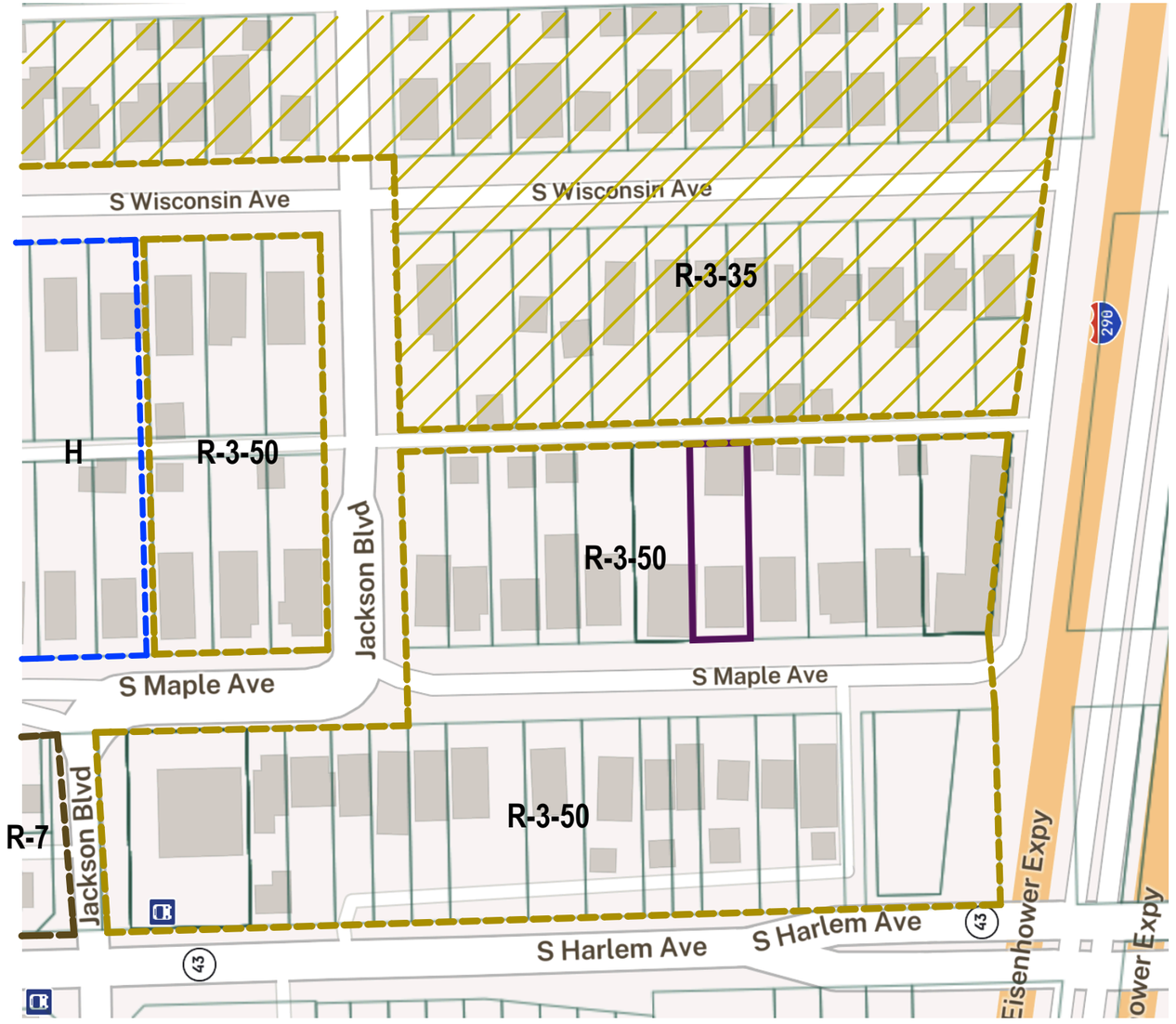


OAK PARK ZONING MAP

Adopted March 6, 2023

LEGEND

- R-1 Single Family
- R-2 Single Family
- R-3-35 Single Family
- R-3-50 Single Family
- R-4 Single Family
- R-5 Two-Family
- R-6 Multi-Family
- R-7 Multi-Family
- NC Neighborhood Commercial
- GC General Commercial
- HS Harrison Street
- MS Madison Street
- NA North Avenue
- RR Roosevelt Road
- DT Downtown
- H Hospital
- OS Open Space
- I Institutional

