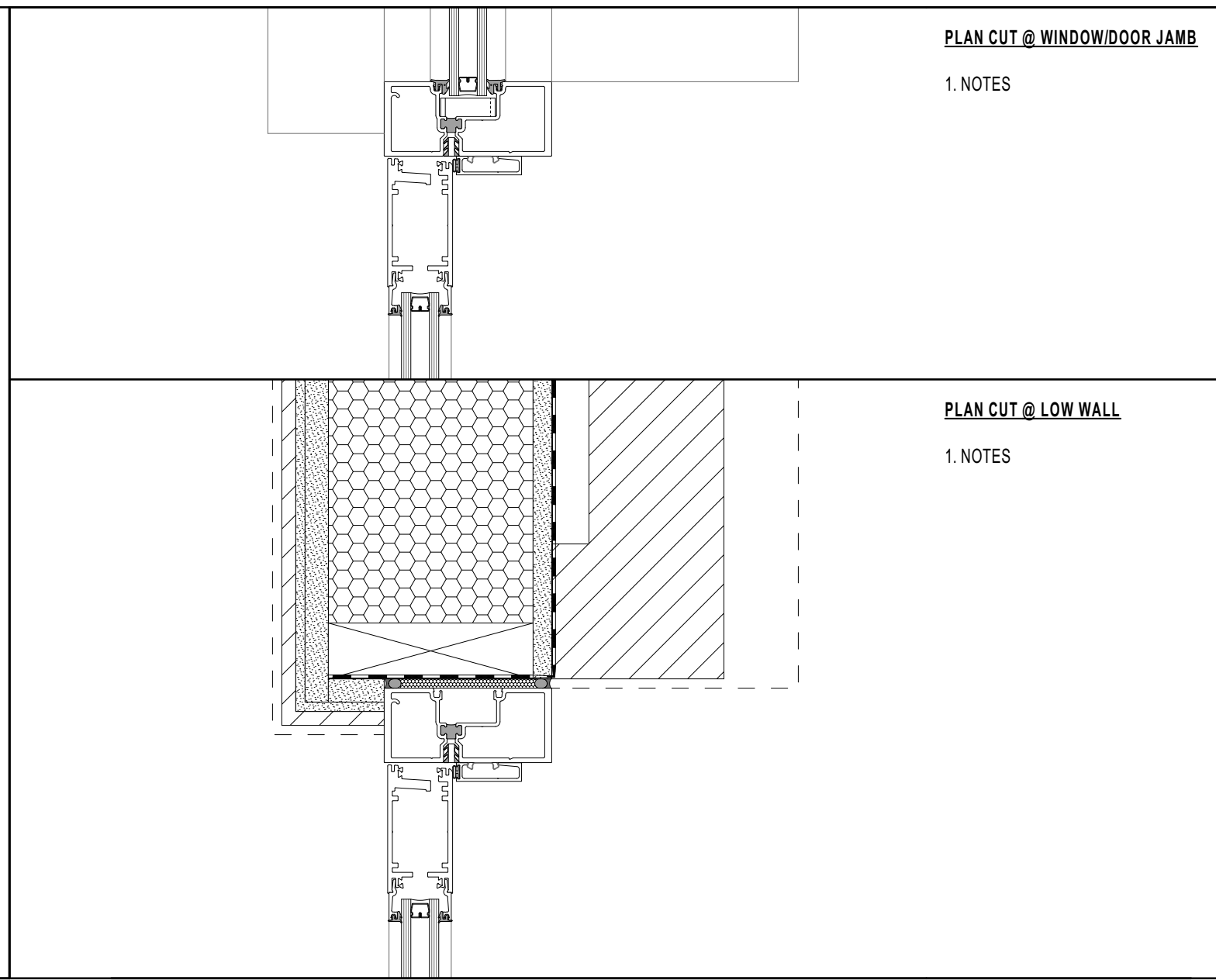




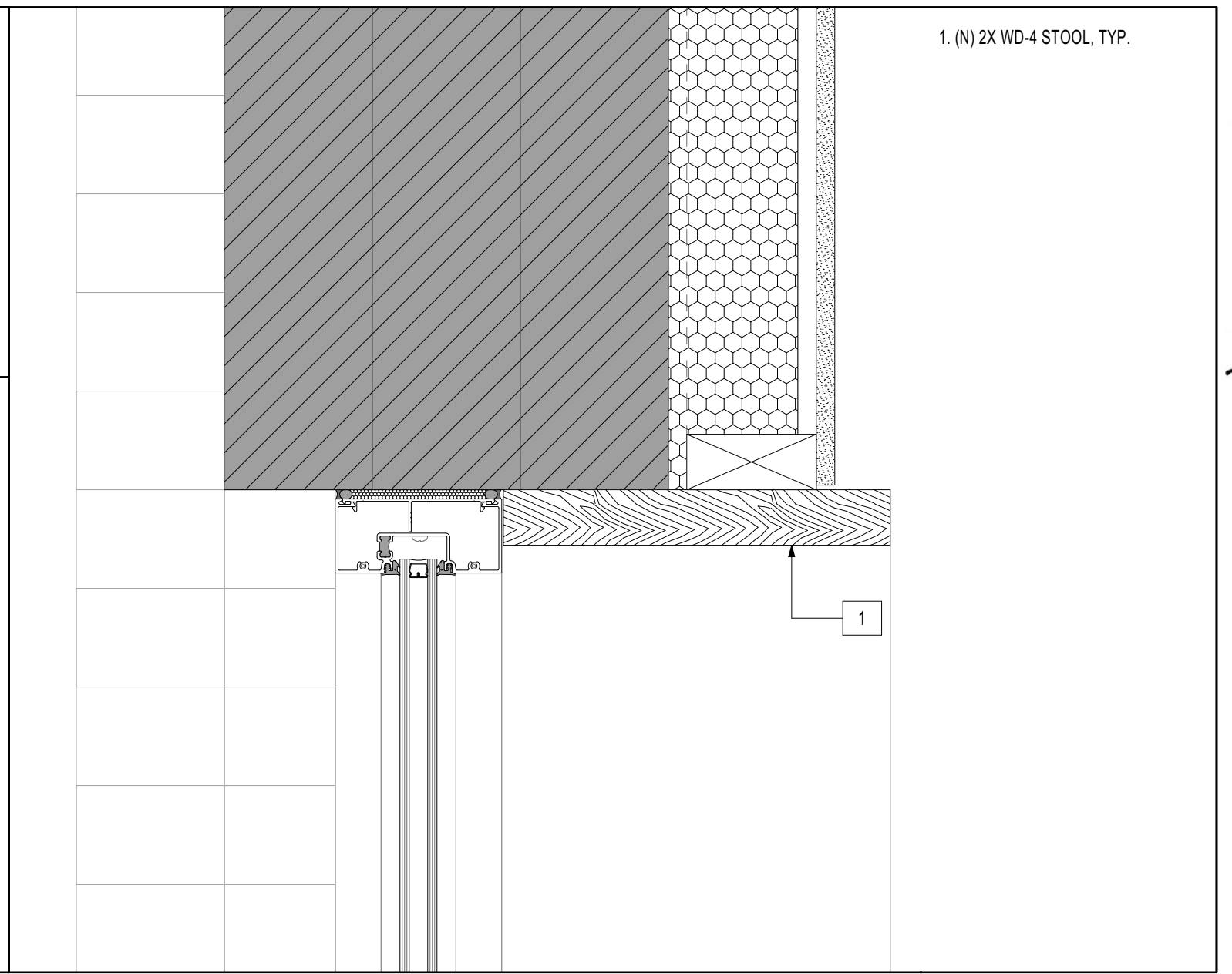
VESTIBULE T-INTERSECTION ABOVE @ WINDOW
SCALE: 3" = 1'-0" 12



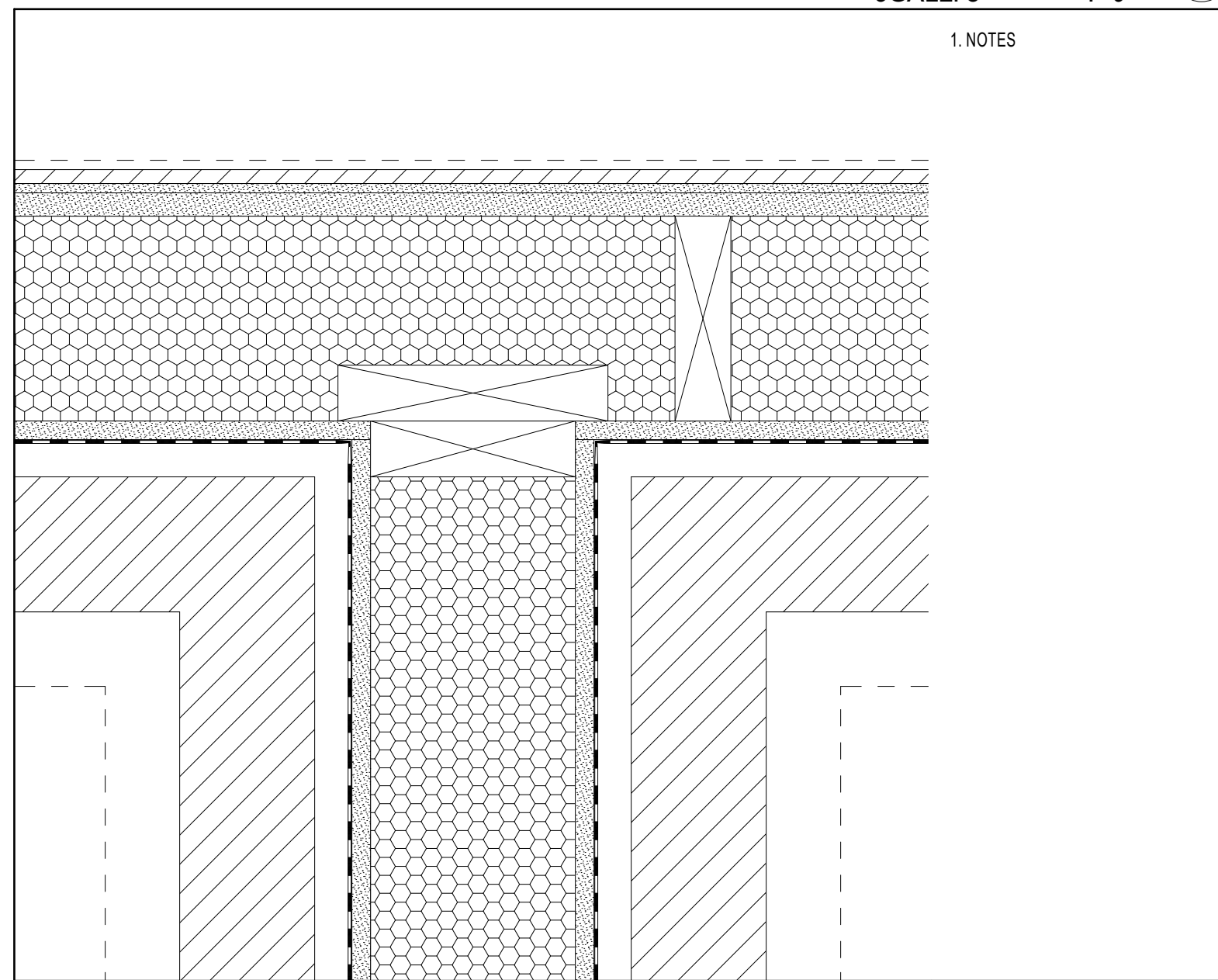
VESTIBULE INTERIOR CORNER DETAIL @ WINDOW
SCALE: 3" = 1'-0" 9



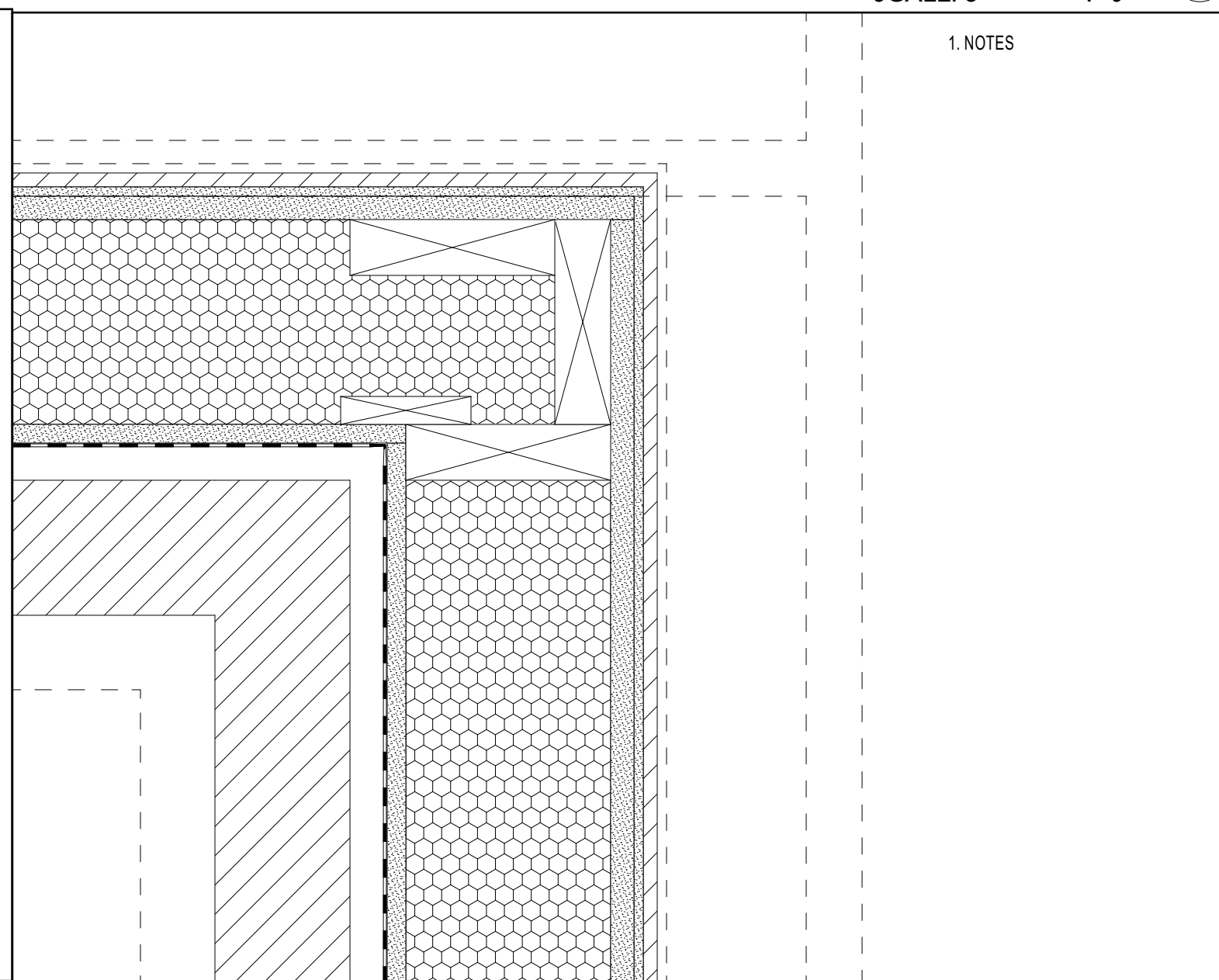
STOREFRONT DOOR JAMB @ BRICK
SCALE: 3" = 1'-0" 6



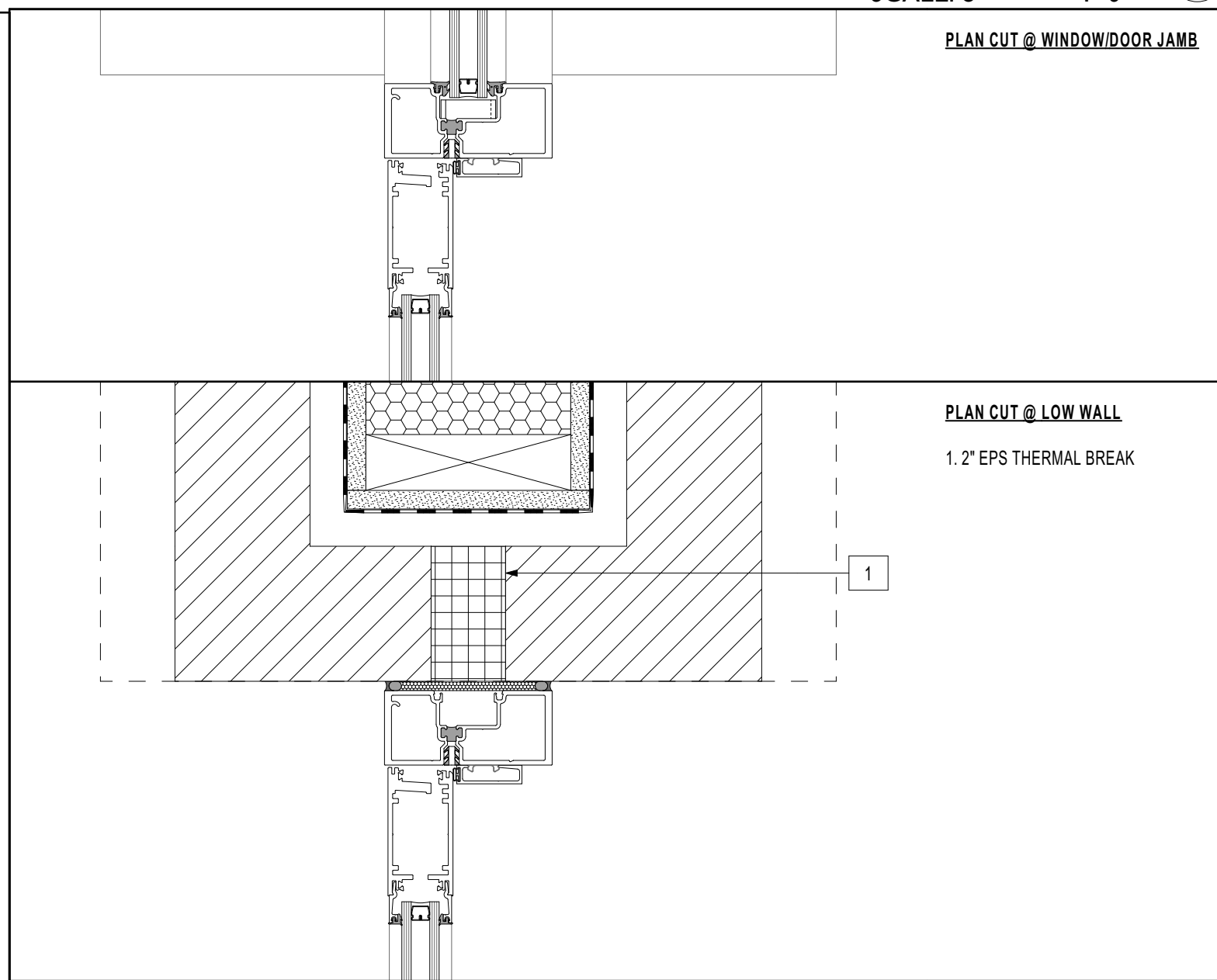
TYP. NORTH WINDOW HEAD
SCALE: 3" = 1'-0" 3



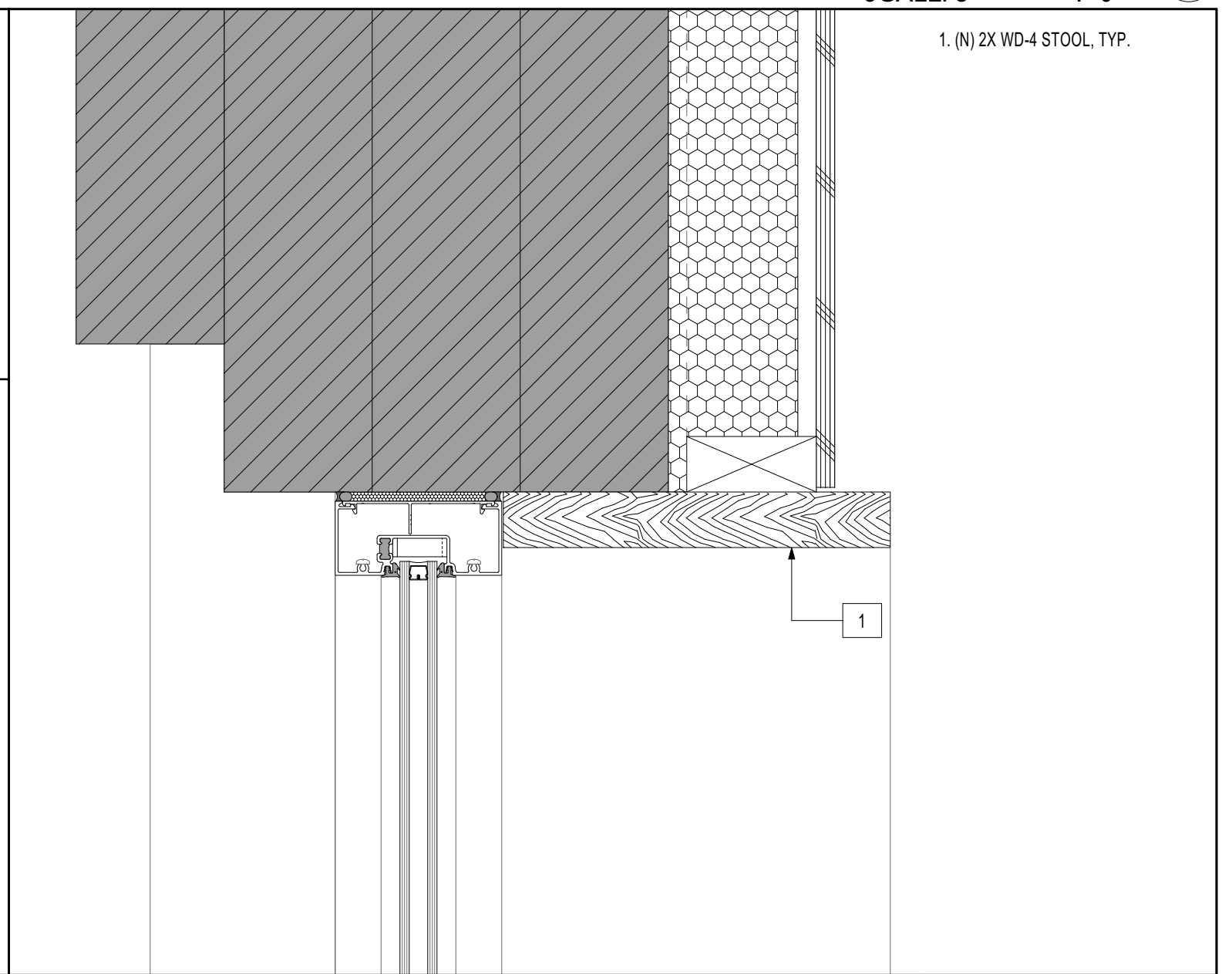
VESTIBULE T-INTERSECTION BELOW @ WALL
SCALE: 3" = 1'-0" 11



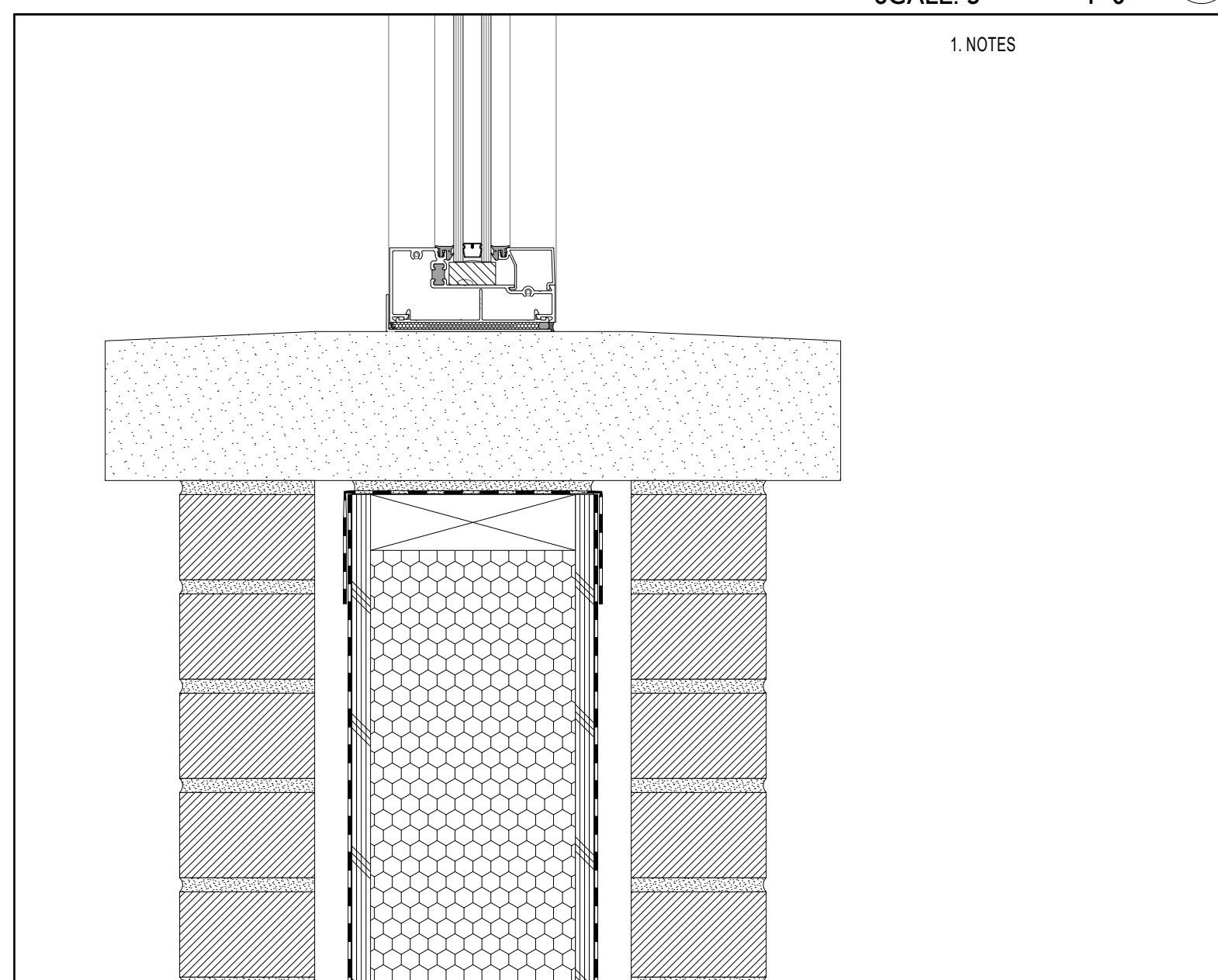
VESTIBULE INTERIOR CORNER DETAIL @ WALL
SCALE: 3" = 1'-0" 8



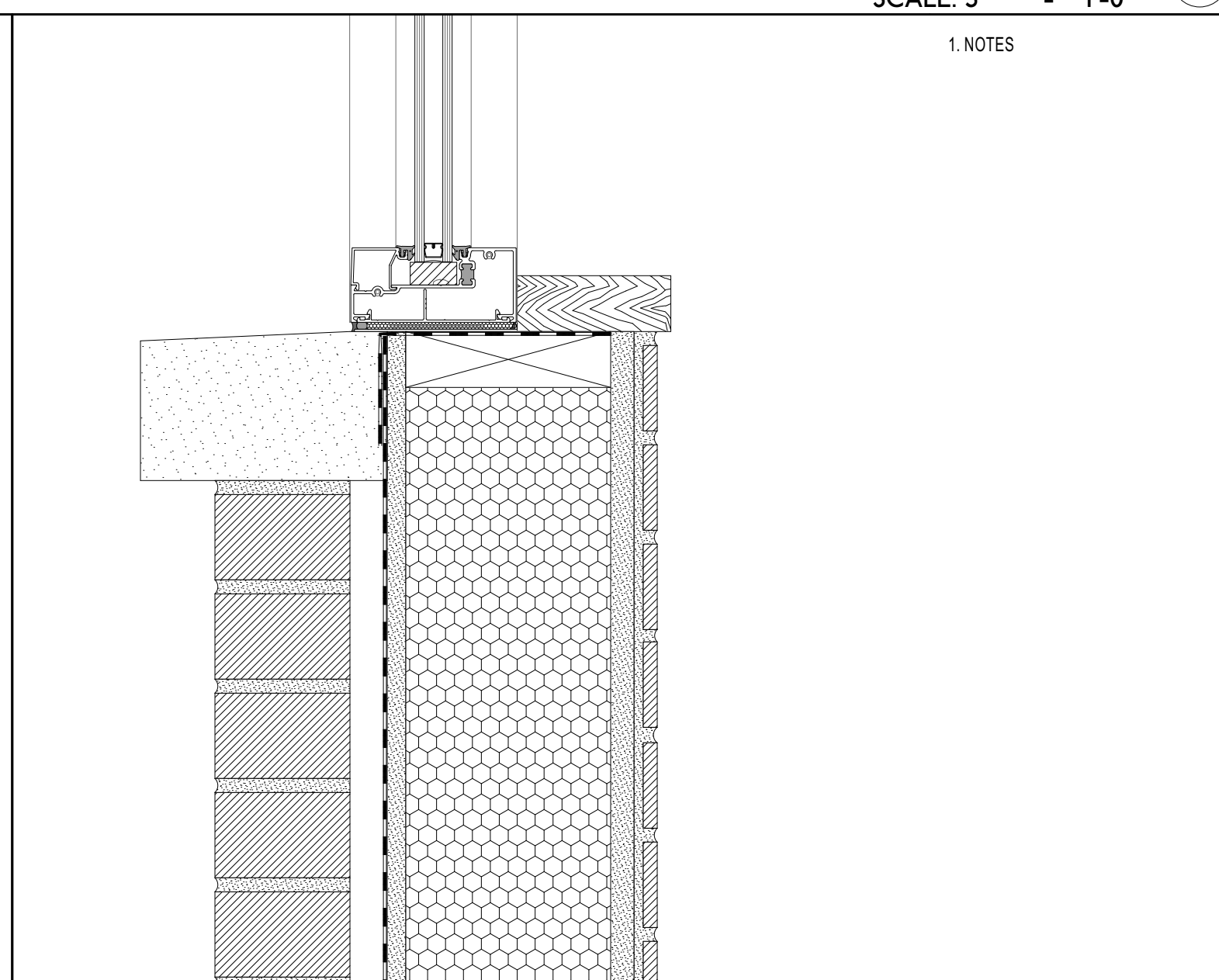
STOREFRONT DOOR JAMB @ BRICK
SCALE: 3" = 1'-0" 5



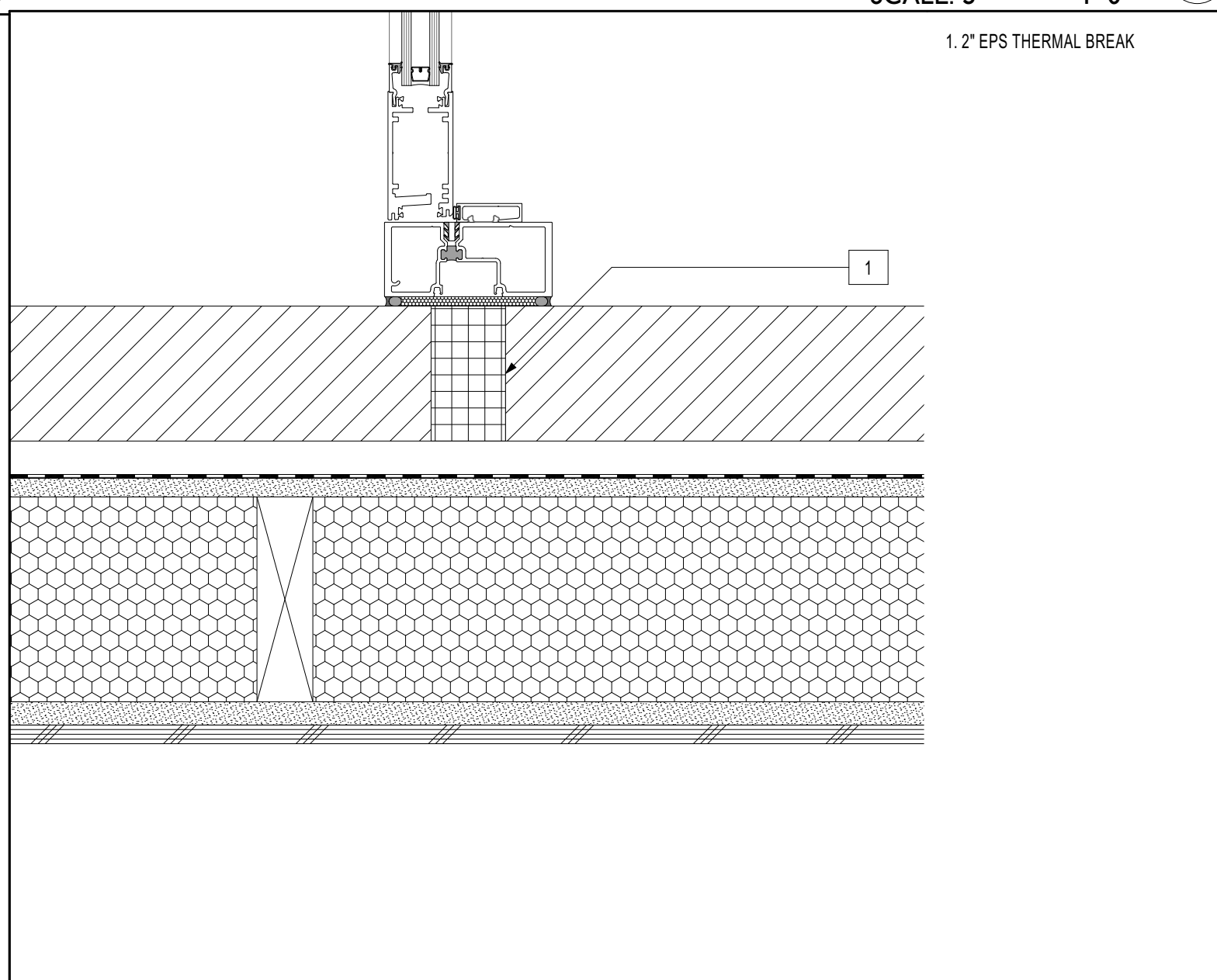
TYP. NORTH WINDOW JAMB
SCALE: 3" = 1'-0" 2



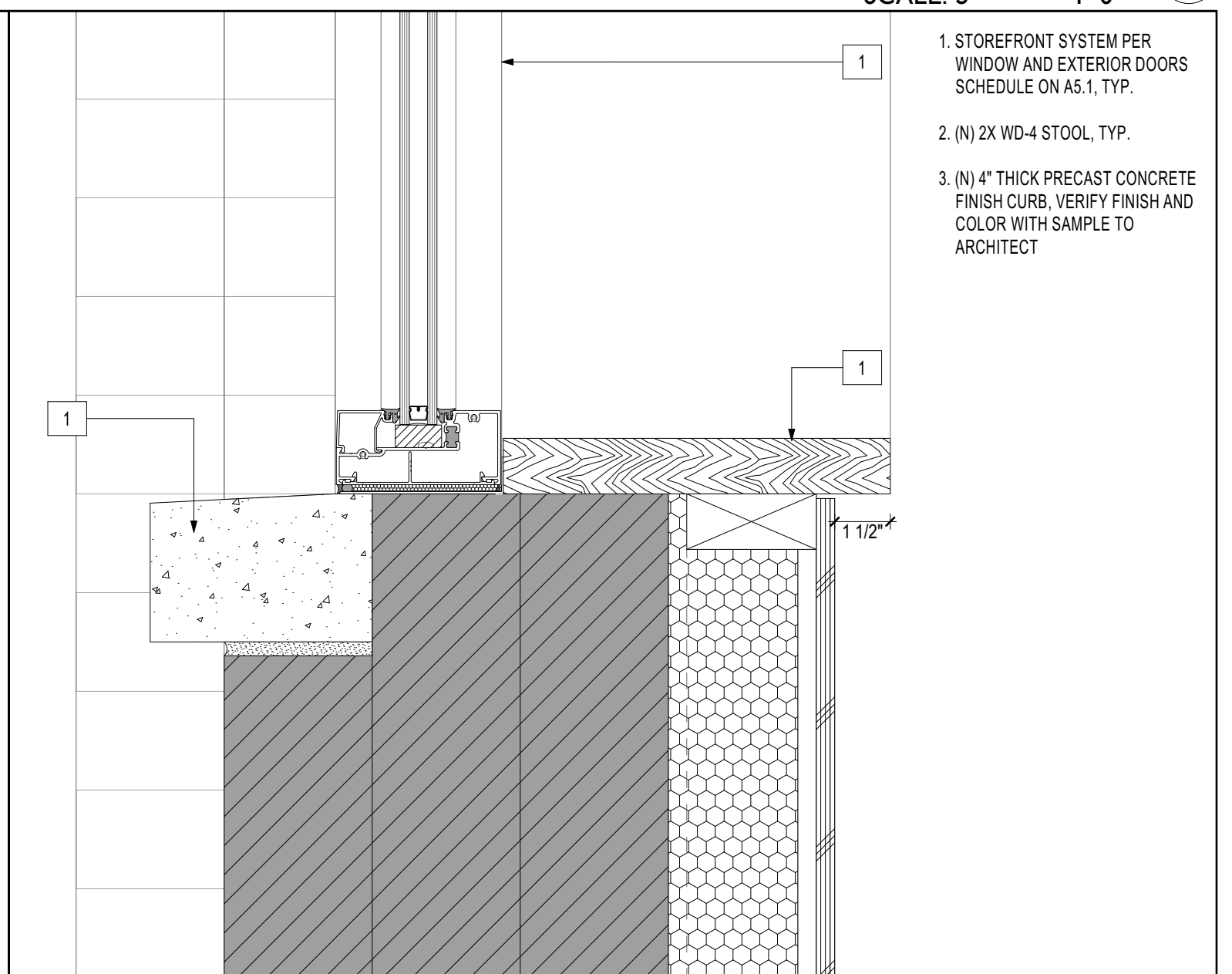
VESTIBULE T-INTERSECTION BELOW @ WALL
SCALE: 3" = 1'-0" 10



VESTIBULE INTERIOR CORNER DETAIL @ WALL
SCALE: 3" = 1'-0" 7

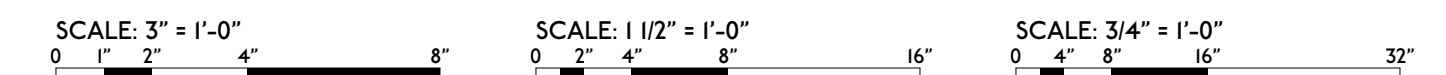


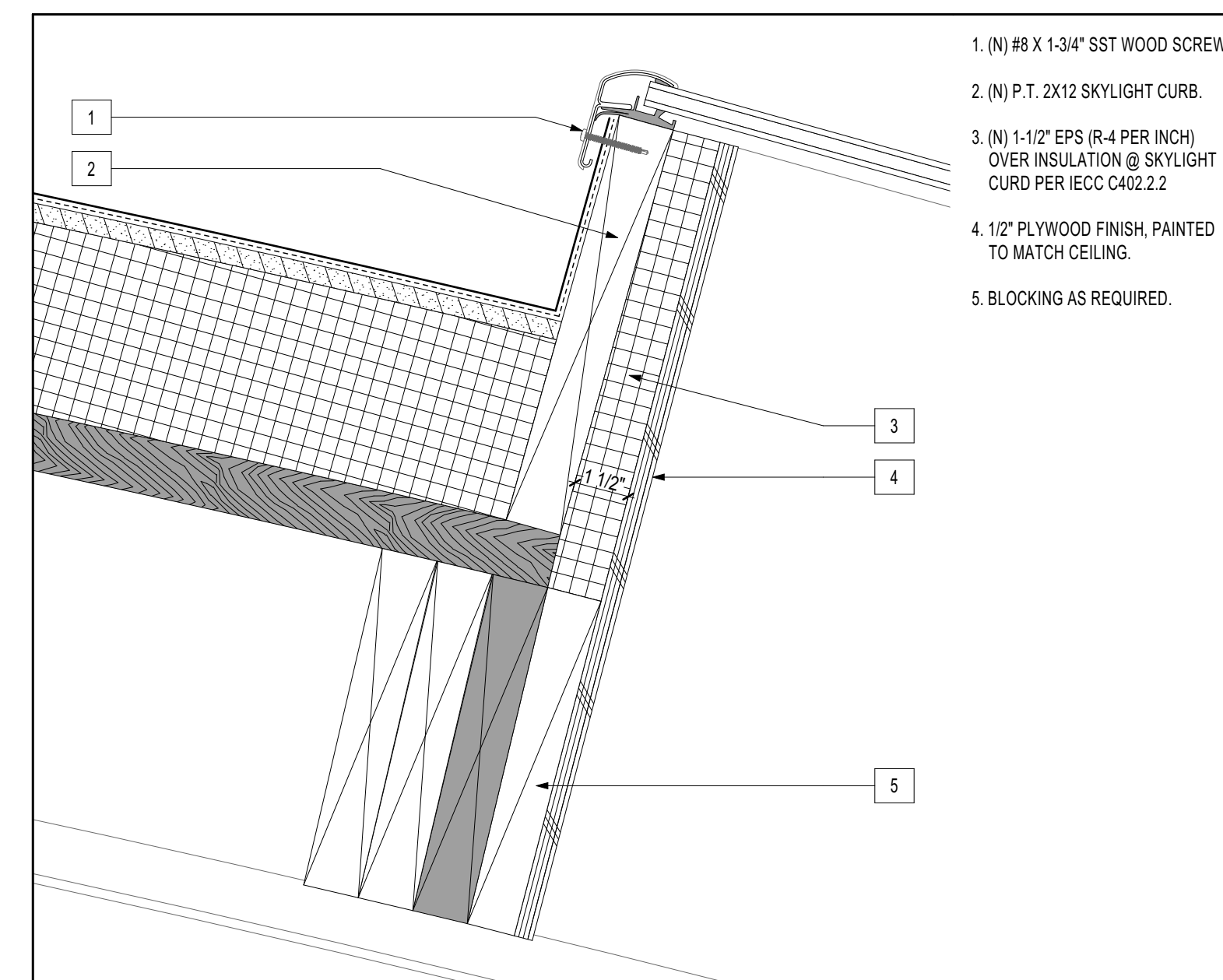
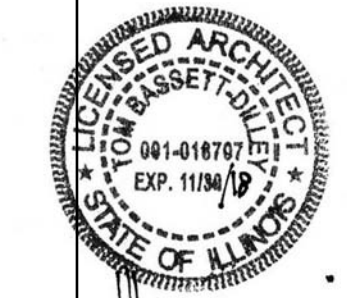
STOREFRONT DOOR JAMB @ BRICK
SCALE: 3" = 1'-0" 4



TYP. NORTH WINDOW SILL
SCALE: 3" = 1'-0" 1

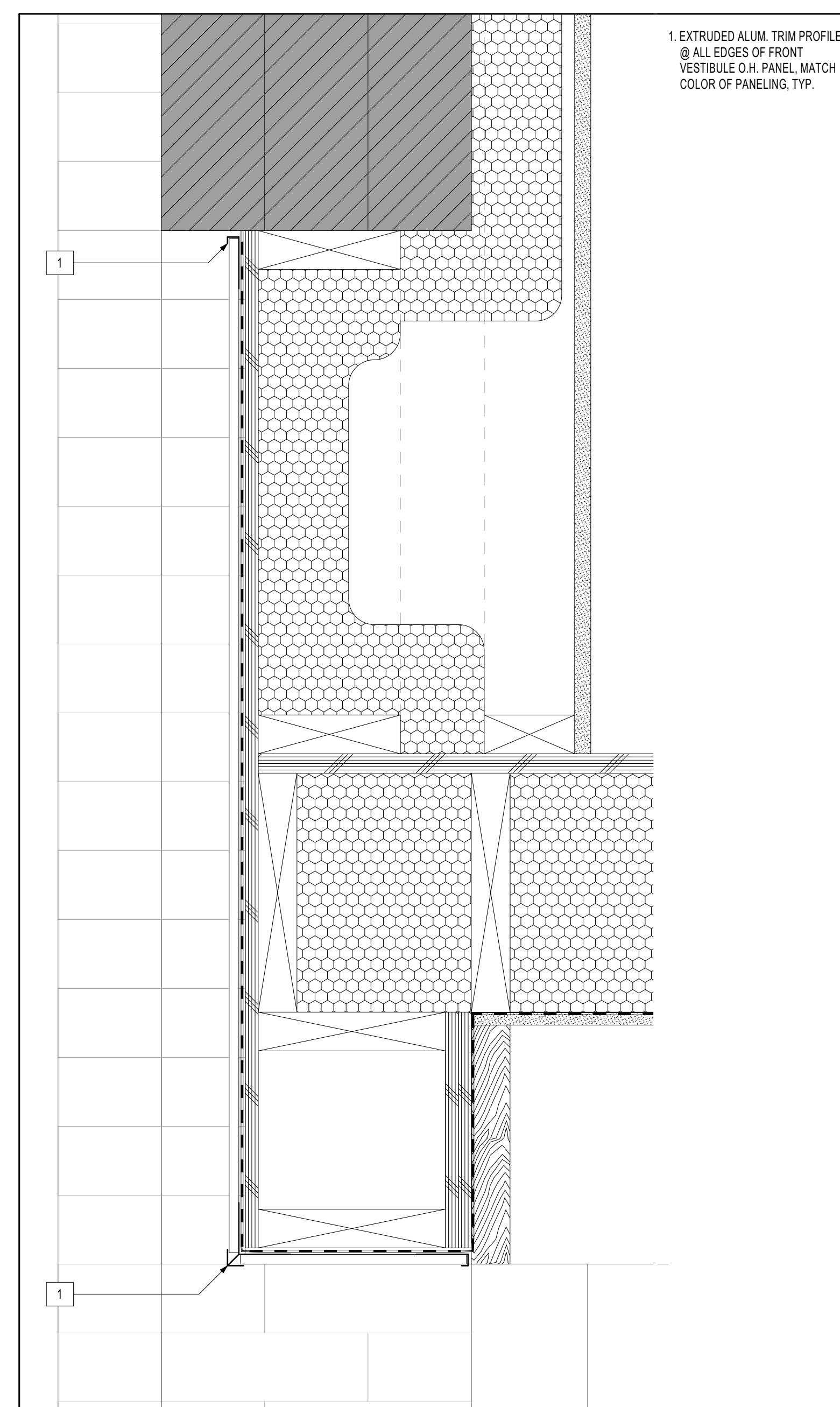
SHADED MATERIALS ARE EXISTING





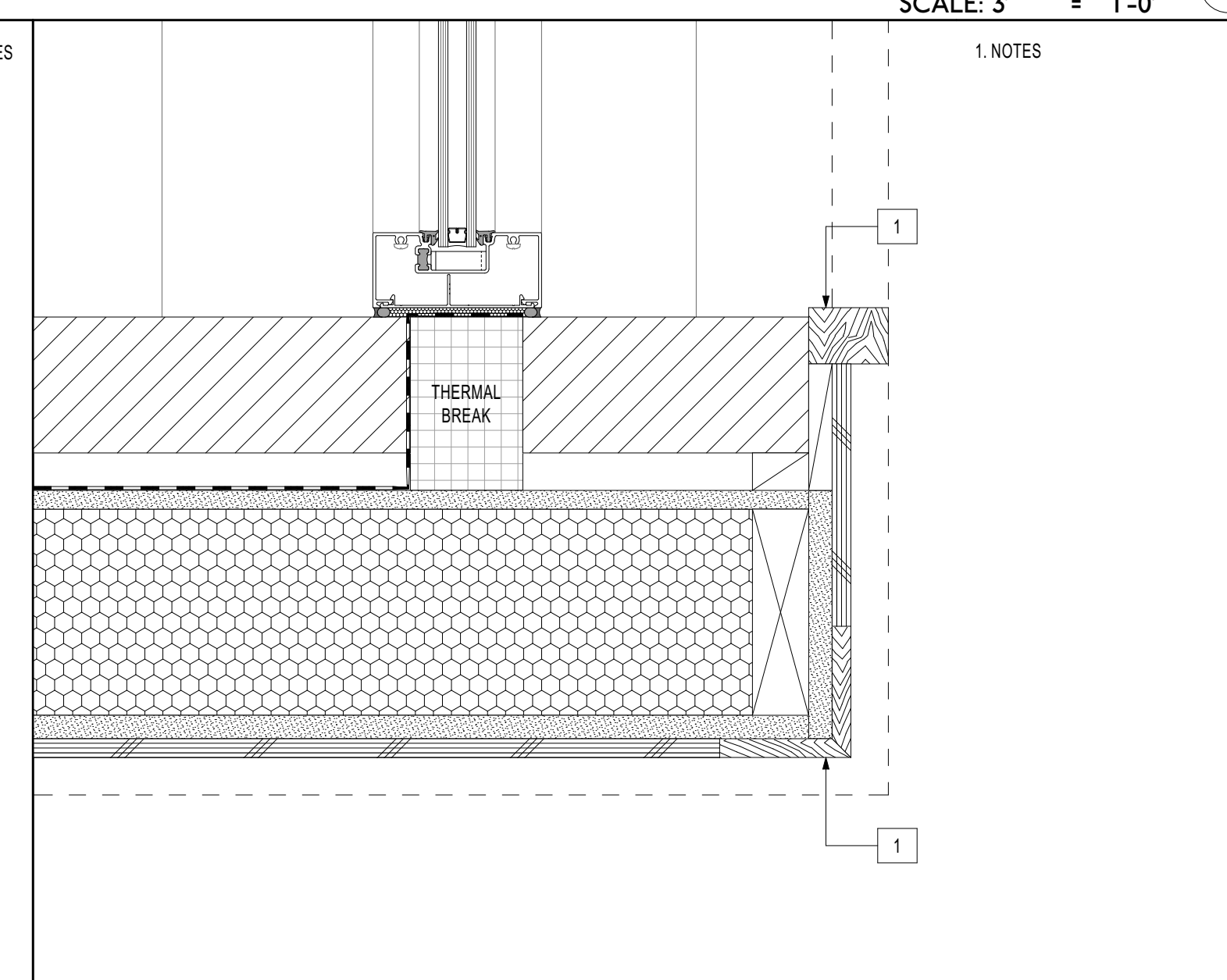
- 1. (N) #8 X 1-3/4" SST WOOD SCREW.
- 2. (N) P.T. 2X12 SKYLIGHT CURB.
- 3. (N) 1-1/2" EPS (R-4 PER INCH) OVER INSULATION @ SKYLIGHT CURD PER IECC C402.2.2.
- 4. 1/2" PLYWOOD FINISH, PAINTED TO MATCH CEILING.
- 5. BLOCKING AS REQUIRED.

TYP. SKYLIGHT DETAIL
SCALE: 3" = 1'-0" 6



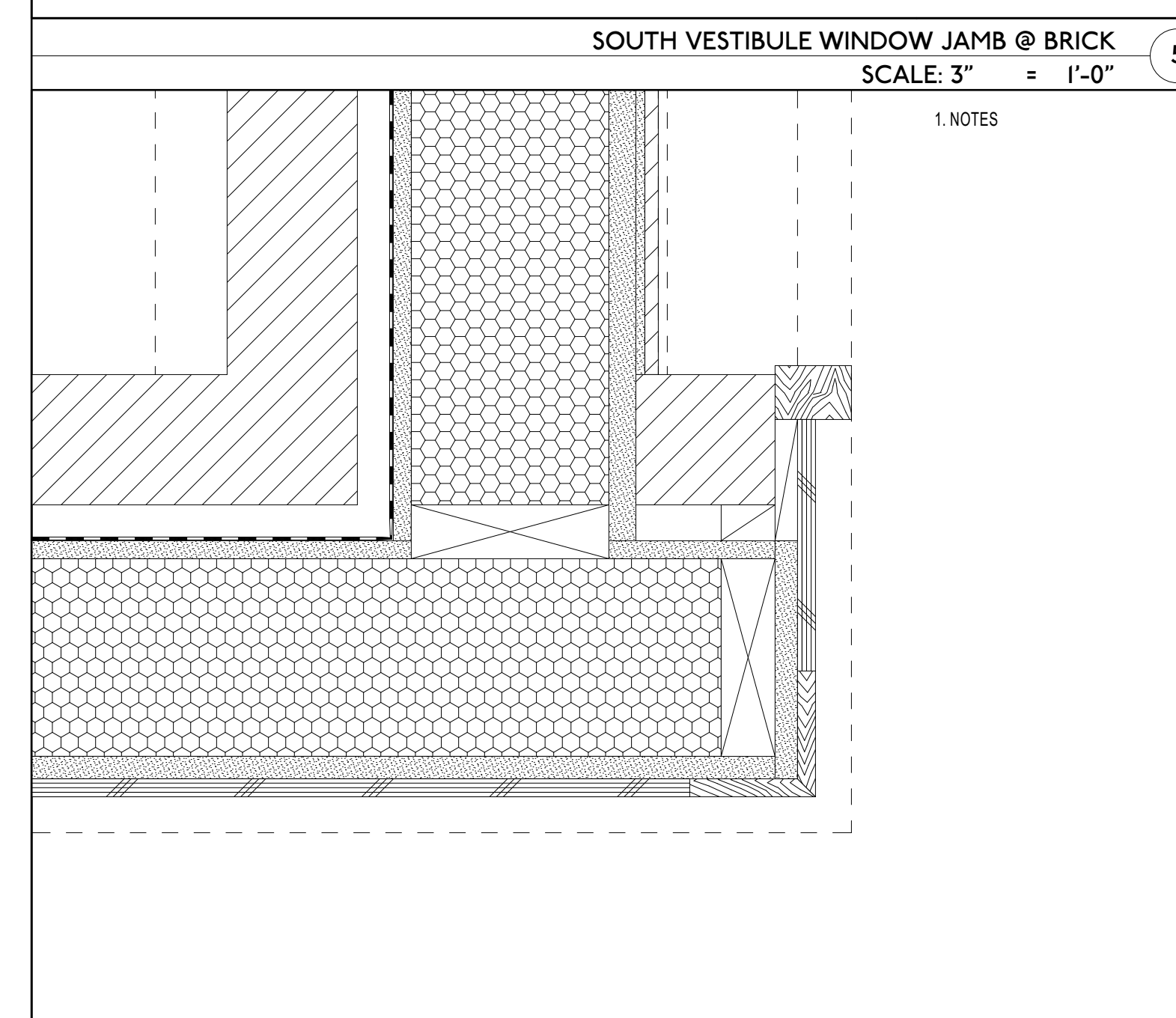
- 1. EXTRUDED ALUM. TRIM PROFILES @ ALL EDGES OF FRONT VESTIBULE O.H. PANEL, MATCH COLOR OF PANELING, TYP.

VESTIBULE ENTRY HEADER
SCALE: 3" = 1'-0" 7



1. NOTES

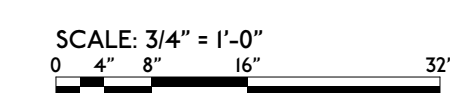
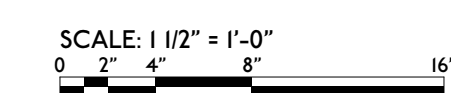
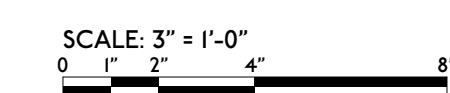
SOUTH VESTIBULE WINDOW JAMB @ BRICK
SCALE: 3" = 1'-0" 5



1. NOTES

SOUTH WALL VESTIBULE END WALL
SCALE: 3" = 1'-0" 4

SHADED MATERIALS ARE EXISTING



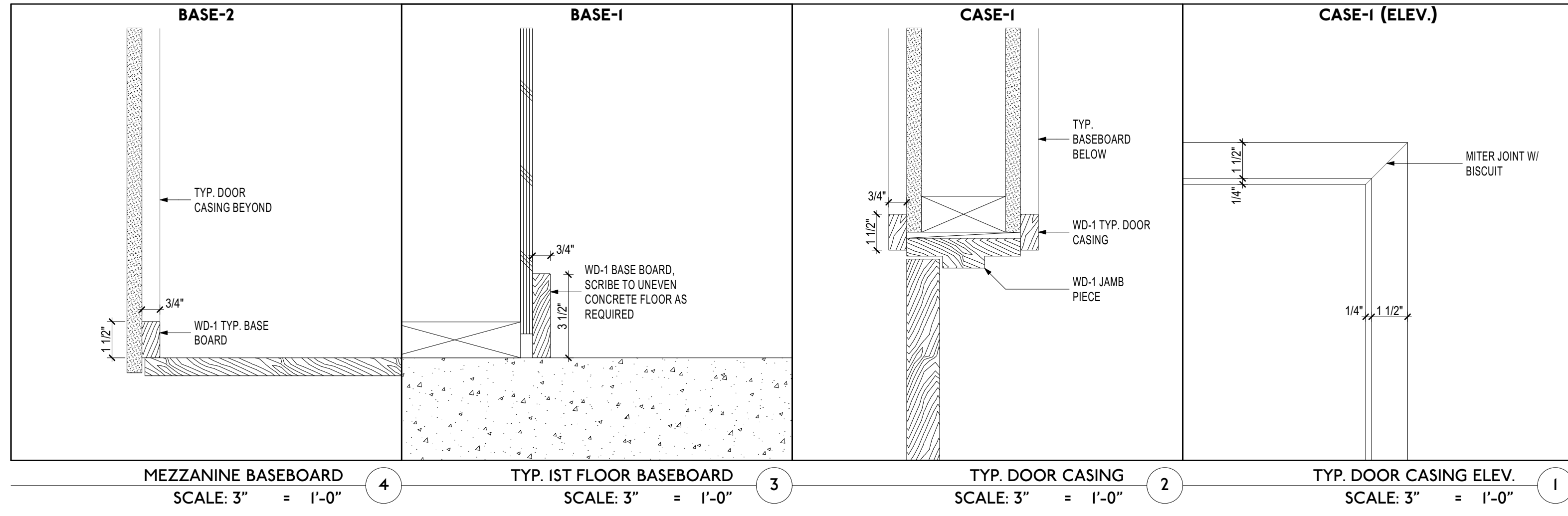
ID	WINDOW SIZING										HEADER	HEAD HEIGHT	DOOR TYPE	MFR/SERIES	OPERATION	DETAILS			FINISHES			GLAZING	U-VALUE	NOTES
	R.O.		SHIM SPACE				UNIT SIZE		SILL	JAMB						HEAD	INTERIOR	EXTERIOR	HARDWARE					
	WIDTH	HEIGHT	R	L	T/	B/	WIDTH	HEIGHT																
GD1	192"	126"	1/2"	1/2"	1/2"	0"	196"	128"	SEE STR.	126"	F		O.H.G.D.					TEMPERED						
GD2	96"	96"	1/2"	1/2"	1/2"	0"	100"	98"	SEE STR.	96"	G		O.H.G.D.					TEMPERED						
SF1	113 1/2"	101 3/4"	1/4"	1/4"	1/2"	0"	113"	101 1/4"	SEE STR.	125 3/4"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF3	113 1/2"	101 3/4"	1/4"	1/4"	1/2"	0"	113"	101 1/4"	SEE STR.	125 3/4"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF4	63 1/4"	62"	0"	0"	1/4"	0"	63 1/4"	61 3/4"	SEE STR.	86"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF5	27 3/8"	62"	0"	0"	1/4"	0"	27 3/8"	61 3/4"	SEE STR.	86"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF6	42 1/4"	62"	0"	0"	1/4"	0"	42 1/4"	61 3/4"	SEE STR.	86"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF7	19"	62"	0"	0"	1/4"	0"	19"	61 3/4"	SEE STR.	86"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF8	65 5/8"	62"	0"	1/4"	1/4"	0"	65 3/8"	61 3/4"	SEE STR.	86"	---	PITCO TMS 114T	STOREFRONT					PITCO	0.29					
SF9	40 1/4"	86"	1/4"	0"	1/4"	0"	40"	85 3/4"	SEE STR.	86"	C	PITCO STAND. ENT.	INSWING DOOR					7 - FRONT DOOR	PITCO TEMP.	0.29				
SF10	40"	86"	0"	0"	1/4"	0"	40"	85 3/4"	SEE STR.	86"	C	PITCO STAND. ENT.	INSWING DOOR					7 - FRONT DOOR	PITCO TEMP.	0.29				
SF11	40"	87"	1/4"	1/4"	1/2"	0"	39 1/2"	86 1/2"	SEE STR.	87"	D	CECO	INSWING DOOR					8 - REAR EGRESS	SECUR. TEMP.					
SF12	39"	82"	1/4"	1/4"	1/2"	0"	38 1/2"	81 1/2"	SEE STR.	82"	E	CECO	INSWING DOOR					9 - MECH. ROOM			VERIFY SIZE W/ (E) MASONRY OPENING			

WINDOW & SKYLIGHT SCHEDULE NOTES:
1. FOLLOWING WINDOW NUMBER INDICATES EGRESS OPENING. SEE ELEVATIONS FOR LOCATIONS AND HEIGHTS.
2. HEADER PER STRUCTURAL PLANS. TYPICAL.
3. HEAD HEIGHT IS FROM ELEV. 0'-0" (SUBFLR) TO TOP OF R.O., U.N.O.
4. WINDOWS SHALL MEET NFRC 400 OR AAMA WDMA CSA 101.1 S.2/A440 AS RATED BY AN ACCREDITED, INDEPENDENT LAB. AND AS LISTED AND LABELED BY THE MANUFACTURER.
5. DIRECTIONALITY INDICATED ON ELEVATIONS.
6. VERIFY ALL FRAME AND HARDWARE FINISHES WITH ARCHITECT. ALL INTERIOR SCREENS TO MATCH FINISH OF WINDOW.
7. HARDWARE SPECIFICATIONS AND FINISHES ARE LISTED PER THE DOOR HARDWARE SCHEDULE ON THIS SHEET.
8. ALL SAFETY GLAZING SHALL BE PERMANENTLY LABELED INDICATING THE TYPE OF GLASS AND THE SAFETY GLASS STANDARD TO WHICH IT COMPLIES.
9. GLAZING
A. PITCO = TYPICAL GLAZING FOR PITCO STOREFRONT WINDOWS GUARDIAN SUNGUARD SINGS CLEAR, SHGC = 0.38, VT = 0.68
B. VELUX = TYPICAL GLAZING FOR VELUX SKYLIGHTS IS GLASS 04 LAMINATED SAFETY GLASS, SHGC = 0.27, VT = 0.63
C. TEMP. = TEMPERED GLAZING PER MANUFACTURER
D. SECUR. TEMP. = TEMPERED GLAZING WITH SECURITY MESH PER MANUFACTURER
E. SEE SCHEDULE FOR SPECIALTY GLAZING AND OTHER GLAZING REQUIREMENTS

ID	SKYLIGHT SIZE										HEADER	HEAD HEIGHT	DOOR TYPE	MFR/SERIES	UNIT TYPE	DETAILS			FINISHES			GLAZING	U-VALUE	NOTES
	R.O.		SHIM SPACE				UNIT SIZE		SILL	JAMB						HEAD	INTERIOR	EXTERIOR	HARDWARE					
	WIDTH	HEIGHT	R	L	T/	B/	WIDTH	HEIGHT																
SK1	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	6/A4.3, TYP.	6/A4.3, TYP.	6/A4.3, TYP.	N/A	STANDARD	---	TYP. VELUX	0.48			
SK2	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			
SK3	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			
SK4	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			
SK5	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			
SK6	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			
SK7	---	---	---	---	---	---	72"	48"	SEE STR.	---	---	VELUX	FCM	---	---	---	N/A	STANDARD	---	TYP. VELUX	0.48			

APPLIANCE SCHEDULE (APPLIANCES BY OWNER)						
ID	DESCRIPTION	MFR	SERIES	MODEL #	FINISH	NOTES
AP-1	BEVERAGE FRIDGE	-	-	-	-	BY OWNER (COORDINATE INSTALL)
AP-2	WASHER	-	-	-	-	BY OWNER (COORDINATE INSTALL)
AP-3	DRYER	-	-	-	-	BY OWNER (COORDINATE INSTALL)
AP-4	LOFT FRIDGE	-	-	-	-	24" UNDERCOUNTER FRIDGE (COORDINATE INSTALL)

MATERIAL SCHEDULE					
TYPE	ID	MFR/SOURCE	DESCRIPTION	COLOR/FINISH	NOTES
MASONRY,					
	BRK-1		FULL FACE BRICK	MATCH EXISTING NORTH, FACE BRICK	
	BRK-2		THIN BRICK	MATCH EXISTING NORTH, FACE BRICK	
	BRK-3		EXISTING INTERIOR BRICK FOR PAINT	PT-1, PT-2	
CONCRETE,					
	CONC-1		NEW TROWEL FINISHED CONC. SLAB.		
COUNTERTOP,					
	CTP-1	JOHN BOOS	RETAIL AREA: 1-1/2" THICK HARD ROCK MAPLE COUNTERTOP	BY MFR.	16.25 SQFT (24" X 8'-1.5')
	CTP-2	CORIAN	KITCHENETTE COUNTERTOP: 1/2" CORIAN SOLID SURFACE COUNTERTOP O/ PLYWOOD BACKER	NATURAL GRAY W/ 1-1/2" DOUBLE EASED EDGE	19.0 SQFT
GYPSUM BOARD, GYPSUM BOARD					
	GYP-1		5/8" & 1/2" GYPSUM BOARD		
	GYP-2		5/8" MOISTURE & MOLD RESISTANT GYPSUM BOARD		FOR USE IN WET LOCATIONS
	GYP-3		5/8" CEMENTITIOUS BACKER BOARD		FOR USE WITH TILE
MILLWORK,					
	MW-1		TYPICAL MILLWORK, BAL TIC BIRCH CONSTRUCTION		
PAINT,					
	PT-1	BENJAMIN MOORE OR EQ.	TYPICAL WALL PAINT	GRANDMA'S SWEATER (787)	TYPICAL WALL COLOR, U.N.O. PER INTERIOR ELEVATIONS
	PT-2	BENJAMIN MOORE OR EQ.	ACCENT PAINT 1	BAYBERRY BLUE (790)	AS NOTED PER INTERIOR ELEV.
	PT-3	BENJAMIN MOORE OR EQ.	ACCENT PAINT 2	BANANA YELLOW (2022-40)	AS NOTED PER INTERIOR ELEV.
	PT-4	BENJAMIN MOORE OR EQ.	TYPICAL CEILING PAINT	ICE MIST (0C-67)	TYPICAL CEILING COLOR
	PT-5	BENJAMIN MOORE OR EQ.	TYPICAL PAINT FOR STRUCTURAL STEEL; ACCENT 3	CHICAGO BLUES (804)	
	PT-6		TYPICAL STAIN FOR WOOD TRIM AND PANELING	CLEAR SEAL	
TILE,					
	TILE-1	DALTILE	RESTROOM & SHOWER FLOOR TILE: KEYSTONES (UNGLAZED), 1X1 MOSAIC (12" X 24" SHEET), RANDOM MIX W/ 3 COLORS	3 COLORS 33% EACH: AQUA GLOW (0197); SEA MIST (0F41); GALAXY (1469);	SEE COLOR RENDERINGS FOR PROPOSED TILE LAYOUTS
	TILE-2	DALTILE	RESTROOM & SHOWER WALL TILE: RITTENHOUSE SQUARE, 3X6 SUBWAY TILE, RANDOM MIX W/ 3 COLORS; SEPARATE TILE COLOR IS INDICATED FOR ACCENT (SEE INT. ELEV.)	3 COLORS 33% EACH: AQUA GLOW (0197); SEA MIST (0F41); GALAXY (1469); USE SUNFLOWER (DH50) AS ACCENT (SEE INT. ELEV.)	SEE COLOR RENDERINGS FOR PROPOSED TILE LAYOUTS
WOOD,					
	WD-1		BIRCH WOOD FOR TRIM	CLEAR SEAL	
	WD-2		1/2" & 3/4" BAL TIC BIRCH PLYWOOD	CLEAR SEAL	
	WD-3		LOFT FLOORING: EXPOSED 2X6 STRUCTURAL DECKING	CLEAR SEAL	REMOVE LUMBER YARD STAMPS AND MARKING
	WD-4		EXPOSED DIMENSIONAL FRAMING, VISUALLY GRADE NO. 1 DENSE	CLEAR SEAL	REMOVE LUMBER YARD STAMPS AND MARKING



STORY	ROOM NAME	FLOOR	ROOM FINISH SCHEDULE									CTP	MW / CABS.	NOTES
			WALLS		CEILING		TRIM							
			MAT.	FIN.	MAT.	FIN.	BASE	CASING	CROWN					
FIRST FLOOR														
	(N) ENTRY	CONC-1	BRK-2, BRK-3	PT-1, PT-5	EXISTING	PT-3	BASE-1	CASE-1	-	-	-	-	(N) OVERHEAD TRELLIS SEE RCP	
	(N) GYM FLOOR	CONC-1	GYP-1, WD-2	PT-1, PT-5	EXISTING	PT-3	BASE-1	CASE-1	-	CTP-1	MW-1	-		
	(N) KIDS ZONE	CONC-1	GYP-1	PT-1,	WD-4	PT-5	BASE-1	CASE-1	-	-	-	-		
	(N) MECHANICAL	CONC-2	GYP-1	-	-	-	-	-	-	-	-	-		
	(N) MEMBERS LOUNGE	CONC-1	GYP-1	PT-1	WD-4	PT-5	BASE-1	CASE-1	-	-	-	-		
	(N) MENS RESTROOM	TILE-1	GYP-2, GYP-3, TILE-2	PT-1	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	-	TILE-2 WAINSCOT @ WALLS TO 48" H.	
	(N) OFFICE 3	CONC-2	GYP-1	PT-1	WD-4	PT-5	BASE-1	CASE-1	-	-	-	-		
	(N) SHOWER 1	TILE-1	GYP-3, TILE-2	-	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	-	TILE-2 WALLS FLOOR-TO-CEILING	
	(N) SHOWER 2	TILE-1	GYP-3, TILE-2	-	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	-	TILE-2 WALLS FLOOR-TO-CEILING	
	(N) VESTIBULE	CONC-1	BRK-1, BRK-2	-	GYP-2	PT-2	-	CASE-1	-	-	-	-		
	(N) WOMENS RESTROOM	TILE-1	GYP-2, GYP-3, TILE-2	PT-1	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	-	TILE-2 WAINSCOT @ WALLS TO 48" H.	
LOFT														
	(N) CONFERENCE ROOM	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	-	-	-		
	(N) OFFICE 1	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	-	-	-		
	(N) OFFICE 2	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	CTP-1	MW-1	-		

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ID	TYPE	LEAF SIZE			MFR.	PANEL FINISH	GLAZING	FRAME		HARDWARE SET	NOTES
		WIDTH	HEIGHT	THK.				FRAME	FINISH		
101	A	36"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	1 - ADA BATH	
102	A	36"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	1 - ADA BATH	
103	A	36"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	1 - ADA BATH	
104	A	36"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	1 - ADA BATH	
105	H	36"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	2 - LOCK UTIL.	
106	A	72"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	3 - DBL. CLOS.	DOUBLE DOORS
107	A	72"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	3 - DBL. CLOS.	DOUBLE DOORS
108	A	30"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	2 - LOCK UTIL.	
109	A	30"	80"	1 3/8"		STAIN	-	BIRCH	STAIN	6 - OFFICE	
110	B	36"	36"	1 3/8"		STAIN	-	-	-	5 - GATE	
111	A	36"	80"	1 3/8"		PRIME	-	POPLAR	-	4 - PASSAGE	
112	A	30"	71"	1 3/8"		STAIN	-	BIRCH	STAIN	2 - LOCK UTIL.	
201	A	30"	80"	1 3/8"		STAIN	-	POPLAR	PAINT	6 - OFFICE	
202	A	30"	80"	1 3/8"		STAIN	-	POPLAR	PAINT	4 - PASSAGE	
203	A	30"	80"	1 3/8"		STAIN	-	POPLAR	PAINT	4 - PASSAGE	
204	A	30"	80"	1 3/8"		STAIN	-	POPLAR	PAINT	4 - PASSAGE	
SF9	C	40 1/4"	86"	1 3/4"	PITCO		PITCO TEMP.			7 - FRONT DOOR	
SF10	C	40"	86"	1 3/4"	PITCO		PITCO TEMP.			7 - FRONT DOOR	
SF11	D	40"	87"	1 3/4"	CECO		SECUR. TEMP.			8 - REAR EGRESS	
SF12	E	39"	82"	1 3/4"	CECO		-			9 - MECH. ROOM	VERIFY SIZE W/ (E) MASONRY OP...

INTERIOR DOOR SCHEDULE NOTES:
1. DOOR TYPES ARE INDICATED ON THE DOOR TYPES LEGEND. SPECIFIC MANUFACTURER, MODEL, AND SERIES ARE LISTED ON THE DOOR TYPES LEGEND.
2. ALL DOORS TO BE PRIMED, PAINTED OR STAINED, AND SEALED ON ALL 6 SIDES PRIOR TO INSTALL. VERIFY TYPICAL STAIN WITH OWNER & ARCHITECT PRIOR FINISHING.
3. HARDWARE SETS ARE INDICATED ON THE DOOR HARDWARE SCHEDULE BELOW.

HDW. SET	QTY.	DESCRIPTION	MANUFACTURER	CATALOG #	FINISH	NOTES
1 - ADA BATH						
	3	HINGE	IVES	5BB1 4 X 4		
	1	CORRIDOR W/ DEADBOLT	SCHLAGE	L9456GD 06N L583-363 L283-722		VERIFY HANDLING PER DOOR
	1	SURFACE CLOSER	LCN	4011		VERIFY HANDLING PER DOOR
	1	KICK PLATE	IVES	8400 10" X 2" LDW		
	1	WALL STOP	IVES	WS406/407CVX		
	1	DOOR SEAL	REESE	797W	WHITE	
2 - LOCK UTIL.						
	3	HINGE	IVES	5BB1 4 X 4		
	1	STOREROOM LOCK	SCHLAGE	L9080GD 06A		VERIFY HANDLING PER DOOR
	1	OH STOP & HOLDER	GLYNN-JOHNSON	450F		-85 DEGREE DS, VERIFY HANDLING PER DOOR
	1	DOOR SEAL	REESE	797W	WHITE	
	1	WALL STOP	IVES	WS406/407CVX		
3 - DBL. CLOS.						
	6	HINGE	IVES	5BB1 3.5 X 3.5		
	1	BIFOLD HARDWARE	HETTICH	GRANT BI-FOLD 150: 113 525 0		
	2	DOOR PULL				VERIFY
4 - PASSAGE						
	3	HINGE	IVES	5BB1 4 X 4		
	1	PASSAGE LATCH	SCHLAGE	L9010 06A		VERIFY HANDLING PER DOOR
	1	WALL STOP	IVES	WS406/407CVX		
	1	DOOR SEAL	REESE	797W	WHITE	
5 - GATE						
	2	HINGE	BOMMER	3029-5 X 3 1/2		
	1	PLATE/HARDWARE				VERIFY
6 - OFFICE						
	3	HINGE	IVES	5BB1 4 X 4		
	1	OFFICE LOCK	SCHLAGE	L9050GD 06N L583-363		VERIFY HANDLING PER DOOR
	1	DOOR SEAL	REESE	797W	WHITE	
	1	WALL STOP	IVES	WS406/407CVX		
7 - FRONT DOOR						
	1	CONT. HINGE	DOOR MFR.	STANDARD	CLEAR	
	1	DEADLOCK	DOOR MFR.	STANDARD	CLEAR	
	1	WEATHER SEAL	DOOR MFR.	STANDARD	BLACK	
	1	DOOR SWEEP	DOOR MFR.	STANDARD	CLEAR	
	1	THRESHOLD	DOOR MFR.	ADA	CLEAR	
	1	PANIC HARDWARE	DOOR MFR.	MORTISE TYPE EXIT DEVICE	CLEAR	HARDWARE SHALL COMPLY W/ IBC 1008.1.10
	1	CYLINDER	DOOR MFR.	MORTISE TYPE	STANDARD	
	1	SURFACE CLOSER	DOOR MFR.	OVERHEAD SURFACE MOUNTED CLOSER	CLEAR	VERIFY HANDLING PER DOOR
	1	LEVER	DOOR MFR.	ADA LEVER	CLEAR	VERIFY HANDLING PER DOOR
8 - REAR EGRESS						
	1	CONT. HINGE	IVES	224HD	US28	
	1	RAIN DRIP	REESE	R201C	C	
	1	DOOR SEAL	REESE	797B	BLACK	
	1	DOOR SEAL	REESE	DST0C	C	
	1	DOOR SWEEP	REESE	323C	C	
	1	THRESHOLD	REESE	S28APR	A	
	1	SURFACE CLOSER	LCN	4111 SCUSH		VERIFY HANDLING PER DOOR
	1	PANIC HARDWARE	VON DUPRIN	9875-L-06-F		HARDWARE SHALL COMPLY W/ IBC 1008.1.10
	1	SFIC RIM CYLINDER	SCHLAGE	80-159	613	
	1	PERMANENT CORE	SCHLAGE	80-037	613	
9 - MECH. ROOM						
	1	CONT. HINGE	IVES	224HD	US28	
	1	STOREROOM LOCK	SCHLAGE	L9080GD 06A		VERIFY HANDLING PER DOOR, TACTILE WARNING ON HANDLE
	1	RAIN DRIP	REESE	R201C	C	
	1	DOOR SEAL	REESE	797B	BLACK	
	1	DOOR SEAL	REESE	DST0C	C	
	1	DOOR SWEEP	REESE	323C	C	
	1	THRESHOLD	REESE	S28APR	A	
	1	SURFACE CLOSER	LCN	4111 SCUSH		VERIFY HANDLING PER DOOR

DOOR TYPES LEGEND - NOT TO SCALE				
TYPE	OPENING ELEVATION	REVEAL ELEVATION	DESCRIPTION	QTY.
A			SOLID-CORE, FLUSH, BIRCH DOOR	14
B			SOLID CORE, FLUSH, BIRCH SWINGING GATE	1
C			PITCO FULL-LITE DOOR, NARROW STILES W/ 9-1/2" BOTTOM RAIL	2
D			HALF-LITE STEEL DOOR	1
E			STEEL DOOR	1
F				1
G				1
H			FULL-LOUVERED BIRCH DOOR, 100 SCIN MIN. OPENING SIZE	1

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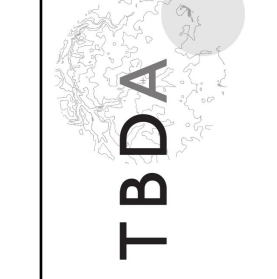
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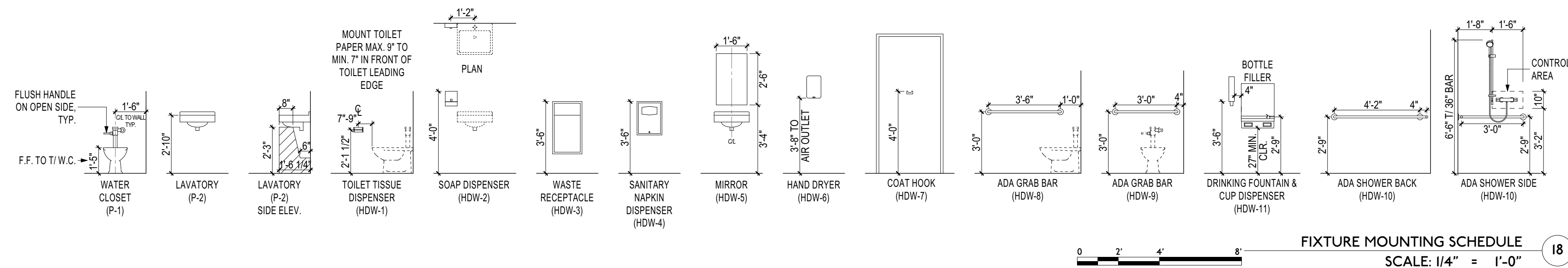
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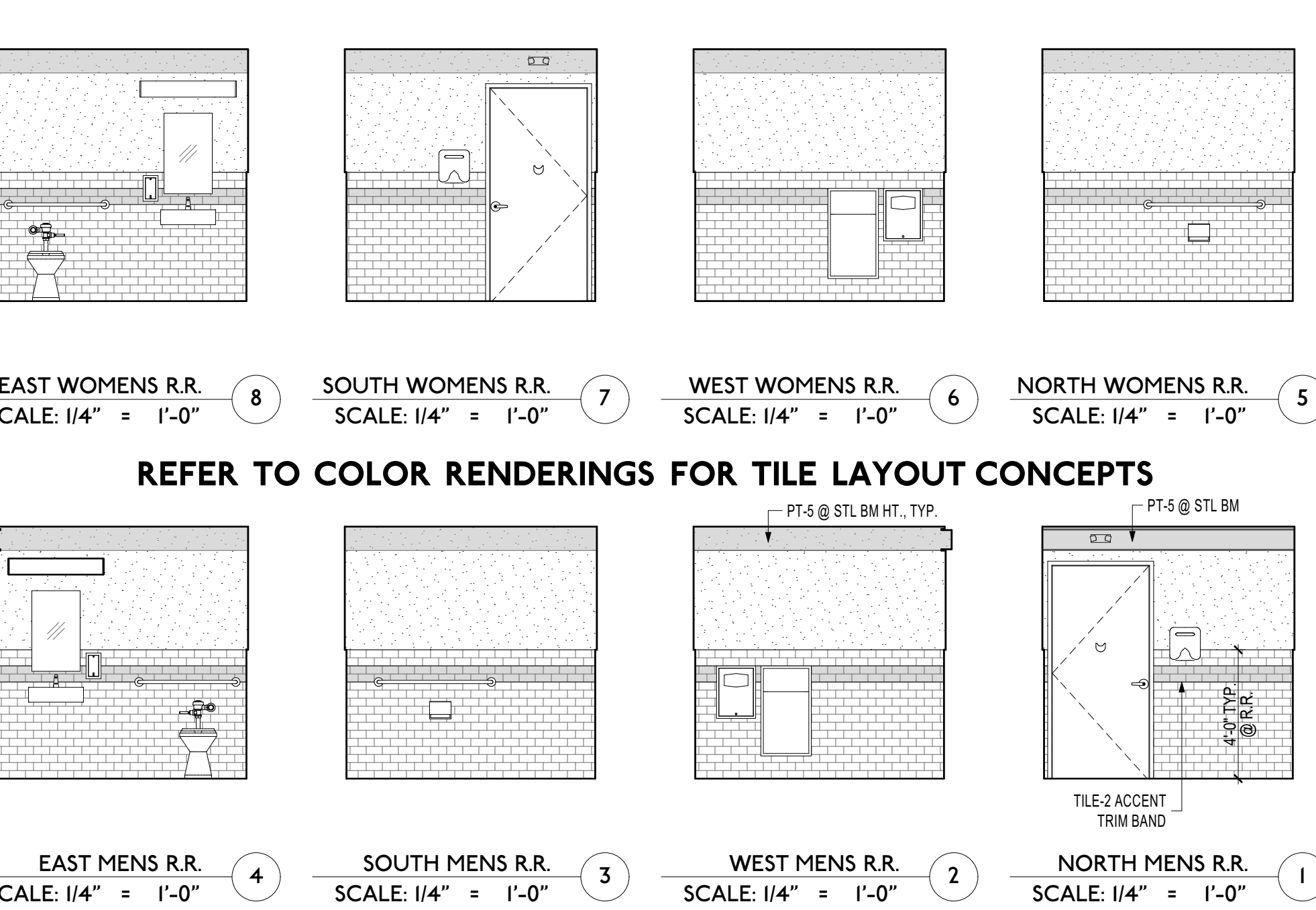
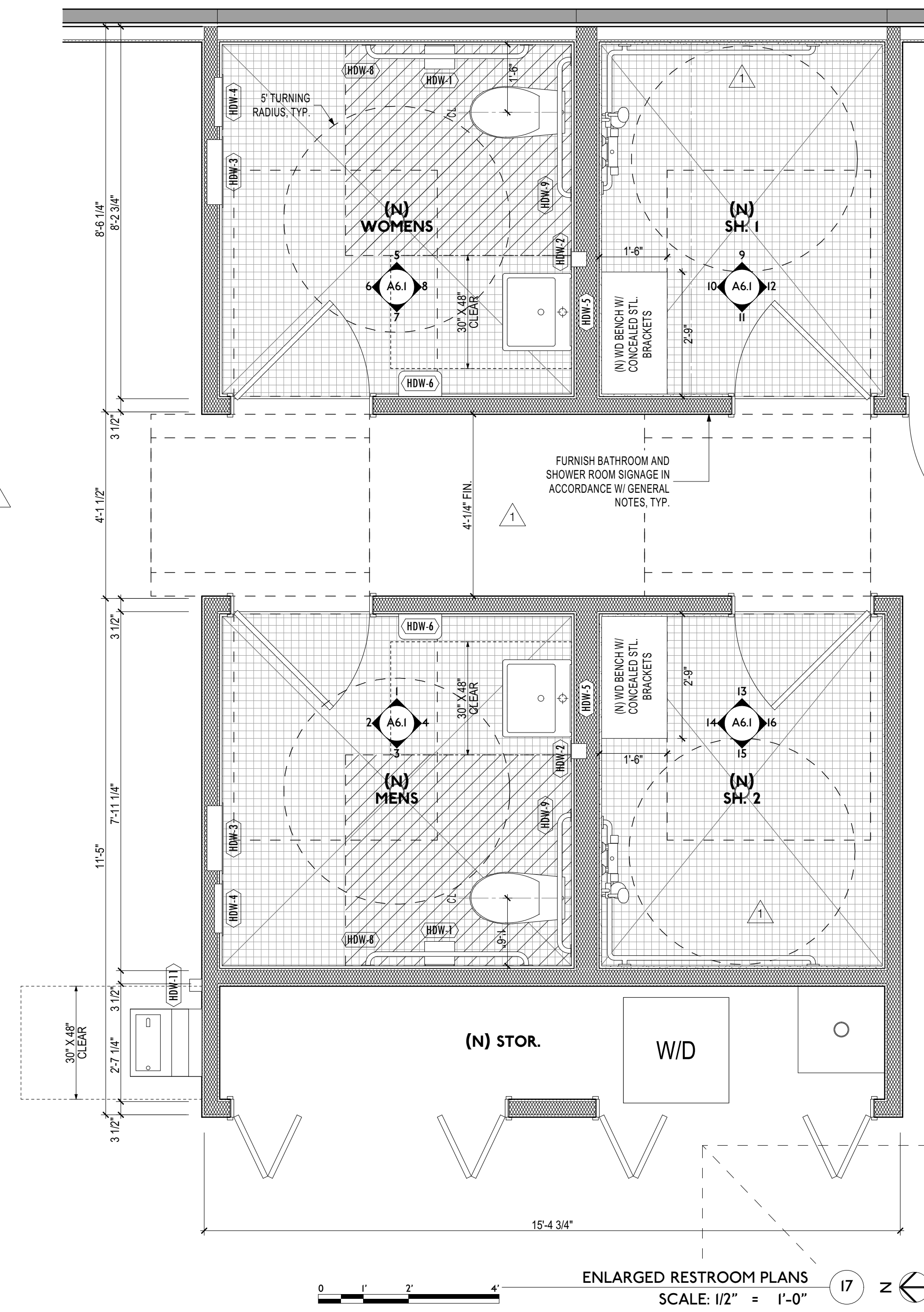
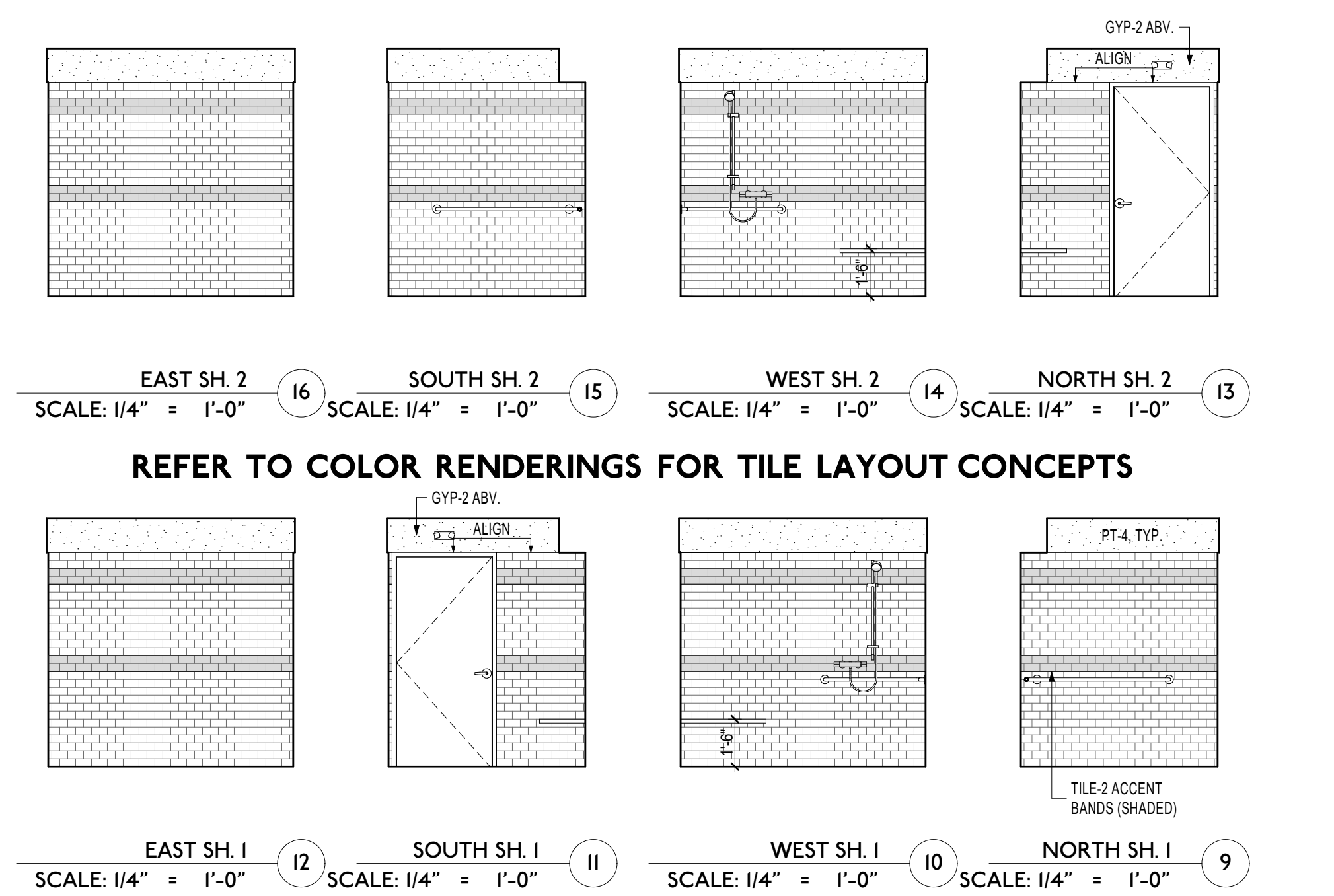


STORY	ROOM NAME	FLOOR	WALLS		CEILING		TRIM			CTP	MW / CABS.	NOTES
			MAT.	FIN.	MAT.	FIN.	BASE	CASING	CROWN			
FIRST FLOOR	(N) ENTRY	CONC-1	BRK-2, BRK-3	PT-1, PT-5	EXISTING	PT-3	BASE-1	CASE-1	-	-	-	(N) OVERHEAD TRELLIS SEE RCP
	(N) GYM FLOOR	CONC-1	GYP-1, WD-2	PT-1, PT-5	EXISTING	PT-3	BASE-1	CASE-1	-	CTP-1	MW-1	
	(N) KIDS ZONE	CONC-1	GYP-1	PT-1,	WD-4	PT-5	BASE-1	CASE-1	-	-	-	
	(N) MECHANICAL	CONC-2	-	-	-	-	-	-	-	-	-	
	(N) MEMBERS LOUNGE	CONC-1	GYP-1	PT-1	WD-4	PT-5	BASE-1	CASE-1	-	-	-	
	(N) MENS RESTROOM	TILE-1	GYP-2, GYP-3, TILE-2	PT-1	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	TILE-2 WAINSCOT @ WALLS TO 48" H.
	(N) OFFICE 3	CONC-2	GYP-1	PT-1	WD-4	PT-5	BASE-1	CASE-1	-	-	-	
	(N) SHOWER 1	TILE-1	GYP-3, TILE-2	-	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	TILE-2 WALLS FLOOR-TO-CEILING
	(N) SHOWER 2	TILE-1	GYP-3, TILE-2	-	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	TILE-2 WALLS FLOOR-TO-CEILING
	(N) VESTIBULE	CONC-1	BRK-1, BRK-2	-	GYP-2	PT-2	-	CASE-1	-	-	-	
	(N) WOMENS RESTROOM	TILE-1	GYP-2, GYP-3, TILE-2	PT-1	GYP-2	PT-2	TILE-2 (SEE NOTE)	CASE-1	-	-	-	TILE-2 WAINSCOT @ WALLS TO 48" H.
LOFT	(N) CONFERENCE ROOM	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	-	-	
	(N) OFFICE 1	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	-	-	
	(N) OFFICE 2	WD-3	GYP-1	PT-1	EXISTING	PT-3	BASE-2	CASE-1	-	CTP-1	MW-1	



MATERIAL SCHEDULE					
TYPE	ID	MFR/SOURCE	DESCRIPTION	COLOR/FINISH	NOTES
MASONRY.					
	BRK-1		FULL FACE BRICK	MATCH EXISTING NORTH, FACE BRICK	
	BRK-2		THIN BRICK	MATCH EXISTING NORTH, FACE BRICK	
	BRK-3		EXISTING INTERIOR BRICK FOR PAINT	PT-1, PT-2	
CONCRETE.					
	CONC-1		NEW TROWEL FINISHED CONC. SLAB.		
COUNTERTOP.					
	CTP-1	JOHN BOOS	RETAIL AREA: 1-1/2" THICK HARD ROCK MAPLE COUNTERTOP	BY MFR.	16.25 SQFT (24" X 8'-1.5')
	CTP-2	CORIAN	KITCHENETTE COUNTERTOP: 1/2" CORIAN SOLID SURFACE COUNTERTOP O/ PLYWOOD BACKER	NATURAL GRAY W/ 1-1/2" DOUBLE EASED EDGE	19.0 SQFT
GYPSUM BOARD, GYPSUM BOARD					
	GYP-1		5/8" & 1/2" GYPSUM BOARD		
	GYP-2		5/8" MOISTURE & MOLD RESISTANT GYPSUM BOARD		FOR USE IN WET LOCATIONS
	GYP-3		5/8" CEMENTITIOUS BACKER BOARD		FOR USE WITH TILE
MILLWORK.					
	MW-1		TYPICAL MILLWORK, BALTIC BIRCH CONSTRUCTION		
PAINT.					
	PT-1	BENJAMIN MOORE OR EQ.	TYPICAL WALL PAINT	GRANDMA'S SWEATER (787)	TYPICAL WALL COLOR, U.N.O. PER INTERIOR ELEVATIONS
	PT-2	BENJAMIN MOORE OR EQ.	ACCENT PAINT 1	BAYBERRY BLUE (790)	AS NOTED PER INTERIOR ELEV.
	PT-3	BENJAMIN MOORE OR EQ.	ACCENT PAINT 2	BANANA YELLOW (2022-40)	AS NOTED PER INTERIOR ELEV.
	PT-4	BENJAMIN MOORE OR EQ.	TYPICAL CEILING PAINT	ICE MIST (OC-67)	TYPICAL CEILING COLOR
	PT-5	BENJAMIN MOORE OR EQ.	TYPICAL PAINT FOR STRUCTURAL STEEL; ACCENT 3	CHICAGO BLUES (804)	
	PT-6		TYPICAL STAIN FOR WOOD TRIM AND PANELING	CLEAR SEAL	
TILE.					
	TILE-1	DALTILE	RESTROOM & SHOWER FLOOR TILE: KEYSTONES (UNGLAZED), 1X1 MOSAIC (12" X 24" SHEET), RANDOM MIX W/ 3 COLORS	3 COLORS 33% EACH: AQUA GLOW (0197); SEA MIST (0F41); GALAXY (1469)	SEE COLOR RENDERINGS FOR PROPOSED TILE LAYOUTS
	TILE-2	DALTILE	RESTROOM & SHOWER WALL TILE: RITTENHOUSE SQUARE, 3X6 SUBWAY TILE, RANDOM MIX W/ 3 COLORS; SEPERATE TILE COLOR IS INDICATED FOR ACCENT	3 COLORS 33% EACH: AQUA GLOW (0197); SEA MIST (0F41); GALAXY (1469); USE SUNFLOWER (DH50) AS ACCENT (SEE INT. ELEV.)	SEE COLOR RENDERINGS FOR PROPOSED TILE LAYOUTS
WOOD.					
	WD-1		BIRCH WOOD FOR TRIM	CLEAR SEAL	
	WD-2		1/2" & 3/4" BALTIC BIRCH PLYWOOD	CLEAR SEAL	
	WD-3		LOFT FLOORING: EXPOSED 2X6 STRUCTURAL DECKING	CLEAR SEAL	REMOVE LUMBER YARD STAMPS AND MARKING
	WD-4		EXPOSED DIMENSIONAL FRAMING, VISUALLY GRADE NO. 1 DENSE	CLEAR SEAL	REMOVE LUMBER YARD STAMPS AND MARKING

HARDWARE SCHEDULE							
ID	DESCRIPTION	QTY.	BRAND	SERIES	MODEL #	FINISH	NOTES
HDW-1	TOILET PAPER HOLDER	2					
HDW-2	SOAP DISPENSER	2					
HDW-3	RECESS. WASTE RECEPTACLE	2					
HDW-4	SANITARY NAPKIN DISPENSER	2					
HDW-5	MIRROR	2					
HDW-6	ELECTRIC HAND DRYER	2					
HDW-7	R.R. COAT HOOK	2					
HDW-8	42" ADA GRAB BAR	2					
HDW-9	36" ADA GRAB BAR	2					
HDW-10	36" X 50" ADA TWO-WALL SHOWER GRAB BAR	2					
HDW-11	WALL-MOUNT CUP DISPENSER	1					OWNER TO PROVIDE CUPS
HDW-12	WALL MOUNT HANDRAIL BRACKET	10					