CURRENT ZONING DISTRICT

NOT TO SCALE

JCSA chicago

John Conrad Schiess
Architect + LEED AP

905 Home Avenue
Oak Park Illinois 60304
tel. 708.366.1500
john@jcsarchitect.com

architecture +

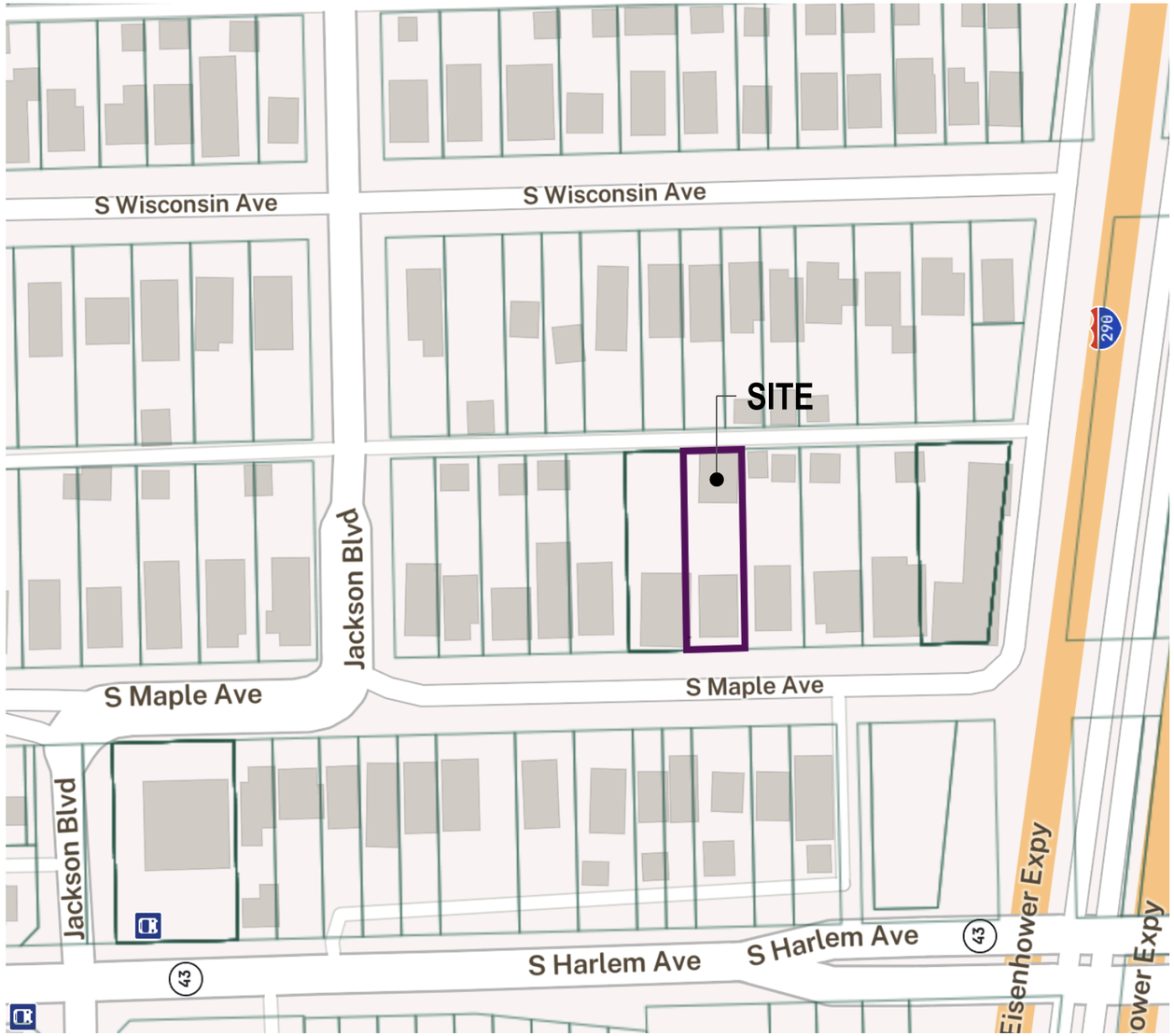
OWNER:
SERGIY ZAMULA
1324 Franklin Ave.
River Forest, Illinois 60305
630.687.0420
zsklan111@yahoo.com

Issue for VARIATION	07.17.2024
	Date

820
S. MAPLE
Oak Park Illinois
60304

Sheet Title
ZONING MAP

SK1.1
Sheet No.



LOCATION MAP

SCALE: 1" = 100'-0"

JCSA chicago

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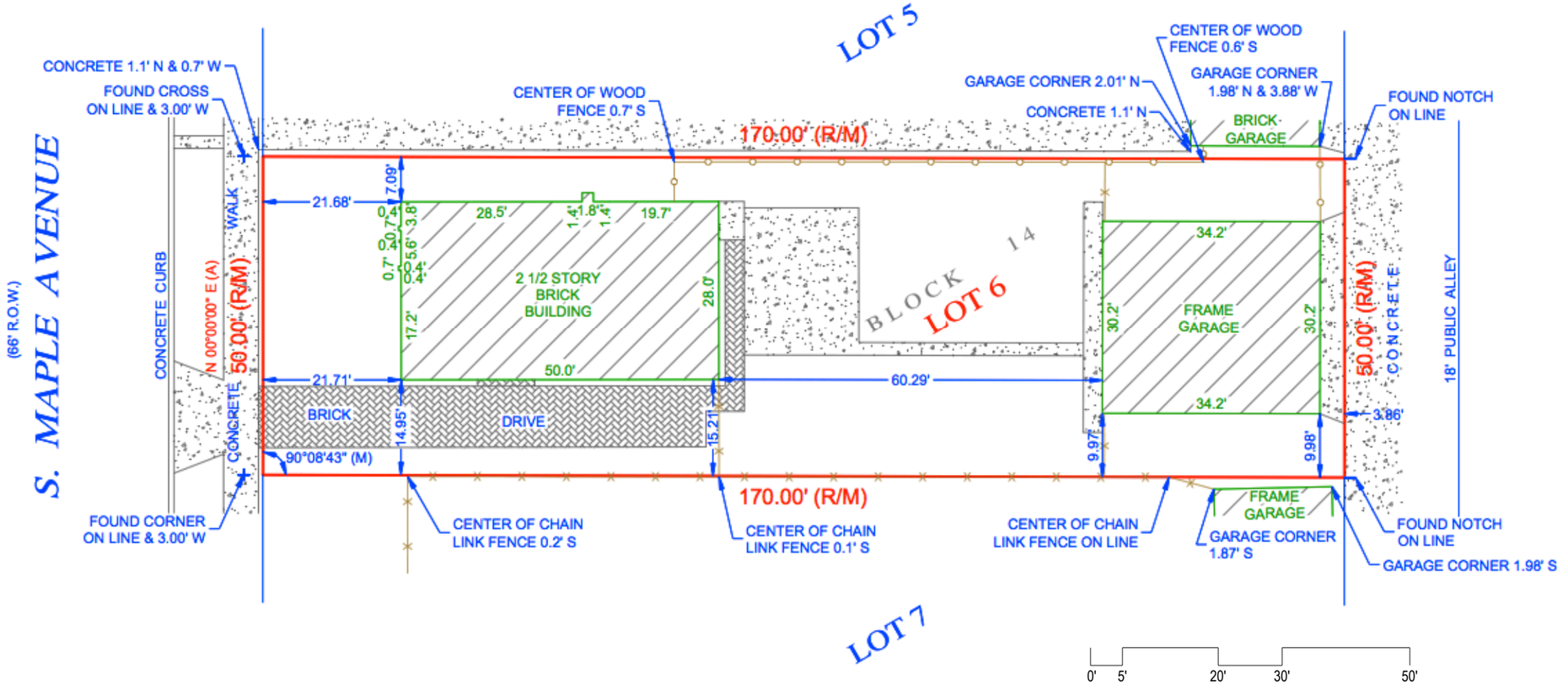
Issue for VARIATION	07.17.2024
	Date

820
S. MAPLE
Oak Park Illinois
60304

Sheet Title
LOCATION MAP

SK1.2
Sheet No.