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PROFESSIONAL ARCHITECT

REGISTERED ARCHITECT

STATE OF ILLINOIS

PROFESSIONAL DESIGN FIRM REGISTRATION # 164.004947

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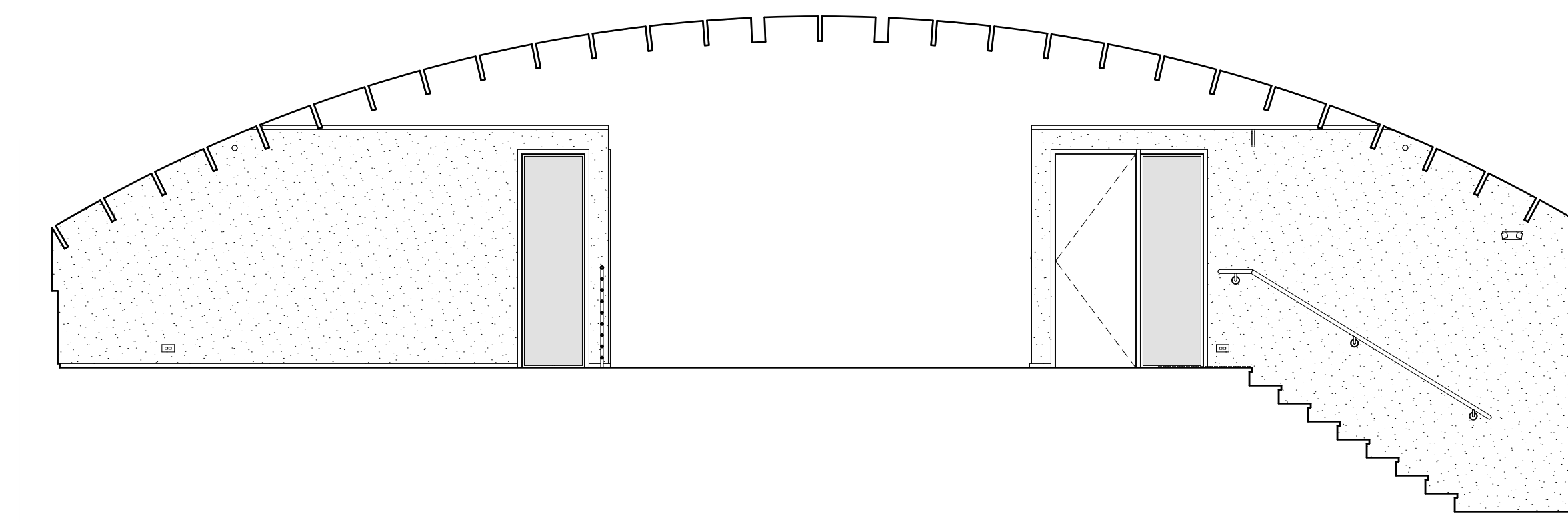
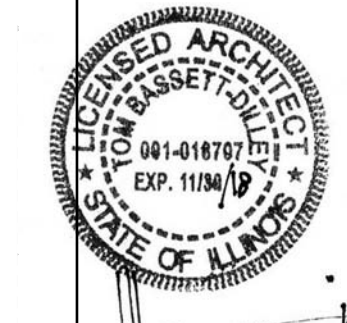
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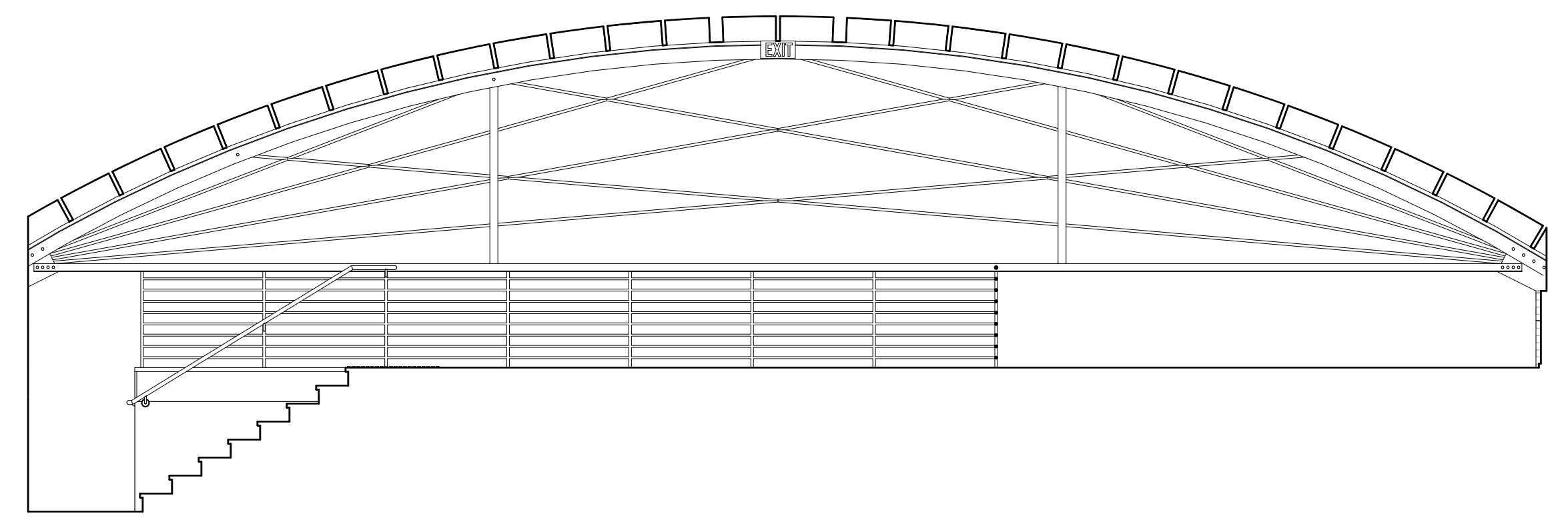
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INTERIOR ELEV: RESTROOMS, FINISH SCHEDULES

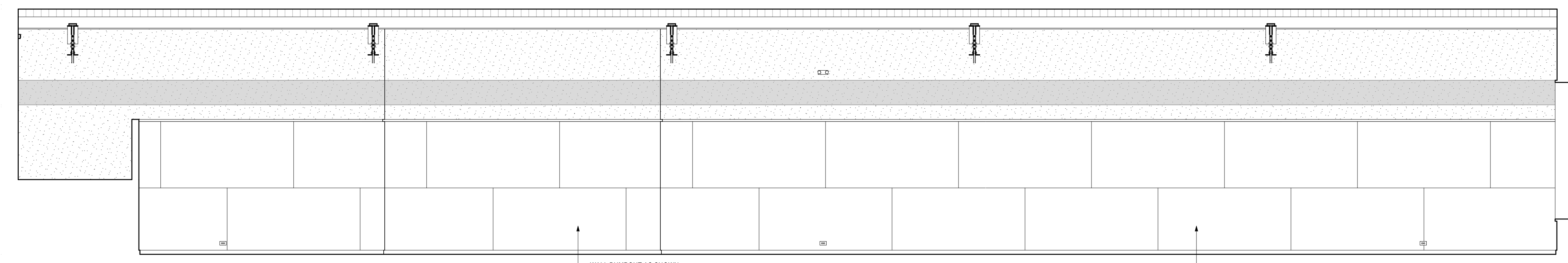
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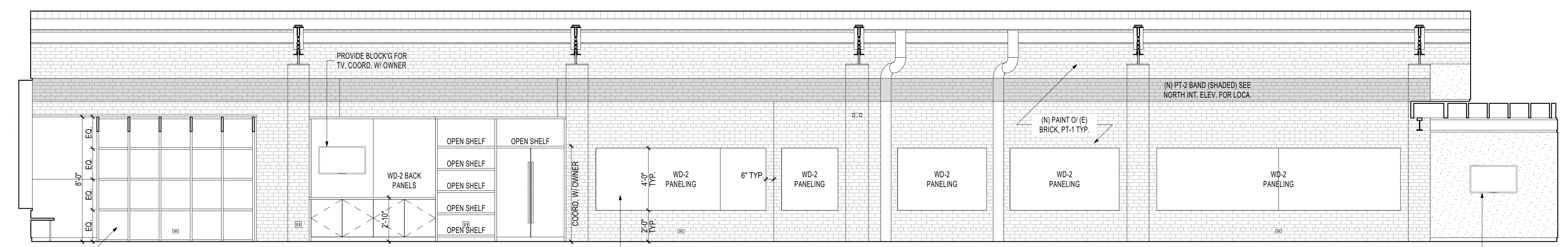
SOUTH LOFT HALLWAY
SCALE: 1/4" = 1'-0" 6



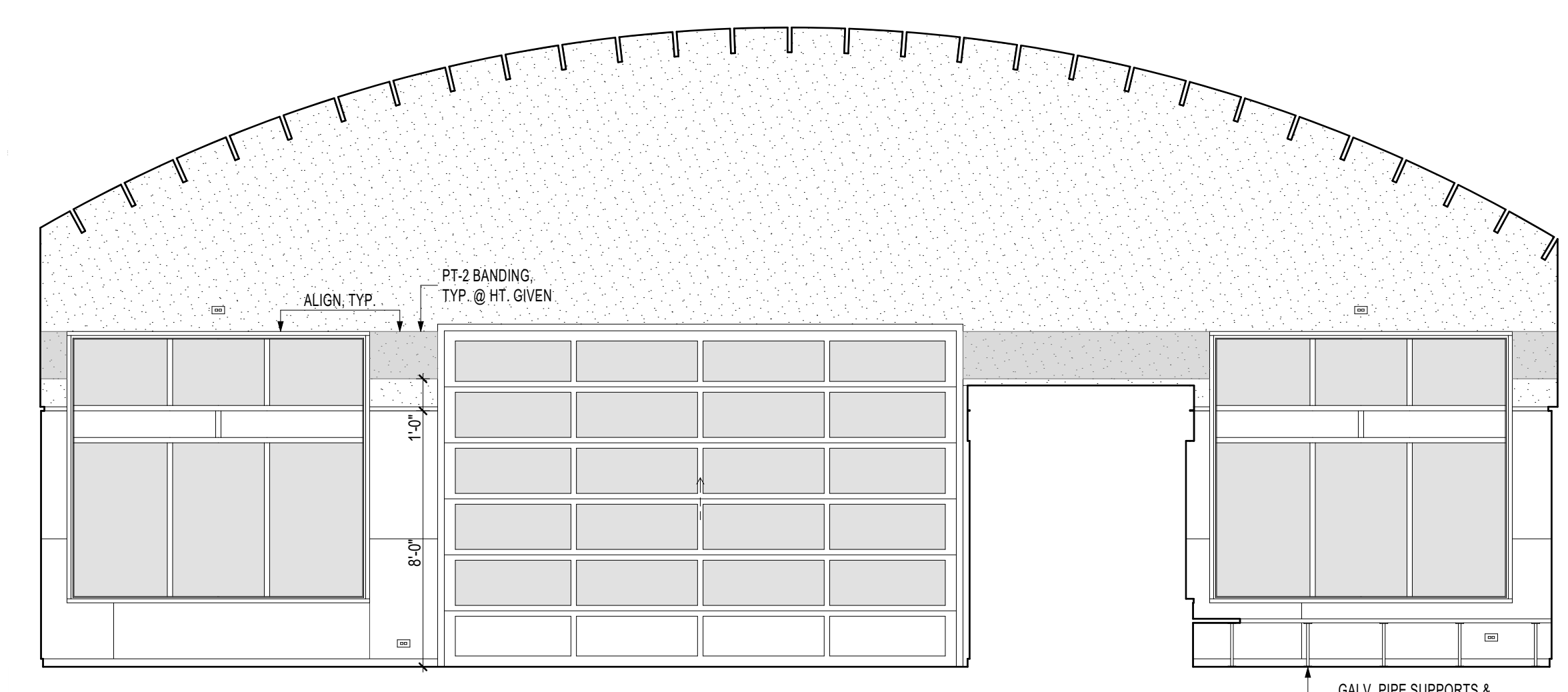
NORTH LOFT HALLWAY
SCALE: 1/4" = 1'-0" 5



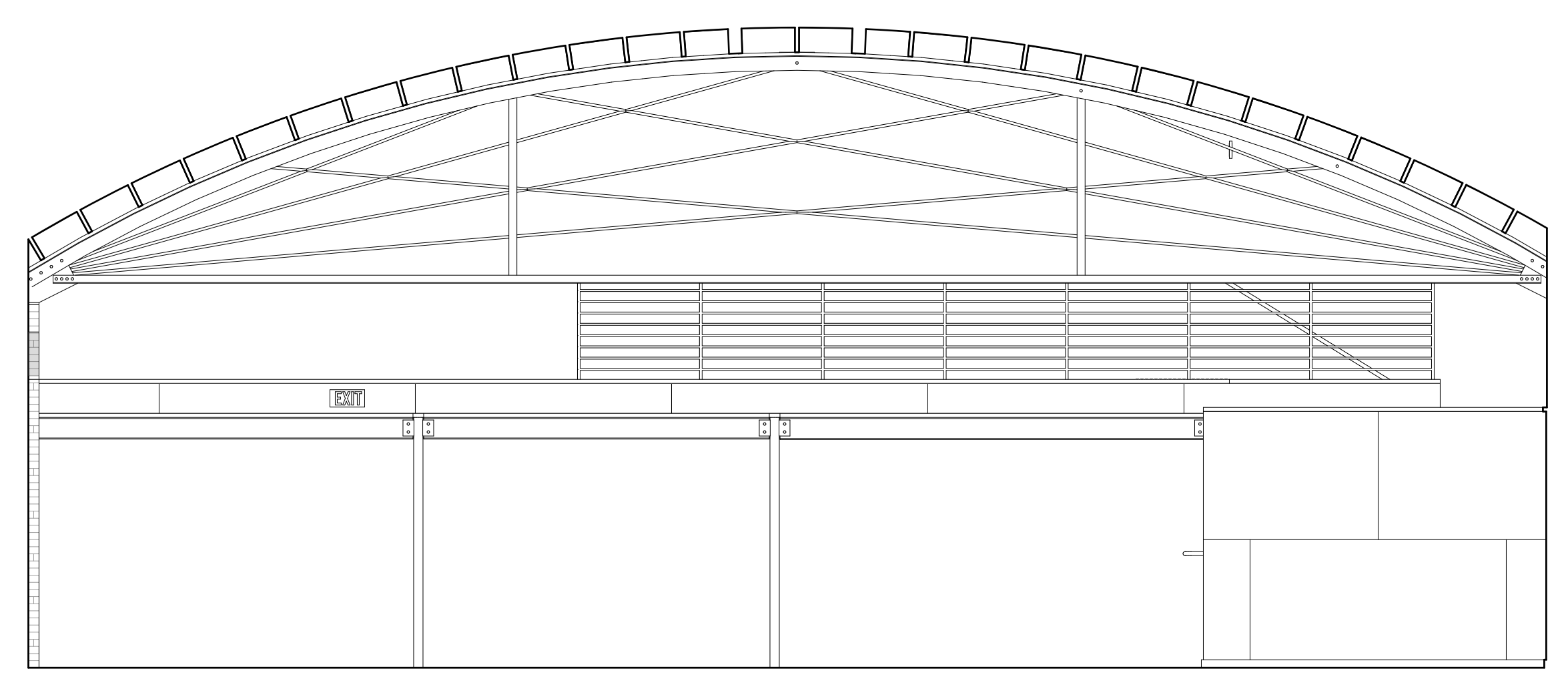
WEST GYM OVERALL
SCALE: 1/4" = 1'-0" 4



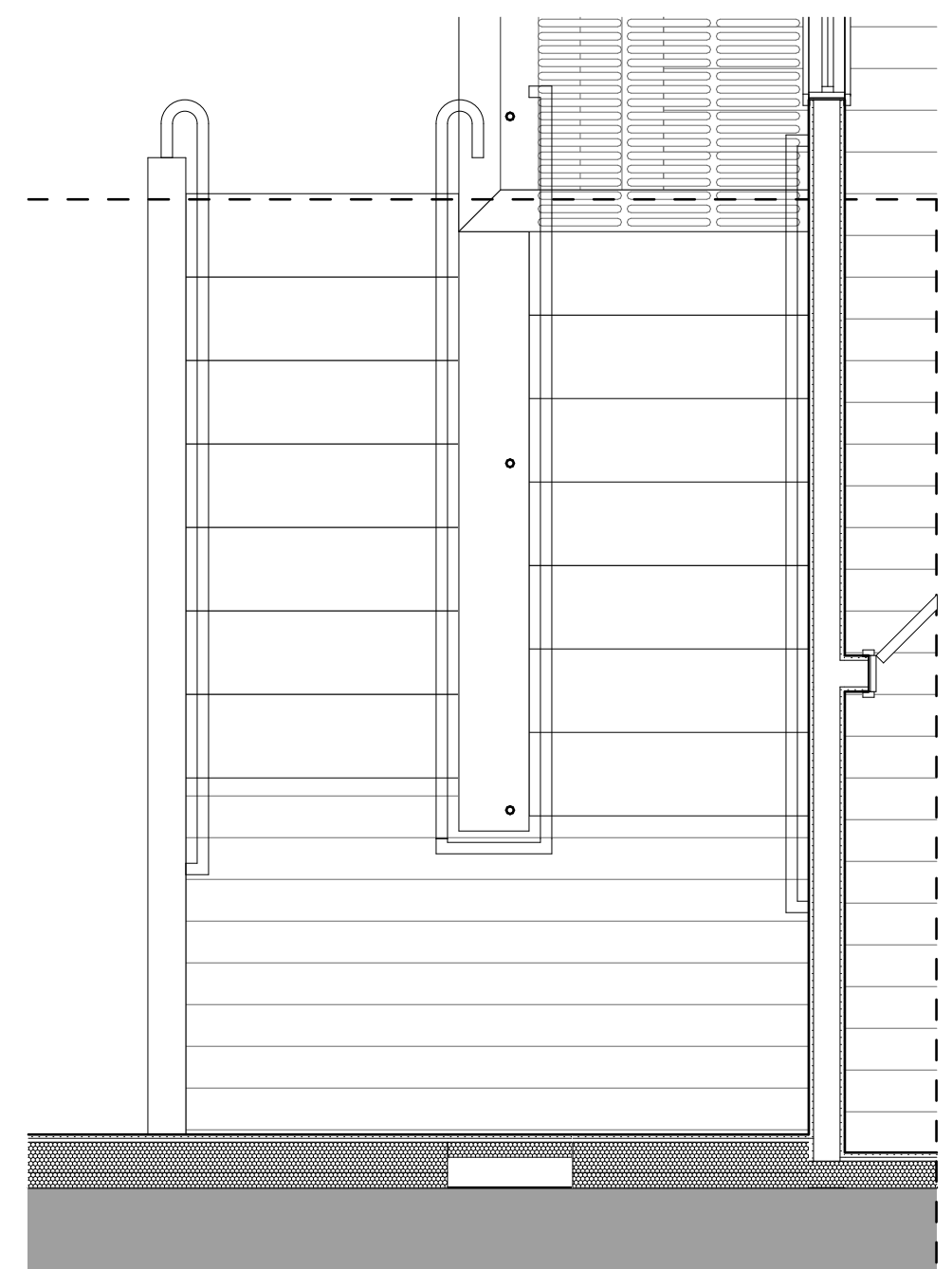
EAST GYM OVERALL
SCALE: 1/4" = 1'-0" 3



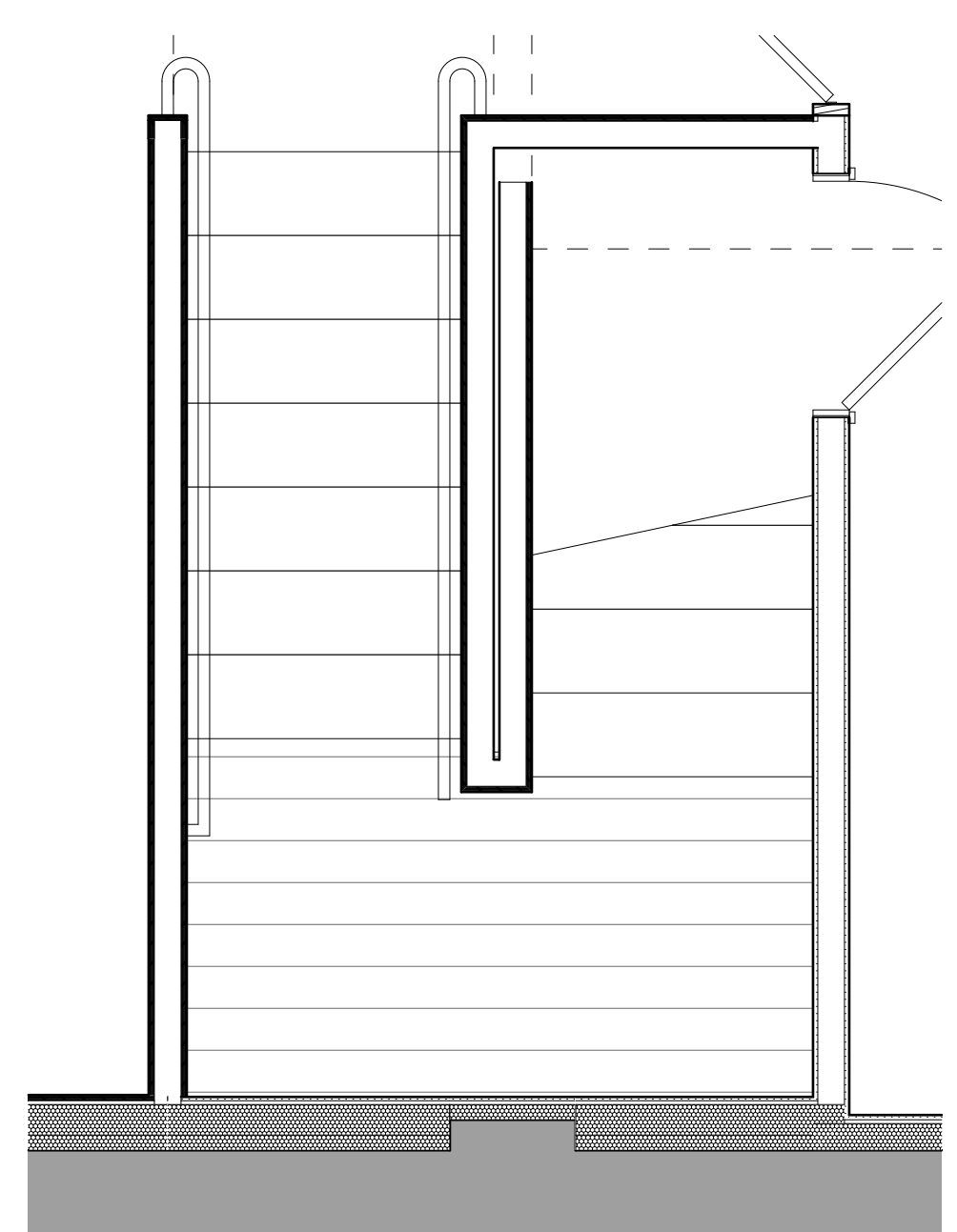
NORTH GYM OVERALL
SCALE: 1/4" = 1'-0" 2



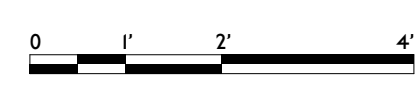
SOUTH GYM OVERALL
SCALE: 1/4" = 1'-0" 1

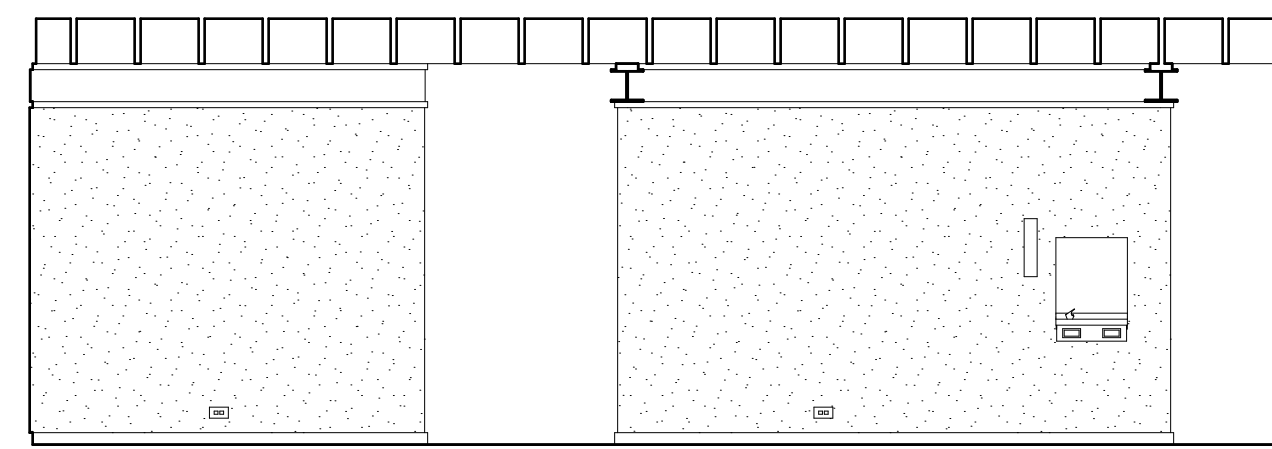


ENLARGED LOFT STAIR PLAN
SCALE: 1/2" = 1'-0" 8

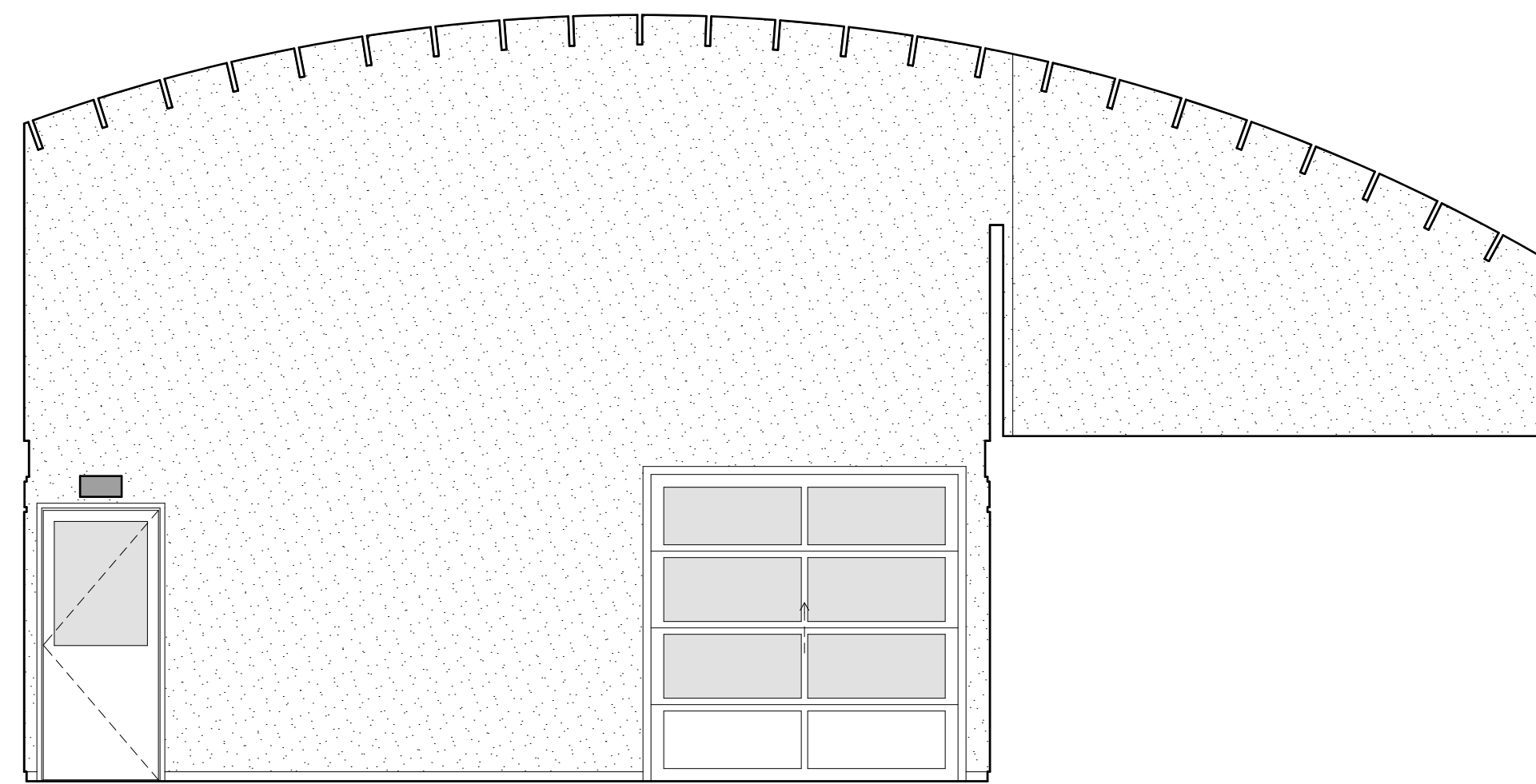


ENLARGED 1ST FLR STAIR PLAN
SCALE: 1/2" = 1'-0" 7

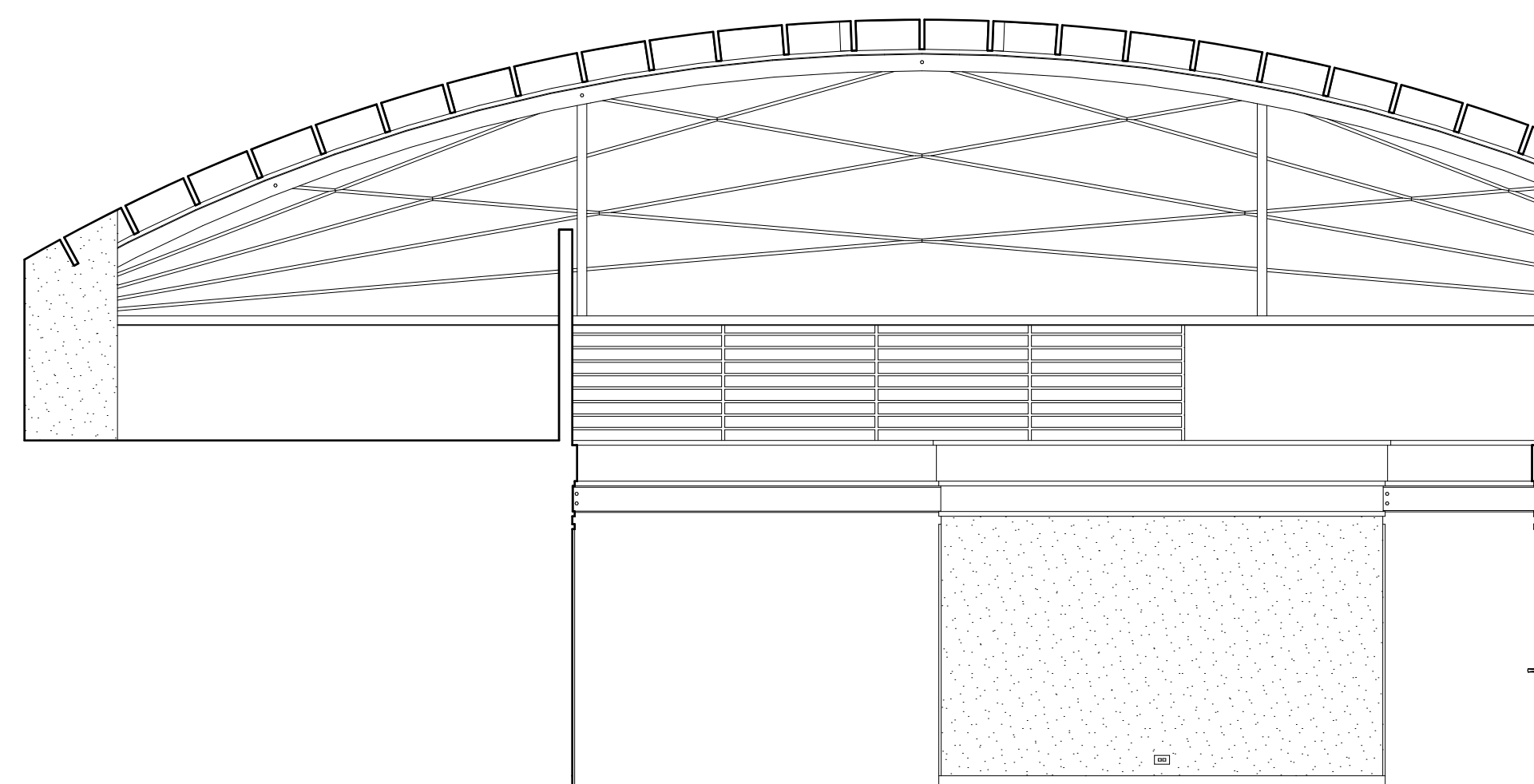




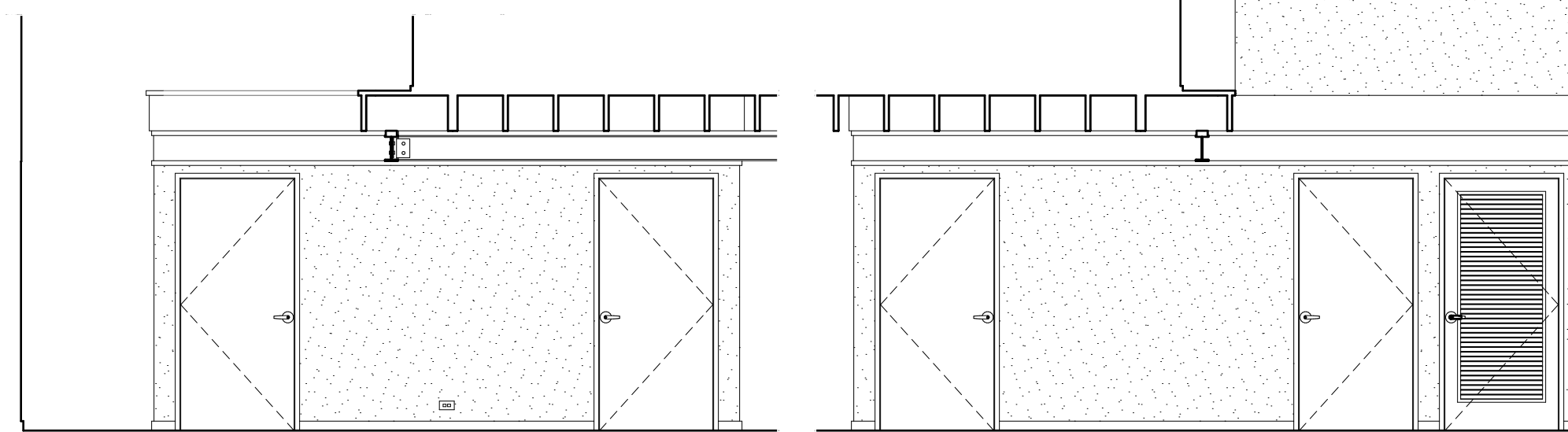
SOUTH MEMBERS LOUNGE
SCALE: 1/4" = 1'-0"



SOUTH REAR HALLWAY
SCALE: 1/4" = 1'-0"

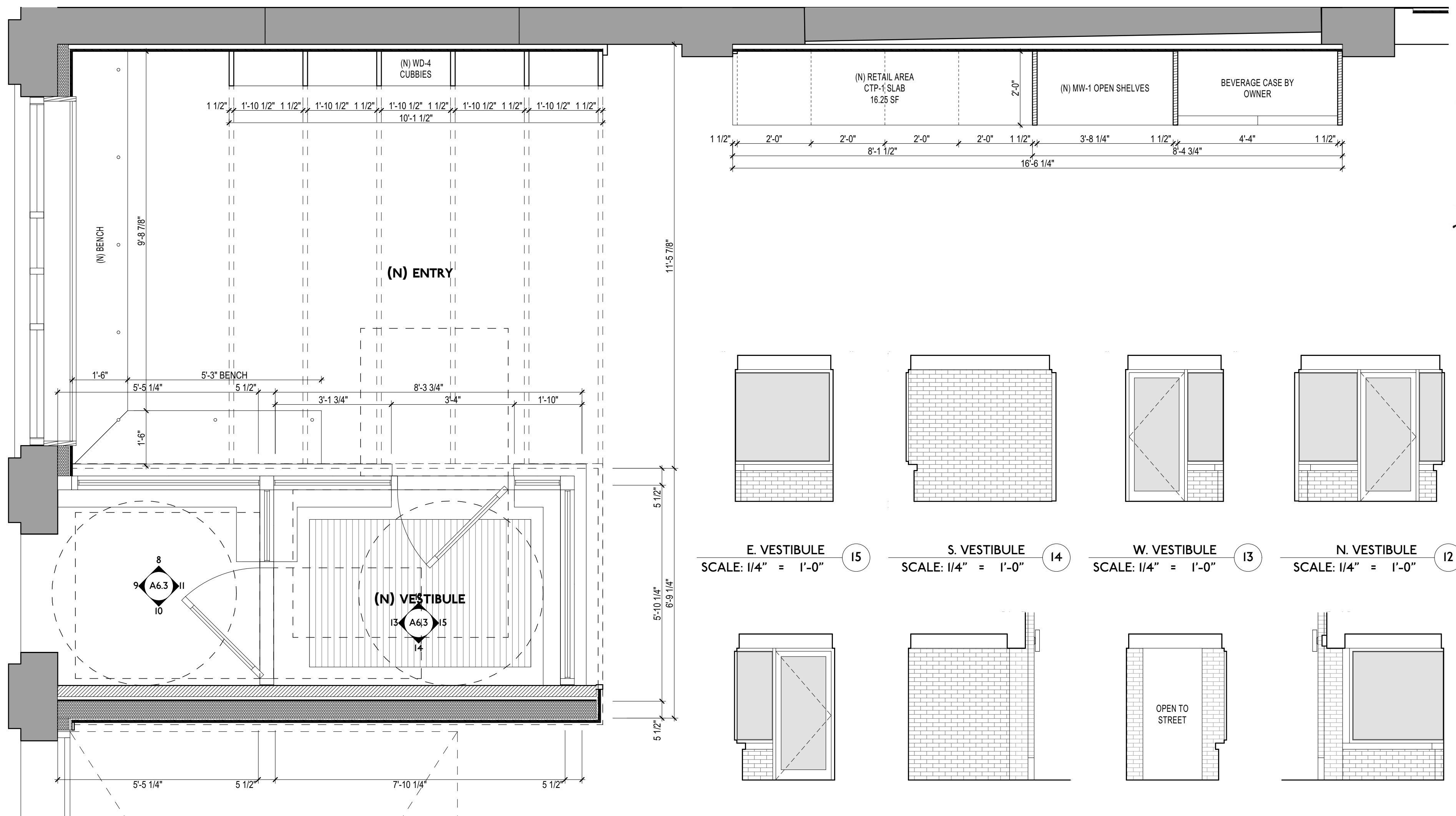


NORTH REAR HALLWAY
SCALE: 1/4" = 1'-0"



WEST REAR HALLWAY
SCALE: 1/4" = 1'-0"

EAST REAR HALLWAY
SCALE: 1/4" = 1'-0"



ENLARGED ENTRY PLAN
SCALE: 1/2" = 1'-0"

E. VESTIBULE
SCALE: 1/4" = 1'-0"

S. VESTIBULE
SCALE: 1/4" = 1'-0"

W. VESTIBULE
SCALE: 1/4" = 1'-0"

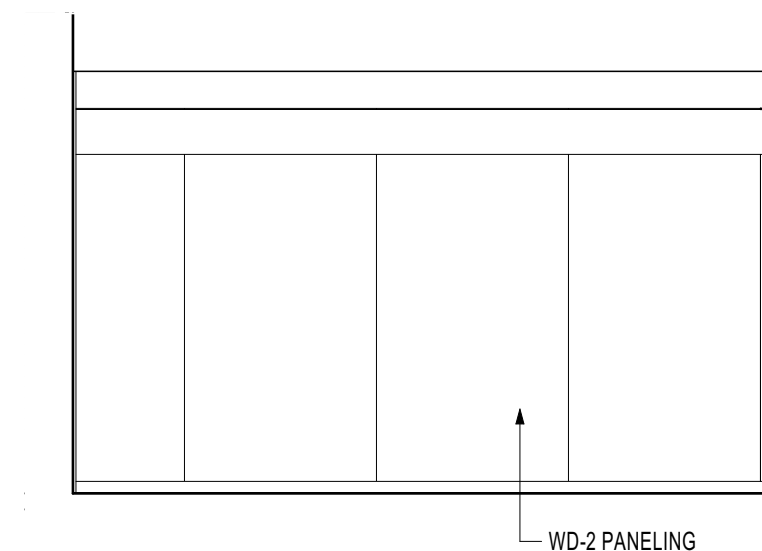
N. VESTIBULE
SCALE: 1/4" = 1'-0"

E. COVERED ENTRY
SCALE: 1/4" = 1'-0"

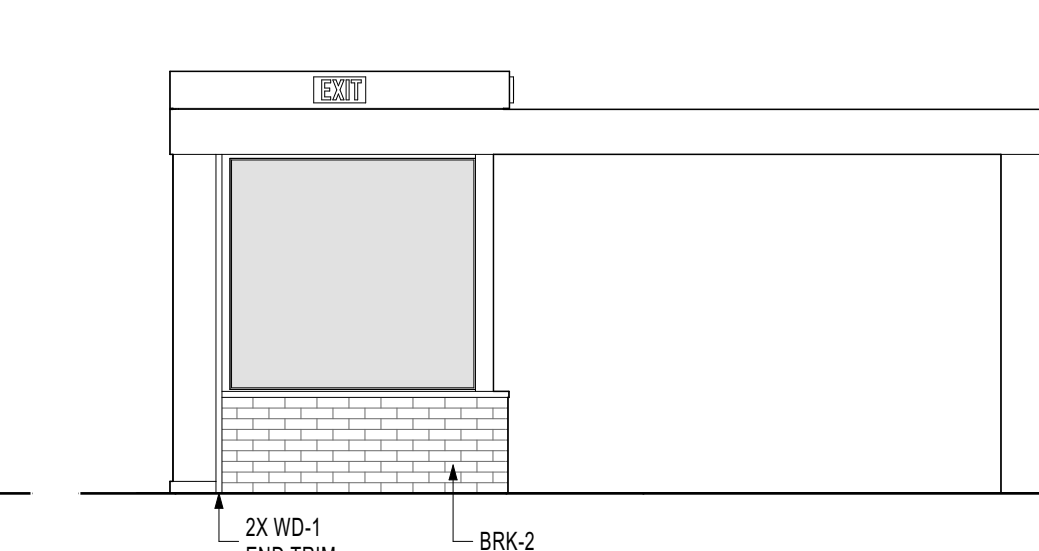
S. COVERED ENTRY
SCALE: 1/4" = 1'-0"

W. COVERED ENTRY
SCALE: 1/4" = 1'-0"

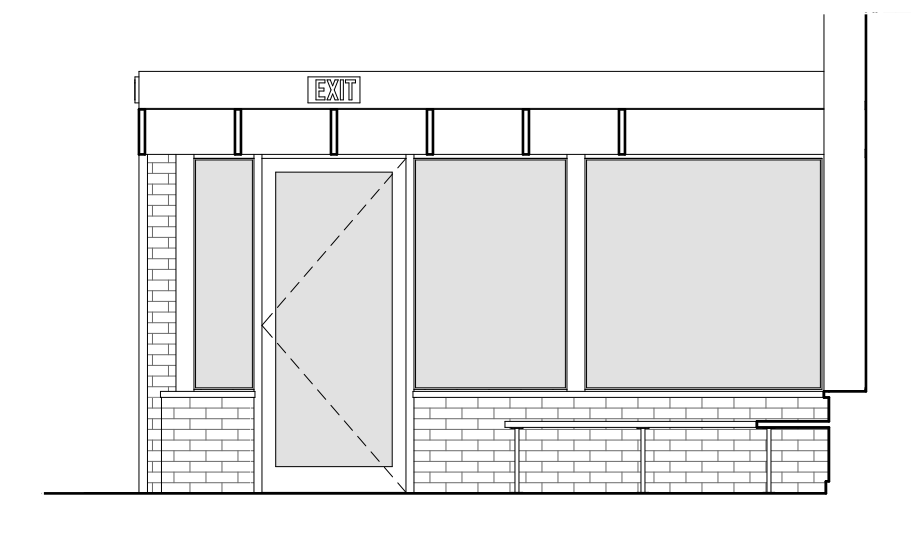
N. COVERED ENTRY
SCALE: 1/4" = 1'-0"



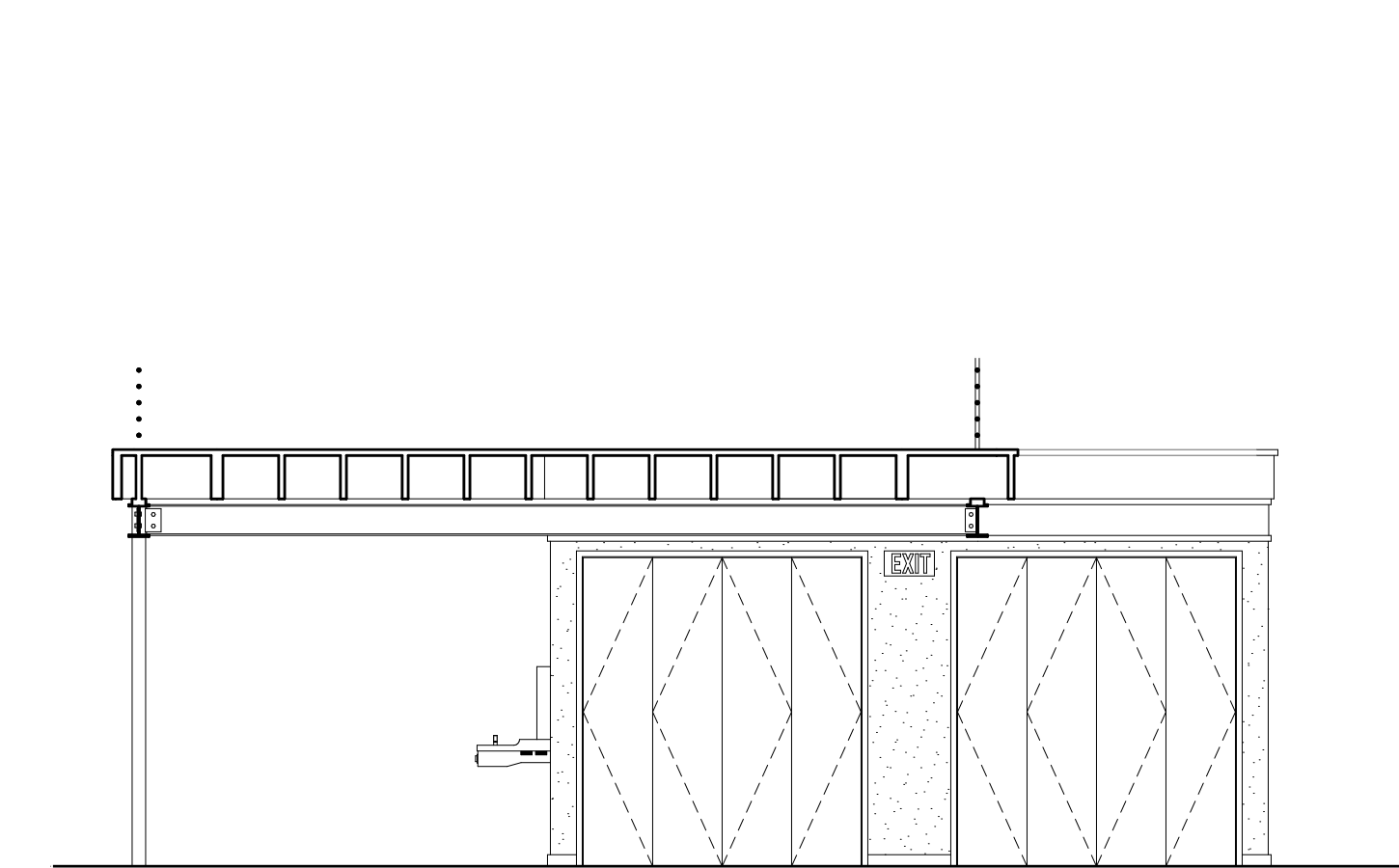
EAST GYM/ENTRY WALL
SCALE: 1/4" = 1'-0"



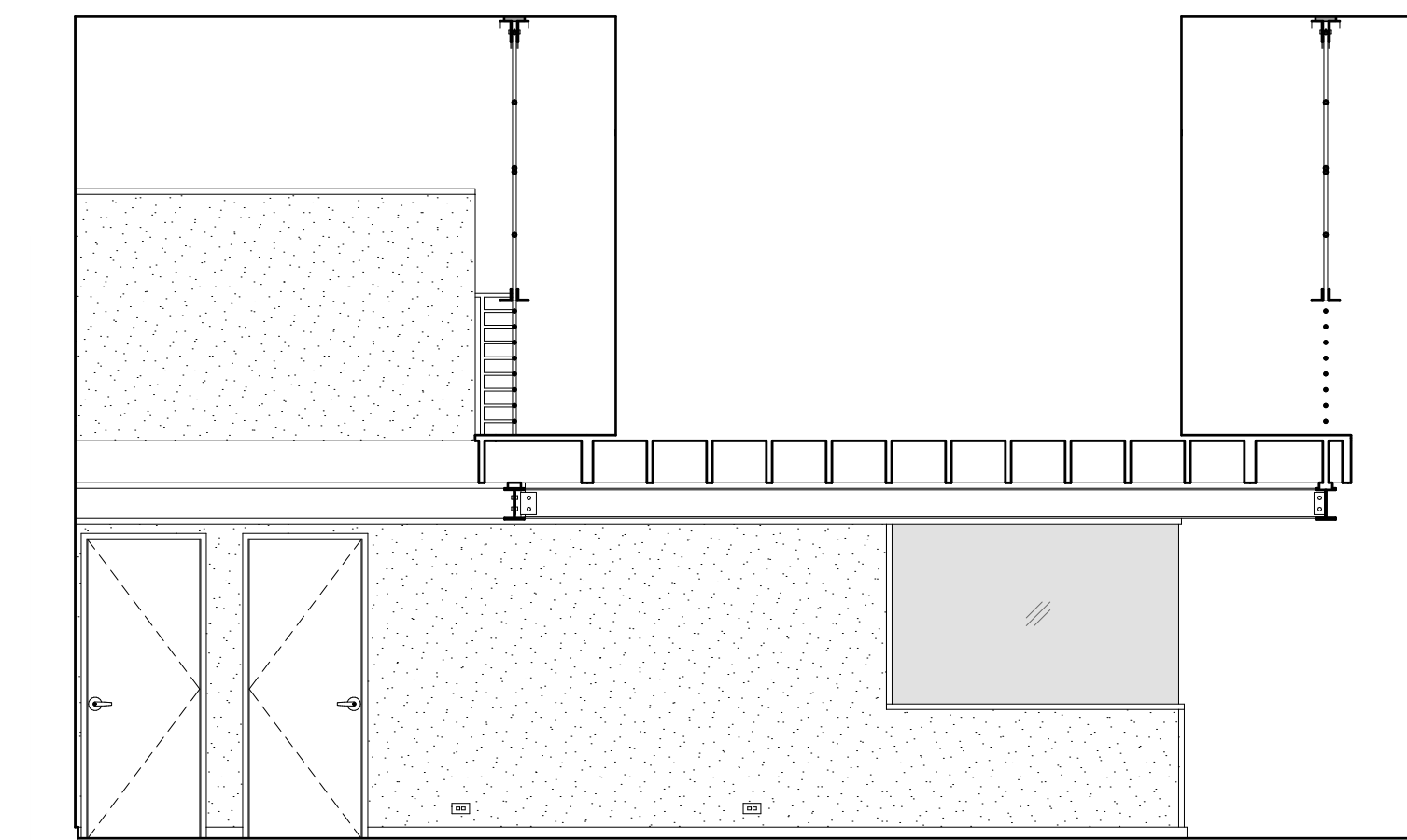
NORTH ENTRY/VESTIBULE
SCALE: 1/4" = 1'-0"



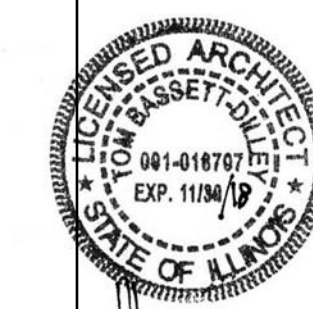
WEST ENTRY
SCALE: 1/4" = 1'-0"

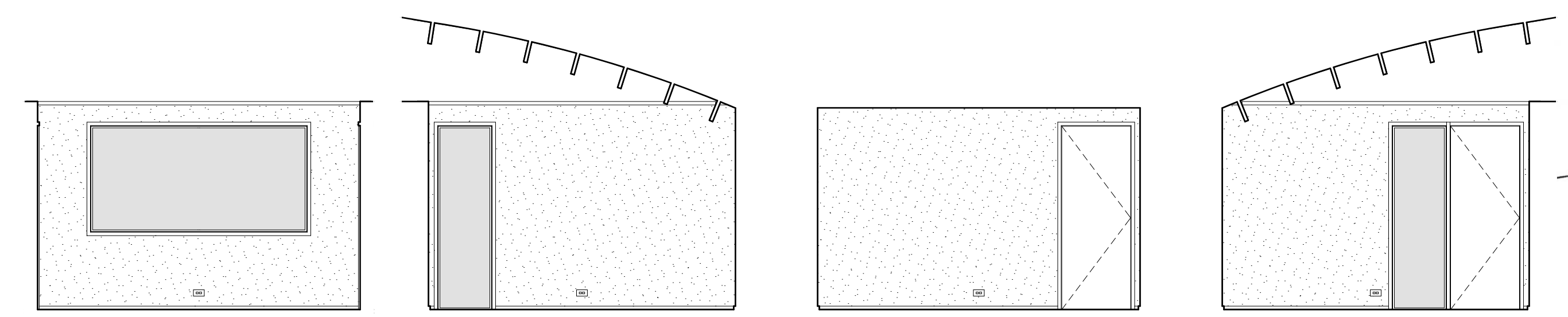
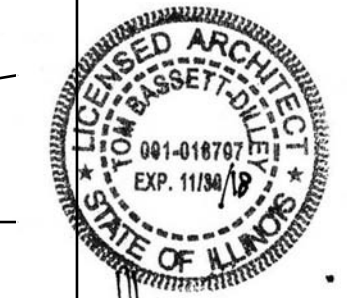


WEST REAR CORRIDOR
SCALE: 1/4" = 1'-0"

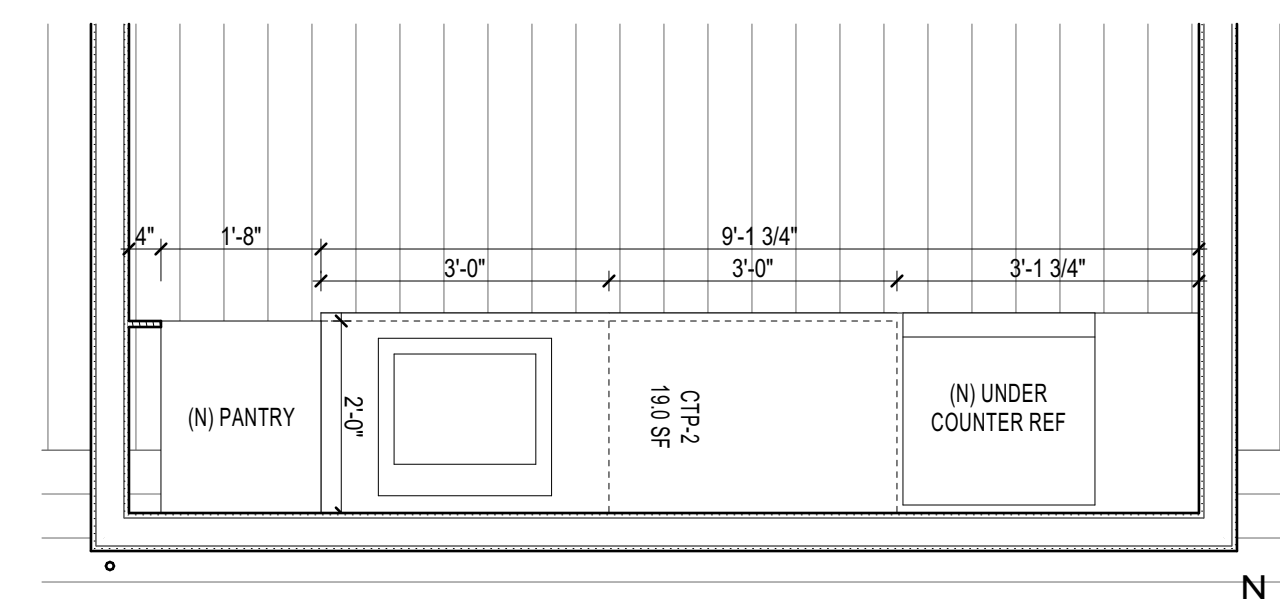


EAST REAR CORRIDOR
SCALE: 1/4" = 1'-0"

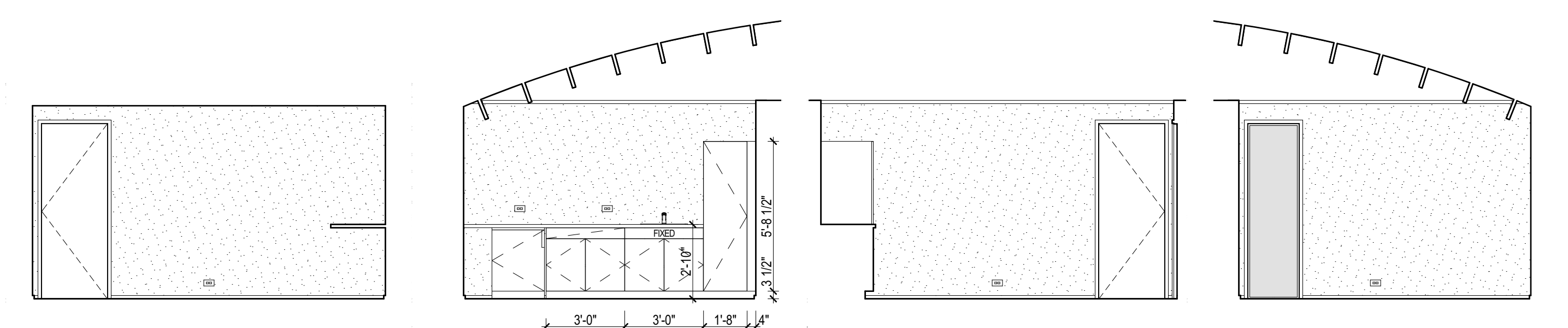




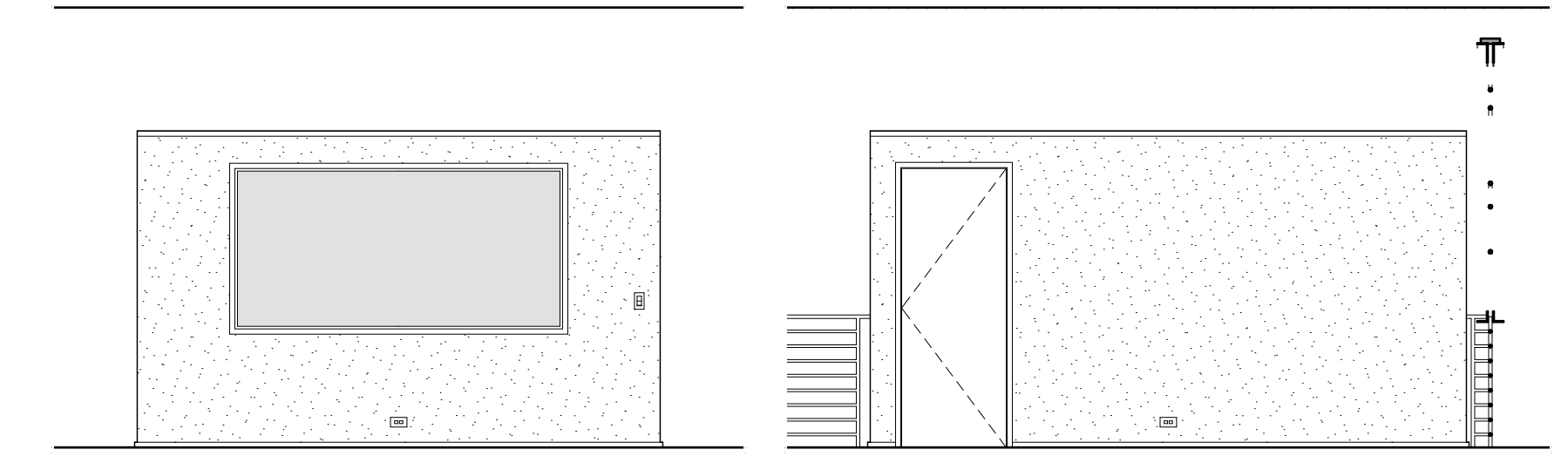
EAST OFFICE 1 SCALE: 1/4" = 1'-0" 19
SOUTH OFFICE 1 SCALE: 1/4" = 1'-0" 18
WEST OFFICE 1 SCALE: 1/4" = 1'-0" 17
NORTH OFFICE 1 SCALE: 1/4" = 1'-0" 16



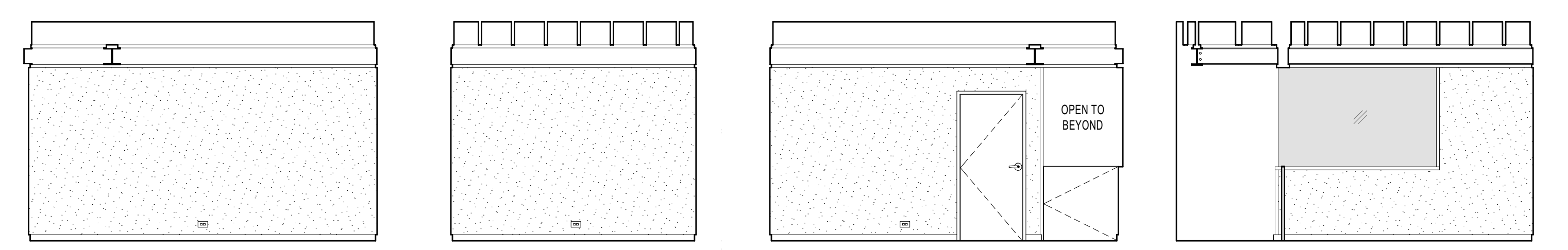
ENLARGED KITCHENETTE PLAN SCALE: 1/2" = 1'-0" 15



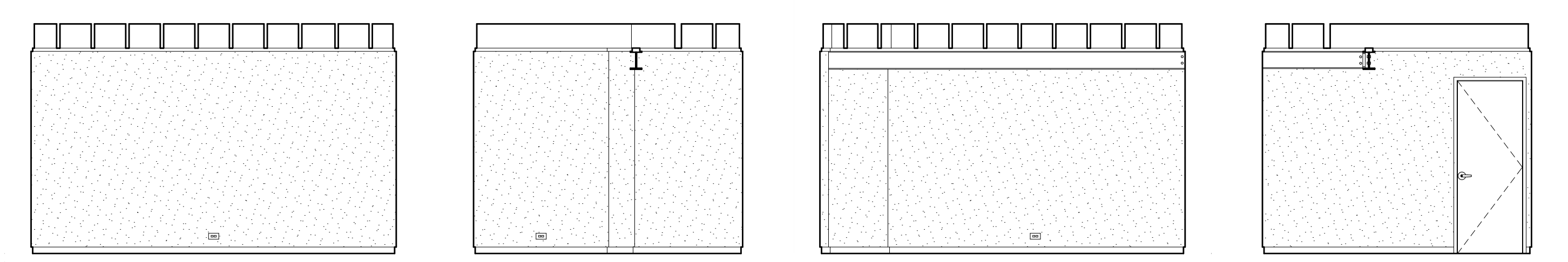
EAST OFFICE 2 SCALE: 1/4" = 1'-0" 14
SOUTH OFFICE 2 SCALE: 1/4" = 1'-0" 13
WEST OFFICE 2 SCALE: 1/4" = 1'-0" 12
NORTH OFFICE 2 SCALE: 1/4" = 1'-0" 11



WEST CONFERENCE ROOM SCALE: 1/4" = 1'-0" 10
EAST CONFERENCE ROOM SCALE: 1/4" = 1'-0" 9



EAST KIDS ROOM SCALE: 1/4" = 1'-0" 8
SOUTH KIDS ROOM SCALE: 1/4" = 1'-0" 7
WEST KIDS ROOM SCALE: 1/4" = 1'-0" 6
NORTH KIDS ROOM SCALE: 1/4" = 1'-0" 5



EAST OFFICE 3 SCALE: 1/4" = 1'-0" 4
SOUTH OFFICE 3 SCALE: 1/4" = 1'-0" 3
WEST OFFICE 3 SCALE: 1/4" = 1'-0" 2
NORTH OFFICE 3 SCALE: 1/4" = 1'-0" 1

INTERIOR WINDOW SCHEDULE											
ID	WINDOW SIZING				HEADER	HEAD HEIGHT	OPERATION	FINISHES		GLAZING	NOTES
	R.O.		UNIT SIZE					INTERIOR	EXTERIOR		
	WIDTH	HEIGHT	WIDTH	HEIGHT							
INT1	25 1/4"	82"	24 3/4"	81 1/2"	N/A	82"	FIXED	WD-1	WD-1	CLEAR, TEMP.	SITE BUILT OR PREFAB. INTERIOR WINDOW, TYP.
INT2	96"	48"	95 1/2"	47 1/2"	N/A	82"	FIXED	WD-1	WD-1	CLEAR, TEMP.	
INT3	25 1/4"	82"	24 3/4"	81 1/2"	N/A	82"	FIXED	WD-1	WD-1	CLEAR, TEMP.	
INT4	25 1/4"	82"	24 3/4"	81 1/2"	N/A	82"	FIXED	WD-1	WD-1	CLEAR, TEMP.	

HVAC GENERAL NOTES:

- WORK INCLUDED SHALL INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT TO COMPLETE THE HVAC AND RELATED SYSTEMS AS SHOWN AND IMPLIED FROM THESE NOTES AND DRAWINGS. HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT AND APPURTENANCES NECESSARY FOR COMPLETE WORKING HVAC SYSTEMS.
 - THE HVAC/MECHANICAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO VERIFY THE EXACT SCOPE AND RESPONSIBILITY OF THEIR WORK WITH THE GENERAL CONTRACTOR AND LANDLORD'S REPRESENTATIVES.
 - ALL SUBCONTRACTORS TO PROVIDE AND INSTALL FIRE STOPPING AROUND ALL PENETRATIONS THRU ALL FIRE-RATED WALLS AND CEILINGS. FIRE-STOPPING SHALL EQUAL IN FIRE-RATING TO WALLS, FLOORS AND CEILINGS WHICH PENETRATIONS PASS THRU. SEE ARCHITECTURAL PLANS FOR FIRE-RATING REQUIREMENTS.
 - ALL MATERIALS, WORKMANSHIP AND INSTALLATION SHALL COMPLY WITH ALL APPLICABLE (VILLAGE OF OAK PARK) BUILDING CODES AND ORDINANCES AND OWNER REQUIREMENTS.
 - THE HVAC CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE ALL WORK AND MATERIAL FOR 12 MONTHS FROM DATE OF FINAL COMPLETION OF THE PROJECT AGAINST ALL DEFECTS OF MATERIAL, EQUIPMENT AND WORKMANSHIP. ALL DEFECTS SHALL BE CORRECTED AT NO COST TO THE OWNER DURING THE GUARANTEE PERIOD.
 - THE HVAC CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AS REQUIRED FOR HIS WORK AND PAY FOR ALL NECESSARY INSPECTIONS AS REQUIRED.
 - VERIFY FLOOR PLANS AND LAYOUTS WITH CURRENT ARCHITECTURAL FLOOR PLANS AND WITH THE GENERAL CONTRACTOR REVISIONS.
 - THE DIAGRAMS ARE SCHEMATIC. ACTUAL ROUTING OF ALL DUCTWORK IS TO BE REVIEWED WITH THE GENERAL CONTRACTOR. THE HVAC CONTRACTOR IS RESPONSIBLE FOR CONFORMITY WITH REQUIREMENTS OF THE PLANS AND NOTES, CORRECT DETAILS AND FIT OF THE PARTS WHEN ASSEMBLED.
 - ALL MECHANICAL EQUIPMENT AND MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.
 - SEE MECHANICAL EQUIPMENT SPECIFIED ON THIS DRAWING. SUBSTITUTIONS FOR SPECIFIED EQUIPMENT ARE ACCEPTABLE IF APPROVED BY THE ARCHITECT/ENGINEER OR OWNER IN WRITING. ALL EQUIPMENT SHALL BEAR A UL LABEL.
 - ALL WORK SHALL BE LAID OUT BY HVAC CONTRACTOR AT THE BUILDING IN CONSULTATION WITH THE GENERAL CONTRACTOR AND THOSE INSTALLING WORK UNDER OTHER TRADES.
 - THIS CONTRACTOR SHALL COOPERATE TO ELIMINATE CONFLICTS AND THAT OF OTHER, AND SHALL BE RESPONSIBLE FOR ALL CONFLICTS BETWEEN HIS WORK AND THAT OF OTHERS. SPECIFICALLY, BUT NOT LIMITED TO PLUMBING, ELECTRICAL AND CARPENTRY CONTRACTORS.
 - THIS CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING CAUSED BY THIS WORK. THIS CONTRACTOR IS NOT TO CUT ANY STRUCTURAL MEMBER.
 - LABOR SHALL BE PERFORMED RAPIDLY, CONSISTENT WITH THE PROJECT SCHEDULE AND IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE GENERAL CONTRACTOR AND LANDLORD.
 - THIS CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS AND HANGERS FOR HVAC EQUIPMENT, DUCTING AND PIPING AS REQUIRED. CEILING, LIGHTS, CONDUIT, PIPING, ETC. SHALL NOT BE HUNG FROM OR SUPPORTED BY DUCT.
 - THE HVAC CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND REMOVAL OF ANY LEFT OVER MATERIAL OR RUBBISH CAUSED BY THE INSTALLATION OF THIS WORK. ALL SUCH MATERIAL SHALL BE REMOVED FROM THE JOB SITE DAILY OR AS REQUESTED BY THE GENERAL CONTRACTOR, ARCHITECT, OWNER OR LANDLORD.
 - TESTING OF THE ENTIRE HVAC AND RELATED SYSTEMS SHALL BE MADE AND ALL COSTS INVOLVED SHALL BE INCLUDED AS PART OF THE CONTRACT. FURNISH ALL GAUGES, INSTRUMENTS, TEST EQUIPMENT AND PERSONNEL REQUIRED FOR THE TEST. ADJUST ALL EQUIPMENT TO PERFORM WITH THE LEAST POSSIBLE NOISE AND VIBRATION CONSISTENT WITH ITS DUTY. QUIETNESS OF OPERATION OF ALL EQUIPMENT IS A REQUIREMENT. ANY EQUIPMENT PRODUCING OBJECTIONABLE NOISE IN OCCUPIED SPACES SHALL BE REPAIRED OR REMOVED AND REPLACED WITH SATISFACTORY EQUIPMENT.
 - AIR DISTRIBUTION:
 - DUCTWORK CONSTRUCTION:
 - DUCTWORK SHALL BE FABRICATED FROM GALVANIZED SHEET METAL IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN SOCIETY FOR HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) AND THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA).
 - MANUAL BALANCING DAMPERS WITH LOCKING QUADRANTS SHALL BE INSTALLED ON ALL BRANCH TAKE-OFFS.
 - INSTALL FLEXIBLE CONNECTIONS ON MECHANICAL EQUIPMENT AND DUCTED FANS.
 - ALL ROUND BRANCH DUCT RUN-OUT CONNECTIONS SHALL BE SPIN-IN TYPE.
 - INSTALL TURNING VANES IN ALL 90 DEGREE DUCT ELBOWS.
 - FLEXIBLE RUNOUTS SHALL BE INSULATED TYPE AND NOT TO EXCEED 5'-0" IN LENGTH.
 - DUCT INSULATION:
 - UNLESS NOTED OTHERWISE, ALL SUPPLY AND RETURN AIR DUCTWORK SHALL HAVE THERMAL INSULATION, MATTE FACED FIBERGLASS DUCT LINER, OR A COMBINATION OF BOTH WITH AN EQUIVALENT MINIMUM R-6 WHERE LOCATED IN UNCONDITIONED SPACES AND MINIMUM R-12 WHEN LOCATED OUTSIDE THE BUILDING. IF DUCTWORK IS LOCATED WITHIN A BUILDING ENVELOPE ASSEMBLY, THE DUCT SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED OR EXEMPT SPACES BY A MINIMUM OF R-12 INSULATION.
 - UNLESS NOTED OTHERWISE, ALL OUTSIDE AIR DUCTWORK SHALL HAVE THERMAL INSULATION, MATTE FACED FIBERGLASS DUCT LINER, OR A COMBINATION OF BOTH WITH AN EQUIVALENT MINIMUM R-12 WHERE LOCATED IN UNCONDITIONED OR UNCONDITIONED SPACES. IF OUTSIDE AIR DUCTWORK IS LOCATED WITHIN A BUILDING ENVELOPE ASSEMBLY, THE DUCT SHALL BE SEPARATED FROM THE BUILDING EXTERIOR, CONDITIONED, UNCONDITIONED OR EXEMPT SPACES BY A MINIMUM OF R-12 INSULATION.
 - IF RECTANGULAR SUPPLY OR RETURN DUCTWORK IS LOCATED WITHIN CONDITIONED SPACE THEN NO THERMAL INSULATION IS REQUIRED UNLESS NOTED OTHERWISE BUT THE DUCTWORK SHALL BE PROVIDED WITH 1" MINIMUM ACOUSTICAL DUCT LINER. ALL EXTERNALLY INSULATED DUCTS CARRYING COLD AIR SHALL HAVE A VAPOR RETARDER COVERING WITH MAXIMUM PERMEANCE OF 0.05 PERM OR ALUMINUM FOIL WITH MINIMUM THICKNESS OF 2 MILS. IF EXTERNAL INSULATION HAS AN INTEGRAL PERMEANCE OF 0.05 PERM THEN NO ADDITIONAL VAPOR RETARDER IS REQUIRED. ALL JOINTS AND SEAMS IN THE INSULATION AND/OR COVERING SHALL BE SEALED TO MAINTAIN CONTINUITY OF VAPOR RETARDER.
 - ALL EXTERIOR MOUNTED INSULATED DUCTWORK SHALL HAVE AN APPROVED WEATHER TIGHT BARRIER.
 - ALL DUCTWORK SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS. NO ALLOWANCE FOR DUCTWORK LINER HAS BEEN MADE SINCE THERE IS A CONTRACTOR OPTION TO USE LINER. ALL DUCTWORK LONGITUDINAL OR TRANSVERSE JOINTS SHALL BE FASTENED AND SEALED WITH CODE CODE COMPLIANT METHODS INCLUDING GASKETS, WELDS, MASTICS, MASTICS-PLUS-EMBEDDED-FABRIC SYSTEMS, LIQUID SEALANTS OR COMPLIANT TAPES.
 - INSTALL FIRE DAMPERS WHERE DUCTS PENETRATE FIRE RATED WALLS, CEILINGS OR FLOORS. DAMPERS TO BE THE SAME RATING AS THE FIRE RATED STRUCTURE.
 - PROVIDE FLUSH TYPE ACCESS PANELS WHERE REQUIRED TO ACCESS FIRE DAMPERS.
- PROVIDE EXPANSION VALVES, SITE GLASS/MOISTURE INDICATOR, SUCTION LINE FILTER DRIER, LIQUID LINE FILTER DRIER, SCHRAEDER VALVES ON EACH DIRECT EXPANSION REFRIGERATION CIRCUIT.
- INSULATE SUCTION LINE WITH A MINIMUM OF 1/2" UNICELLULAR INSULATION.
- ROOF PATCHES AND FLASHINGS FOR PIPE AND DUCT PENETRATIONS AND EQUIPMENT SUPPORT RAILS, PIPE STANDS, AND CURBS, SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AND INSTALLED BY THE GENERAL CONTRACTOR.
- THERMOSTATS SHALL BE PROVIDED AS SPECIFIED ON MECHANICAL SCHEDULE SHEET. IF NOT SPECIFIED THERMOSTATS AT A MINIMUM SHALL BE PROGRAMMABLE, 24 HOUR/7 DAY TYPE CAPABLE OF OPERATING ALL ASPECTS OF THE CONTROLLED EQUIPMENT SUCH AS MULTIPLE STAGES, OCCUPIED/UNOCCUPIED SETTINGS, ECONOMIZER CONTROL, ETC.
- SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.

CONDENSING UNIT SCHEDULE													
Mark	Manufacturer	Model Number	Total Capacity MBH	Sensible Capacity MBH	EDB/EWB *F/F*	EER	SEER	Compressor	Fan HP	Volts/Phase	Operating Weight (lbs)	Remarks	
CU-1	Carrier	24ACC4	28.6	22.5	80/67	12.0	14.5	16.8	25	1/10	208/1	151	1
CU-2	Carrier	24ACC4	28.6	22.5	80/67	12.0	14.5	16.8	25	1/10	208/1	151	1

1- Provide a compatible cooling coil for furnace from same manufacturer that provides for rated capacity

FURNACE SCHEDULE												
Mark	Manufacturer	Model No.	CFM	ESP (in. W.G.)	MCA	MOCP	HP	Volt/ Ph	Heating Input MBH	Heating Output MBH	Weight (lbs)	Remarks
FU-1	Carrier	59TP6A060	1000	0.5	10.3	15	1/2	115/1	60/39	58/38	140	1
FU-2	Carrier	59TP6A060	1000	0.5	10.3	15	1/2	115/1	60/39	58/38	140	1

1- Provide a compatible cooling coil for furnace from same manufacturer that provides for rated capacity

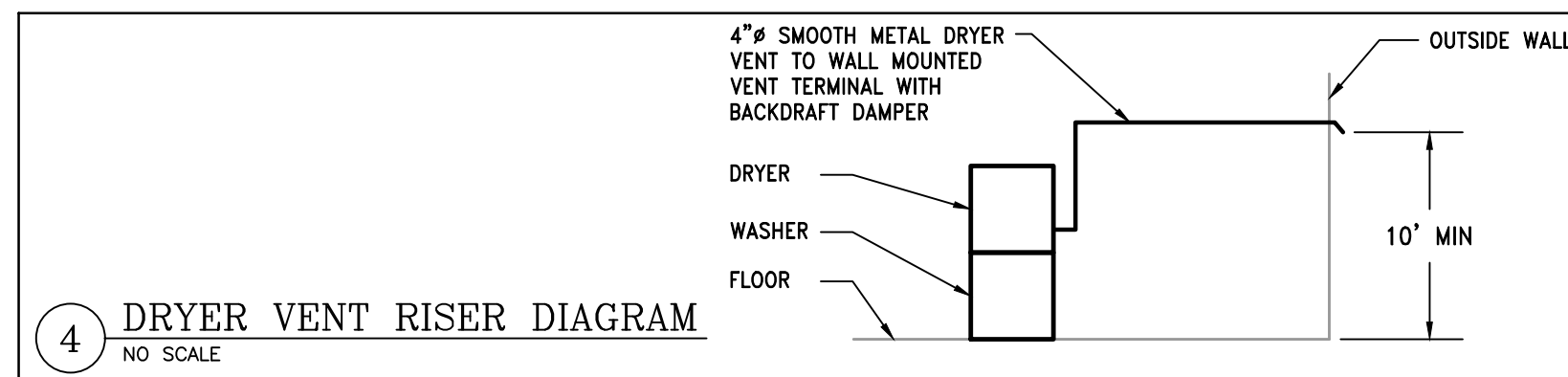
VENTILATION DATA																		
ROOM DATA			ORDINANCE RATE REQUIREMENTS (2009 IMC)					CALCULATED ORDINANCE REQUIREMENTS (2009 IMC Table 403.3.1.1)			ACTUAL PLAN REQUIREMENTS							
ROOM NAME	FLOOR AREA SQ./FT.	OCC LOAD - Based on Occupant Load (PERSON/100 sq ft)	MECHANICAL VENTILATION RATE					MECHANICAL VENTILATION			MECHANICAL VENTILATION		REMARKS					
			AIR SUPPLY RATE CFM/PERSON	AIR SUPPLY RATE CFM/SF	Number of Plumbing Fixtures	AIR EXHAUST RATE CFM/FIXT	AIR EXHAUST RATE CFM/SF	OUTSIDE AIR CFM	EQUIPMENT OA SUB-TOTAL	AIR EXHAUST CFM	AIR SUPPLY CFM	EQUIPMENT OA SUB-TOTAL		AIR EXHAUST CFM				
Vestibule	42	0	0.00	0.00					0	0.0			NR	120		0	RTU-2	
Entry	161	30	5.00	0.06					0	33.8			NR	400		0	RTU-2	
Gym	3981	10	20.00	0.06					0	1035.1		1069	NR	6,280		1200	RTU-1, RTU-2 600 CFM PER RTU	
Members Lounge	454	5	5.00	0.06					0	38.6			NR	450		0	FU-1	
Kids Zone	153	5	5.00	0.06					0	13.0			NR	150		0	FU-1	
Office 3	135	5	5.00	0.06					0	0.0			NR	75		0	FU-1	
Mechanical Room	188	0	0.00	0.00					0	0.0			NR	0		0	FU-1	
Corridor	391	0	0.00	0.06					0	0.0			NR	300		0	FU-1	
Storage	18	0	0.00	0.00					0	0.0			NR	0		0	FU-1	
Men's Room	61	0	0.00	0.00	1.00				70	0	0.0		70	25		70	FU-1, EF-2	
Shower 1	49	0	0.00	0.00	1.00				50	0	0.0		50	25		70	FU-1, EF-3	
Women's Room	61	0	0.00	0.00	1.00				70	0	0.0		70	25		70	FU-1, EF-1	
Shower 2	49	0	0.00	0.00	1.00				50	0	0.0		50	25		70	FU-1, EF-4	
Corridor	150	0	0.00	0.06					0	9.0			NR	225		0	FU-1	
Utility	18	0	0.00	0.00	1.00				70	0	0.0		70	0		70	FU-1, EF-5	
Storage East	183	0	0.00	0.00					0	0.0			NR	0		0	FU-2	
Office 2	210	5	5.00	0.06					0	17.9			70	150		0	FU-2, EF-6	
Conference Room	353	50	5.00	0.06					0	109.4			NR	400		0	FU-2	
Office 1	165	5	5.00	0.06					0	14.0			NR	150		0	FU-2	
Storage West	155	0	0.00	0.00					0	0.0			NR	0		70	FU-2	
TOTAL	6,977								1270.8	380	8,800	1500	420					

ROOFTOP SUPPLY UNITS																			
TAG NO	BASED ON	MODEL	FLOW (CFM)	E.S.P. (IN W.G.)	OA (CFM)	COOLING DATA			HEATING CAPACITY		SUPPLY FAN MOTOR DATA			MCA	MOCP	WEIGHT (LBS)	REMARKS		
						CAPACITY (MBH)	SENS. CAP. (MBH)	EAT TO EVAP (*F DB/WB)	EAT TO COND (*F)	EER	INPUT (MBH)	OUTPUT (MBH)	MOTOR QTY					BHP	VOLTS/HZ/PHASE
RTU-1	CARRIER	48TCFD09B2A5-6W3G0	3400	0.75	600	102.8	34	80/67	95	11	224/180	1	1	1.1	208-230/60/3	46	60	1296	1,2,3,4,5
RTU-2	CARRIER	48TCFD09B2A5-6W3G0	3400	0.75	600	102.8	34	80/67	95	11	224/180	1	1	1.1	208-230/60/3	46	60	1296	1,2,3,4,5

- 1" PLEATED FILTER
- PROVIDE WITH FACTORY FIELD INSTALLED OPTION - CONTINUOUS, 14" HIGH, PEDESTAL STYLE ROOF CURB. PROVIDE ADDITIONAL CURB INSULATION AS NOTED ON PLANS AND DETAILS
- PROVIDE WITH FACTORY FIELD MOUNTED OPTIONAL POWER EXHAUST WITH POWER FED FROM RTU
- PROVIDE WITH HIGH HEAT, AL/CU COIL, TWO-STAGE COOLING, ELECTROMECHANICAL CONTROLS WITH TWO-SPEED FAN AND ECONOMIZER CONTROLLER, ULTRA-LOW LEAK ECONOMIZER WITH BAROMETRIC RELIEF, TWO-SPEED VFD CONTROLLER, HINGED ACCESS PANELS, AND RETURN AIR SMOKE DETECTOR
- EQUIVALENT EQUIPMENT MAY BE PROVIDED FROM TRANE OR LENNOX. OTHER MANUFACTURERS AND MODELS WILL BE CONSIDERED WITH ENGINEER APPROVAL

FAN SCHEDULE											
TAG NO	SERVES	TYPE OF FAN	BASED ON (OR EQUAL)	MODEL	MIN FLOW (CFM)	S.P. (IN W.G.)	DRIVE	MOTOR DATA		REMARKS	
								WATTS	VOLTS/HZ/PHASE		
EF-1	TOILET EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	
EF-2	TOILET EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	
EF-3	SHOWER EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	
EF-4	SHOWER EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	
EF-5	UTILITY CLOSET EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	
EF-6	LOUNGE EXHAUST FAN	CEILING MOUNTED	BROAN	AE80B	70	0.175	DIRECT	27	115/1/60	1	

NOTES
1 PROVIDE WITH BACK DRFT DAMPER AT FAN OR AT WALL VENT CAP



4 DRYER VENT RISER DIAGRAM
NO SCALE

AIR DEVICE NOTE:
ALL AIR DEVICES SHALL BE SIZED FOR AIR FLOW INDICATED AND CONNECTING DUCT SIZE WITH NC RATING < 25, WHICHEVER PROVIDES A LARGER AIR DEVICE. FINAL FINISHES SHALL BE APPROVED BY ARCHITECT.
• RECTANGULAR DUCT MOUNTED AND SURFACE MOUNTED REGISTERS SHALL BE TITUS MODEL 300 RL OR EQUAL, 3/8" BLADE SPACING, DOUBLE DEFLECTION, STEEL, WITH OPPOSED BLADE DAMPERS, SURFACE MOUNT, STANDARD FINISH EXCEPT IN SHOWER ROOMS WHERE REGISTER WILL BE ALUMINUM (TITUS MODEL 300 FL OR EQUAL).
• SURFACE MOUNTED RETURN AND EXHAUST DEVICES SHALL BE TITUS MODEL 350 RL OR EQUAL, 3/8" BLADE SPACING, SINGLE DEFLECTION, STEEL, WITH OPPOSED BLADE DAMPERS, SURFACE MOUNT, STANDARD FINISH EXCEPT IN SHOWER ROOMS WHERE REGISTER WILL BE ALUMINUM (TITUS MODEL 350 FL OR EQUAL).
• ROUND CONCENTRIC AIR DEVICES SHALL BE TITUS MODEL TMR OR EQUAL.

LEGEND:

- ☒ SUPPLY DIFFUSER
- ☒ RETURN GRILLE
- ☒ EXHAUST GRILLE
- ⊙ ROUND SUPPLY DIFFUSER
- ▨ SPIRAL DUCT
- ☒ SUPPLY DUCT UP OR DOWN
- ☒ RETURN DUCT UP OR DOWN
- ⊙ VENTILATION AIR UP OR DOWN

- VILLAGE OF OAK PARK APPLICABLE CODES:**
- 2009 INTERNATIONAL BUILDING CODE (IBC) FOR COMMERCIAL BUILDINGS WITH LOCAL AMENDMENTS
 - 2008 NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH LOCAL AMENDMENTS
 - 2009 INTERNATIONAL FUEL GAS CODE (IFGC) WITH LOCAL AMENDMENTS
 - 2009 INTERNATIONAL MECHANICAL CODE (IMC) WITH LOCAL AMENDMENTS
 - 2009 INTERNATIONAL FIRE CODE (IFC) WITH LOCAL AMENDMENTS
 - 2014 ILLINOIS STATE PLUMBING CODE WITH LOCAL AMENDMENTS
 - 1997 ILLINOIS ACCESSIBILITY CODE (IAC)
 - AMERICANS WITH DISABILITIES ACT (ADA)

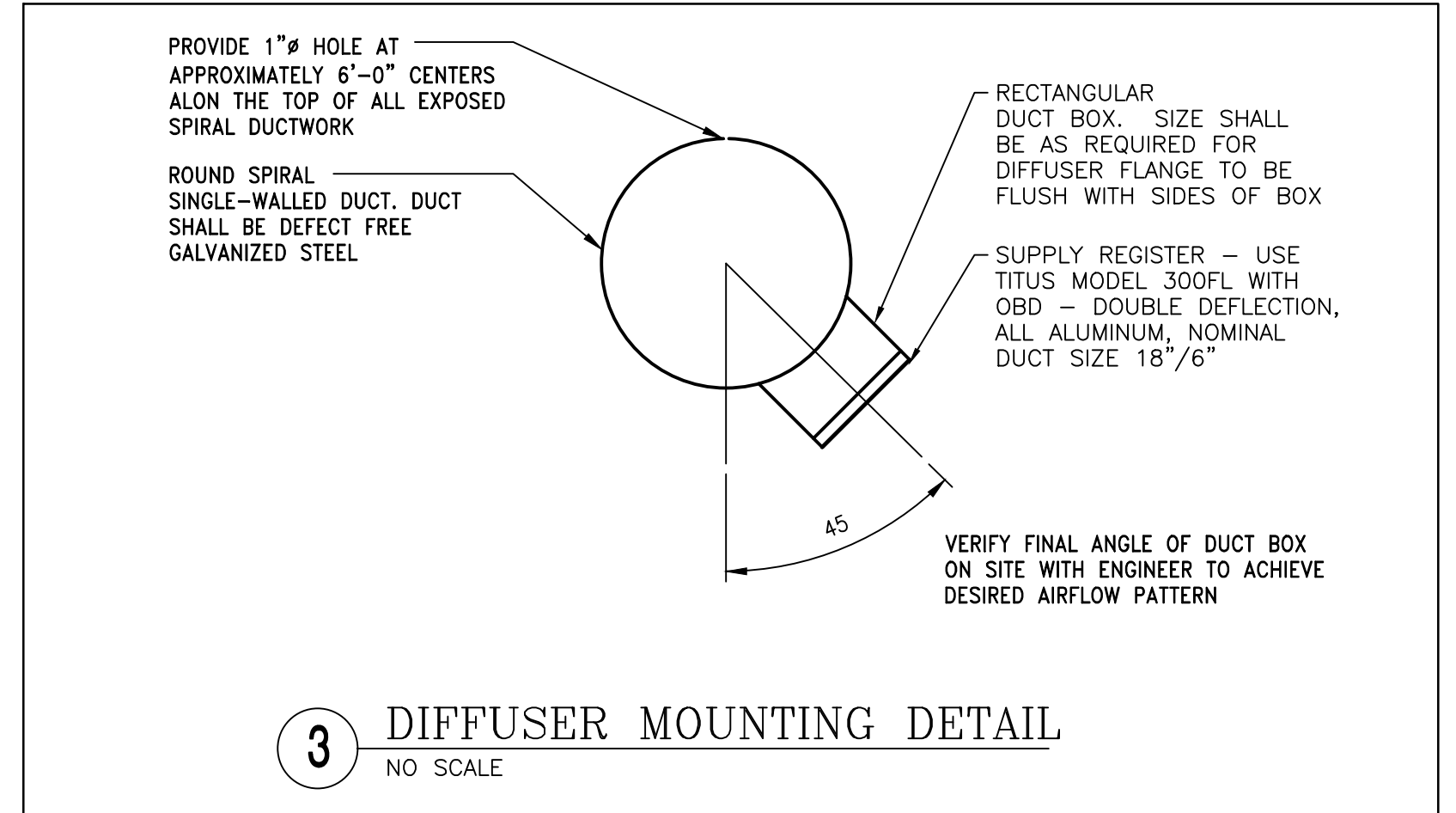
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MAR E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER: 062-047695
EXPIRES 11/30/2019

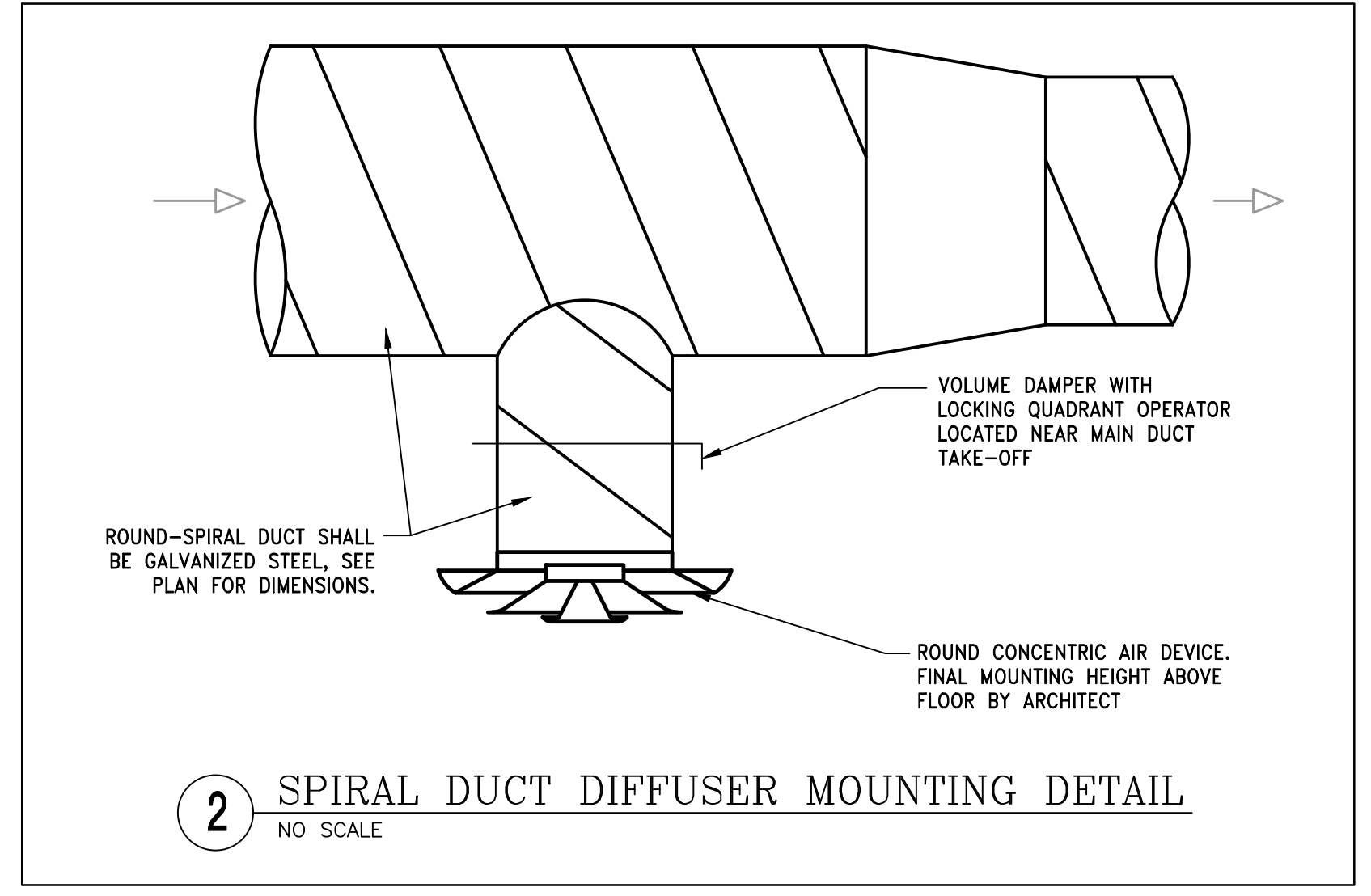
PROFESSIONAL DESIGN FIRM
REGISTRATION NUMBER: 184.004075
EXPIRES 04/30/2019

REGISTERED PROFESSIONAL ENGINEER
ILLINOIS

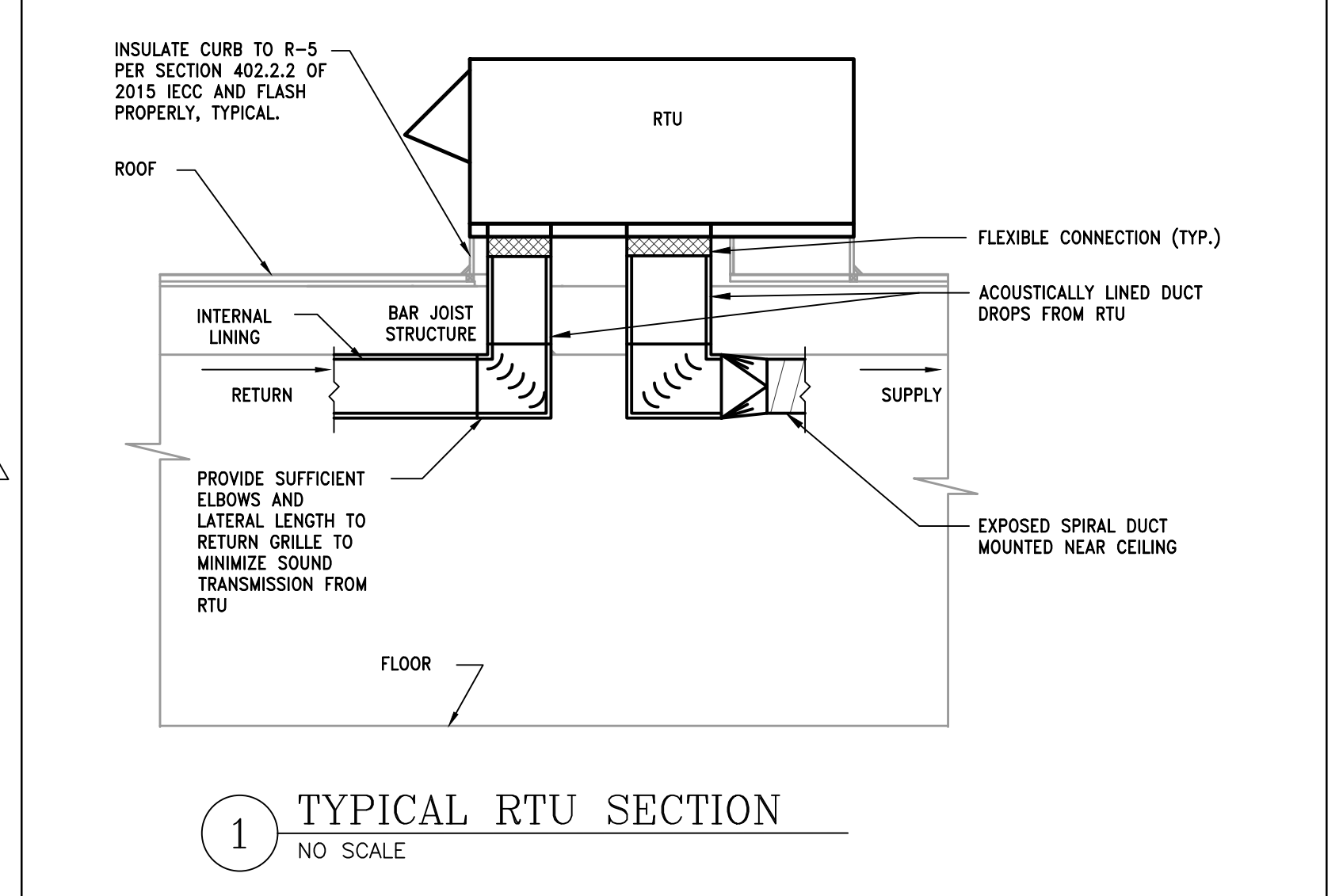
SIGNED: *[Signature]*
DATE: 1/31/2018



3 DIFFUSER MOUNTING DETAIL
NO SCALE



2 SPIRAL DUCT DIFFUSER MOUNTING DETAIL
NO SCALE

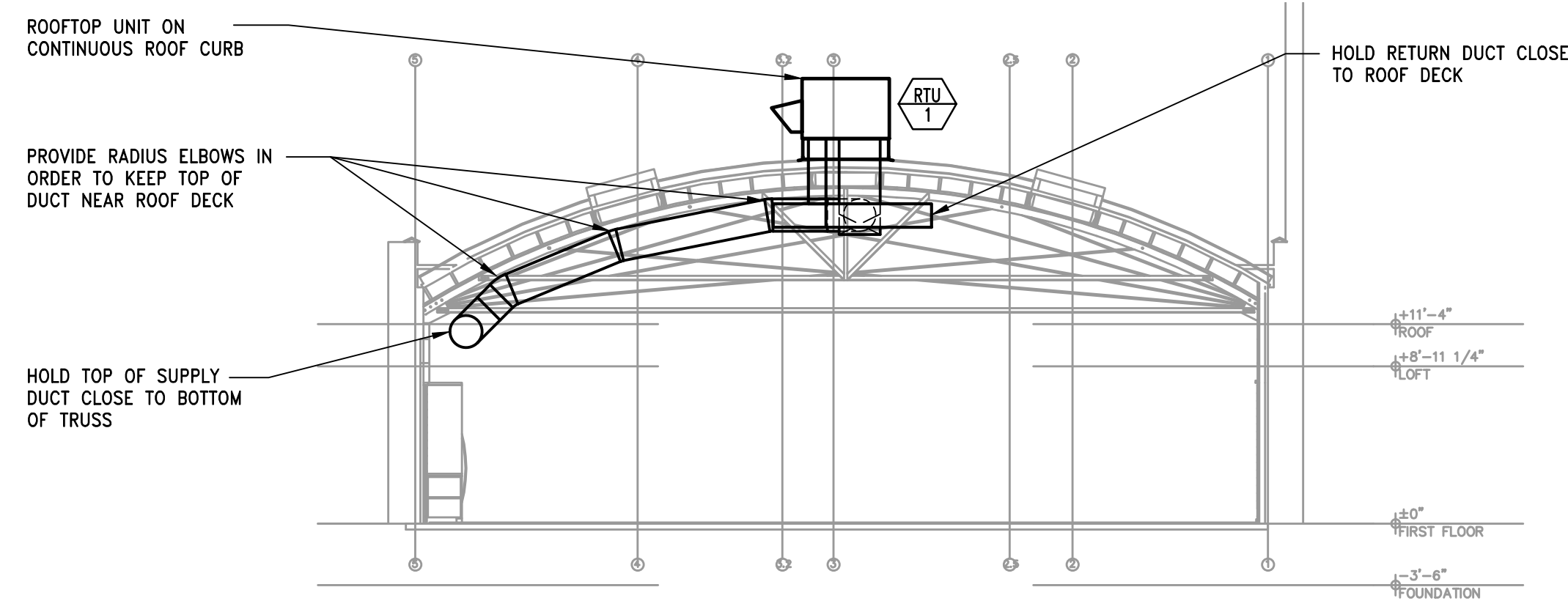


1 TYPICAL RTU SECTION
NO SCALE

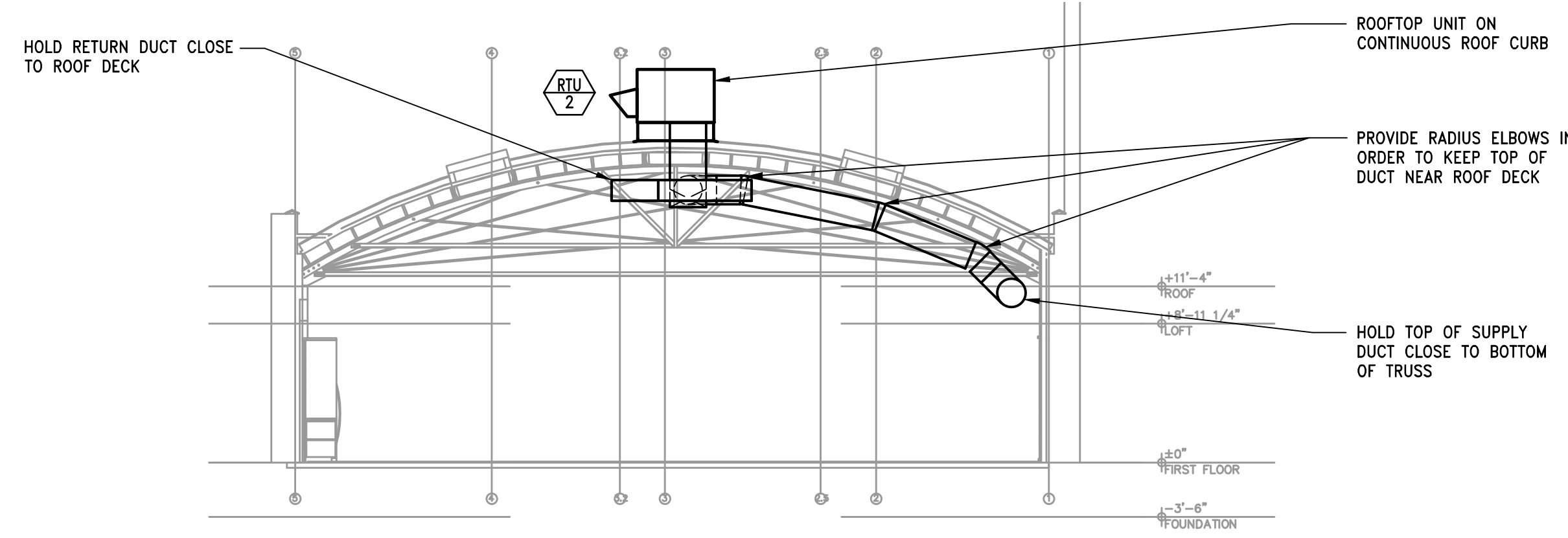
NOTE:
ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONER, WATER HEATER AND FURNACE, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE FOR EACH INSPECTION AS WELL AS THE FINAL APPROVED EQUIPMENT SUBMITTAL WITH ENGINEER COVER SHEET