SITE PLAN

SCALE: 1" = 20'-0"

JCSA chicago

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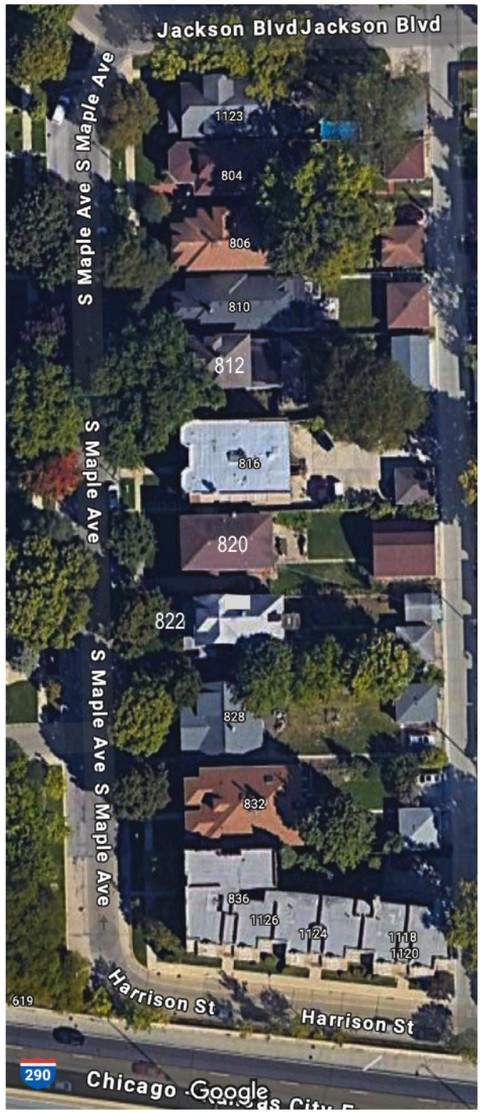
Issue for VARIATION	07.17.2024
	Date

820
S. MAPLE
Oak Park Illinois
60304

Sheet Title
SITE PLAN

SK1.3
Sheet No.



PHOTOGRAPHS

812 MAPLE

822 MAPLE

828 MAPLE

810 MAPLE

820 MAPLE

832 MAPLE

806 MAPLE

816 MAPLE

836 MAPLE

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Issue for VARIATION | 07.17.2024
Date

820
S. MAPLE
Oak Park Illinois
60304

Sheet Title
PHOTOGRAPHS

SK1.4
Sheet No.

LEGEND

A = ASSUMED	NW = NORTHWEST
C = CALCULATED	P.O.B. = POINT OF BEGINNING
CH = CHORD	P.O.C. = POINT OF COMMENCEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P.= SET IRON PIPE
FT. = FEET/FOOT	S.I.R.= SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	W = WEST
NE = NORTHEAST	

= CHAIN LINK FENCE
= WOOD FENCE
= METAL FENCE
= VINYL FENCE
= EASEMENT LINE
= SETBACK LINE
= INTERIOR LOT LINE

PLAT OF SURVEY

OF

LOT 6 IN BLOCK 14 IN W. J. WILSON'S ADDITION TO OAK PARK, BEING A SUBDIVISION OF PART OF LOT 1 (EXCEPT THE FIRST 40 ACRES) IN SUBDIVISION OF SECTION 18, (EXCEPT THE WEST 1/2 OF THE SOUTHWEST 1/4) IN TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