COMMISSIONING:
THE MEP SYSTEMS SHALL BE COMMISSIONED AS REQUIRED IN THE 2015 IECC SECTION C408. AT THE CONCLUSION OF COMMISSIONING A FINAL COMMISSIONING REPORT SHALL BE SUBMITTED TO THE OWNER, OWNER'S AGENT AND BUILDING DEPARTMENT TO FULFILL THE REQUIREMENTS OF SECTION C408.2.5.4

04-27-2018 ISSUE FOR BID PERMIT REV 1
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 221 HARRISON STREET LLC
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 T B D A



RTU-1 DUCT SECTION
 SCALE : 1/8" = 1'-0"
 0 4' 8' 16'



RTU-2 DUCT SECTION
 SCALE : 1/8" = 1'-0"
 0 4' 8' 16'

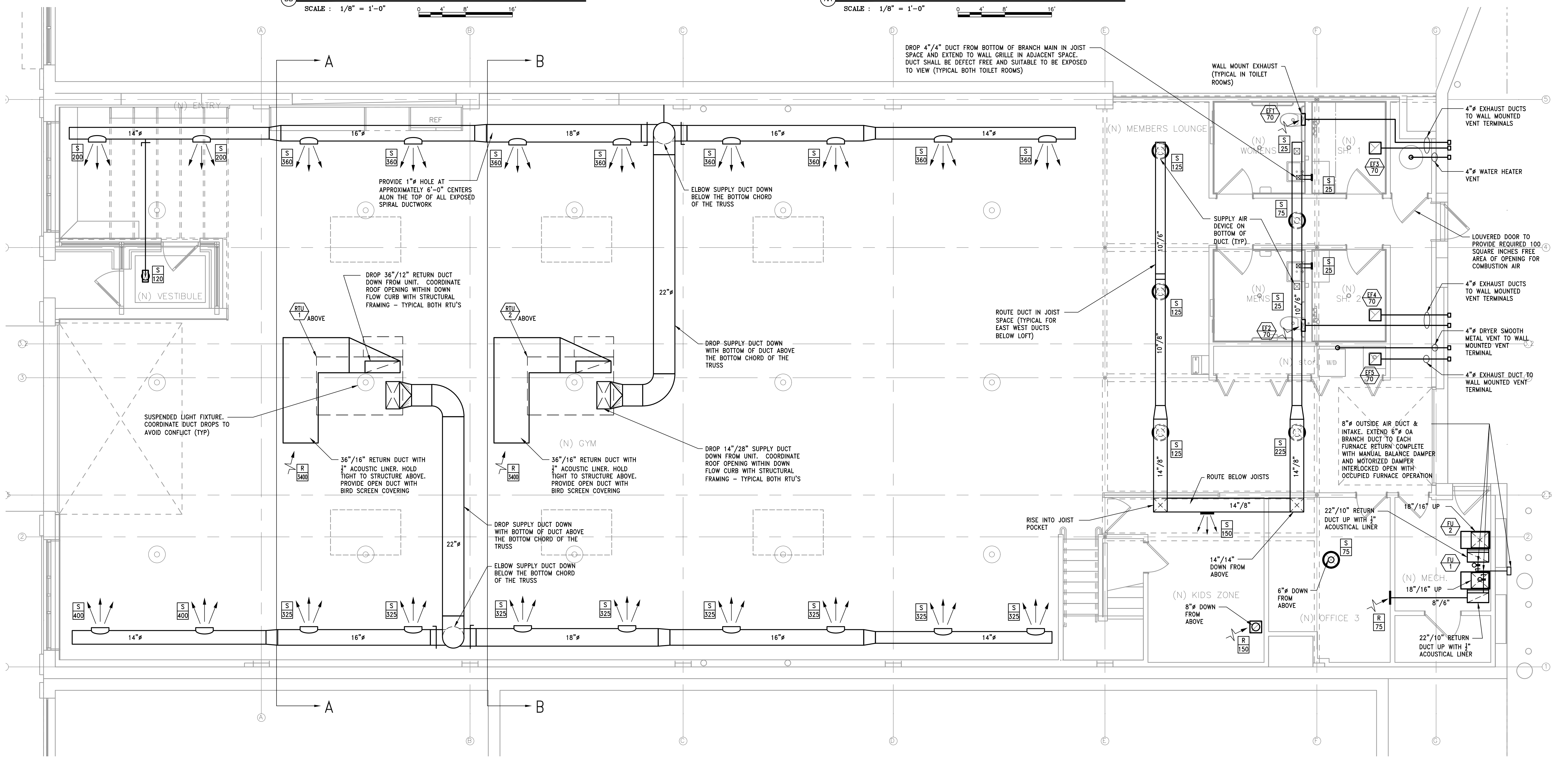
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MARK E. NUSSBAUM P.E.
 ILLINOIS REGISTRATION NUMBER: 062-047695
 EXPIRES 11/30/2019

PROFESSIONAL DESIGN FIRM
 REGISTRATION NUMBER: 184.004075
 EXPIRES 04/30/2019

REGISTERED PROFESSIONAL ENGINEER
 OF ILLINOIS

SIGNED: *[Signature]*
 DATE: 1/31/2018



FIRST FLOOR MECHANICAL PLAN
 SCALE : 1/4" = 1'-0"
 0 2' 4' 8'

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TBD A
 TOM BASSETT-DILLEY ARCHITECT
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I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION.

MARK E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER:
062-047695
EXPIRES 11/30/2019

PROFESSIONAL DESIGN FIRM
REGISTRATION NUMBER:
184.004075
EXPIRES 04/30/2019



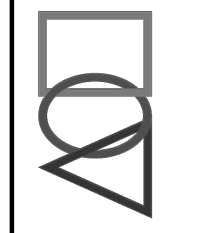
SIGNED: *Mark E. Nussbaum*
DATE: 1/31/2018

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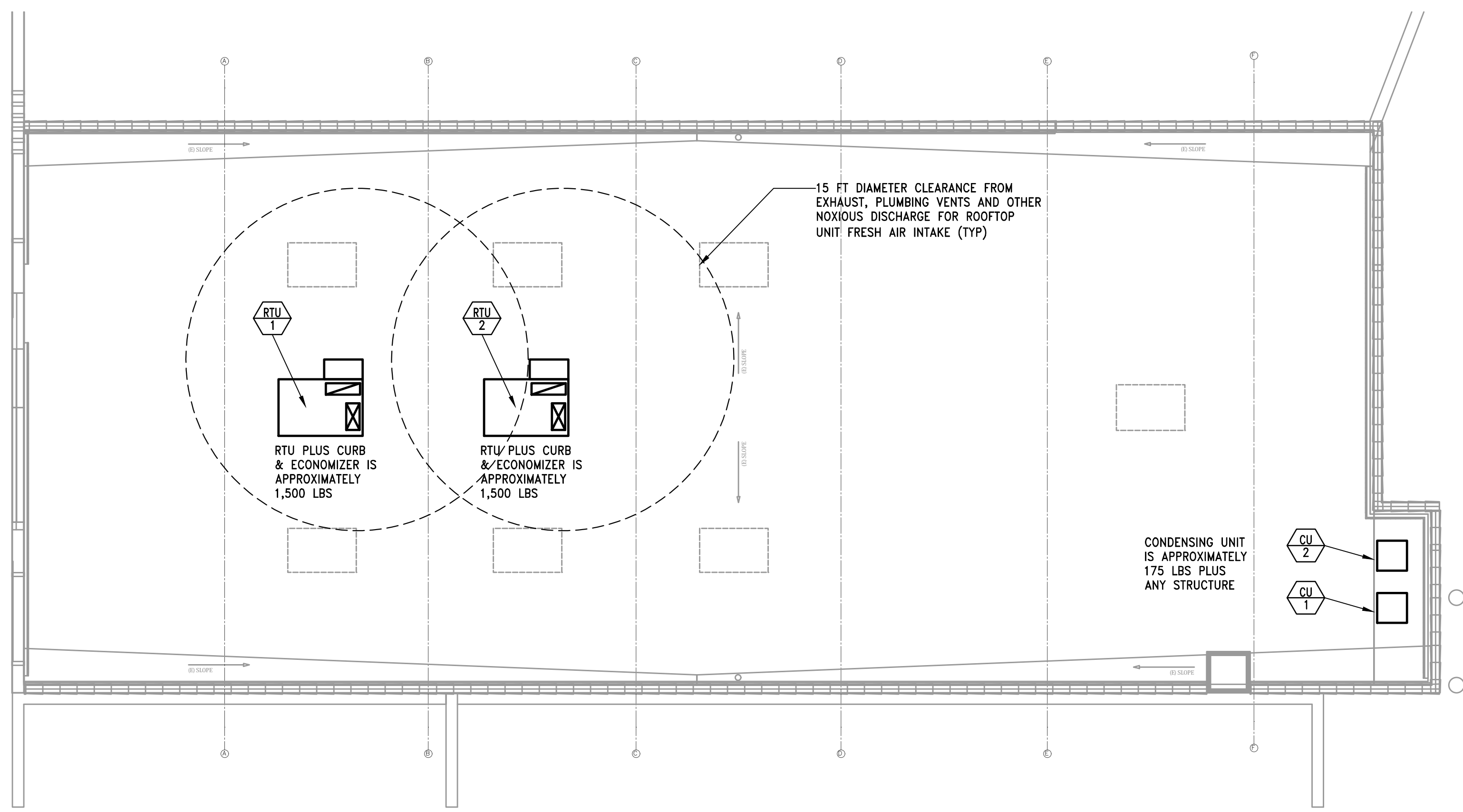
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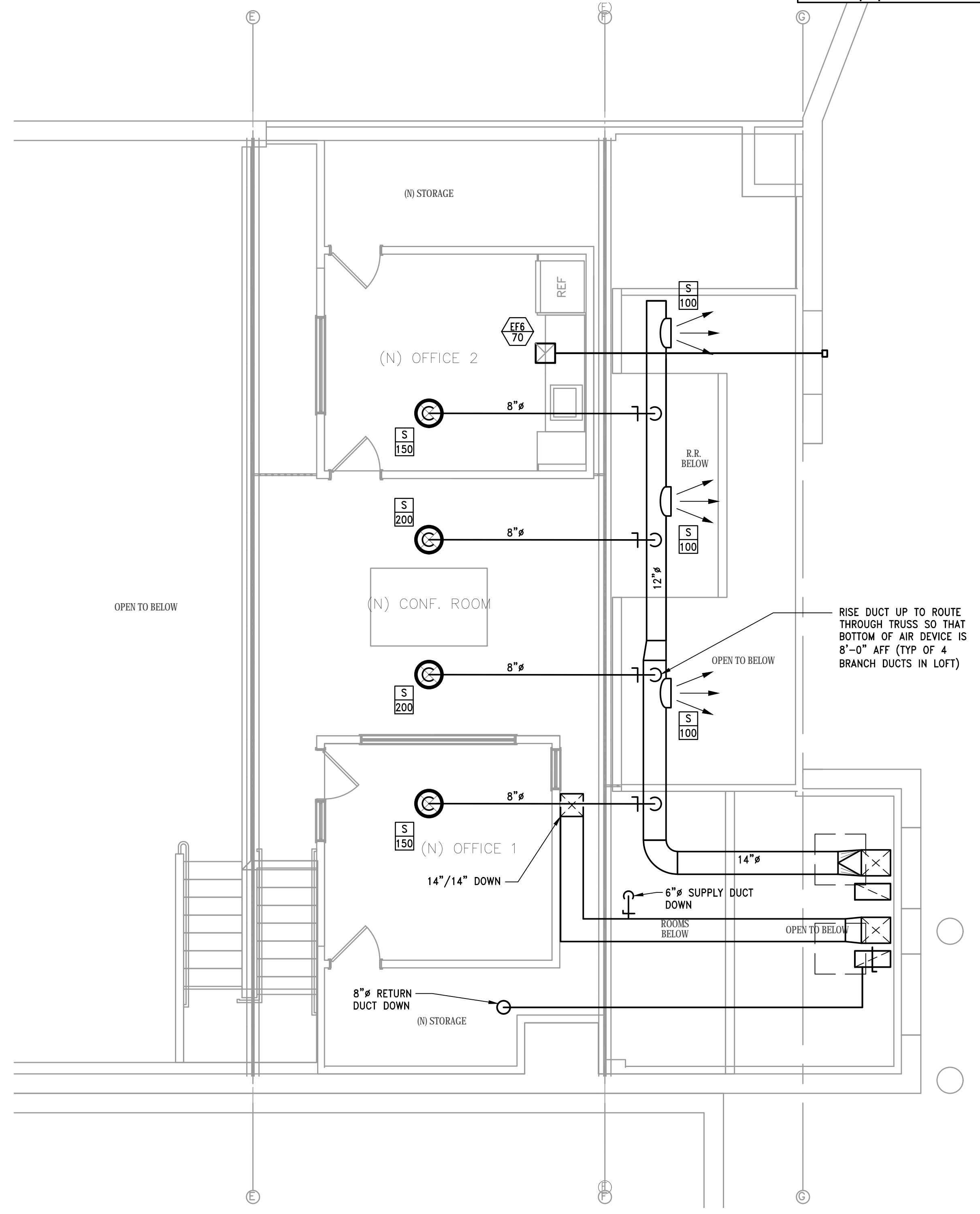
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301 HARRISON STREET OAK PARK ILLINOIS 60304

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NOTE:
ROOFTOP UNIT COMPLETE WITH RETURN AIR MOUNTED SMOKE DETECTOR. COORDINATE AS REQUIRED WITH ELECTRICAL CONTRACTOR FOR THE INSTALLATION OF THIS EQUIPMENT.



2 ROOF MECHANICAL PLAN
SCALE : 1/8" = 1'-0"
0 4' 8' 16'



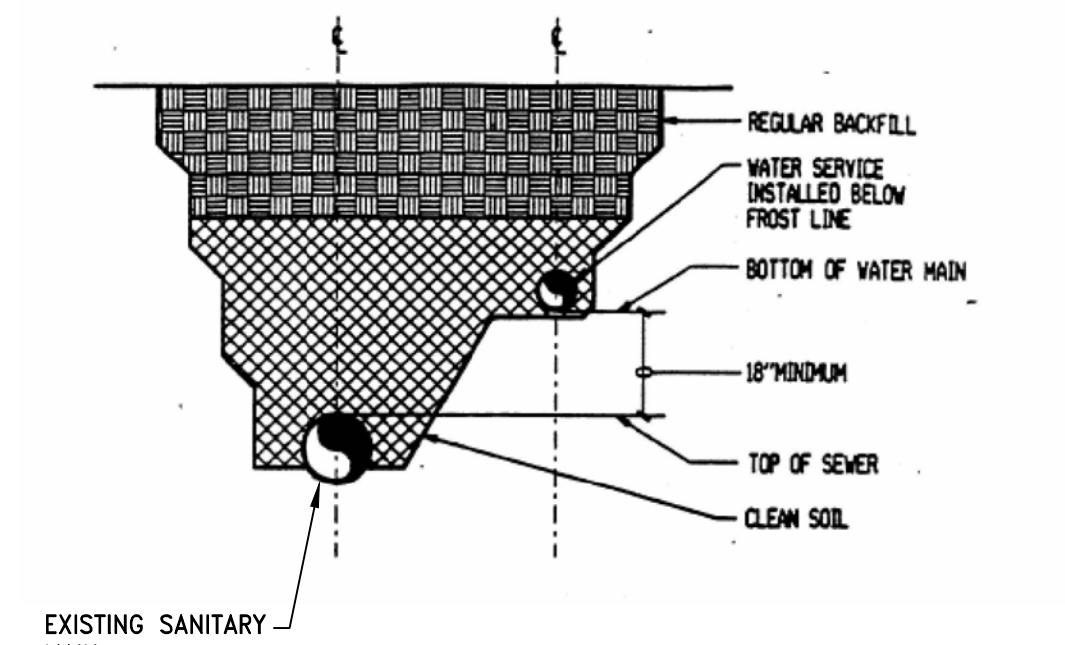
1 LOFT MECHANICAL PLAN
SCALE : 1/4" = 1'-0"
0 2' 4' 8'

PLUMBING GENERAL NOTES:

- WORK INCLUDED SHALL INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT TO COMPLETE THE PLUMBING AND RELATED SYSTEMS AS SHOWN AND IMPLIED FROM THESE NOTES AND DRAWINGS. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL APURTANCES NECESSARY FOR COMPLETE WORKING PLUMBING SYSTEMS. PLUMBING CONTRACTOR SHALL REFER TO OTHER SHEETS IN THIS SET FOR MORE INFORMATION.
- PLANS ARE TO BE CONSIDERED AS DIAGRAMMATIC AND REFLECT A MINIMUM ACCEPTABLE STANDARD. ALL WORK SHALL CONFORM TO THE ILLINOIS STATE PLUMBING CODE AND ALL VILLAGE OF OAK PARK CODES AND AMENDMENTS.
- UNDERGROUND AND HIDDEN PIPING HAS BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. VERIFICATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, WILL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR.
- THE PLUMBING CONTRACTOR AND ALL SUBCONTRACTORS ARE TO VERIFY THE EXACT SCOPE AND RESPONSIBILITY OF THEIR WORK WITH THE GENERAL CONTRACTOR AND BUILDING OWNER'S REPRESENTATIVE. THE PLUMBING CONTRACTOR SHALL VERIFY LOCATION AND SIZES OF EXISTING SUPPLY, SANITARY, VENT AND STORM PIPING BEFORE STARTING WORK.
- ALL SUBCONTRACTORS TO PROVIDE AND INSTALL FIRE STOPPING AROUND ALL PENETRATIONS THRU ALL FIRE-RATED WALLS AND CEILINGS. FIRE-STOPPING SHALL EQUAL IN FIRE-RATING TO WALLS, FLOORS AND CEILING WHICH PENETRATIONS PASS THRU. SEE ARCHITECTURAL PLANS FOR FIRE-RATING REQUIREMENTS.
- ALL MATERIALS, WORKMANSHIP AND INSTALLATION SHALL COMPLY WITH ALL APPLICABLE (VILLAGE OF OAK PARK) BUILDING CODES AND ORDINANCES AND OWNER REQUIREMENTS.
- THE PLUMBING CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE ALL WORK AND MATERIAL FOR 12 MONTHS FROM DATE OF FINAL COMPLETION OF THE PROJECT AGAINST ALL DEFECTS OF MATERIAL, EQUIPMENT AND WORKMANSHIP. ALL DEFECTS SHALL BE CORRECTED AT NO COST TO THE OWNER DURING THE GUARANTEE PERIOD.
- THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED FOR HIS WORK.
- VERIFY FLOOR PLANS AND LAYOUTS WITH CURRENT ARCHITECTURAL FLOOR PLANS AND WITH THE GENERAL CONTRACTOR REVISIONS.
- THE ACTUAL ROUTING OF ALL PIPING IS TO BE REVIEWED WITH THE GENERAL CONTRACTOR. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR CONFORMITY WITH REQUIREMENTS OF THE PLANS AND NOTES, CORRECT DETAILS AND FIT OF THE PARTS WHEN ASSEMBLED.
- ALL WORK SHALL BE LAID OUT BY THE PLUMBING CONTRACTOR AT THE BUILDING IN CONSULTATION WITH THE GENERAL CONTRACTOR AND THOSE INSTALLING WORK UNDER OTHER TRADES.
- THIS CONTRACTOR SHALL COOPERATE TO ELIMINATE CONFLICTS AND THAT OF OTHERS, AND SHALL BE RESPONSIBLE FOR ALL CONFLICTS BETWEEN HIS WORK AND THAT OF OTHERS. SPECIFICALLY, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, FIRE SPRINKLER AND CARPENTRY CONTRACTORS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING. THIS CONTRACTOR IS NOT TO CUT ANY STRUCTURAL MEMBERS. ALL FLOORS AND WALLS SHALL BE RETURNED TO ORIGINAL CONDITION. PLUMBING CONTRACTOR SHALL IDENTIFY ALL OPENINGS REQUIRED.
- ALL PLUMBING EQUIPMENT AND MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.
- SEE PLUMBING EQUIPMENT SPECIFIED IN THIS SET OF PLUMBING PLANS. SUBSTITUTIONS FOR SPECIFIED EQUIPMENT ARE ACCEPTABLE IF APPROVED BY THE ARCHITECT/ENGINEER IN WRITING.
- LABOR SHALL BE PERFORMED RAPIDLY, CONSISTENT WITH THE PROJECT SCHEDULE AND IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER.
- THIS CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORT AND HANGERS FOR PIPING AND EQUIPMENT AS REQUIRED. PIPING IS TO BE SUPPORTED AT 4'-0" MAXIMUM SPACING. CONNECT TO STRUCTURE OR WALLS ONLY.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND REMOVAL OF ANY LEFTOVER MATERIAL OR RUBBISH CAUSED BY THE INSTALLATION OF THIS WORK. ALL SUCH MATERIAL SHALL BE REMOVED FROM THE JOB SITE DAILY OR AS REQUESTED BY THE GENERAL CONTRACTOR, ARCHITECT, OWNER OR LANDLORD.
- PLUMBING MATERIALS:
 - A. SERVICE: HOT TEMPERED AND COLD WATER THREE (3) INCHES AND SMALLER. PIPE MATERIAL: TYPE "L" COPPER AND BRONZE SOLDER JOINTS. FITTING MATERIAL: WROUGHT COPPER AND BRONZE SOLDER JOINTS.
 - B. SERVICE: SANITARY WASTE AND VENT. PIPE MATERIAL: CAST IRON SERVICE WEIGHT OR SCH. 40 PVC WHEN CODE COMPLIANT. FITTING MATERIAL: CAST IRON OR PVC DRAINAGE FITTINGS.
 - C. SERVICE: NATURAL GAS. PIPE MATERIAL: SCH. 40 BLACK STEEL.
- GAS MAIN TO BE ROUTED AND INSTALLED IN SUCH A MANNER SO AS NOT SUBJECT TO POSSIBLE DAMAGE.
- INSULATION:
 - A. DOMESTIC WATER PIPING:
 - A.A. HOT WATER SIZE < 1-1/2":
 - A.A.A. ONE INCH, RATED 450° F MAX., HEAVY DENSITY FIBERGLASS OR FLEXIBLE UNICELLULAR INSULATION WITH CONTINUOUS VAPOR BARRIER AND ALL-SERVICE JACKET. CONDUCTIVITY RANGE = 0.21 TO 0.28.
 - A.B. COLD WATER < 1-1/2":
 - A.B.A. ONE-HALF INCH, RATED 450° F MAX., HEAVY DENSITY FIBERGLASS OR FLEXIBLE UNICELLULAR INSULATION WITH CONTINUOUS VAPOR BARRIER AND ALL-SERVICE JACKET. CONDUCTIVITY RANGE = 0.21 TO 0.27.
 - A.C. COLD WATER 1-1/2" TO < 8":
 - A.C.A. ONE INCH, RATED 450° F MAX., HEAVY DENSITY FIBERGLASS OR FLEXIBLE UNICELLULAR INSULATION WITH CONTINUOUS VAPOR BARRIER AND ALL-SERVICE JACKET. CONDUCTIVITY RANGE = 0.21 TO 0.27.
 - B. VALVES AND FITTINGS: INSULATING CEMENT AND CLOTH JACKET (WITH VAPOR BARRIER ON COLD WATER) OR PRE-FORMED "ZESTON" FITTINGS.
 - INSTALLATION:
 - A. PLUMBING CONTRACTOR SHALL INSTALL AIR CHAMBERS AT ALL FIXTURE CONNECTIONS.
 - B. HORIZONTAL PIPING SHALL BE SUPPORTED FROM STRUCTURE ABOVE AND AS REQUIRED BY CODE. PIPE SUPPORTS SHALL BE SPACED NO MORE THAN FOUR (4) FEET APART.
 - C. BRANCH PIPING SHALL HAVE ACCESSIBLE SERVICE VALVES AND ALL FIXTURES MUST HAVE SHUT-OFFS AT THE FIXTURES.
 - D. ALL SHUT-OFF VALVES SHALL BE FULL PORT BALL VALVES, UNLESS NOTED OTHERWISE.
 - E. SANITARY PIPING BELOW GRADE SHALL BE 4" DIAMETER MINIMUM. SEE ISOMETRIC DIAGRAMS FOR SIZING.
 - F. UPON COMPLETION OF WORK BUT PRIOR TO FINAL SYSTEM TESTING, ALL PARTS OF INSTALLATION SHALL BE THOROUGHLY CLEANED. FIXTURES, EQUIPMENT, PIPE, VALVES AND FITTINGS SHALL BE COMPLETELY CLEANED OF GREASE, METAL CUTTINGS, DIRT, ET CETERA. PROTECTIVE COVERS SHALL BE REMOVED AND FIXTURES (INCLUDING LAVATORY AND WATER CLOSET FIXTURES) SHALL BE THOROUGHLY CLEANED AND SANITIZED IN ACCORDANCE WITH CODE.
 - G. PROVIDE DIELECTRIC ISOLATOR FITTINGS FOR ALL DISSIMILAR PIPING MATERIAL CONNECTIONS.
 - PLUMBING TEST
 - A. BEFORE COVERING OR CONCEALING ANY PIPING OR WORK WITH INSULATION OR BY BACKFILLING ALL SUCH PIPES AND OTHER PIPE WORK IN THIS SECTION SHALL BE TESTED AS REQUIRED BY THE LOCAL CODES AND THE ILLINOIS STATE PLUMBING CODE. ALL EQUIPMENT AND MATERIALS REQUIRED FOR TESTING AND INSPECTION SHALL BE FURNISHED BY THIS CONTRACTOR. IF INSPECTIONS OR TESTS SHOW DEFECTS, SUCH DEFECTIVE MATERIAL OR WORK SHALL BE REPLACED BY THIS CONTRACTOR, THE COST OF WHICH SHALL BE BORNE BY HIM.
 - B. CAULKING OF DEFECTIVE SCREWED JOINTS, CRACKS OR HOLES WILL NOT BE PERMITTED. UPON SATISFACTORY COMPLETION AND FINAL TEST OF THE SYSTEM, THE CERTIFICATIONS OF APPROVAL ISSUED BY THE PROPER AUTHORITIES SHALL BE PRESENTED TO THE OWNER BY THE CONTRACTOR.
 - C. THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN TESTS ARE TO BE CONDUCTED. IN NO CASE SHALL THE TEST CONSIST OF LESS THAN THE REQUIREMENTS AS SET FORTH IN THE NATIONAL PLUMBING CODE, LATEST REVISIONS. ALL FOREIGN MATTER SHALL BE FLUSHED OR BLOWN OUT OF ALL PIPES, FIXTURES, EQUIPMENT, ETC. LEAVING ALL ITEMS CLEAN AND READY TO USE.
 - WATER SYSTEM CHLORINATION
 - THE ENTIRE WATER DISTRIBUTION SYSTEM SHALL BE CHLORINATED AND TESTED, WITH THE RESULTS SENT TO IDPH.
 - PROVIDE AS-BUILT DRAWINGS, OPERATION AND MAINTENANCE MANUALS AND TRAINING TO THE OWNER AT THE END OF THE PROJECT.

PLUMBING FIXTURE SCHEDULE			
Mark	Manufacturer	Model Number	Remarks
WC-1	Sloan Sloan Olsonite/Bemis	Toilet 2102029 Flush Valve WES111 Seat - SC534	Sloan Elongated Floor Mounted ADA Closet Fixture, Vitreous Can. Floor outlet with Sloan Manual Exposed Flushometer with dual flush option 1.1/1/6 gpf and olsomite 95SSCT Open front toilet seat. Complete with all stops, traps and accessories for a complete and operational ADA compliant installation.
LAV-1	American Standard Sloan Watts	Lavatory - 0355.012 Faucet - EBF650 TMV - LFUSG-B	American Standard Wall hung, concealed arms support, Vitreous China Front overflow D-Shaped bowl, with self draining deck and faucet ledge, Sloan EBF sensor operated, battery powered faucet, grid strainer drain, and Watts lead-free thermostatic mixing valve, complete with required undersink insulation package and all necessary stops, traps and accessories for a complete and operational ADA compliant installation.
SH-1	Moen Wade	Shower Valve 8342 Floor Drain - 1104STD5 Trap Primer 2400	Moen Commercial Three-Function Commercial Shower System, Chrome plated metal construction, Pressure balancing cycle valve design with 1/4 turn stops, 3 function transfer valve, Showerhead, hand-held shower with non-positive pause, 69" metal hose, 30" slide bar, drop ell, and mounting hardware. Wade Floor Drain with strainer top and trap primer. Complete with all stops, traps and accessories for a complete and operational installation.
DF-1	Eikay	LZS8W5LP	Eikay EZH2O Bottle Filling Station with Single ADA Cooler Filtered, Refrigerated Light Gray -Electronic bottle Filler Sensor with Electronic Front and Side Bubbler push bar, Wall mount, Flexi-Guard Safety bubbler, real drain system, 115V GFCI protected dedicated circuit. Complete with all stops, traps and accessories for a complete and operational installation.
SK-1	Eikay Eikay Watts	Sink - ELUHAD191655PD Faucet - LK1500CR TMV - USB-B-M2	Eikay single bowl stainless steel sink, #18 gauge, type 304 nickel bearing stainless steel, top mount, 21-1/2 x 18-1/2" x 5-3/8" depth, coved corners, undermount, Lustertone finish, rear, center drain, fully undercoated with 3-1/2" drain opening. with Eikay Single Hole, Deck Mount Everyday Kitchen faucet, and Watts Lead Free Undersink Guardian thermostatic mixing valve. Complete with all stops, traps and accessories for a complete and operational installation.
MS1	Advance Tabco Chicago Faucets	Mop Sink - 9-OP-24FM-SSR Faucet - 897-CCP	Advance Tabco Flush Mount Mop Sink, Easy Mop bucket roll-in design, Back and right side anti-splash guards, removable perforated stainless steel strainer basket with handles, Stainless Steel Grating complete with drain and Chicago Faucets wall mounted service faucet with vacuum breaker spout and pail hook and wall brace, atmospheric vacuum breaker, integral stop valves for servicing and integral check valves. round wall escutcheons, all stops, traps and valves for a complete and operational installation.
WH-1	A. O Smith	GPVX75L	A. O. Smith ProLine XE Powervent 75 gallon natural gas water heater with Dynaclean Diffuser Dip Tube, Hot surface ignitor, enhanced flow brass drain valve, complete with T & P relief valve, and all stops and required accessories for a complete and operational installation.
FPHB	Woodford	Model B65	Woodford Model B65 Automatic Draining Freezeless wall hydrant with hose connection, anti-siphon vacuum breaker, brass valve body, no lead solder on all solder joints, hardened stainless steel, loose key, 3/8" solid brass operating rod, with exterior finish box and door, brass finish, complete with all valves and accessories for a complete and operational installation.
FD-1	Wade	4" Floor Drain 1104STD6 Trap Primer 2400	Cast Iron floor drain with flange, integral reversible clamping collar, seepage openings, 1/2" primer tap and 6" diameter nickel bronze strainer with vandal proof screws, 4" pipe connection and trap primer on all drains. Complete with all accessories for a complete and operational installation.
NOTE: ALL PLUMBING FIXTURES MUST BEAR THE WATER SENSE LABEL. DO NOT REMOVE THE WATER SENSE LABEL PRIOR TO PASSING THE FINAL INSPECTION AND HAVE FIXTURE CUT SHEETS ON SITE FOR FINAL INSPECTION.			

Section 890.APPENDIX I Illustrations for Subpart I
Section 890.ILLUSTRATION F Underground Water Piping #2
(Referenced in Section 890.1150(a)(2))

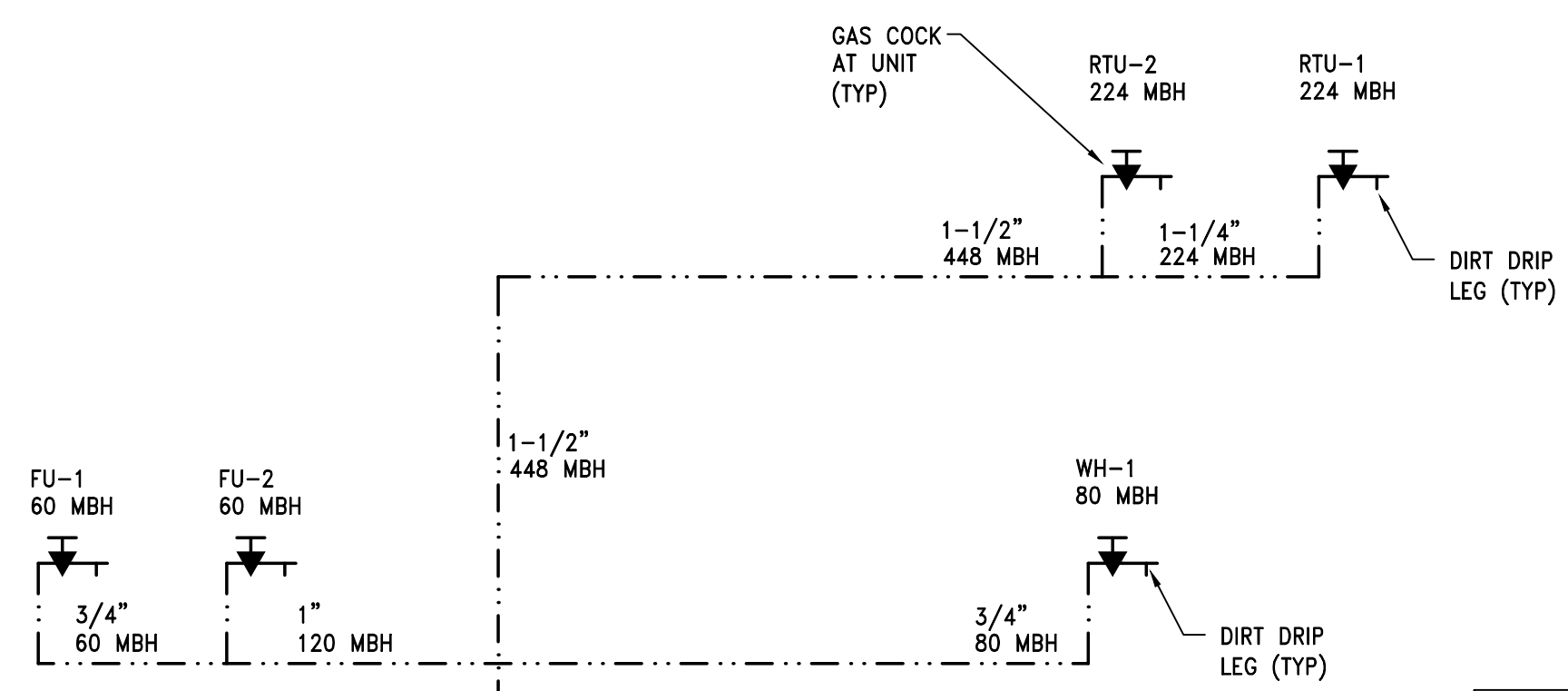


WATER SERVICE ENTRANCE DETAIL
NOT TO SCALE

FIXTURE LOAD CALCULATIONS		PROJECT 221 Harrison				
FIXTURE	TYPE	QTY	DFU	SFU COLD	SFU HOT	SFU TOTAL
WC	VALVE	2	16	20	0	20
WC	TANK	0	0	0	0	0
LAVATORY	FAUCET	2	4	2	2	4
SHOWER HEAD	MIXING	2	6	4	4	8
SINK-SERVICE	FAUCET	1	3	2	2	3
SINK-KITCHEN	FAUCET	1	3	3	3	4
DF OR EWC	3/8" VALVE	1	0.5	0.25	0	0.25
SILL COCK	FAUCET	1	0	5	0	5
FD	2"	0	0	0	0	0
FD	3"	0	0	0	0	0
FD	4"	6	36	0	0	0
TOTAL			68.5	36.25	11	44.25

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NOTE:
All equipment and appliances, including the air conditioner, water heater and furnace, shall be installed in accordance with their listings and the manufacturer's installation instructions. A copy of the manufacturer's installation instructions must be provided on site for each inspection.



NOTE:
GAS PIPE SIZING IS BASED ON TABLE 402.4(2), SCHEDULE 40 METALLIC PIPE, LESS 2 PSI INLET PRESSURE, 0.5" W.C. PRESSURE DROP, EFFECTIVE LENGTH 200 LINEAR FEET

I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION.
MARK E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER: 062-047695
EXPIRES 11/30/2019
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REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
SIGNED: [Signature]
DATE: 1/31/2018

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2014 ILLINOIS STATE PLUMBING CODE WITH LOCAL AMENDMENTS
1997 ILLINOIS ACCESSIBILITY CODE (IAC)
AMERICANS WITH DISABILITIES ACT (ADA)

PLUMBING SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
---	COLD WATER (CW)
----	HOT/TEMPERED WATER (HW)
- - - -	VENT (V)
----	SANITARY WASTE (S)
----	STORM WATER (ST)
----	DRAIN TILE
----	NATURAL GAS
○	FLOOR DRAIN
○	CLEAN OUT
○	GLOBE VALVE
○	BALL VALVE
○	BALANCE VALVE
○	SHOCK/TEMPERING VALVE
○	GAS COCK
○	DRAIN VALVE
○	DRAIN VALVE
○	CONNECT TO EXISTING

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T B D A

PLUMBING KEYED NOTES:

1. NEW COMBINED WATER SERVICE. ROUTE FROM NEW BUFFALO BOX TO NEW WATER SERVICE ROOM. WATER SERVICE ROUTE SHALL BE ADJACENT TO EXISTING SANITARY MAIN BUT SHALL BE INSTALLED BELOW FROST LINE BUT 18" ABOVE TOP OF SANITARY PIPING. SEE DETAIL A/P1.0 FOR ADDITIONAL INFORMATION. PROVIDE SEAL AT FLOOR PENETRATION.
2. EXISTING BELOW GRADE STORM DRAIN AND STORM DRAIN PIPING TO REMAIN.
3. PROVIDE NEW 6" SCHEDULE 40 PVC ROOF DRAIN PIPING DOWN FROM NEW ROOF DRAINS TO EXISTING 6" CAST IRON PIPE BELOW GRADE. PROVIDE LEAK FREE CONNECTION BETWEEN NEW AND EXISTING. PROVIDE NEW ACCESSIBLE CLEAN OUT AT BASE OF STORM DRAIN RISER ABOVE FLOOR. INSULATE ROOF DRAIN BODY AND ALL ROOF DRAIN PIPING DOWN TO FLOOR.
4. NEW NATURAL GAS WATER HEATER. PROVIDE NEW GAS WITH GAS COCK, AND DRIP LEG, ALL DOMESTIC WATER CONNECTIONS COMPLETE WITH FULL PORT BALL VALVES.
5. ROUTE 4" SANITARY BELOW GRADE TO SERVE ALL FLOOR DRAINS AND FIXTURES. SEE WASTE AND VENT ISOMETRIC DIAGRAMS ON SHEET P1.3 FOR ADDITIONAL INFORMATION.
6. RISE SANITARY WASTE UP TO SERVE SINK IN COACHES LOUNGE ABOVE. SEE WASTE AND VENT ISOMETRIC DIAGRAMS ON SHEET P1.3 FOR ADDITIONAL INFORMATION.
7. PROVIDE STAINLESS STEEL WALL CLEAN OUT COVER PLATE FOR FINISHED WALL OPENING FOR CLEAN OUT PLUG

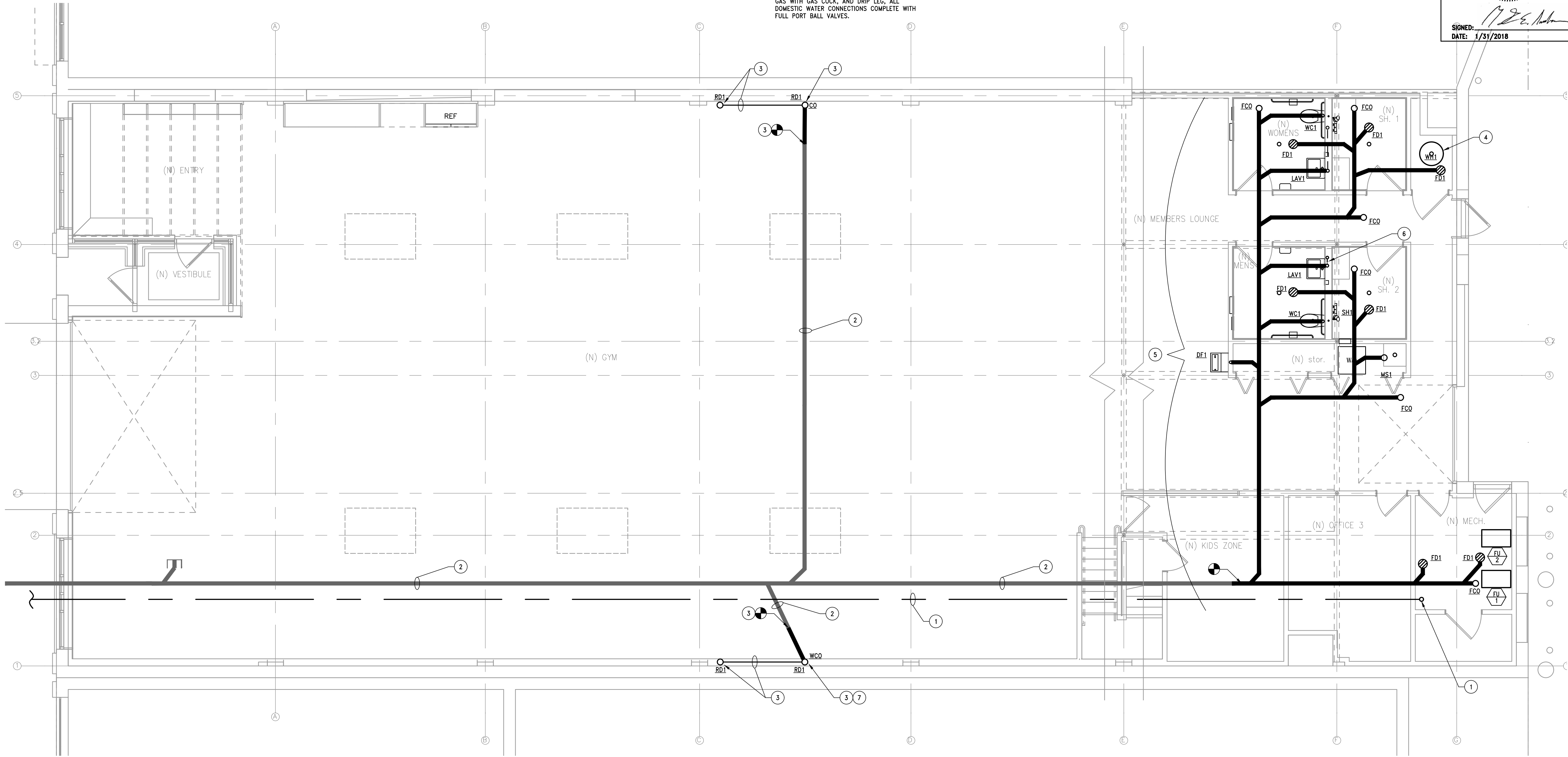
I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION.

MARK E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER:
062-047695
EXPIRES 11/30/2019

PROFESSIONAL DESIGN FIRM
REGISTRATION NUMBER:
184.004075
EXPIRES 04/30/2019



SIGNED: *Mark E. Nussbaum*
DATE: 1/31/2018



FIRST FLOOR PLUMBING PLAN – SANITARY
SCALE : 1/4" = 1'-0"

04/27/2018
ISSUE FOR BID
3/19/2018
ISSUE FOR PERMIT

R.167
221 HARRISON STREET LLC
221 HARRISON STREET
OAK PARK, IL 60302

837 Hayes Avenue
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ARCHITECTURAL
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ENGINEERS

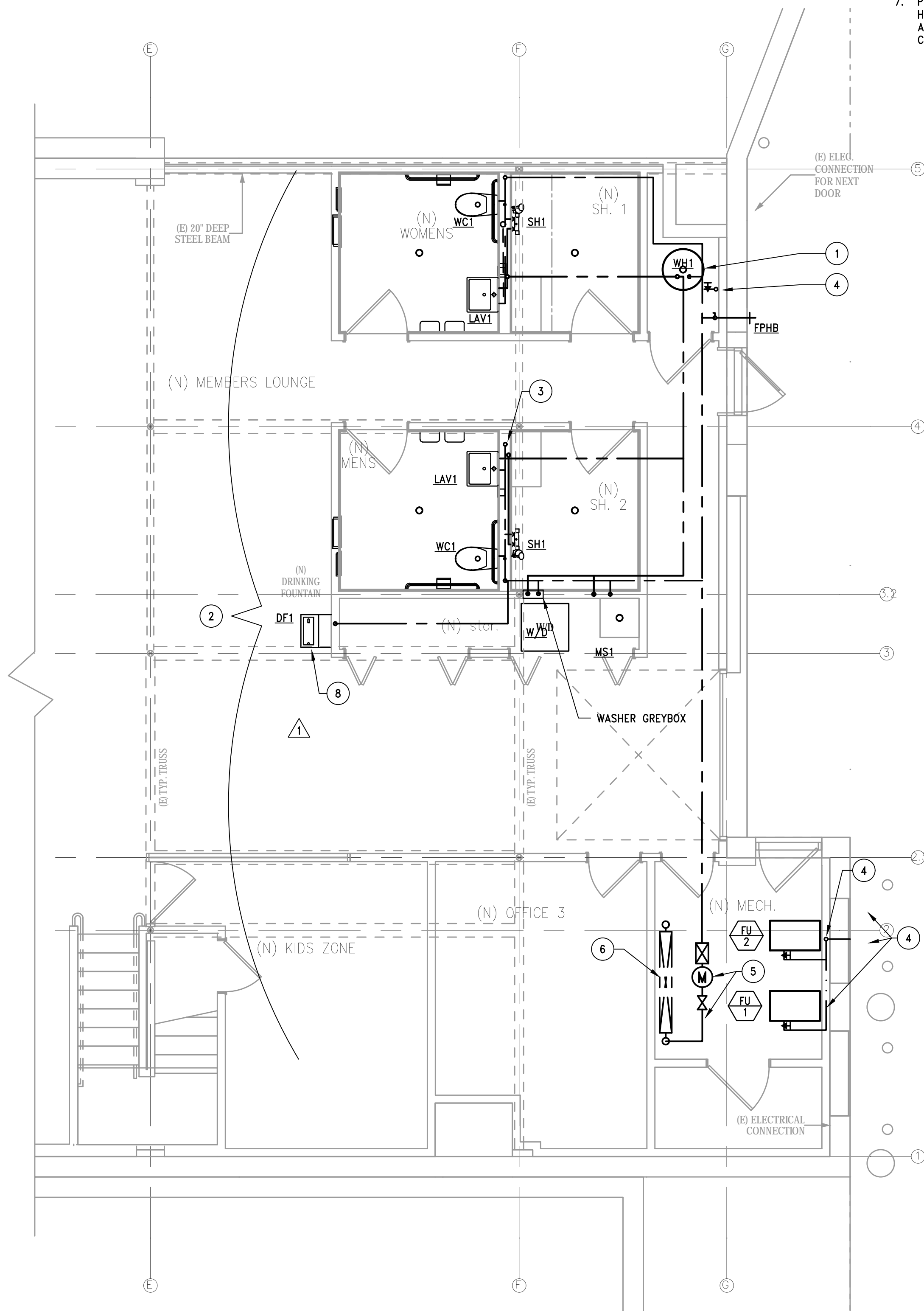
TOM BASSETT-DILLEY ARCHITECT
30 HARRISON STREET OAK PARK ILLINOIS 60304

T B D A

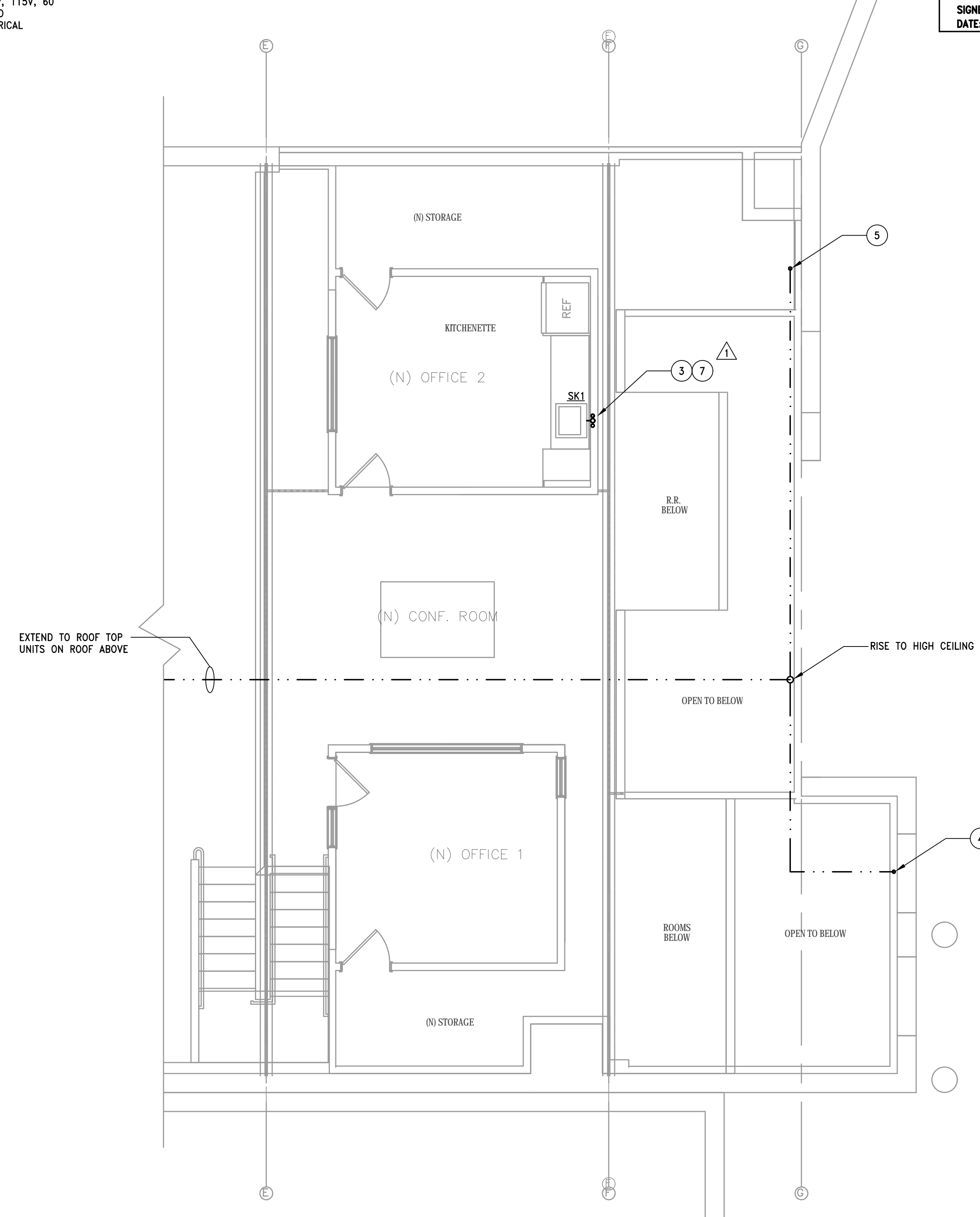
PLUMBING KEYED NOTES:

1. NEW NATURAL GAS WATER HEATER. PROVIDE NEW GAS WITH GAS COCK, AND DRIP LEG.
2. ROUTE NEW DOMESTIC HOT AND COLD WATER TO EACH FIXTURE GROUP AT FIRST FLOOR CEILING. COORDINATE AS REQUIRED TO CLEAR GARAGE DOOR PATH. PROVIDE FULL PORT BALL VALVE AS REQUIRED TO ISOLATE EACH FIXTURE OR FIXTURE GROUP.
3. RISE DOMESTIC HOT WATER, COLD WATER AND SANITARY WASTE UP TO SERVE SINK IN OFFICE 2 ABOVE.
4. EXISTING GAS METER TO REMAIN. EXTEND NATURAL GAS PIPING TO NEW GAS FIRED EQUIPMENT. ROUTE PIPE TO AVOID OTHER UTILITIES AND ARCHITECTURAL ELEMENTS. SEE GAS RISER DIAGRAM ON SHEET P1.0 FOR ADDITIONAL INFORMATION.
5. NEW WATER SERVICE COMPLETE WITH SHUT-OFF, METER AND RPZ.
6. NEW FIRE SERVICE RISER - SEE SPRINKLER PLANS
7. PROVIDE NEW WASTE KING, MODEL 8000, 1 HP, 115V, 60 HZ, GARBAGE DISPOSAL. PROVIDE ALL REQUIRED ACCESSORIES. COORDINATE POWER WITH ELECTRICAL CONTRACTOR.

8. PROVIDE AND INSTALL NEW ADA ACCESSIBLE DRINKING FOUNTAIN WITH BOTTLE FILLER. ROUTE NEW DOMESTIC COLD WATER AND SANITARY WASTE AND VENT PIPING AS REQUIRED TO ACCOMMODATE NEW WORK AND COMPLY WITH ALL ADA REQUIREMENTS. COORDINATE POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR.



1 PARTIAL FIRST FLOOR PLUMBING PLAN - WATER & GAS
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



2 LOFT PLUMBING PLAN - SANITARY, WATER & GAS
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION.

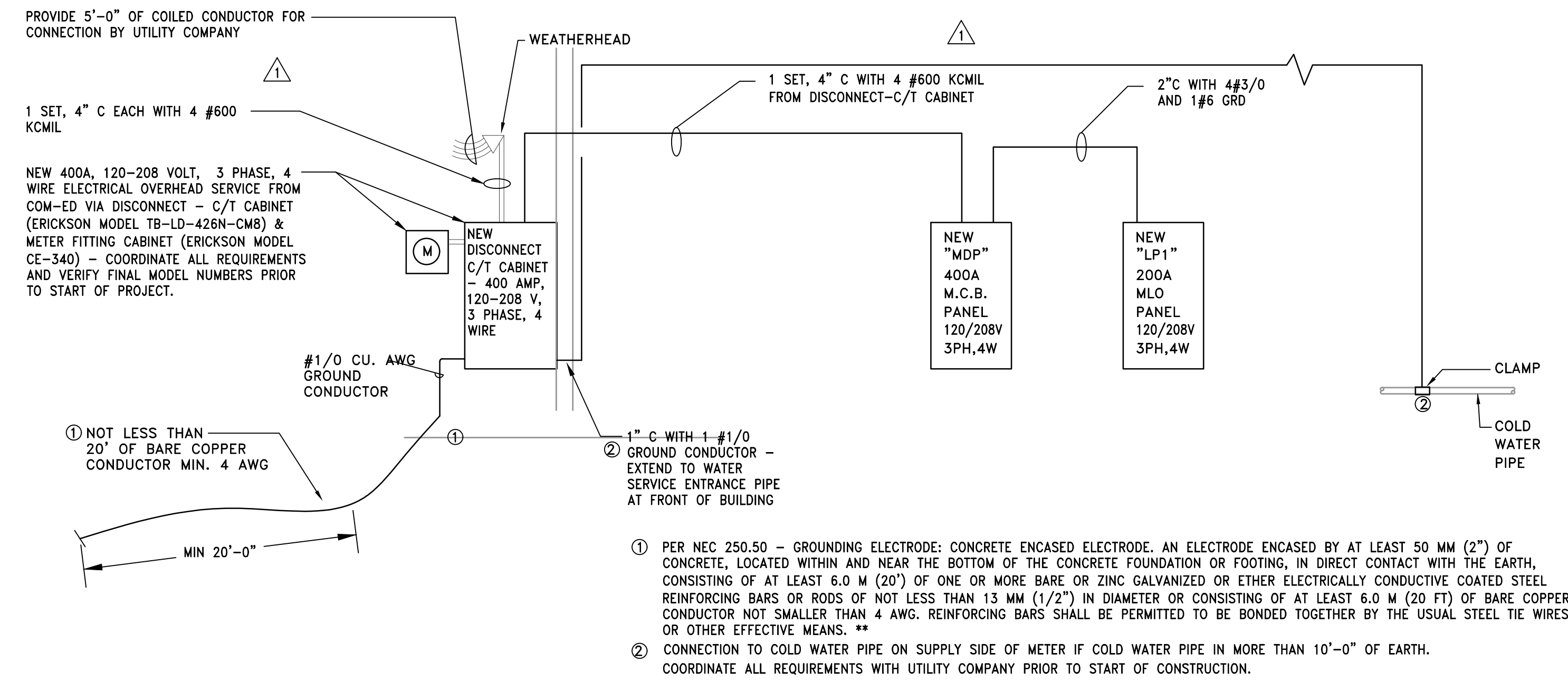
MARK E. NUSSBAUM P.E.
 ILLINOIS REGISTRATION NUMBER:
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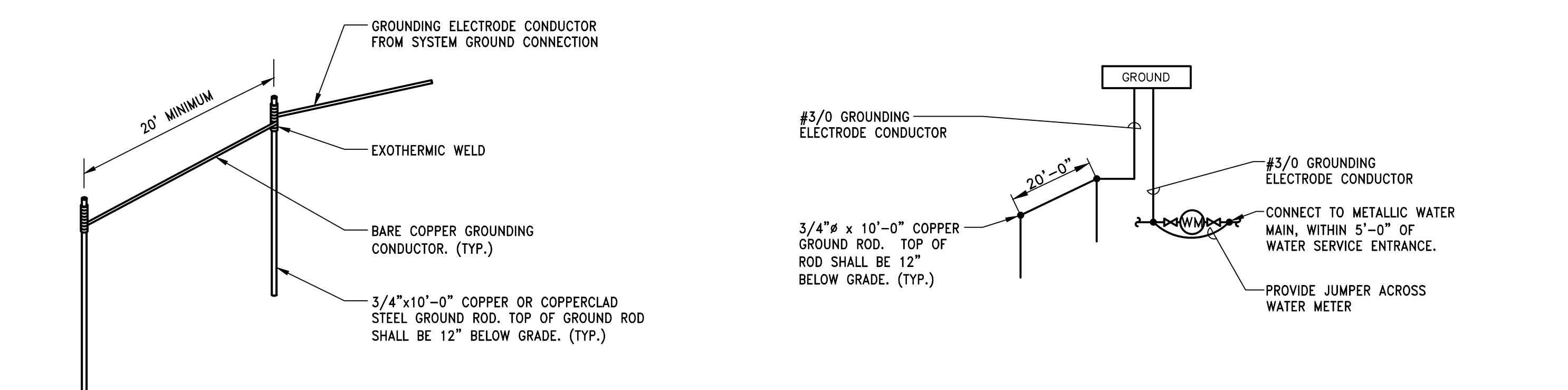
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

SIGNED: *Mark E. Nussbaum*
 DATE: 1/31/2018

04/27/2018 ISSUE FOR BID PERMIT REV 1
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 T B D A



3 400A Overhead Service-Riser Diagram
NO SCALE



2 GROUND GRID DETAIL
NO SCALE

1 GROUND SYSTEM DETAIL
NO SCALE

ELECTRICAL GENERAL NOTES:

- THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT MATERIALS AND LABOR MENTIONED HERE IN OR INDICATED ON DRAWINGS. CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL MISCELLANEOUS EQUIPMENT, MATERIALS AND LABOR WHICH THOUGH NOT SPECIFICALLY CALLED FOR, BUT IS NECESSARY FOR A COMPLETE AND SATISFACTORY OPERATING INSTALLATION. CONTRACTOR SHALL LEAVE HIS WORK IN OPERATING CONDITION.
- THE GENERAL CONTRACTOR CONDITIONS, SUPPLEMENTARY CONDITIONS AND GENERAL REQUIREMENTS ARE PART OF THIS SPECIFICATION. INSTALLATION SHALL MEET OWNER GUIDELINES.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. DRAWINGS ARE NOT TO BE SCALED. THE ARCHITECTURAL DRAWINGS AND DETAILS SHALL BE EXAMINED FOR EXACT LOCATION OF FIXTURES AND EQUIPMENT. WHERE THEY ARE NOT DEFINITELY LOCATED, THIS INFORMATION SHALL BE OBTAINED FROM THE ENGINEER.
- THIS CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECKING DRAWINGS OF OTHER TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED. MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION.
- THIS CONTRACTOR SHALL CONSULT THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AS WELL AS MECHANICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS, REGARDING THE WORK OF OTHER TRADES RELATING TO ELECTRICAL WORK AND INSTALLATIONS.
- THIS CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS WHICH WILL AFFECT THE WORK HE IS TO PERFORM. THE SUBMISSION OF A PROPOSAL BY THIS CONTRACTOR SHALL BE CONCLUSIVE EVIDENCE IN THE PREPARATION OF HIS PROPOSAL. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN HIS BEHALF FOR EXTRA EXPENSE INCURRED DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE THIS VISIT AND EXAMINATION.
- VERIFY IN FIELD LOCATIONS OF EXISTING UTILITIES.
- "RECORD" DRAWINGS SHALL BE MAINTAINED AS THE JOB PROGRESSES. ON RECORD PRINTS OF ALL CONCEALED PIPING AND EQUIPMENT IN THE ENTIRE CONTRACT. DRAWINGS SHALL CONTAIN JOB RECORDED LAYOUTS WITH DIMENSION LOCATIONS OF ALL CONCEALED PIPING. CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS AT THE END OF THE PROJECT THAT REFLECTS THE ACTUAL WORK DONE TO ARCHITECT.
- ALL MATERIALS AND EQUIPMENT PROVIDED BY THIS CONTRACTOR SHALL BE NEW AND FIRST CLASS. NO REJECTS WILL BE ACCEPTABLE. THE INSTALLATION OF ALL MATERIALS AND EQUIPMENT SHALL BE MADE IN A NEAT AND WORKMANLIKE MANNER. ALL PRODUCTS SHALL BE U.L. LISTED OR LABELED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES (VILLAGE OF OAK PARK), WHERE ANY PART OF THE WORK INDICATED IS NOT IN ACCORDANCE WITH CODE, THIS CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND MAKE ALL CHANGES REQUIRED BY THE ENFORCING AUTHORITIES IN A MANNER APPROVED BY THE ARCHITECT AND WITHOUT ADDITIONAL COST TO THE OWNER.
- THIS CONTRACTOR SHALL GIVE ALL REQUISITE NOTICES AND OBTAIN AND PAY FOR ALL FEES, PERMITS, PLAN EXAMINATIONS, LICENSES AND PROJECT INSPECTIONS REQUIRED BY LOCAL OR GOVERNMENTAL AUTHORITIES FOR HIS PORTION OF THE WORK.
- THIS CONTRACTOR SHALL ADJUST HIS WORK TO MEET ACTUAL JOB CONDITIONS AND TO MAINTAIN MAXIMUM HEADROOM UNDER ALL MATERIALS AND EQUIPMENT. COOPERATE WITH OTHER CONTRACTORS. CONTRACTOR SHALL COORDINATE ALL ASPECTS OF WORK WITH OTHER TRADES PRIOR TO CONSTRUCTION/INSTALLATION.
- ALL CUTTING AND PATCHING FOR THIS WORK BY THIS CONTRACTOR. REMOVE ALL RUBBISH AS FAST AS IT ACCUMULATES. PROTECT ALL EQUIPMENT, WORK AND MATERIAL FROM DAMAGE DUE TO ANY CAUSE.
- ALL WIRE SHALL BE COPPER. MINIMUM SIZE OF BRANCH CIRCUIT WIRE SHALL BE #12 AWG. USE TYPE THHN, XHHW FOR BRANCH CIRCUIT. ALL WIRING SHALL BE COLOR CODED AS PER LOCAL CODE. COLOR CODE SHALL IDENTIFY THE SAME PHASE THROUGHOUT THE SYSTEM FROM SERVICE SWITCH THROUGH ALL BRANCH CIRCUITRY.
- THIS CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AND POWER FACILITIES DURING CONSTRUCTION AS DIRECTED BY ARCHITECT.
- ALL WIRING DEVICES SHALL BE AS SPECIFIED:
 - ALL RECEPTACLES SHALL BE 120V, 20 AMP TYPE
 - DUPLEX RECEPTACLE SHALL BE HUBBELL #53621, OR EQUAL.
 - GFI RECEPTACLE HUBBELL #GF5362, OR EQUAL.
 - ISOLATED GROUND RECEPTACLE HUBBELL #IG5362, OR EQUAL.
 - SINGLE POLE SWITCH SHALL BE HUBBELL #1221-I, OR EQUAL. THREE WAY SWITCH HUBBELL #1223-I, OR EQUAL
 - SWITCHES AND RECEPTACLES SHALL BE HUBBELL, AS SPECIFIED OR EQUAL AS MANUFACTURED BY BRYANT, GE, PASS & SEYMOUR, EAGLE, LEVITON.
 - COVER PLATES SHALL BE SMOOTH NYLON. FINISH TO BE SELECTED BY ARCHITECT.
- PROVIDE GROUND FAULT INTERRUPTED CIRCUITS WHERE REQUIRED BY CODE.
- DISCONNECT SWITCHES AND STARTERS FOR ALL MECHANICAL EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- FURNISH, INSTALL AND WIRE NEW PANELS AS SHOWN. COORDINATE LOCATION WITH ARCHITECT. CONTRACTOR SHALL LABEL PANEL CIRCUITS WITH ASSOCIATED LOAD AT END OF PROJECT AND INSTALL TYPE WRITTEN DIRECTORY FOR ALL CIRCUITS IN PANEL.
- COORDINATE MOUNTING LOCATIONS OF ALL WIRING DEVICES WITH ARCHITECT. ALSO VERIFY FINISH OF ALL COVER PLATES AND WIRING DEVICES WITH ARCHITECT.
- LIGHT FIXTURES: LIGHT FIXTURES TO BE FURNISHED, INSTALLED, AND WIRED BY ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LIGHT FIXTURES AND LIGHTING CONTROLS FOR REVIEW BY ARCHITECT/ENGINEER.
- ALL WIRING (ABOVE 50 VOLTS) SHALL BE CONCEALED IN CONDUIT. CONDUITS SHALL BE CONCEALED IN WALL, FLOOR OR CEILING. WHERE CONDUITS ARE RUN EXPOSED, THEY SHALL RUN PARALLEL OR AT RIGHT ANGLES TO WALLS. ALSO VERIFY ROUTE OF EXPOSED CONDUIT RUN WITH ARCHITECT.
- THIS CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED BY HIM OR HIS SUBCONTRACTORS TO BE FREE FROM DEFECT IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE (BY THE OWNER) OF THE WORK, UNLESS A LONGER PERIOD IS STIPULATED UNDER SPECIFIC HEADINGS, AND HE SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER, ANY MATERIAL OR EQUIPMENT DEVELOPING DEFECTS OR THE CORRECTION OF DEFECTS. REPAIRS OR REPLACEMENTS SHALL BEAR ADDITIONAL GUARANTEE, AS ORIGINALLY CALLED FOR DATED FROM THE FINAL ACCEPTANCE OF THE REPAIR OR REPLACEMENT. THIS REQUIREMENT SHALL BE BINDING EVEN THOUGH IT WILL EXCEED PROJECT GUARANTEES NORMALLY FURNISHED BY SOME MANUFACTURERS. THIS CONTRACTOR SHALL SUBMIT HIS OWN AND EACH EQUIPMENT MANUFACTURERS WRITTEN CERTIFICATES WARRANTING THAT EACH ITEM OF EQUIPMENT FURNISHED COMPLIES WITH ALL REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
- BRANCH CIRCUIT WIRING SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - 15A - 20A CIRCUIT BREAKER - #12 AWG
 - 25A - 30A CIRCUIT BREAKER - #10 AWG
 - 35A - 50A CIRCUIT BREAKER - #8 AWG
- CONTRACTOR SHALL REFER TO OTHER SHEETS IN THIS SET FOR MORE INFORMATION.
- AUXILIARY GUTTERS UTILIZING MORE THAN 30 CURRENT CARRYING CONDUCTORS SHALL BE DERATED ACCORDING TO THE ADJUSTMENT FACTORS IN ARTICLE 310.15(B)(2)(a) PER THE REQUIREMENTS OF ARTICLE 366.23(A).

LIGHTING FIXTURE SCHEDULE

Type	Manufacturer	Catalog No.	Lamps	Mounting	Volts	Remarks
F1	Hubbell Industrial	LBS-4K-VVV16-VO-U-ND	1 LED, 100 W	Surface	120V/277V	Gym
F2	Sunlite	LFXDC012/BN15W/E/D/40KLED	1 LED, 15W	Surface	120V	Toilet Room Ceiling
F3	Sunlite	LFXVVF/36/30W/BN/30K28W	1 LED, 28 W	Surface	120V	Toilet Room Over Lavatory
F4	Ambiance	920013-15	1 LED, 10 W	Recessed	120V	Shower Rooms*
F5	Elite Lighting	4-OC4-LED-4000L-MVOLT-40K-85	1 LED, 61 W	Surface	120V/277V	Corridor
F6	Elite Lighting	4-OC1-LED-3000L-DIM10-MVOLT	1 LED, 35 W	Surface	120V/277V	Members Lounge
F7	Elite Lighting	4-OC4-LED-2000-MVOLT-30K	1 LED, 31W	Surface	120V/277V	Storage, Mechanical and Electrical Rms
F8	Elite Lighting	4-OLS-D-LED-4-750L	1 LED, 35 W	Surface	120V/277V	Kid Zone, Private, Office, Conf, Coaches Lounge
F9	Tech Lighting	7000WBX930*120	1 LED, 12 W	Surface	120V	Exterior Front Door*
F10	Engineered Products Co.	16540	1 LED, 7 W	Surface	120V	Under Stair Closet, Water Heater Rm. With Integral Motion Sensing Control
F11	Hubbell Outdoor	SG1-30-3K7-FT-UNV--PCU	1 LED, 30W	Surface	120V	Exterior-Rear, Man Door*
F12	Hubbell Outdoor	SG2-50	1 LED, 50W	Surface	120V	Exterior-Rear, Garage Door*
F13	WAC Lighting	WS-V36614	1 LED, 21W	Surface	120V/277V	Exterior Front Wall Sconce*
EM	Isolite	RL2 LED	2 LED, 2W	Surface	120V	LED Emergency Fixture with 90-Minute Battery Back-Up
EMX	Dualite	PG--HTR	2 LED, 15W	Surface	120V	Exterior Emergency Light, 90 Minute Battery Back-up with Battery Heater, Vandal Resistant*
EM-EX	Isolite	DCL	3 LED, 7 W	Surface	120V	Economical Die Cast LED Exit & Emergency Light Combo with 90-Minute Battery Back-Up
EX	Isolite	EDC	1 LED	Surface	120V	Economical Die Cast LED Exit & Light with 90-Minute Battery Back-Up

Verify all Finishes and Color choices with Architect Owner.
*Rated for Damp/Wet Locations.

ELECTRIC POWER/LOW VOLTAGE LEGEND

- ⊕ DUPLEX RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ JUNCTION BOX
- ⊕ TELE/DATA DEVICE
- ⊕ 208/230V 2 POLE RECEPTACLE
- ⊕ ELECTRIC PANEL
- ⊕ CONTROL SWITCH
- ⊕ OCCUPANCY SENSOR WALL SWITCH
- ⊕ VACANCY SENSOR WALL SWITCH
- ⊕ MOTOR/EQUIPMENT CONTROL SWITCH
- ⊕ DUCT DETECTOR
- ⊕ THERMOSTAT
- ⊕ DISCONNECT
- ⊕ EXIT SIGN
- ⊕ EMERGENCY LIGHT
- ⊕ COMBO-EXIT/EMERGENCY LIGHT
- ⊕ VACANCY SENSOR-CEILING
- ⊕ DAYLIGHTING CONTROL SENSOR
- ⊕ PHOTOCELL/EXTERIOR LIGHT CONTROL
- ⊕ OCCUPANCY SENSOR-CEILING
- ⊕ TELEVISION RECEPTACLE

ABBREVIATIONS

- GFI GROUND FAULT PROTECTED
- WP WEATHER PROOF
- U.C. UNDER COUNTER
- O.C. OVER COUNTER
- CLG CEILING MOUNTED
- 3 3-WAY SWITCH
- P PILOT SWITCH
- (E) EXISTING
- NL 24/7 UNSWITCHED LIGHT FIXTURE
- K KEYED SWITCH
- DIM DIMMER SWITCH
- OS OCCUPANCY SENSOR SWITCH WITH MANUAL OVERRIDE

COMMISSIONING:

THE MEP SYSTEMS SHALL BE COMMISSIONED AS REQUIRED IN THE 2015 IECC SECTION C408. AT THE CONCLUSION OF COMMISSIONING A FINAL COMMISSIONING REPORT SHALL BE SUBMITTED TO THE OWNER, OWNER'S AGENT AND BUILDING DEPARTMENT TO FULFILL THE REQUIREMENTS OF SECTION C408.2.5.4

PANEL: MDP

NEW OR EXISTING: NEW
LOCATION: Electric Rm
MOUNTING: SURFACE
ENCLOSURE: NEMA 1
ENTRANCE: TOP

VOLTAGE/PHASE: 120/208, 3Ø, 4W
BUS AMPS: 400A
MAIN BREAKER: 400A
FED FROM: MDP-1
SUB-FEED TO:

NEUTRAL BUS: 100%
GROUND BUS: YES-BOLTED
ISO. GRND. BUS: NONE
FULLY RATED AIC: 22,000
TVSS: NONE

LOAD DESCRIPTION	TYPE	NOTE	VOLT-AMPS	BKRV	POLE	A	B	C	LOAD DESCRIPTION
RTU-1	E		5,520	1	2	2,016			CU-1
	E		5,520	3	60/3	25/3	4	2,016	
	E		5,520	5	60/3	25/3	4	2,016	
RTU-2	E		5,520	7	60/3	25/3	10	2,016	CU-2
	E		5,520	9	60/3	25/3	10	2,016	
FLU-1	E		1,236	21	15/1	15/1	14	1,236	
EF-1, EF2	M		600	15	15/1	20/1	16	1,500	E Security System
EF-3, EF-4	M		600	17	15/1	20/1	18	1,200	E Electric Water Cooler
Dryer	E		2,700	19	30A	20/1	20	1,200	M Garage Door Opener
Washer	E		2,700	21	30A	20/1	22	1,500	M Fire Alarm System
Garage Door Opener	M		1,200	23	20/1	20/1	24	300	M EP-5
Hot Water Heater	E		1,200	25	20/1	20/1	26	360	R Recept-Roof GFI/WP
Modem/TV	E		1,200	27	20/1	20/1	28	180	R Recept- Future Camera
Recept- Timeclock Ext	R		180	31	20/1	20/1	32	180	R Recept- Future Camera
Recept- Electric Rm	R		180	33	20/1	20/1	34	1,500	R Recept- Future Camera
LP1	P		7,461	37	200/1	20/1	38		M Future Fans
Spare	P		5,647	39	20/1	20/1	40		Spare
Spare	S		41	20/1	20/1	42			Spare

BREAKER NOTES

- Thermal Magnetic
- Shunt trip
- Lock-out device
- GFCP
- GFCI
- AFCI
- Aux Switches
- HACR
- Existing Breaker

CONNECTED PHASE LOADS

TOTAL OA = 30,865 VA
TOTAL OB = 30,079 VA
TOTAL OC = 26,999 VA

Type Description Connected Demand
Lighting (L) = 0 0
Receptacles (R) = 1080 1080
Motors (M) = 6900 5520
Electric Heating (H) = 0 0
Equipment (E) = 60888 48710.4
Panels (P) = 18855 18855
Space (S) = 0 0
Total VA = 87,723 74165.4
Total Amps = 243.5 205.9

PANEL: LP-1

NEW OR EXISTING: NEW
LOCATION: Electric Rm
MOUNTING: SURFACE
ENCLOSURE: NEMA 1
ENTRANCE: TOP

VOLTAGE/PHASE: 120/208, 3Ø, 4W
BUS AMPS: 225A
MAIN BREAKER: MLO
FED FROM: MDP-1
SUB-FEED TO:

NEUTRAL BUS: 100%
GROUND BUS: YES-BOLTED
ISO. GRND. BUS: NONE
FULLY RATED AIC: 22,000
TVSS: NONE

LOAD DESCRIPTION	TYPE	NOTE	VOLT-AMPS	BKRV	POLE	A	B	C	LOAD DESCRIPTION
Recept- Windows	R		390	1	20/1	20/1	2	1,080	E Recept- Gym
Recept- Gym	R		720	3	20/1	20/1	4	1,200	E Recept- Gym
Recept- Kid's Private Office	R		1,080	5	20/1	20/1	6	180	E Recept- TR Rm GFI
Recept- General	R		1,080	7	20/1	20/1	8	180	E Recept- Shower Rm GFI
TV	E		1,200	13	20/1	20/1	14	180	E Recept- Shower Rm GFI
TV	E		1,200	15	20/1	20/1	16		E Spare
Lgts Gym- Front North	L		327	17	20/1	20/1	18		E Spare
Lgts Gym- Central	L		981	19	20/1	20/1	20	120	M Lgts-Exterior North
Lgts Gym- Rear	L		327	21	20/1	20/1	22	100	S Lgts- Exterior South
Lgts- East Under Loft	L		1,000	23	20/1	20/1	24	1,000	M Lgts- Loft
Recept- Dedicated Counter	R		180	25	20/1	20/1	26	1,200	R Recept- Refrigerator Loft
Recept- Disposal	R		1,200	27	20/1	20/1	28	180	R Recept- Dedicated Counter
Recept- Loft General	R		900	29	20/1	20/1	30	900	R Recept- Loft General
Recept- Loft Office	R		1,080	31	20/1	20/1	32	180	R Recept- Loft General
Spare	S			33	20/1	20/1	34		M
Spare	S			35	20/1	20/1	36		M
Spare	S			37	20/1	20/1	38		S
Spare	S			39	20/1	20/1	40		Spare
Spare	S			41	20/1	20/1	42		Spare

BREAKER NOTES

- Thermal Magnetic
- Shunt trip
- Lock-out device
- GFCP
- GFCI
- AFCI
- Aux Switches
- HACR
- Existing Breaker

CONNECTED PHASE LOADS

TOTAL OA = 7,461 VA
TOTAL OB = 5,647 VA
TOTAL OC = 5,747 VA

Type Description Connected Demand
Lighting (L) = 2635 2635
Receptacles (R) = 9500 9500
Motors (M) = 1120 896
Electric Heating (H) = 0 0
Equipment (E) = 5400 4320
Panels (P) = 0 0
Space (S) = 100 100
Total VA = 18,855 1751
Total Amps = 52.3 48.7

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SIGNED: *Mark E. Nussbaum*
DATE: 1/31/2018

VILLAGE OF OAK PARK APPLICABLE CODES:

2009 INTERNATIONAL BUILDING CODE (IBC) FOR COMMERCIAL BUILDINGS WITH LOCAL AMENDMENTS

2008 NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH LOCAL AMENDMENTS

2009 INTERNATIONAL FUEL GAS CODE (IFGC) WITH LOCAL AMENDMENTS

2009 INTERNATIONAL MECHANICAL CODE (IMC) WITH LOCAL AMENDMENTS

2009 INTERNATIONAL FIRE CODE (IFC) WITH LOCAL AMENDMENTS

2014 ILLINOIS STATE PLUMBING CODE WITH LOCAL AMENDMENTS

1997 ILLINOIS ACCESSIBILITY CODE (IAC)

AMERICANS WITH DISABILITIES ACT (ADA)

VERIFY ALL ELECTRICAL RECEPTACLES AND LIGHT FIXTURE SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. VERIFY FINAL LOCATION OF ALL LIGHT FIXTURES AND DEVICES WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

(X) KEYED NOTES - ELECTRIC POWER:

1. PROVIDE DEDICATED RECEPTACLE FOR ALL APPLIANCE CIRCUITS. EXTEND CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
2. PROVIDE DEDICATED GFI PROTECTED RECEPTACLE IN TOILET AND SHOWER ROOM. EXTEND CIRCUIT TO NEW DISTRIBUTION PANEL. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
3. PROVIDE NEW RECEPTACLE IN NEW LOCATION. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
4. PROVIDE DEDICATED RECEPTACLE FOR FUTURE SECURITY CAMERA. COORDINATE ALL REQUIREMENTS WITH OWNER/ARCHITECT PRIOR TO INSTALLATION. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
5. PROVIDE DEDICATED RECEPTACLE AT 60" AFF FOR WALL MOUNTED T.V. COORDINATE T.V./CABLE DEVICE AND LOW VOLTAGE CABLING REQUIRED WITH OWNER/ARCHITECT PRIOR TO INSTALLATION. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
6. PROVIDE POWER FOR GARAGE DOOR OPENER AND CONTROLS. COORDINATE ALL REQUIREMENTS WITH OWNER/ARCHITECT. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
7. PROVIDE RECEPTACLE FOR SHOWROOM WINDOW ON WALL ABOVE WINDOW. COORDINATE FINAL LOCATION WITH WINDOW INSTALLATION. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
8. PROVIDE DEDICATED RECEPTACLE FOR WASHER AND 240V RECEPTACLE FOR DRYER. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
9. PROVIDE POWER FOR NEW WATER HEATER. COORDINATE ALL POWER REQUIREMENTS WITH PLUMBING CONTRACTOR. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
10. PROVIDE POWER FOR NEW MECHANICAL EQUIPMENT. COORDINATE ALL POWER REQUIREMENTS WITH MECHANICAL CONTRACTOR. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
11. PROVIDE POWER FOR NEW ELECTRIC WATER COOLER/BOTTLE FILLER. COORDINATE ALL POWER REQUIREMENTS WITH PLUMBING CONTRACTOR. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
12. PROVIDE J-BOXES FOR FUTURE CEILING FANS WITH CONDUIT AND PULL-WIRE FOR FUTURE FAN CONTROLS. CONNECT TO NEW CIRCUIT, EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
13. PROVIDE C/T CABINET AND METER PER UTILITY REQUIREMENTS. COORDINATE PRIOR TO INSTALLATION.
14. PROVIDE NEW 42 CIRCUIT, 120/208V, 3 PHASE, 4 WIRE MAIN DISTRIBUTION PANEL "MDP".
15. PROVIDE NEW 120V, 1 PHASE, 3 WIRE DISTRIBUTION PANEL "LP-1".


GENERAL ELECTRIC POWER NOTES:

1. PROVIDE DEDICATED CIRCUITS FOR ALL APPLIANCES IN KITCHEN.
2. PROVIDE DEVICES AS SHOWN - VERIFY ALL FINAL LOCATIONS WITH ARCHITECT/OWNER.
3. COORDINATE ALL POWER AND EQUIPMENT REQUIREMENTS FOR MECHANICAL SYSTEMS WITH MECHANICAL CONTRACTOR.
4. COORDINATE ALL POWER AND EQUIPMENT REQUIREMENTS FOR PLUMBING SYSTEMS WITH PLUMBING CONTRACTOR.
5. COORDINATE FINAL LOCATION OF NEW RECEPTACLES AND SERVICE TERMINATION.
6. COORDINATE ALL WORK. SEE ARCHITECTURAL SHEETS FOR ADDITIONAL INFORMATION.
7. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.

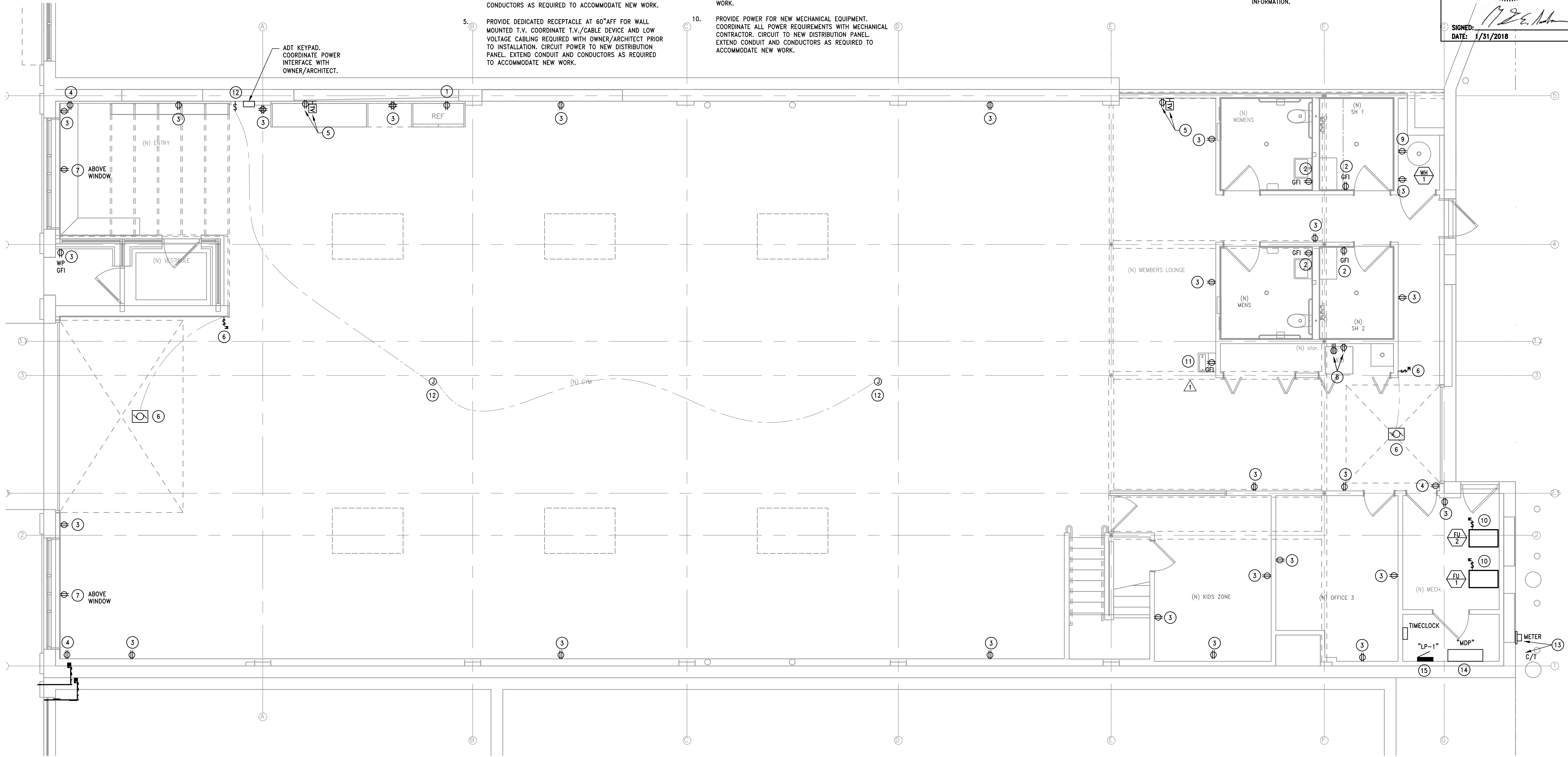
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MARK E. NUSSBAUM P.E.
ILLINOIS REGISTRATION NUMBER: 062-047695
EXPIRES 11/30/2019

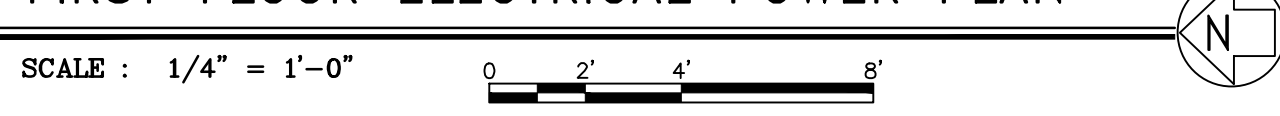
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EXPIRES 04/30/2019



SIGNED: *[Signature]*
DATE: 1/31/2018



1 FIRST FLOOR ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"




VERIFY ALL ELECTRICAL RECEPTACLES AND LIGHT FIXTURE SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. VERIFY FINAL LOCATION OF ALL LIGHT FIXTURES AND DEVICES WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

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 301 HARRISON STREET OAK PARK ILLINOIS 60304



KEYED NOTES -- ELECTRIC LIGHTING:

1. PROVIDE NEW EXIT AND EMERGENCY LIGHT FIXTURES WITH 90 MINUTE BATTERY BACK-UP. CONNECT TO UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT.
2. PROVIDE NEW LIGHT FIXTURE AND SWITCH. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK. CONTROL WITH NEW SWITCH(ES).
3. PROVIDE NEW LIGHT FIXTURE. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK. CONTROL WITH NEW VACANCY SENSOR SWITCH.
4. PROVIDE NEW LIGHT FIXTURE AND OCCUPANCY SENSOR CONTROL WITH MANUAL OVERRIDE. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
5. PROVIDE PHOTOCELL CONTROL AND 24/7 TIMECLOCK WITH MANUAL OVERRIDE FOR CONTROL OF NORTH EXTERIOR BUILDING LIGHTING. COORDINATE FINAL LOCATION OF TIMECLOCK (IN ELECTRIC ROOM) AND PHOTOCELL CONTROL WITH BUILDING FOR OPTIMAL EXTERIOR ILLUMINATION.
6. PROVIDE EXTERIOR WALL PAK LIGHT FIXTURE WITH INTEGRAL PHOTOCELL/MOTION SENSOR CONTROL. EXTEND CONDUIT AND CONDUCTORS TO DISTRIBUTION PANEL.
7. PROVIDE NEW EXTERIOR EMERGENCY LIGHT FIXTURES WITH 90 MINUTE BATTERY BACK-UP. CIRCUIT TO UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT.
8. PROVIDE NEW LIGHT FIXTURES AND OCCUPANCY SENSOR CONTROL, AND POWER FOR EXHAUST FAN. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR. CONTROL FAN AND LIGHTS WITH OCCUPANCY SENSOR WITH MANUAL OVERRIDE. EXTEND CONDUIT AND CONDUCTORS TO NEW DISTRIBUTION PANEL.
9. PROVIDE NEW LIGHT FIXTURES CONTROLLED BY DAYLIGHTING CONTROLS WITH MANUAL OVERRIDE CONTROL IN GENERAL GYM AREA. LOCATE DAYLIGHT HARVESTING/OCCUPANCY SENSOR IN LOCATION BEST SUITED FOR ACCURATE OPERATION PER MANUFACTURER'S REQUIREMENTS. COORDINATE FINAL LOCATION OF ALL CONTROLS IN FIELD. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK. MOUNT BOTTOM OF FIXTURE AT 15" AFF.

GENERAL LIGHTING NOTES:

1. EMERGENCY LIGHT FIXTURES WITH 90 MINUTE BATTERY BACK-UP ARE TO BE CONNECTED TO THE UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT
2. EXIT LIGHT FIXTURES WITH BATTERY 90 MINUTE BACK-UP ARE TO BE CONNECTED TO THE UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT
3. PROVIDE OCCUPANCY SENSOR SWITCH WITH MANUAL OVERRIDE WHERE SHOWN
4. PROVIDE VACANCY SENSOR SWITCH WITH MANUAL OVERRIDE WHERE SHOWN
5. MOUNT MANUAL LIGHT CONTROLS AT 44" AFF UNLESS NOTED OTHERWISE
6. ALL ELECTRICAL RECEPTACLES & SWITCHES SHALL BE LEVITON DECORA, COLOR BY ARCHITECT. VERIFY PRIOR TO PURCHASE.
7. ALL DAYLIGHTING/OCCUPANCY/VACANCY SENSOR CONTROLS AND MANUAL OVERRIDES SHALL BE LEVITON COMPLETE WITH ALL REQUIRED ACCESSORIES.

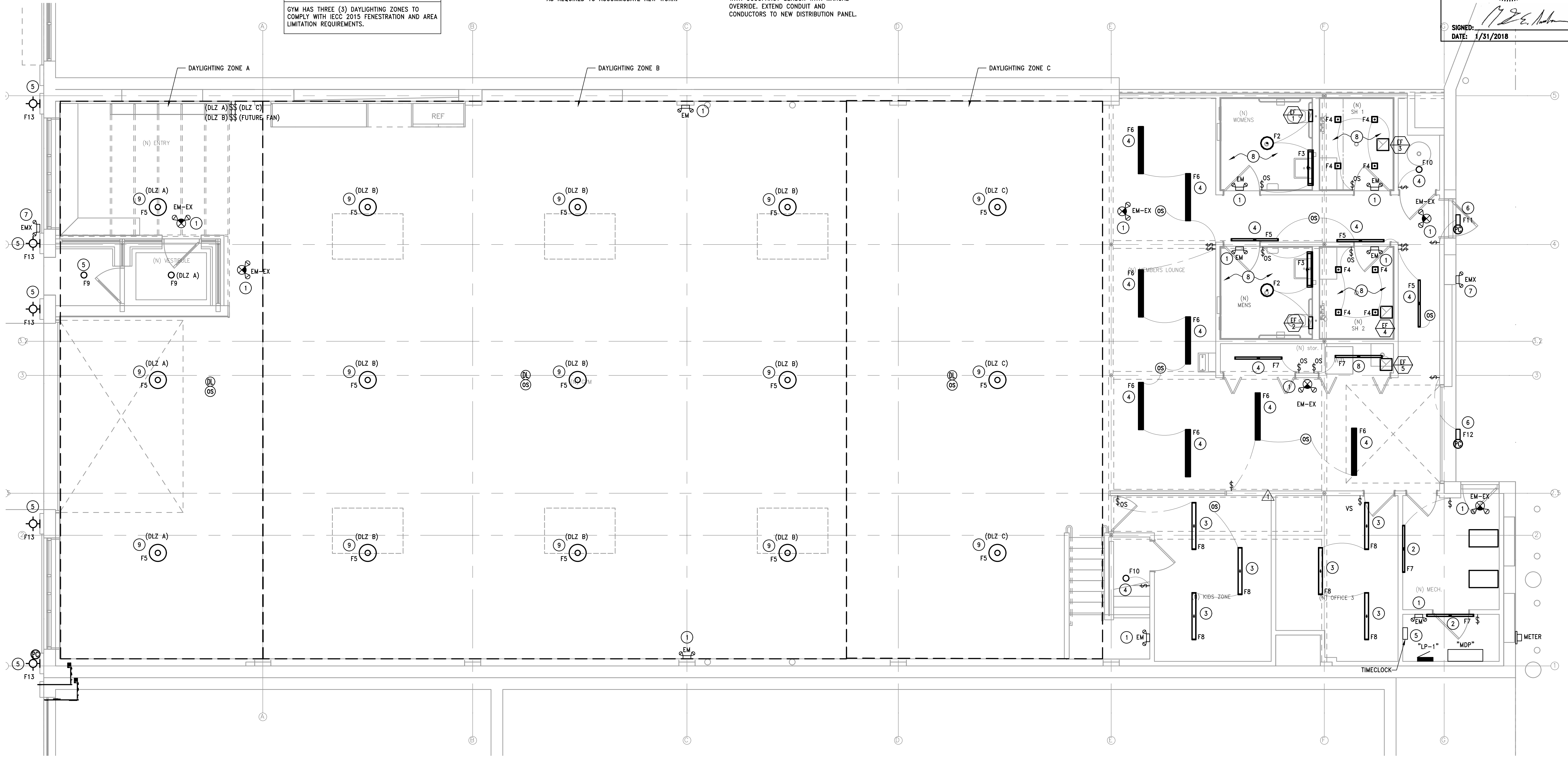
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SIGNED: *[Signature]*
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PROVIDE DAYLIGHT CONTROL FOR LIGHT LEVELS (IN ACCORDANCE WITH SECTION C405.2.3). CONTROL LIGHTS OFF/ON WITH OCCUPANCY SENSOR.



FIRST FLOOR ELECTRIC LIGHTING PLAN
SCALE : 1/4" = 1'-0"
0 2' 4' 8'

VERIFY ALL ELECTRICAL RECEPTACLES AND LIGHT FIXTURE SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. VERIFY FINAL LOCATION OF ALL LIGHT FIXTURES AND DEVICES WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

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T B D A

KEYED NOTES – ELECTRIC LIGHT & POWER:

1. PROVIDE DEDICATED RECEPTACLE FOR ALL APPLIANCE CIRCUITS. EXTEND CIRCUIT TO NEW DISTRIBUTION PANEL. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
2. PROVIDE DEDICATED GFI PROTECTED RECEPTACLES FOR COUNTER RECEPTACLES IN COACHES LOUNGE. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
3. PROVIDE NEW RECEPTACLE IN NEW LOCATION. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
4. PROVIDE POWER AND SWITCH FOR GARBAGE DISPOSAL. COORDINATE ALL POWER REQUIREMENTS WITH OWNER/ARCHITECT. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
5. PROVIDE NEW EXIT AND EMERGENCY LIGHT FIXTURES WITH 90 MINUTE BATTERY BACK-UP. CONNECT TO UNSWITCHED LEG OF LOCAL LIGHTING CIRCUIT.
6. PROVIDE NEW LIGHT FIXTURE. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK. CONTROL WITH NEW VACANCY SENSOR SWITCH.
7. PROVIDE NEW LIGHT FIXTURE AND OCCUPANCY SENSOR CONTROL WITH MANUAL OVERRIDE. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
8. PROVIDE POWER FOR NEW EXHAUST FAN. COORDINATE REQUIREMENTS WITH MECHANICAL CONTRACTOR. CONTROL FAN WITH MANUAL WALL SWITCH. COORDINATE FINAL LOCATION OF SWITCH WITH OWNER/ARCHITECT. EXTEND CONDUIT AND CONDUCTORS TO NEW DISTRIBUTION PANEL.
9. PROVIDE NEW LIGHT FIXTURES CONTROLLED BY DAYLIGHTING CONTROLS WITH MANUAL OVERRIDE CONTROL IN CONFERENCE ROOM. COORDINATE FINAL LOCATION OF ALL CONTROLS IN FIELD. CONNECT TO NEW LIGHTING CIRCUIT. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO ACCOMMODATE NEW WORK.
10. PROVIDE NEW DISCONNECT FOR NEW CONDENSING UNITS. COORDINATE ALL REQUIREMENTS WITH MECHANICAL CONTRACTOR. CIRCUIT TO NEW "MDP". EXTEND CONDUIT AND CONDUCTORS AS REQUIRED.
11. PROVIDE NEW DISCONNECT FOR NEW ROOFTOP UNITS. COORDINATE ALL REQUIREMENTS WITH MECHANICAL CONTRACTOR. CIRCUIT TO NEW "MDP". EXTEND CONDUIT AND CONDUCTORS AS REQUIRED.
12. PROVIDE WEATHERPROOF, GFI PROTECTED CONVENIENCE RECEPTACLES AT ROOFTOP EQUIPMENT. CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED.
13. PROVIDE QUAD FLOOR BOX RECEPTACLE WITH MEDIUM DUTY BRASS (OR OTHER APPROVED METAL COVER). CIRCUIT TO NEW DISTRIBUTION PANEL. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED.
14. TELE/DATA SYSTEM. COORDINATE ALL REQUIREMENTS WITH OWNER.

GENERAL ELECTRIC POWER NOTES:

1. PROVIDE DEDICATED CIRCUITS FOR ALL APPLIANCES.
2. PROVIDE DEVICES AS SHOWN – VERIFY ALL FINAL LOCATIONS WITH ARCHITECT/OWNER.
3. COORDINATE ALL POWER AND EQUIPMENT REQUIREMENTS FOR MECHANICAL SYSTEMS WITH MECHANICAL CONTRACTOR.
4. COORDINATE ALL POWER AND EQUIPMENT REQUIREMENTS FOR PLUMBING SYSTEMS WITH PLUMBING CONTRACTOR.
5. COORDINATE FINAL LOCATION OF NEW RECEPTACLES AND SERVICE TERMINATION.
6. COORDINATE ALL WORK. SEE ARCHITECTURAL SHEETS FOR ADDITIONAL INFORMATION.
7. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.

GENERAL LIGHTING NOTES:

1. EMERGENCY LIGHT FIXTURES WITH 90 MINUTE BATTERY BACK-UP ARE TO BE CONNECTED TO THE UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT.
2. EXIT LIGHT FIXTURES WITH BATTERY 90 MINUTE BACK-UP ARE TO BE CONNECTED TO THE UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT.
3. PROVIDE OCCUPANCY SENSOR SWITCH WITH MANUAL OVERRIDE WHERE SHOWN.
4. PROVIDE VACANCY SENSOR SWITCH WITH MANUAL OVERRIDE WHERE SHOWN.
5. MOUNT MANUAL LIGHT CONTROLS AT 44" AFF UNLESS NOTED OTHERWISE.
6. ALL ELECTRICAL RECEPTACLES & SWITCHES SHALL BE LEVITON DECORA. COLOR BY ARCHITECT. VERIFY PRIOR TO PURCHASE.
7. ALL DAYLIGHTING/OCCUPANCY/VACANCY SENSOR CONTROLS AND MANUAL OVERRIDES SHALL BE LEVITON COMPLETE WITH ALL REQUIRED ACCESSORIES.

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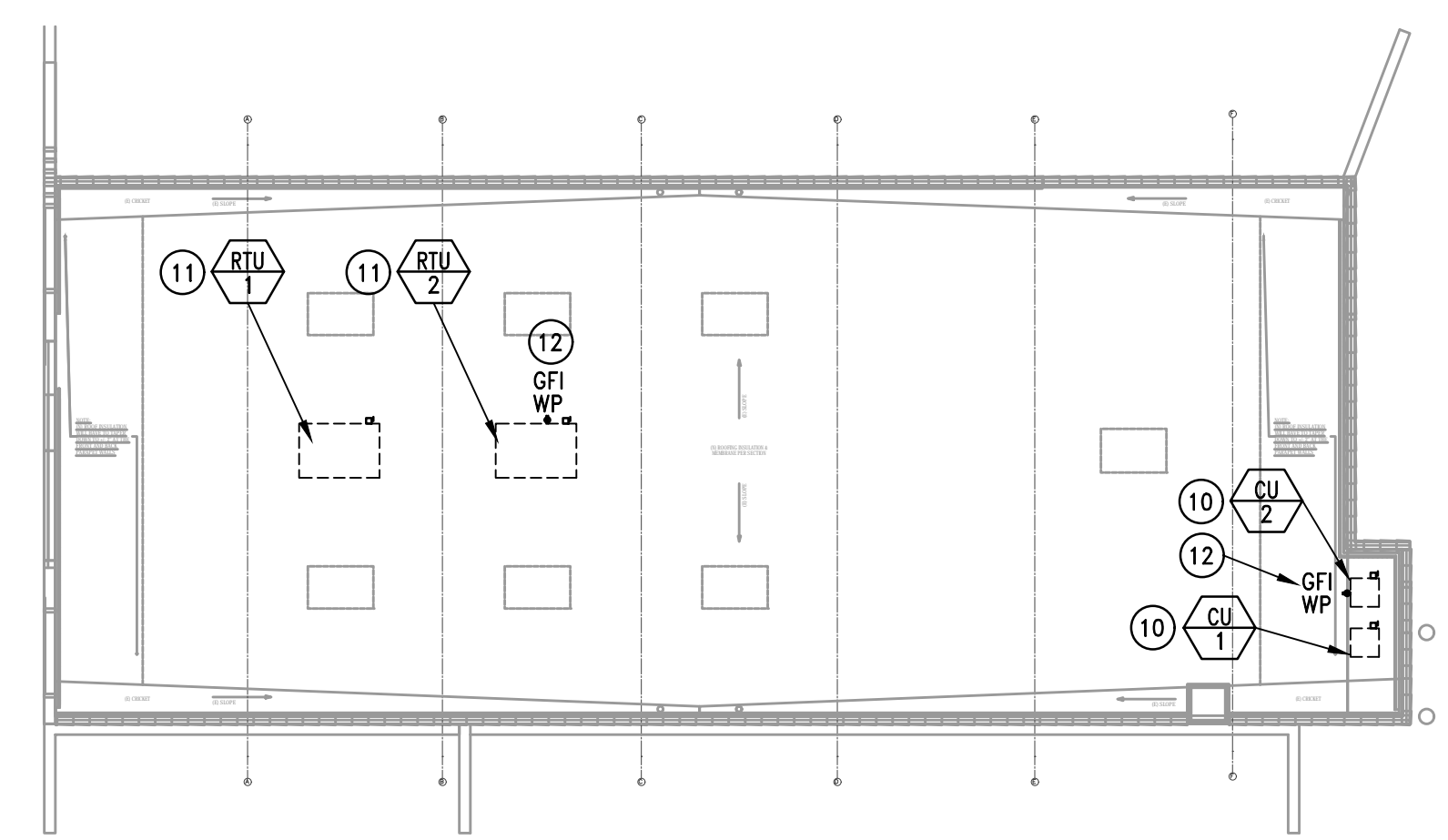
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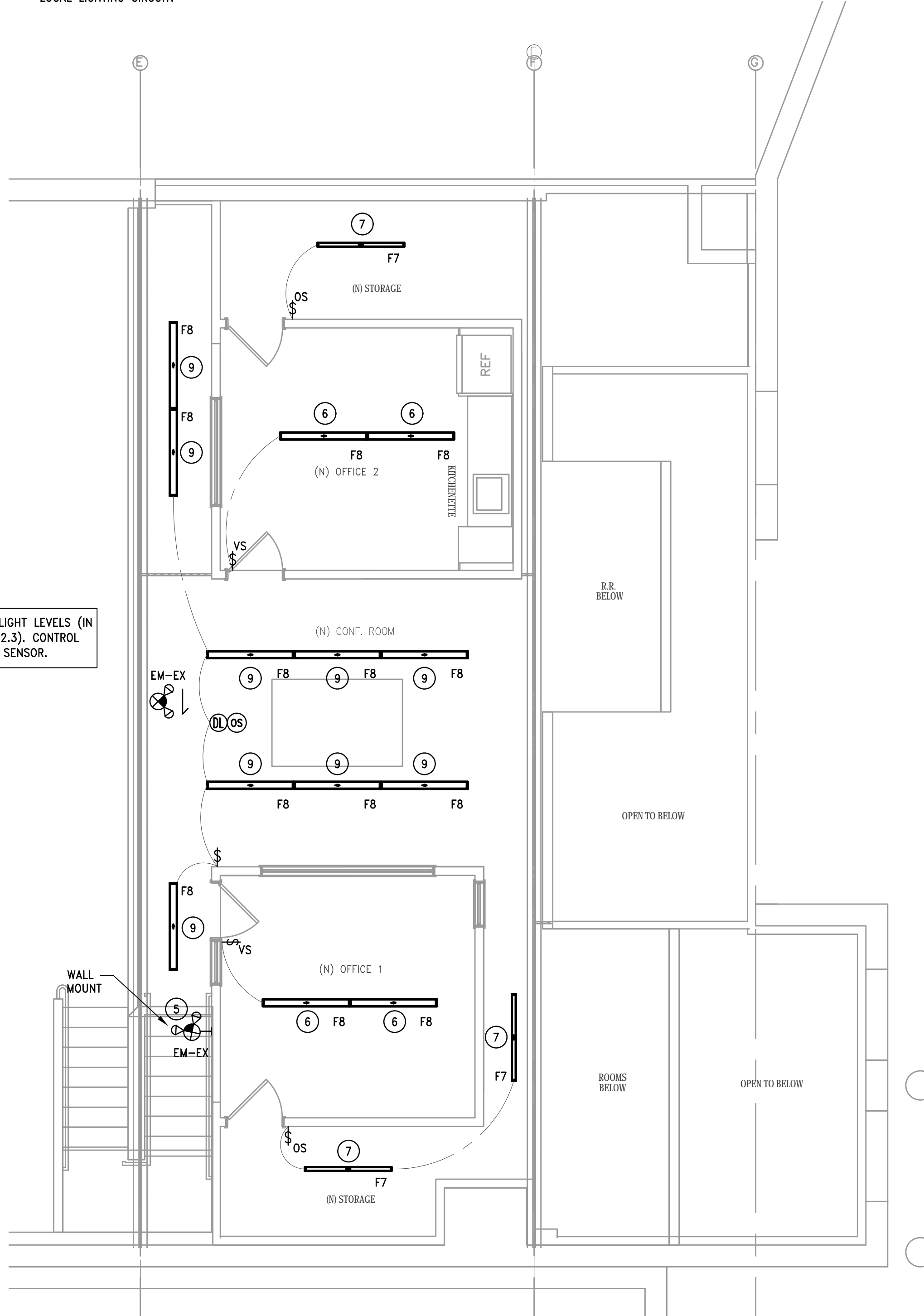
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

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DATE: 1/31/2018

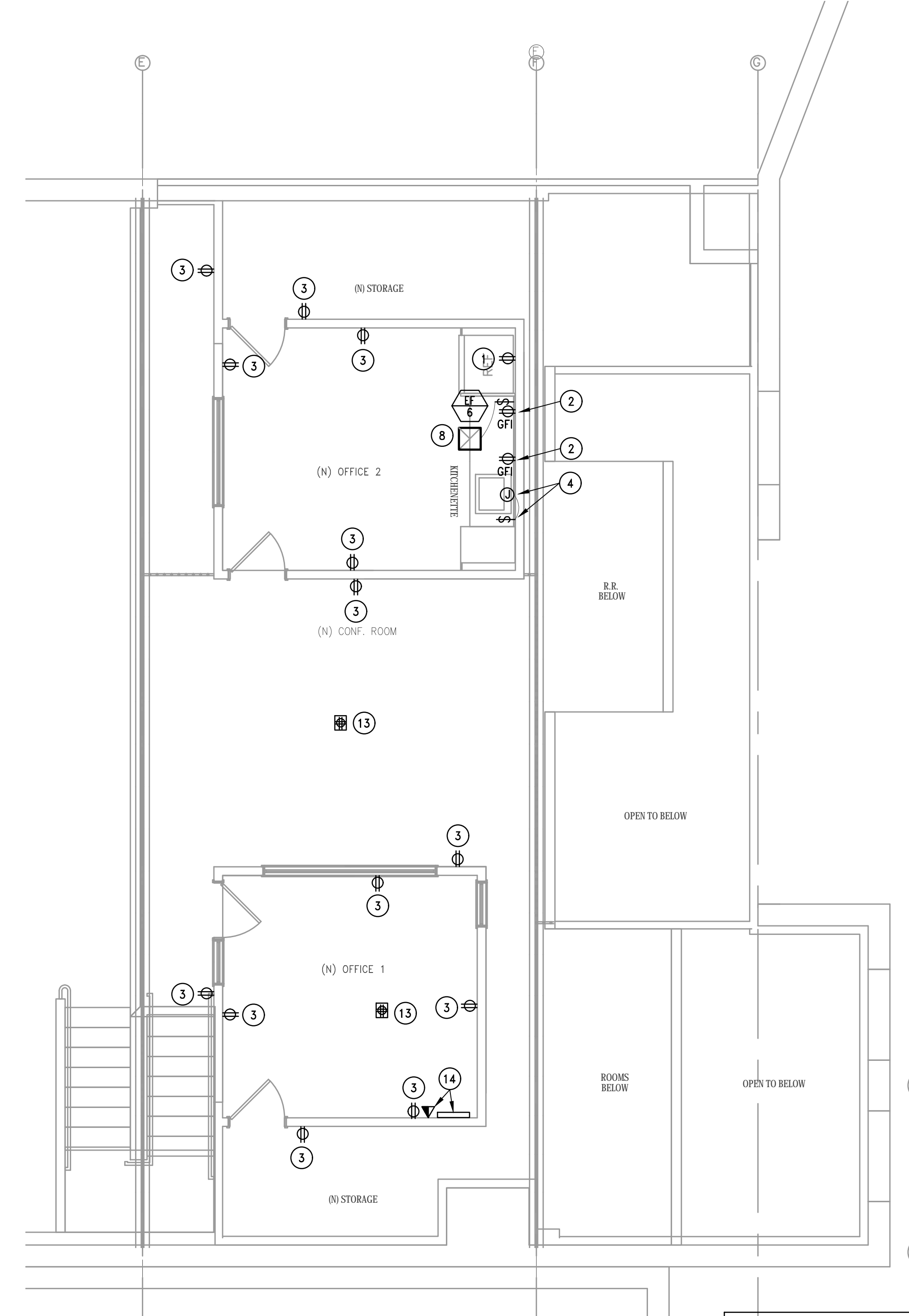
PROVIDE DAYLIGHT CONTROL FOR LIGHT LEVELS (IN ACCORDANCE WITH SECTION C405.2.3). CONTROL LIGHTS OFF/ON WITH OCCUPANCY SENSOR.



1 ROOF ELECTRICAL PLAN
SCALE: 1/16" = 1'-0"
0 8' 16' 32'



2 LOFT ELECTRIC LIGHTING PLAN
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



3 LOFT ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

VERIFY ALL ELECTRICAL RECEPTACLES AND LIGHT FIXTURE SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. VERIFY FINAL LOCATION OF ALL LIGHT FIXTURES AND DEVICES WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

(X) KEYED NOTES – FIRE ALARM:

1. PROVIDE NEW ALARM DEVICE. CONNECT TO FIRE SPRINKLER SYSTEM. COORDINATE SYSTEM INTERFACE REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ARCHITECT/OWNER.
2. PROVIDE MANUAL FIRE PULL. COORDINATE SYSTEM INTERFACE REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ARCHITECT/OWNER.
3. PROVIDE NEW FIRE ALARM CONTROL PANEL. COORDINATE SYSTEM INTERFACE REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR AND IT/COMMUNICATION CONTRACTOR. COORDINATE ELECTRIC POWER CONNECTION AND REQUIREMENTS WITH ELECTRICAL CONTRACTOR. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ARCHITECT/OWNER.
4. PROVIDE NEW FIRE ALARM ANNUCIATOR PANEL. COORDINATE SYSTEM INTERFACE REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ARCHITECT/OWNER.
5. COORDINATE WITH OWNER FOR DEDICATED TELEPHONE LINE OR RADIO FOR SUPERVISED FIRE ALARM SYSTEM.

FIRE ALARM LEGEND

- [F] FIRE ALARM PULL
- [FACP] FIRE ALARM CONTROL PANEL
- [FAAP] FIRE ALARM ANNUCIATOR PANEL
- (M) WALL MTD VISUAL FIRE ALARM DEVICE
- (AV) WALL MTD AUDIO/VISUAL FIRE ALARM DEVICE

NOTE: ALL FIRE PREVENTION SYSTEMS TESTS ARE TO BE SCHEDULED A MINIMUM OF 48 HOURS IN ADVANCE WITH THE OAK PARK FIRE PREVENTION BUREAU AT 708-358-5625 - fireprevention@oak-park.us

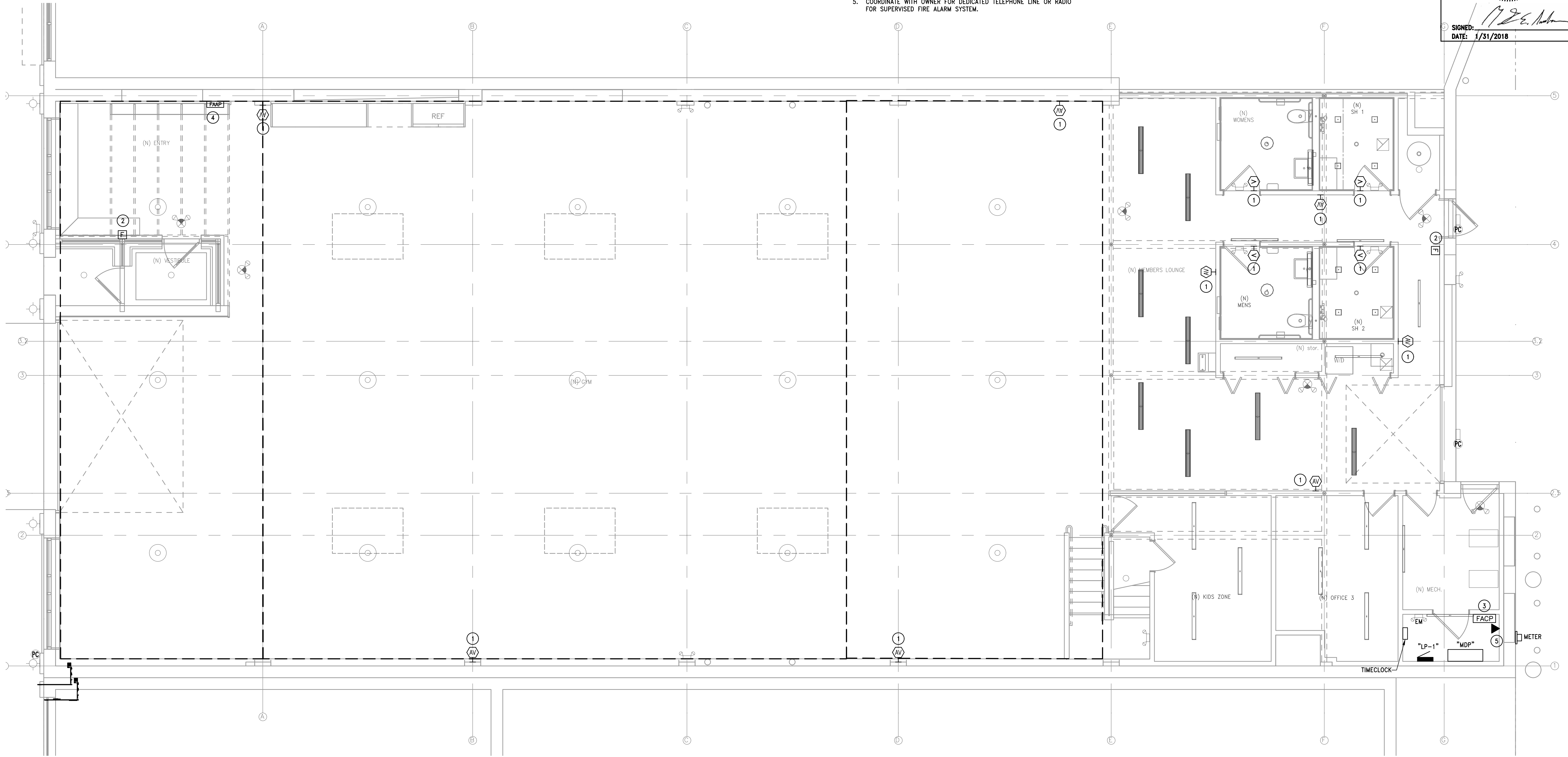
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EXPIRES 04/30/2019



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1 FIRST FLOOR FIRE ALARM PLAN
SCALE : 1/4" = 1'-0"

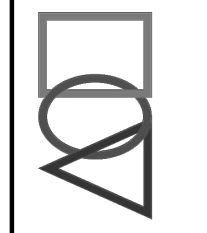


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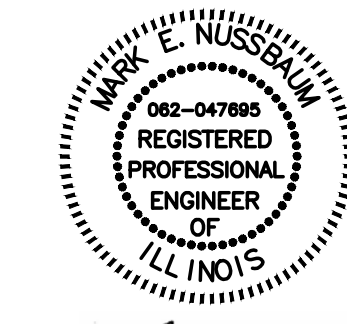
FIRE ALARM LEGEND	
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[FACP]	FIRE ALARM CONTROL PANEL
[FAAP]	FIRE ALARM ANNCIATOR PANEL
[S]	WALL MTD VISUAL FIRE ALARM DEVICE
[AV]	WALL MTD. AUDIO/VISUAL FIRE ALARM DEVICE


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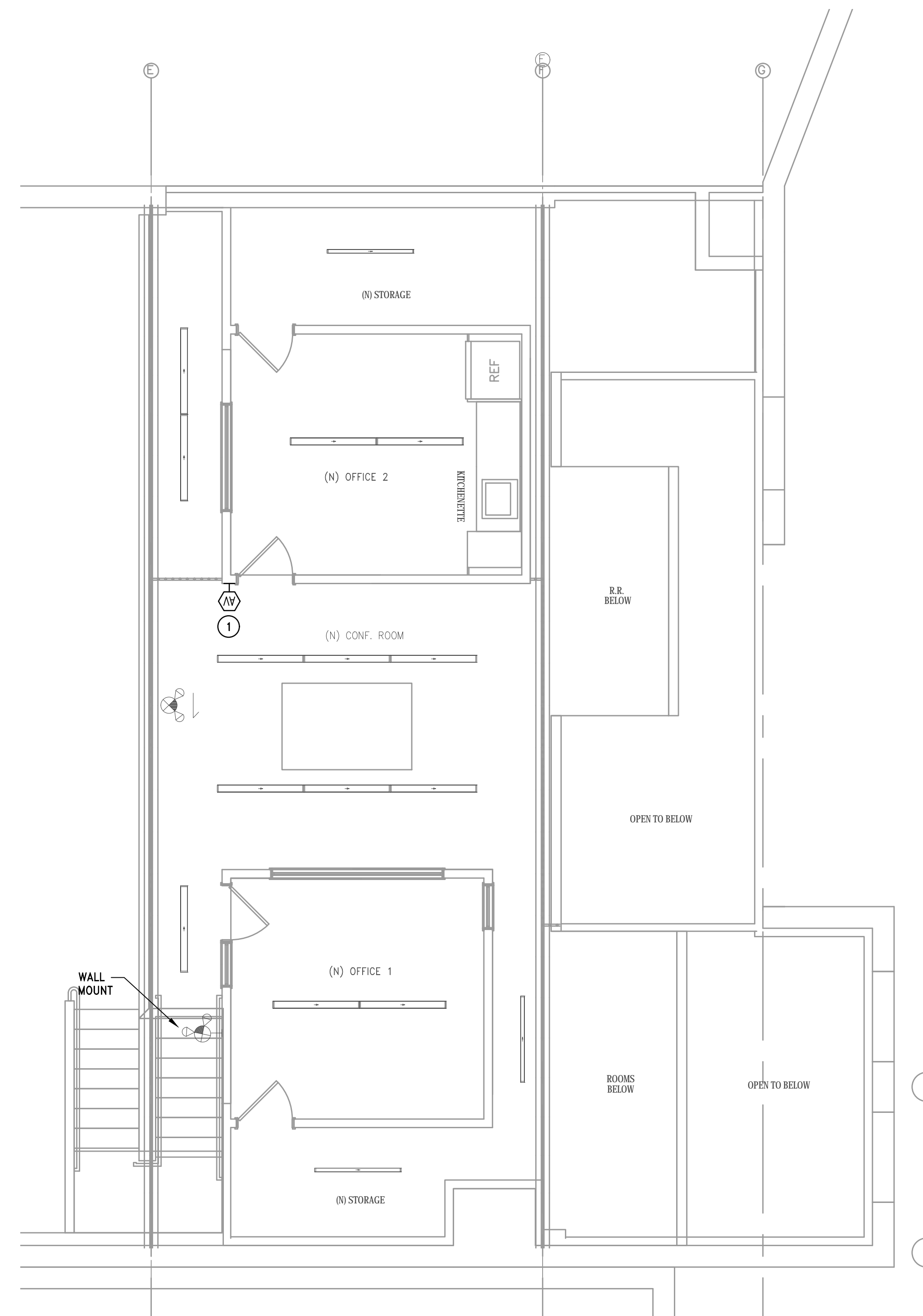
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(X) KEYED NOTES - FIRE ALARM:

1. PROVIDE NEW AUDIO/VISUAL ALARM DEVICE. CONNECT TO FIRE SPRINKLER SYSTEM. COORDINATE SYSTEM INTERCONNECTION REQUIREMENTS WITH FIRE SPRINKLER CONTRACTOR. COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ARCHITECT/OWNER.



1 LOFT FIRE ALARM PLAN
SCALE : 1/4" = 1'-0"  

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 T B D A


DESIGN CRITERIA

- Building Code
INTERNATIONAL BUILDING CODE 2009
- Superimposed Design Live Loads

LOFT Floor Live Load	50 psf
PARTITION Load	20 psf
Roof Live Load	30 psf

General Notes

ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO STEEL FABRICATION
COORDINATE ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS

- Perform work in accordance with Contract Drawings. Report discrepancies between Contract Drawings to Architect for clarification prior to implementing work.
- Subject to Structural Engineer's acceptance, utilize details for similar conditions when details for construction are not indicated for a specific condition.
- Compare Structural Drawings with Architectural, and other Contract Drawings and report discrepancies to Architect/Engineer prior to implementing work.
- Structure designed for the final in-service conditions only. Take necessary precautions to maintain and ensure the integrity of the structure at all stages of construction.
- Existing conditions and related dimensions indicated in Contract Documents are provided for information only and shall be field verified prior to implementing work. Submit conditions that differ from that indicated in Contract Documents to Architect for review prior to implementing work.
- Properly reinstate existing finishes or items that are removed or damaged while performing work.
- If not specifically identified, contractor shall follow IBC 2006 for prescriptive member sizes. Any discrepancies shall be brought to the attention of the architect or engineer prior to proceeding with work.
- Do not place materials or equipment on steel deck in excess of 20 psf nor on finished floors or roofs in excess of the indicated design live loads. Avoid impact loading.
- Structure designed for the final in-service conditions only. Take necessary precautions to maintain and ensure the integrity of the structure at all stages of construction.
- Existing conditions and related dimensions indicated in Contract Documents are provided for information only and shall be field verified prior to implementing work. Submit conditions that differ from that indicated in Contract Documents to Architect for review prior to implementing work.
- Generally, the drawings do not indicate temporary requirements. Need for temporary dewatering, temporary earth retention, temporary water cutoff or other temporary measures might be indicated on drawings at selected areas as suggestions. Drawings do not identify all areas or conditions requiring temporary measures. Confirm temporary measures indicated on drawings and identify other areas or conditions requiring temporary measures. Determine and design the appropriate temporary systems.
- Items suspended from steel trusses shall be brought to the attention of the engineer prior to any attachment.

Foundation Notes

- Foundations shall bear on undisturbed natural soil with a minimum allowable bearing capacity of 1,500 psf.
- Contractor shall provide temporary shoring/support of existing structures as required to prevent any possible damage during excavation and construction of new foundation.
- Contractor shall locate all utilities prior to excavation work.
- Backfilling against new foundation wall shall not begin until first floor framing and subfloor are fully installed.

MASONRY

- Hollow load bearing and non-load bearing concrete masonry units shall be Grade N conforming to ASTM C90 with minimum net area compressive strength of 2800 psi for the units and minimum prism strength $f'_m = 2000$ psi.
- Mortar shall be Type S.
- Grout shall have a minimum compressive strength of 3000 psi.
- Reinforcing steel shall conform to ASTM A615, grade 60. Reinforcing steel that is welded shall conform to ASTM A706, grade 60.
- Splice vertical reinforcing steel minimum of 48 bar diameters. Splice horizontal reinforcing steel minimum of 36 bar diameters.

CONCRETE

- Place and construct concrete in accordance with ACI 301.
- Detail concrete in accordance with ACI 315.
- Provide following concrete types at specified areas and with specified 28-day compressive strength:

Sand and normal weight coarse aggregate (145 pcf, max.), 0.50 maximum water/cement ratio, no intentionally entrained air	4000 psi
Spread Footings	4000 psi
- Unless noted otherwise, concrete reinforcing steel shall conform to ASTM A615, grade 60. Reinforcing steel that is welded shall conform to ASTM A706, grade 60.
- Welded wire fabric shall conform to ASTM A185. Supply in flat sheets (not rolls).
- Provide concrete protection for reinforcement in accordance with ACI 318, unless noted otherwise.
- Unless noted otherwise, "Continuous" reinforcement shall have minimum lap of Class "B" per ACI 318 at splices and shall hook at discontinuous ends. "Continuous" reinforcement shall be continuous through columns, piers, foundation caps or other intersecting elements. Alternatively, "continuous" reinforcement shall be lap spliced with a Class "B" lap to dowels in the intersecting elements that develop the full yield strength of the "continuous" reinforcement.

Laps of wire mesh shall be a minimum of two wire meshes plus 2 inches.
- Joints not indicated shall be made and located to least impair the strength and appearance of the structure. Horizontal joints not permitted in concrete except where they normally occur or where indicated. Vertical joints shall occur only at locations accepted by Structural Engineer.
- Prepare joints by roughening the surface of the concrete in an acceptable manner to a full amplitude of 1/4", such that the aggregate is exposed uniformly and leaving no residue particles or damaged concrete. Roughen the base slab at Level 3 in such a manner to receive the topping slab.
- Do not remove formwork prior to concrete attaining 75% of the specified 28-day compressive strength.
- Ensure full consolidation of concrete around dowels, anchor bolts, deformed bar anchors, headed concrete anchors and other similar items during concrete placement.
- For topping slabs where reinforcing is not otherwise indicated on plan, in sections, or in schedules, reinforce:

$3' < l \leq 6'$	WWR 6x6/W2.9xW2.9 Top
------------------	-----------------------

CONTROLLED LOW STRENGTH MATERIAL (CLSM)

- Place and construct concrete in accordance with ACI 229R
- PROVIDE CLSM WITH THE FOLLOWING PROPERTIES:

APPLICATION:	STRUCTURAL FILL
COMPRESSIVE STRENGTH:	100 PSI
IN-PLACE DENSITY:	115 LB/FT ³
FLOWABILITY:	8" SLUMP MIN.

TIMBER NOTES

LUMBER:

JOISTS:	SOUTHERN PINE NO. 1	FLOOR PLANK:	SOUTHERN PINE NO. 2
F_b	= 1,250 psi		
F_v	= 175 psi		
E	= 1,700 ksi		

STUDS:	S-P-F NO. 2
$F_{b }$	= 1,150 psi
$F_{v }$	= 875 psi
E	= 1,400 ksi

LVL:	WEYERHAUSER 2.0E
F_b	= 2,900 psi
F_v	= 290 psi
E	= 2,000 ksi

MINIMUM JOIST BEARING REQUIREMENTS:
3" ON CONCRETE
1/2" ON STEEL/WOOD OR JOIST HANGER

ALL INTERIOR STUD WALLS SHALL BE CAPPED WITH A MIN. DOUBLE TOP PLATE AND SHALL SIT ON A PT SILL W/ 8"x8" EMBED. ANCHORS SPACED 32" O.C. UNO

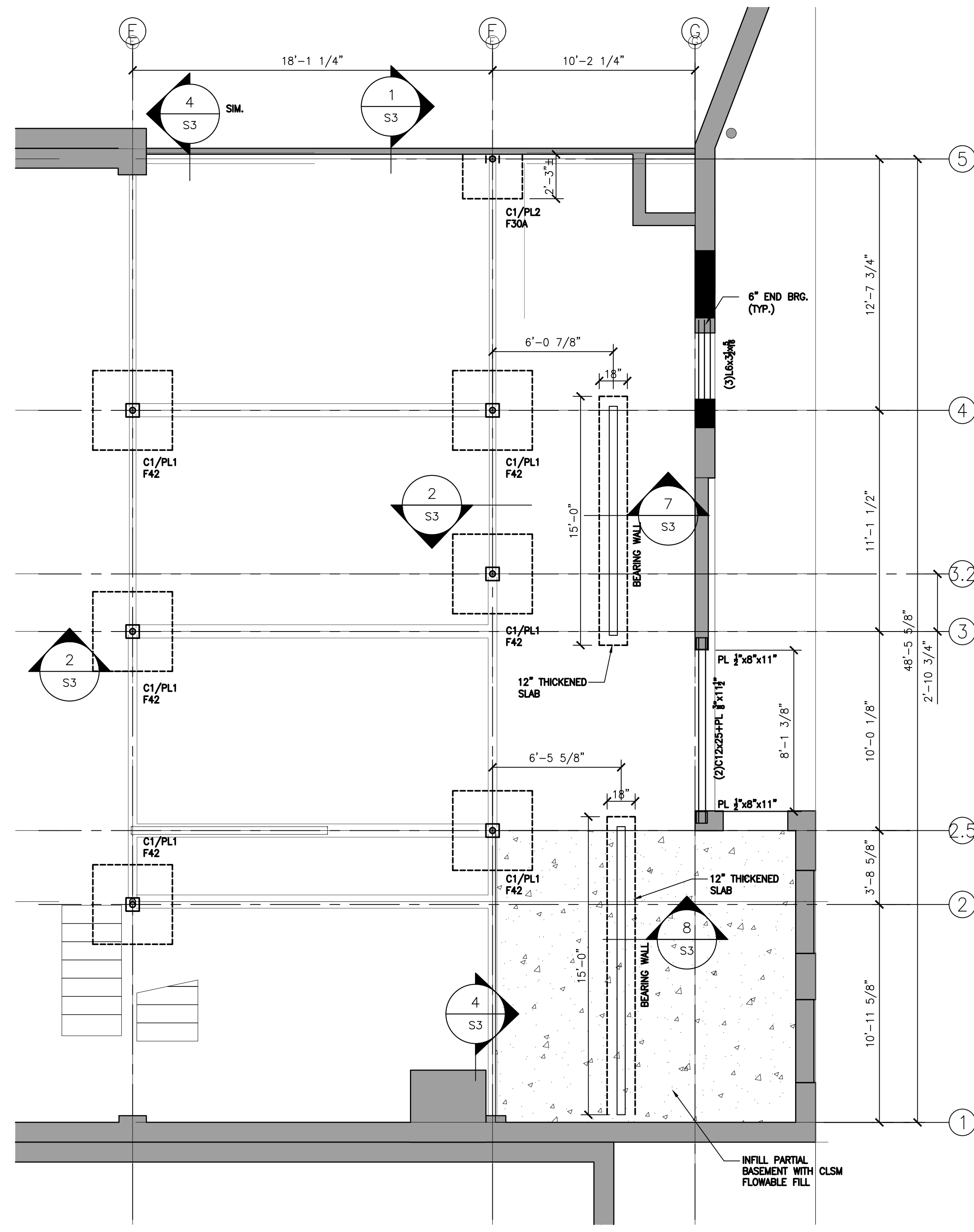
ALL TIMBER FRAMING ATTACHED TO CONCRETE OR MASONRY SHALL BE PRESSURE TREATED

STEEL

- Detail, fabricate and erect structural steel in accordance with the latest AISC, ASD specifications and standards.
- Structural steel rolled shapes and plates in the following areas shall conform to the designated specification:

Beams	AISC 360
Columns	AISC 360

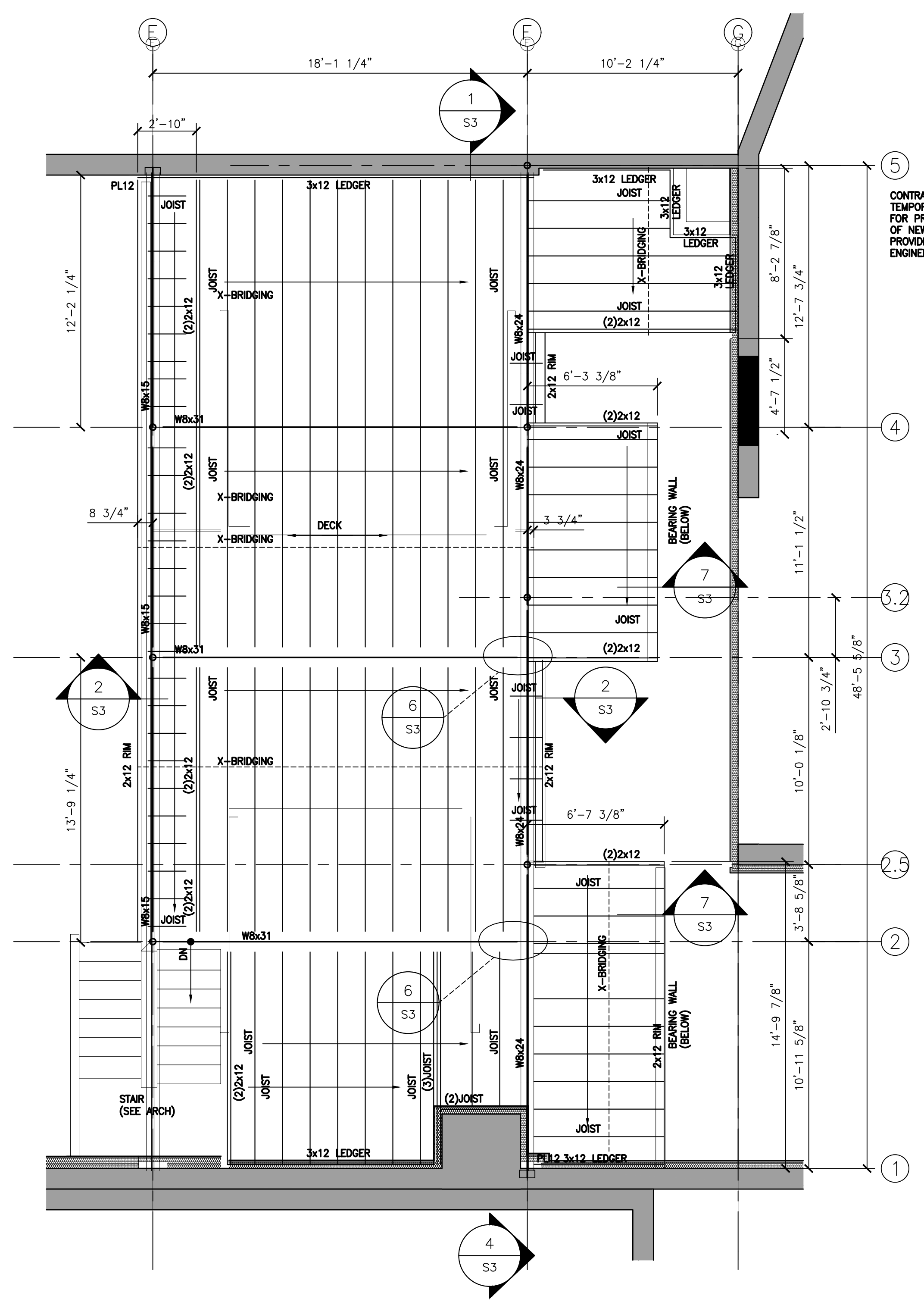
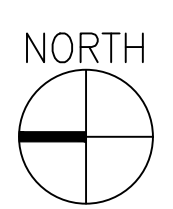
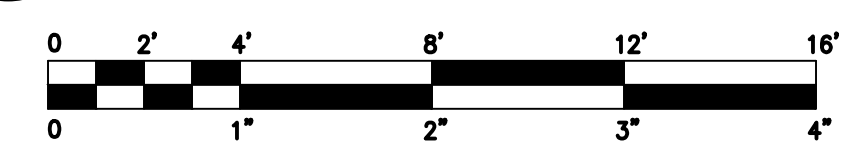
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS		
description of building elements	number and type of fasteners	spacing of fasteners
joist to sill or girder, toe nail	3-8d	
1x6 subfloor or less to each joist, face nail	2-8d / 2 staples , 1 3/4"	
2" subfloor to joist or girder, blind and face nail	2-16d	
sole plate to joist or blocking, face nail	16d	16" o.c.
top or sole plate to stud, end nail	2-16d	
stud to sole plate, toe nail	3-8d or 2-16d	
double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
sole plate to joist or blocking at braced wall panels	3-16d	16" o.c.
double top plates, minimum 24" offset of end joists, face nail in lapped area	8-16d	
blocking between joists or rafters to top plate, toe nail	3-8d	
rim joist to top plate, toe nail	8d	6" o.c.
top plates, laps at corners and intersections, face nail	2-10d	
built-up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
continued header, two pieces	16d	16" o.c. along each edge
ceiling joists to plate, toe nail	3-8d	
continuous header to stud, toe nail	4-8d	
ceiling joist, laps over partitions, face nail	3-10d	
ceiling joists to parallel rafters, face nail	3-10d	
rafter to plate, toe nail	2-16d	
1" brace to each stud and plate, face nail	2-8d / 2 staples , 1 3/4"	
1"x6" sheathing to each bearing, face nail	2-8d / 2 staples , 1 3/4"	
1"x8" sheathing to each bearing, face nail	2-8d / 3 staples , 1 3/4"	
wider than 1"x8" sheathing to each bearing, face nail	3-8d / 4 staples , 1 3/4"	
built-up corner studs	10d	24" o.c.
		nail each later as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice at each bearing
built-up girders and beams, 2 inch lumber layers	10d	
2" planks	2-16d	
roof rafters to ridge, valley or hip rafters:		
toe nail	4-16d	
face nail	3-16d	
rafter ties to rafters, face nail	3-8d	
collar tie to rafter, face nail, or 1 1/4" x 20 gage ridge strap	3-10d	



C1: 3" SCH. 40 PIPE
 PL1: 1/2"x8"x8" W/4-#4 EMBED A.B.
 PL2: 1/2"x8"x10" W/2-#4 EMBED A.B.
 F42: 3'-6"x3'-6"x12" W/6-#4 E.W. BOT.
 F30A: 2'-6"x2'-3"x12" (SEE DETAIL)

T/SLAB
 EL. 0'-0" REF.
 SEE ARCHITECTURAL DRAWINGS FOR
 SLAB ELEVATIONS

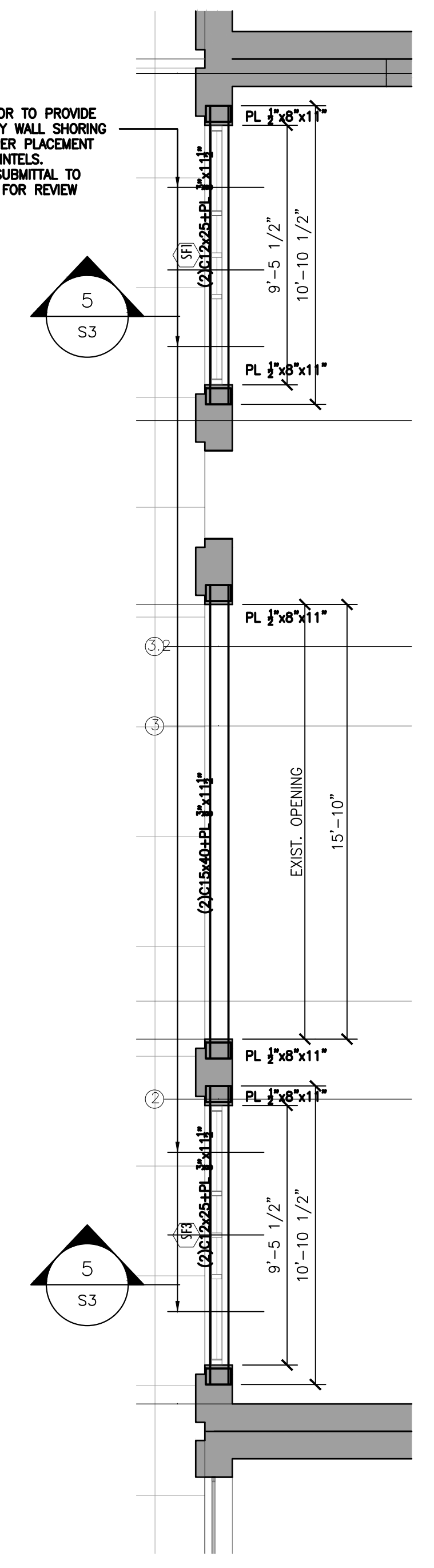
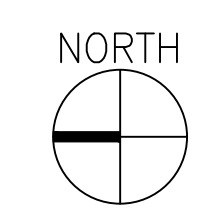
1 MEZZANINE FOUNDATION PLAN
 S1 SCALE: 1/4" = 1'-0"



T/DECK
 EL. 8'-11 1/4" AFF

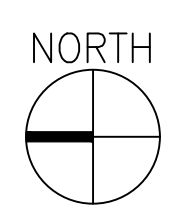
DECK: 2x6 PLANK (FLAT)
 JOIST: 2x12 @ 16" O.C.
 PL12: PL 1/2"x6"x8"

2 MEZZANINE FRAMING PLAN
 S1 SCALE: 1/4" = 1'-0"

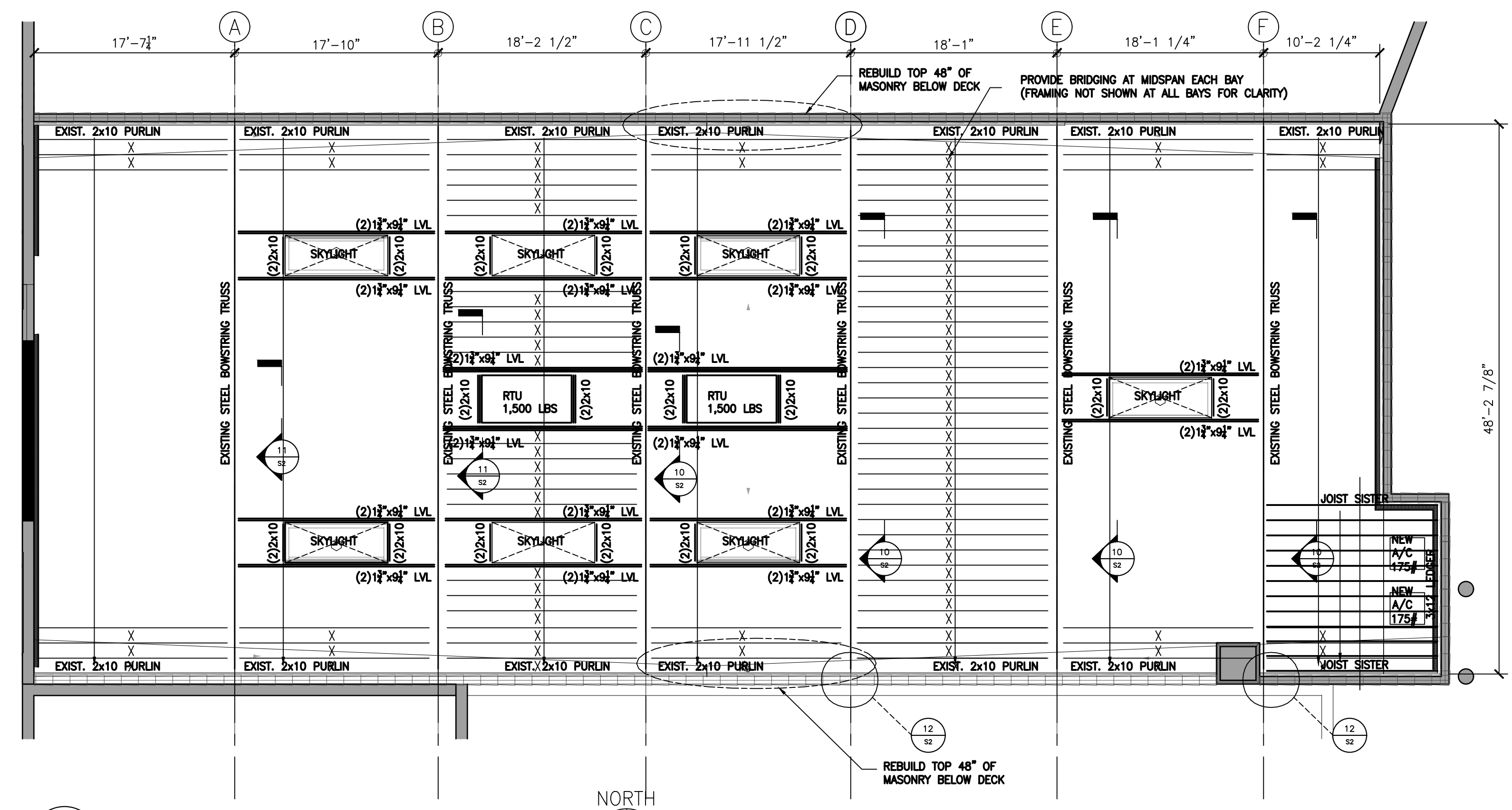


T/STL
 EL. 10'-6" AFF

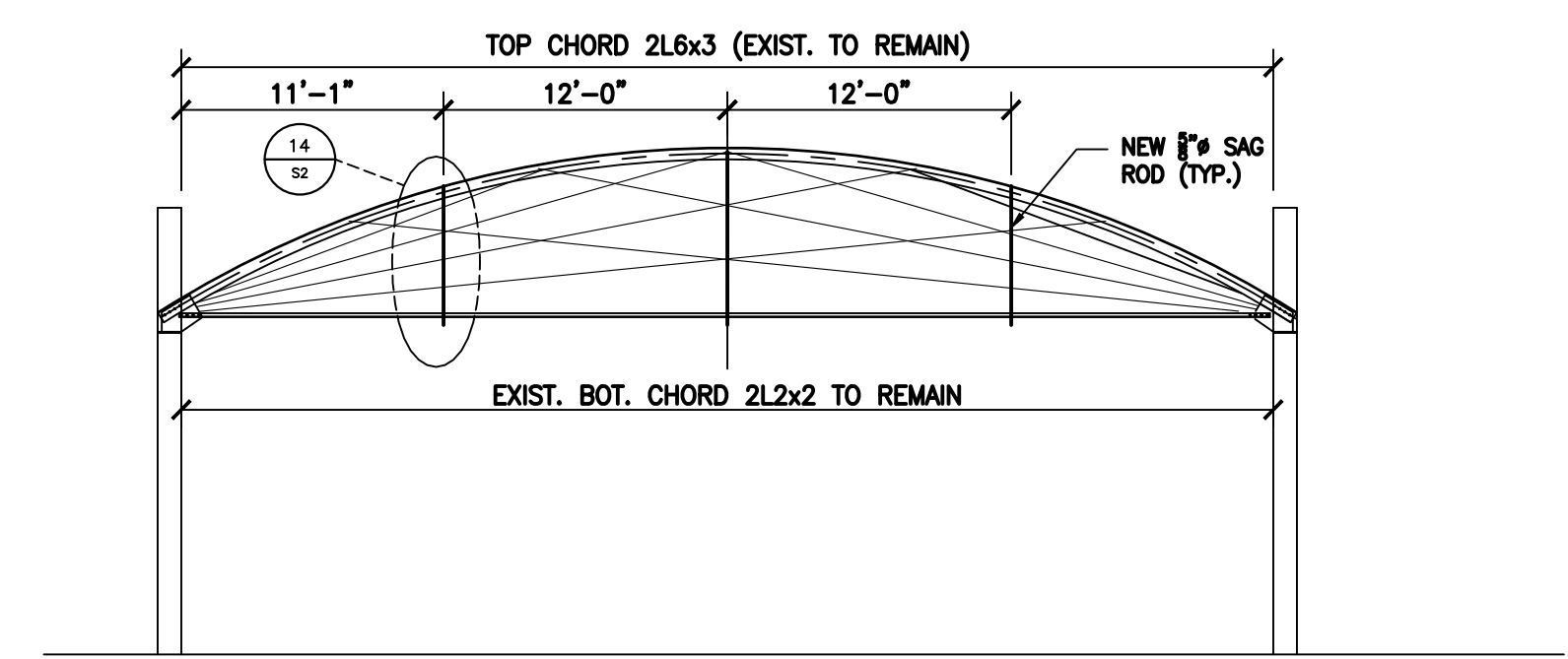
3 NORTH WALL LINTELS
 S1 SCALE: 1/4" = 1'-0"



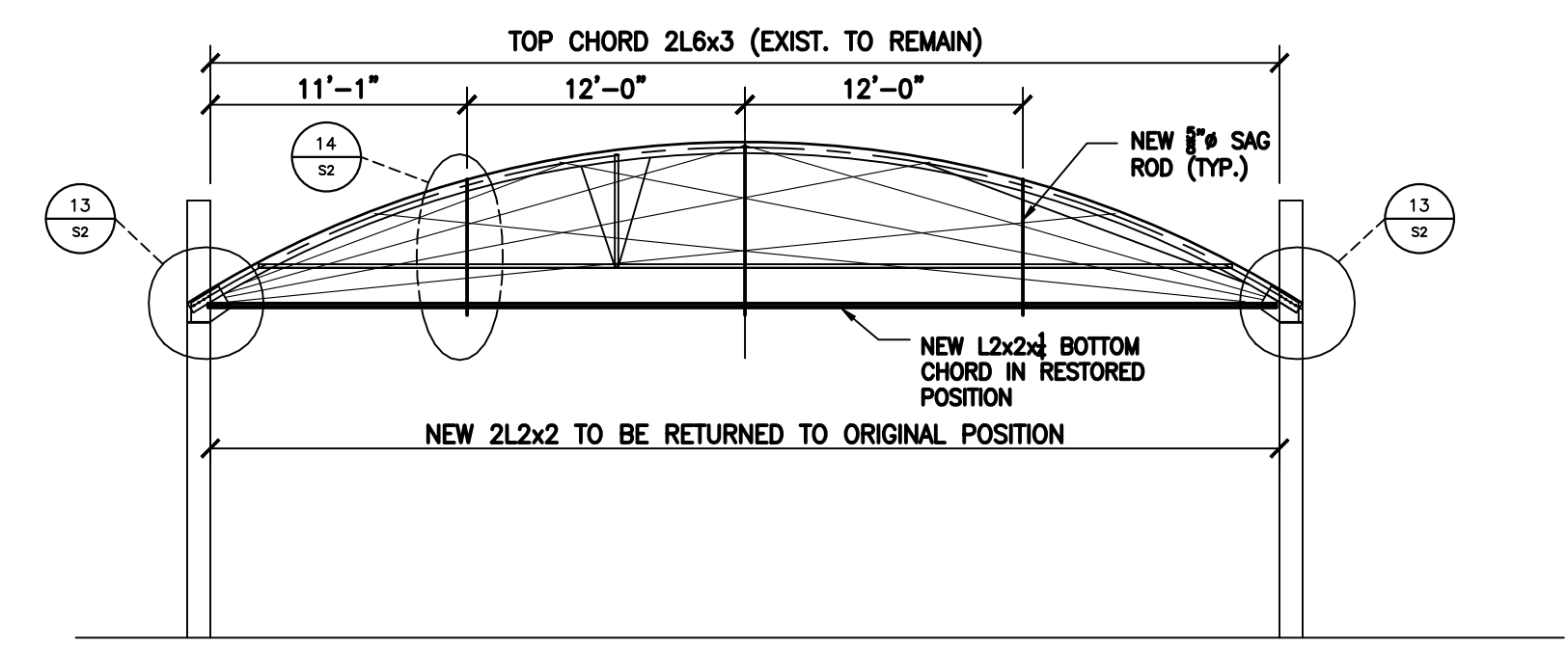
CONTRACTOR TO PROVIDE
 TEMPORARY WALL SHORING
 FOR PROPER PLACEMENT
 OF NEW LINTELS.
 PROVIDE SUBMITTAL TO
 ENGINEER FOR REVIEW



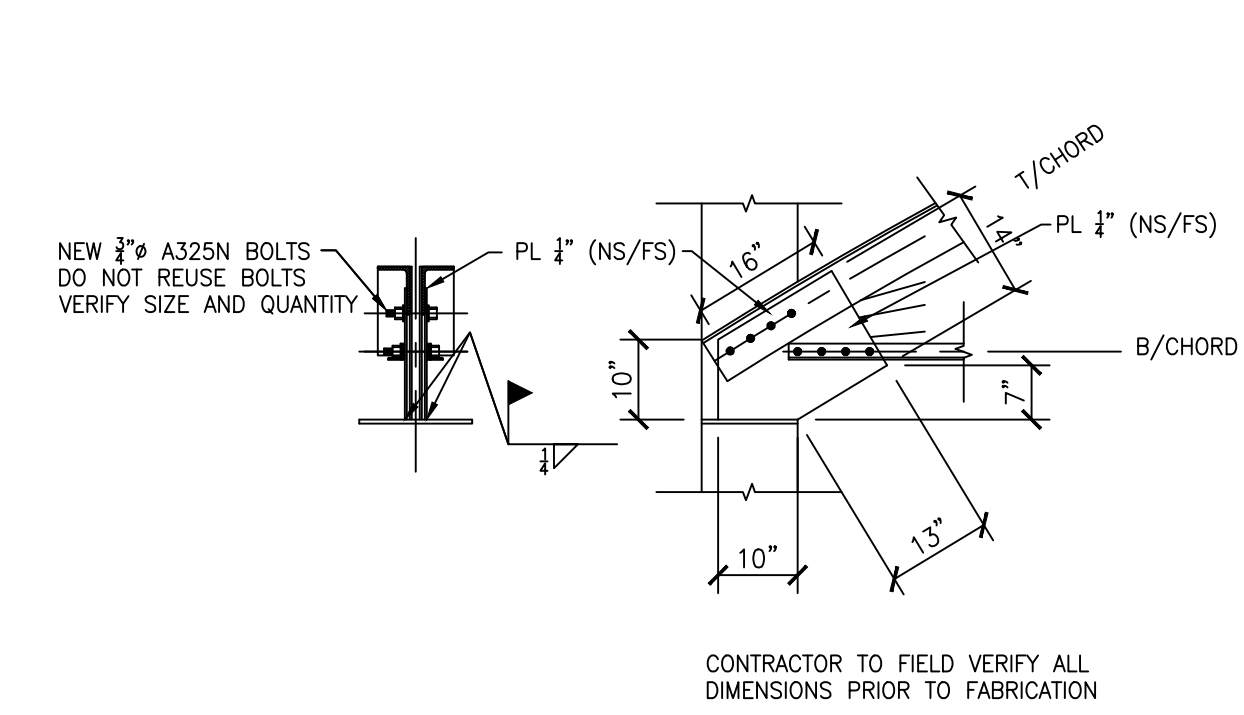
1 ROOF FRAMING MODIFICATIONS
SCALE: 1/8" = 1'-0"
0 4' 8' 16' 24' 32'
0 1' 2' 3' 4'



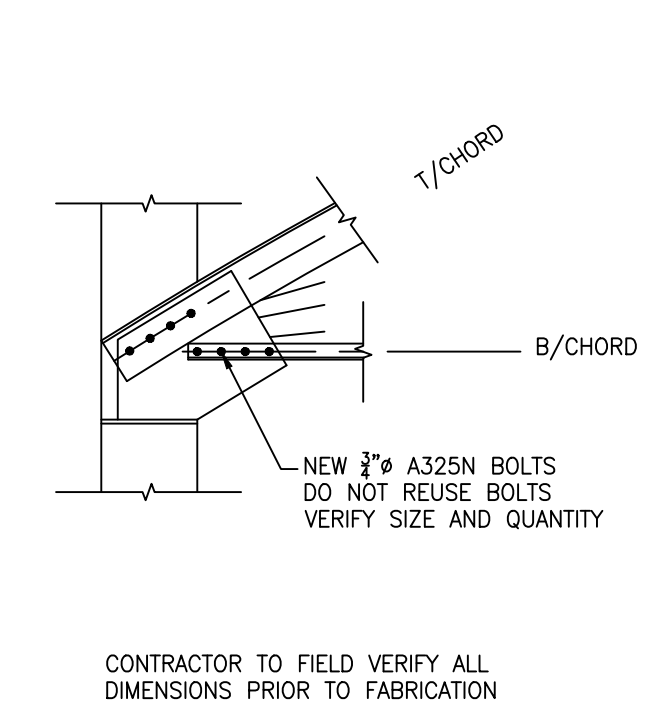
10 TRUSS C,D,E,F
MODIFICATION ELEVATION
SCALE: 1/8" = 1'-0"



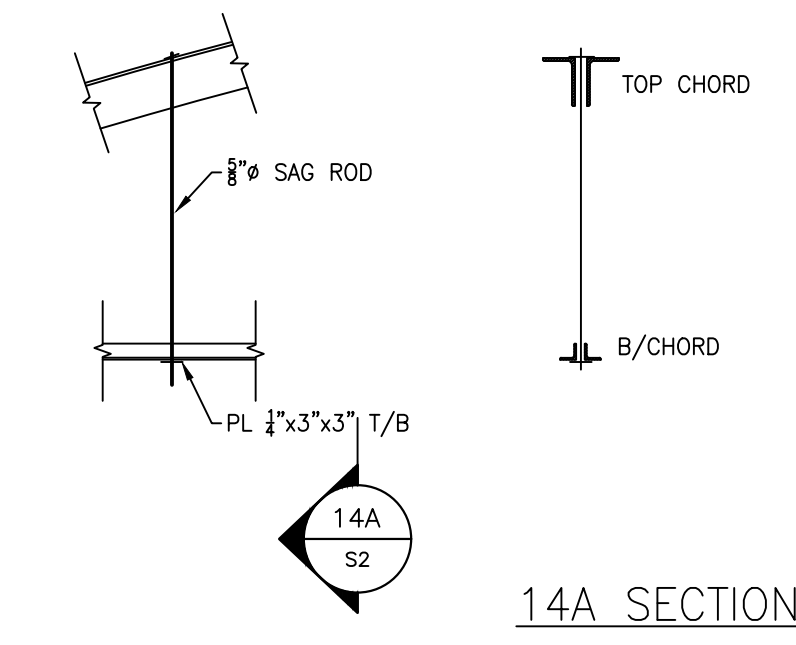
11 TRUSS A,B
MODIFICATION ELEVATION
SCALE: 1/8" = 1'-0"



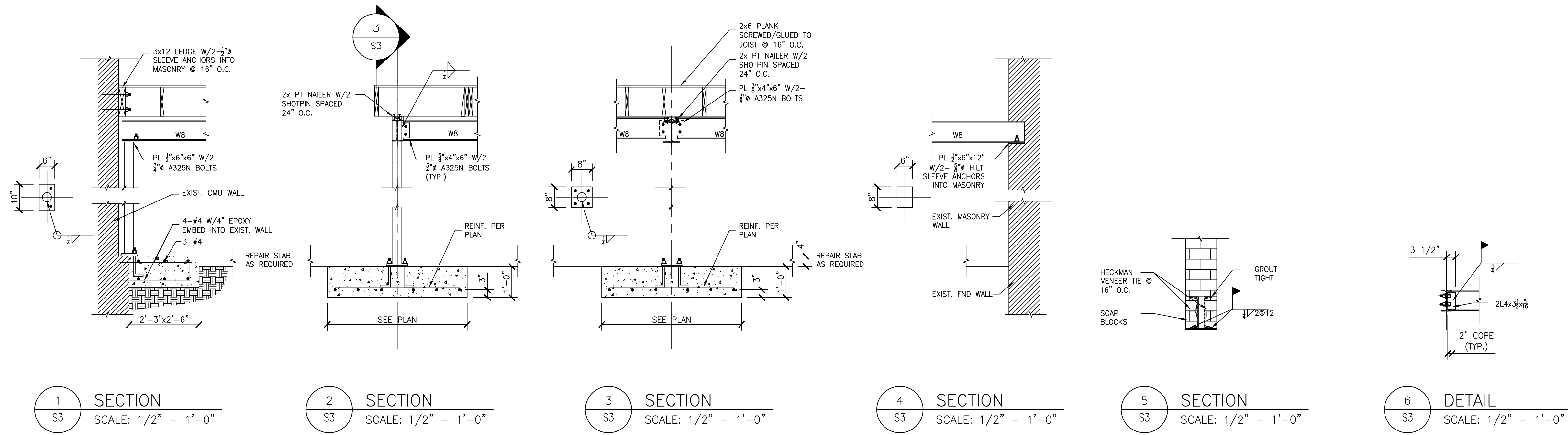
12 DETAIL
SCALE: 1/2" = 1'-0"



13 DETAIL
SCALE: 1/2" = 1'-0"



14A SECTION
SCALE: 1/2" = 1'-0"



1 SECTION
S3 SCALE: 1/2" - 1'-0"

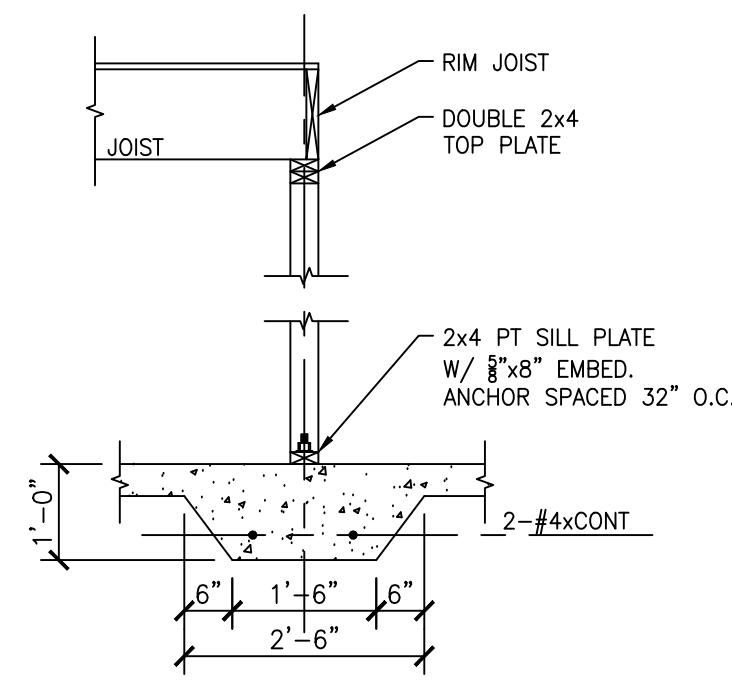
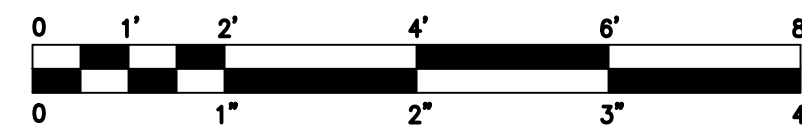
2 SECTION
S3 SCALE: 1/2" - 1'-0"

3 SECTION
S3 SCALE: 1/2" - 1'-0"

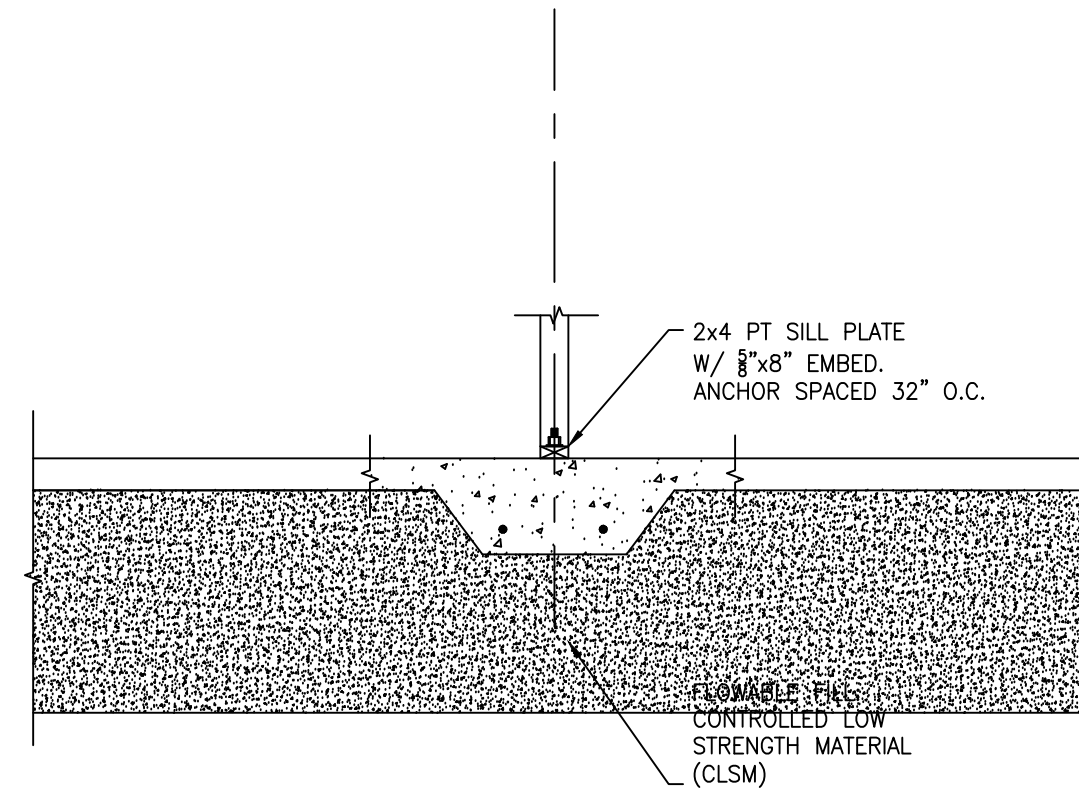
4 SECTION
S3 SCALE: 1/2" - 1'-0"

5 SECTION
S3 SCALE: 1/2" - 1'-0"

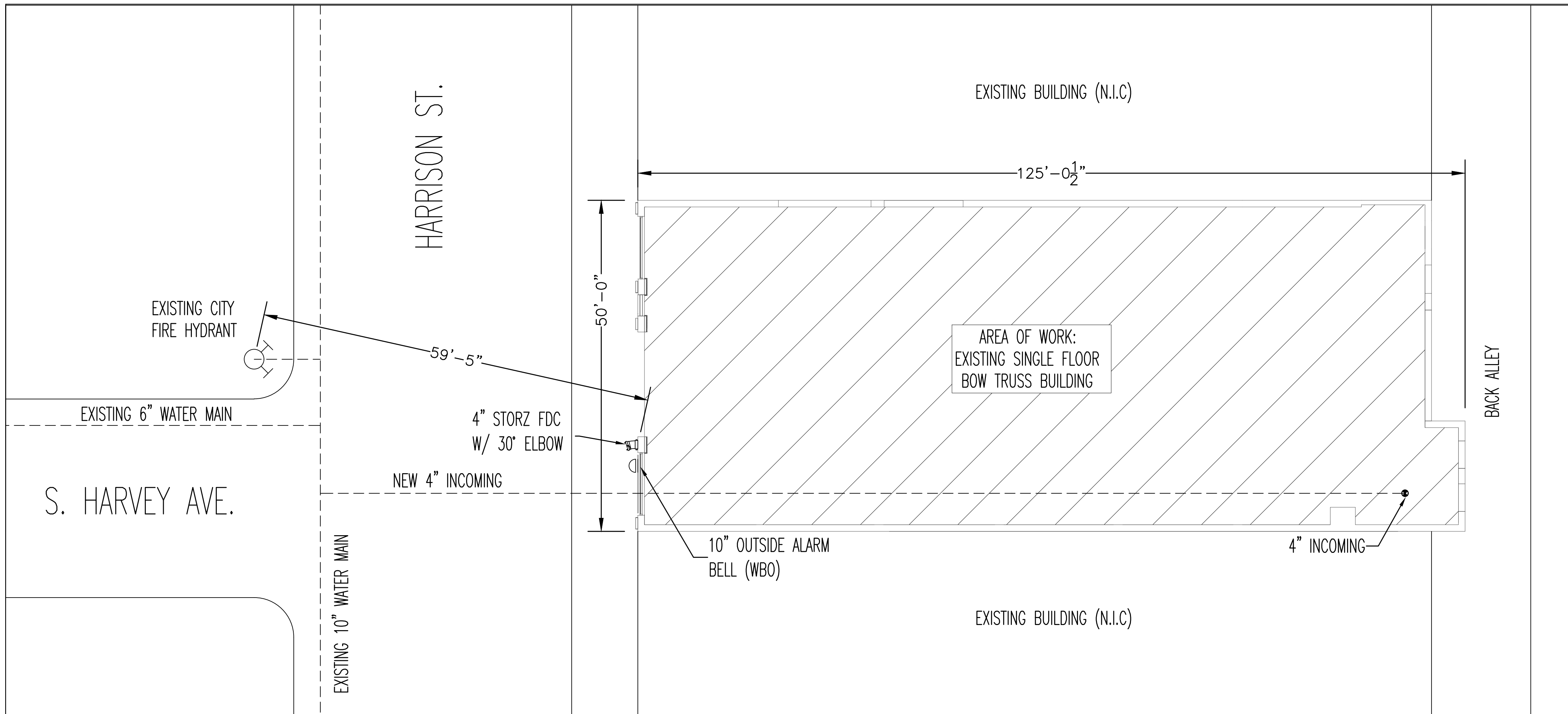
6 DETAIL
S3 SCALE: 1/2" - 1'-0"



7 SECTION
S3 SCALE: 1/2" - 1'-0"

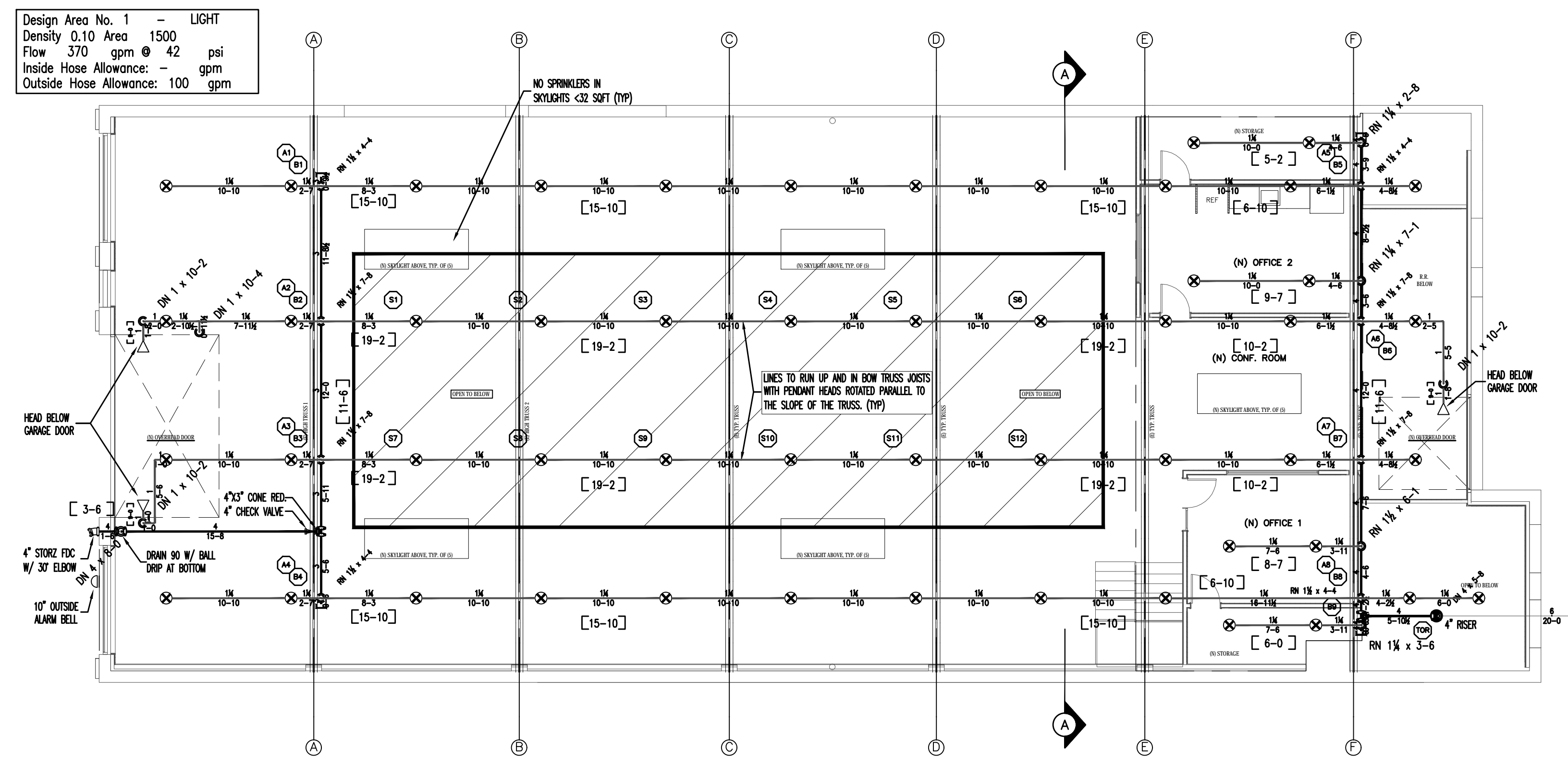


8 SECTION
S3 SCALE: 1/2" - 1'-0"



Occupancy Information						SCOPE OF WORK	
OCCUPANCY	HAZARD	DENSITY	HEAD AREA	HOSE	LOCATION	1. Project Description: New fire protection system in existing wood bow truss building, with a low comp. system below the mezzanine	
Gym	Light	0.1/1500	168	100	Center of Building	2. Building Construction: Existing wood bow truss	
Fire Dept. Connection Information						3. Building Height: 21'-0" Number of Stories: 1	
MAKE & MODEL	SIZE	TYPE	LOCATION			4. Number of Wet Systems: 1	
P/R #5795-01	4"	Storz	w/ 30 deg. ELBOW - HARRISON ST.			5. Number of Dry Systems: 0	
Inspectors Test Conn. Information						6. Number of Special Systems: 0	
MAKE & MODEL	SIZE	ORIFICE	LOCATION			7. Codes Used in System(s) Design: NFPA 13 2007, IBC 2009 & Oak Park Amend.	
VICTAULIC 747M	2"	1/2"	MECHANICAL ROOM - SOUTH			8. Total Sprinklers on the Job: 70	
						9. Type of Backflow Preventer: 4" DCDA w/ GPM meter	
						10. Size of Water Main: 4" Size of Domestic Water: 2"	
GENERAL NOTES							
1. Main Piping to be: Mega Flow & Sch. 10							
2. Branch Line Piping to be: Mega Thread & Sch. 40							
3. Main Fittings to be: Cast Iron Grooved							
4. Branch Line Fittings to be: Ductile Iron Threaded							
5. ○ Indicates Hydraulic Reference Point							
6. [0 eq] Indicates C.L. of Pipe Elev. Below Top of Steel/Bottom of Slab							
7. [0-0] Indicates C.L. of Pipe Elev. Above Finished Floor							
8. ϕ-0-0 Indicates Elev. of Top of Steel (Deck/Slab) Above Floor Elev.							
9. Ⓢ Indicates Ceiling Height Above Floor							
10. — Indicates the Pipe Hanger Locations							
11. WBO Indicates Wiring By Others							
12. USA Fire Protection, Inc. is Providing Hangers in Accordance with the Requirements of NFPA 13.							
13. When Normal System Pressure Exceeds 100 psi and the Branch Line above the Ceiling Supplies a Pendent Sprinkler Head and the Cumulative Horizontal Length to a Pendent Sprinkler Below a Ceiling Exceeds 12-inches, a Hanger Shall Be Provided on the Arm-Over with a Surge Restraint Device (i.e. Surge Clip).							
14. Owner(s) Structural Engineers are to Verify the Building(s) Structure(s) are Capable of Supporting the Additional Weight Load Required for the Fire Sprinkler System(s).							
15. All System Control Valves will be Provided with an Electronic Tamper Switch. (WBO)							
16. Auxiliary Drain Connections will be Provided for Trapped Sections of Piping in Accordance with Applicable NFPA 13 Requirements.							
17. A Spare Sprinkler Cabinet will be Provided and Stocked as Required by NFPA 13 Requirements.							
18. Owner is to Provide Adequate Heat to Prevent the Water, in the Wet Sprinkler System's, from Freezing.							
19. All New Piping will be Tested Per NFPA 13 at a minimum of 200 psi for 2 Hours. USAPP Field Personnel are to Notify the Fire Prevention Bureau 48 Hours Prior to Any Testing.							
20. The Underground Water Mains Shall be Flushed Per the Requirements of NFPA 24. A Copy of the Underground Flushing Certificate Shall be Forwarded to USA Fire Protection Before Connection of the Sprinkler System to the Underground Piping is Made.							
Project General Information							
General Contractor: Tom Bassett Dillely Architect							
Street Address: 216 Harrison St.							
City, State, Zip Code: Oak Park, IL 60304							
Phone: 708-434-0381							
Fax:							
Contact Name (Office): Timothy Eberline							
Contact Name (Site): Timothy Eberline							
Site Phone: 773-339-9923							

SITE PLAN
NTS



ROOF LEVEL FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"

- NOTE:
- SPRINKLER LINES TO RUN UP IN BOW TRUSS JOIST SPACE WITH THE DEFLECTOR OF THE PENDENT SPRINKLERS ROTATED TO BE EVEN AND PARALLEL TO THE SLOPE OF THE TRUSS PER NFPA 13.
 - SPRINKLERS ARE TO BE SPACED A MAXIMUM OF 168 SQFT. DUE TO COMBUSTIBLE CONSTRUCTION OVER A LIGHT HAZARD AREA PER NFPA 13 TABLE 6.2.2.1(A)
 - CEILINGS TO BE 7'-10" (U.N.O.)
 - WALLS ABOVE MEZZANINE ARE FULL HEIGHT (U.N.O.)

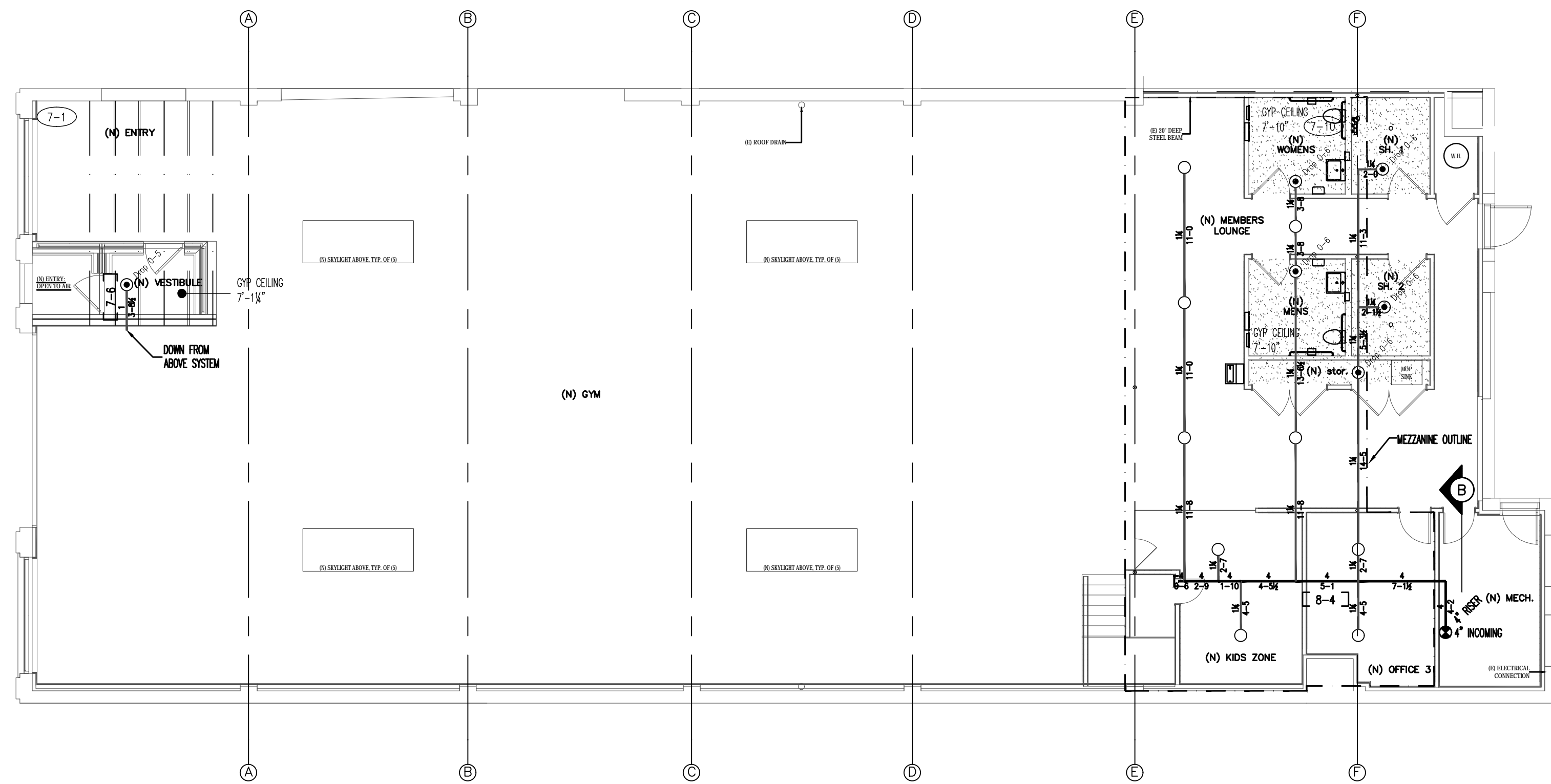
SPRINKLER LEGEND												
SYM	MAKE	MODEL	NOTE	SIN	TYPE	TEMP	THD	ORF	K	FINISH	TOTAL	
○	Reliable	F1FR56	QR	RA1414	Semi-Recessed Pendent	155	1/2"	1/2"	5.6	Chrome	5	
○	Reliable	F1FR LO	QR	R3622	Upright	155	3/4"	17/32"	8.0	Brass	10	
○	Reliable	F1FR LO	QR	R3621	Pendent	155	3/4"	17/32"	8.0	Brass	52	
◐	Reliable	F1FR56	QR	RA1435	Horizontal Sidewall	155	1/2"	1/2"	5.6	Brass	3	
ESCUPTCHONS											70	
F-1 1/2" ORFME 0 401 1/2" WHITE 0											TOTAL THIS SHEET	70
F-1 1/2" ORFME 5 F-1 1/2" WHITE 0											TOTAL ON JOB	70

REVISIONS			
#	DATE	INITIAL	DESCRIPTION
1	3/7/18	AJW	Preliminary Fire Protection Plans
2	3/14/18	AJW	Revisions to Preliminary Fire Protection Plans
3	4/24/18	AJW	Submitted for Approval

APPROVAL STAMP



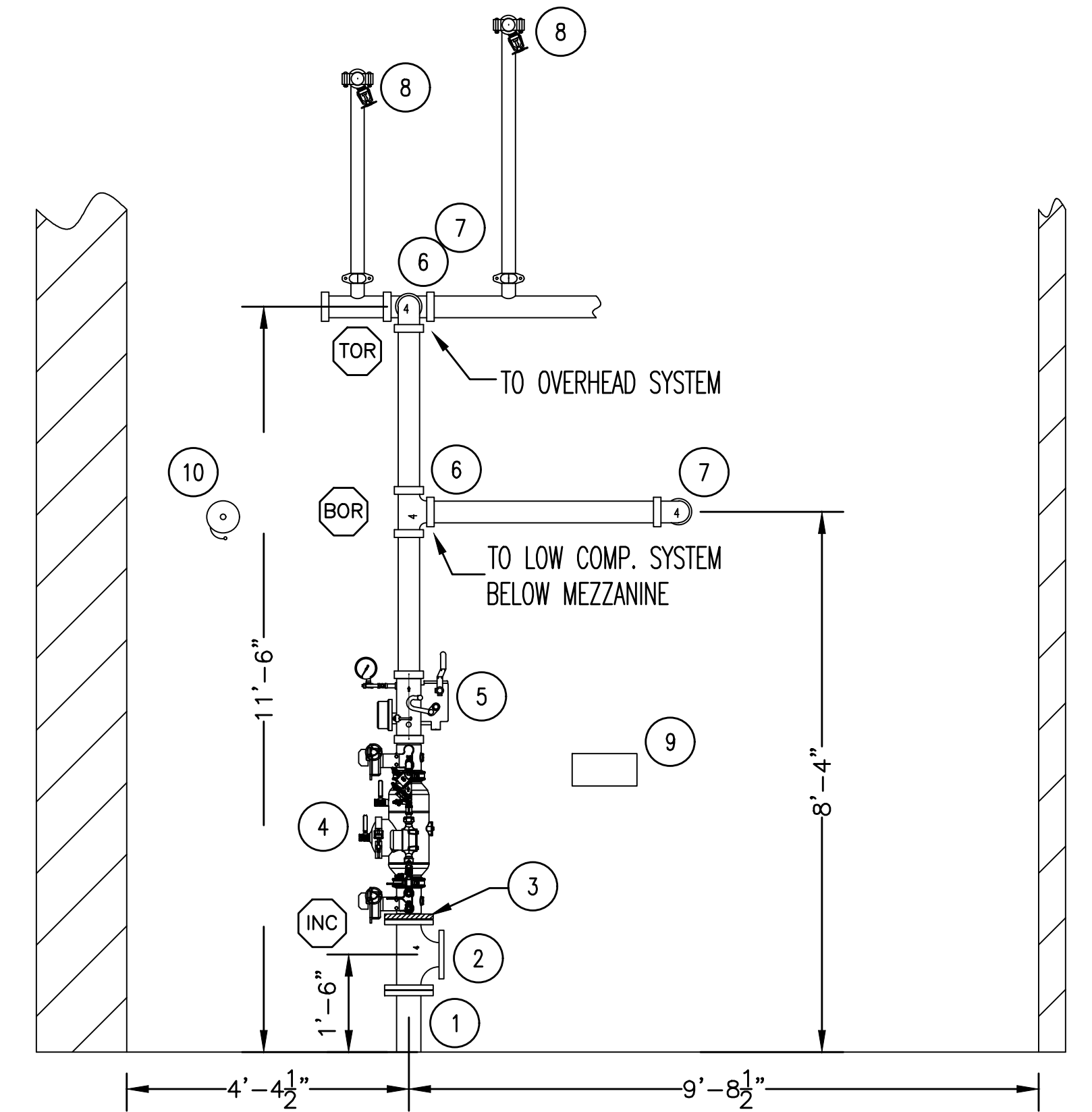
SHEET TITLE: Fire Protection Plan		DATE: 4/24/18
PROJECT: Crossfit Spero Gym 221 Harrison St. Oak Park, IL		SCALE: As Noted
		JOB #: 105636
DRAWN BY: AJW		SALESMAN: PS
SUPERINTENDENT: SM		IL F.P.C. LICENSE FSC 0032
USA FIRE PROTECTION 28427 N. BALLARD DRIVE, UNIT H LAKE FOREST, ILLINOIS 60045 OFFICE: (847)916-0050 * FAX: (847)916-0098 WEB SITE: WWW.USAFIREPROTECTION.COM		FP - 1 of 2



1ST FLOOR UNDER MEZZANINE FIRE PROTECTION PLAN

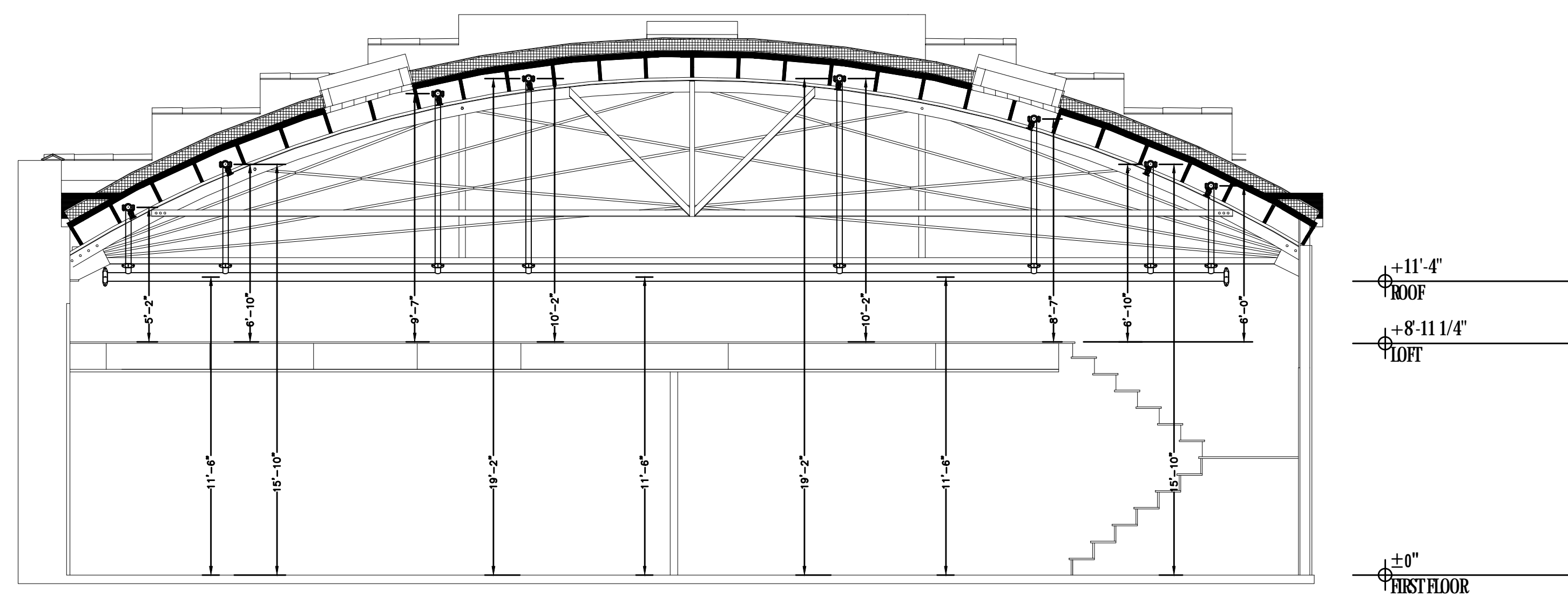
SCALE: 1/8" = 1'-0

1. 4" INCOMING SERVICE (BY OTHERS)
2. 4" FLANGED TEE (BY OTHERS)
3. FLANGE-GROOVE COUPLING
4. 4" APOLLO DCDA W/ METER (GPM)(GROOVED)
5. 4" VICTAULIC 747M RISER MANIFOLD
6. 4" VICTAULIC GROOVED TEE
7. 4" VICTAULIC GROOVED 90
8. RELIABLE MODEL F1FR LO BRASS 155° 8.0K PENDENT AUTOMATIC SPRINKLER
9. SPARE SPRINKLER CABINET (6)
10. 6" INSIDE ALARM BELL (WBO)



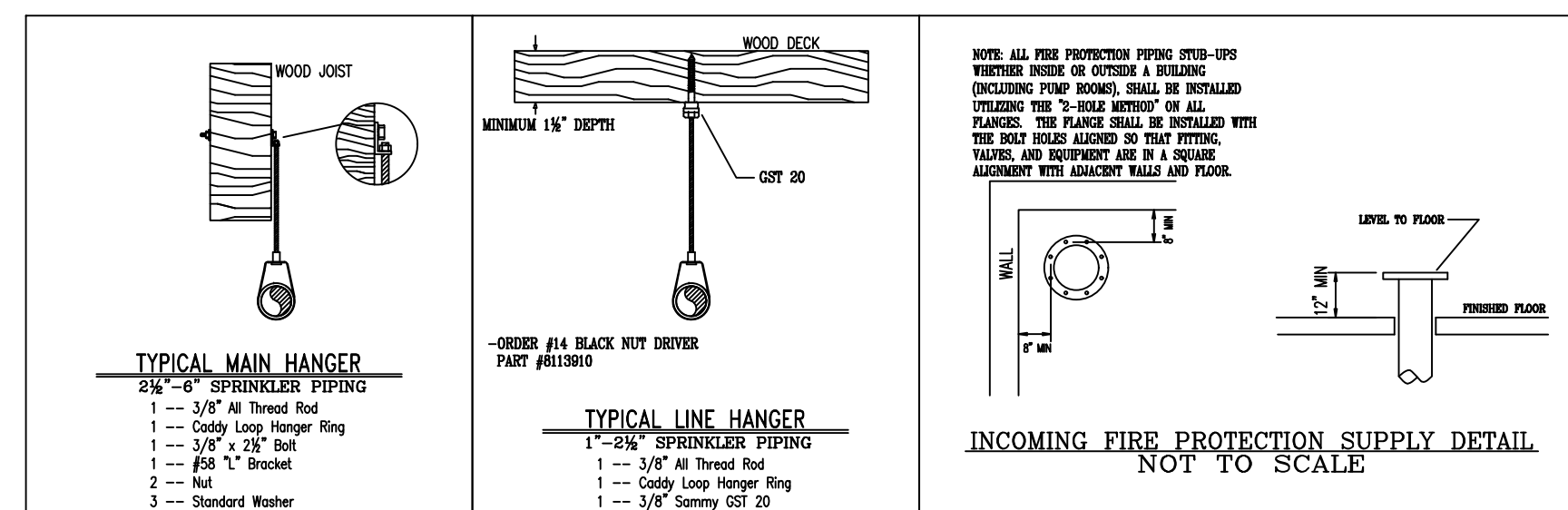
SYSTEM RISER SECTION VIEW - B

SCALE: 1/2" = 1'-0



CROSS SECTION VIEW - A

SCALE: 1/4" = 1'-0



NOTE:

1. SPRINKLER LINES TO RUN UP IN BOW TRUSS JOIST SPACE WITH THE DEFLECTOR OF THE PENDENT SPRINKLERS ROTATED TO BE EVEN AND PARALLEL TO THE SLOPE OF THE TRUSS PER NFPA 13.
2. SPRINKLERS ARE TO BE SPACED A MAXIMUM OF 168 SQFT. DUE TO COMBUSTIBLE CONSTRUCTION OVER A LIGHT HAZARD AREA PER NFPA 13 TABLE 6.2.2.1(A)
3. CEILINGS TO BE 7'-10" (U.N.O.)
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SPRINKLER LEGEND															
SYM	MAKE	MODEL	NOTE	SIN	TYPE	TEMP	THD	ORF	K	FINISH	TOTAL				
⊙	Reliable	F1FR56	QR	RA1414	Semi-Recessed Pend.	155	1/2"	1/2"	5.6	Chrome	5				
○	Reliable	F1FR LO	QR	R3622	Upright	155	3/4"	17/32"	8.0	Brass	10				
⊙	Reliable	F1FR LO	QR	R3621	Pendent	155	3/4"	17/32"	8.0	Brass	52				
⊙	Reliable	F1FR56	QR	RA1435	Horizontal Sidewall	155	1/2"	1/2"	5.6	Brass	3				
ESCUTCHEONS						401	1/2"	ORF	0	401	1/2"	WHITE	0	TOTAL THIS SHEET	70
						F-1	1/2"	ORF	5	F-1	1/2"	WHITE	0	TOTAL ON JOB	70

REVISIONS			
#	DATE	INITIAL	DESCRIPTION
3/7/18		AJM	Preliminary Fire Protection Plans
3/14/18		AJM	Revisions to Preliminary Fire Protection Plans
4/24/18		AJM	Submitted for Approval

APPROVAL STAMP

SHEET TITLE: Fire Protection Plan

PROJECT: Crossfit Spero Gym
221 Harrison St.
Oak Park, IL

DATE: 4/24/18
SCALE: As Noted
JOB #: 105636
DRAWN BY: AJW
SALESMAN: PS
Superintendent: SM
IL F.P.C. LICENSE FSC 0032

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FP - 2 of 2