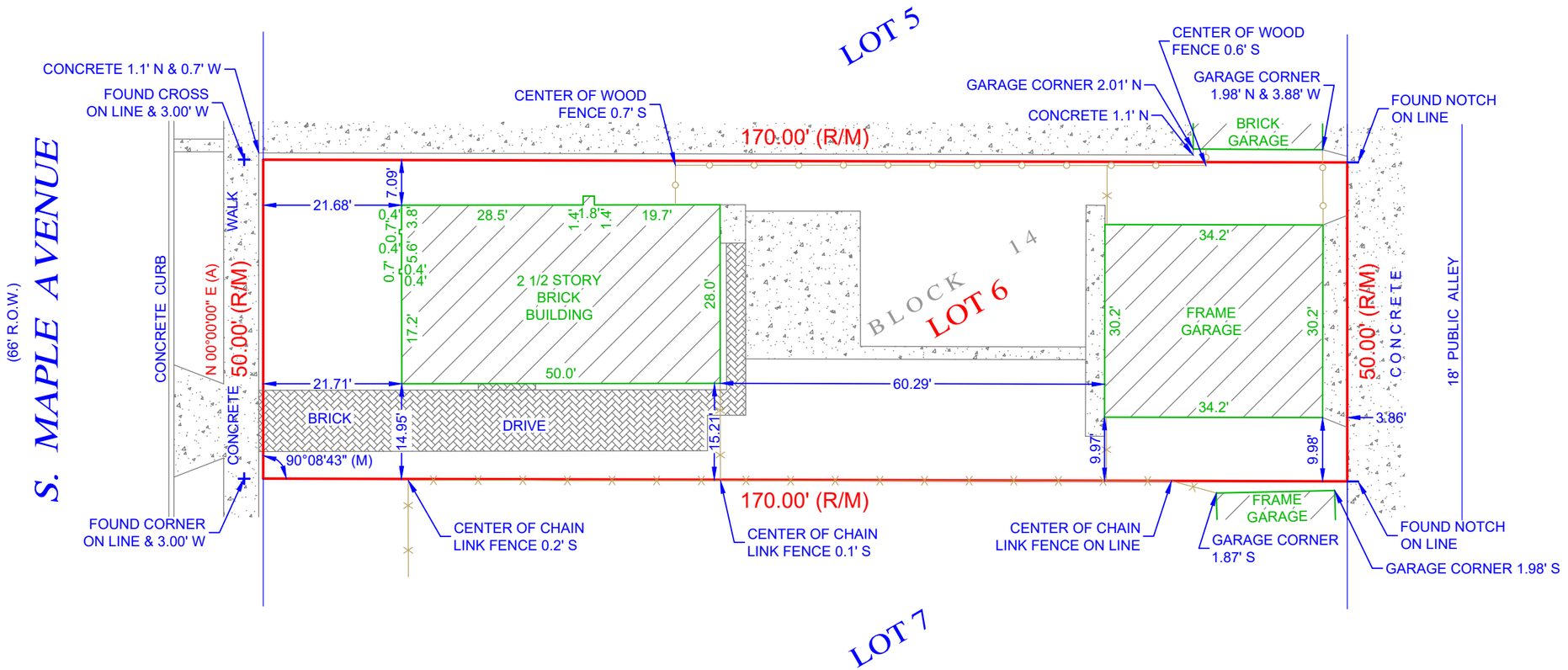
AREA OF SURVEY:

"CONTAINING 8,500 SQ. FT. OR 0.19 ACRES MORE OR LESS"

N

20' 10' 0 20'

BASIS OF BEARING:
EAST LINE OF S. MAPLE AVENUE AS FOUND MONUMENTED AND OCCUPIED.
N 00°00'00" E (A)



MEI
BETTER INFRASTRUCTURE BETTER ENVIRONMENTS BETTER LIFE!

Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }SS
COUNTY OF DUPAGE

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 19TH DAY OF OCTOBER, A.D., 2023, AT LISLE, ILLINOIS.

Thomas J Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
LICENSE EXPIRATION DATE NOVEMBER 30, 2024
ILLINOIS BUSINESS REGISTRATION NO. 184-001245

THOMAS J. CESAL 2205 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS LISLE, ILLINOIS

NOTE:
1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 820 S. MAPLE AVENUE
OAK PARK, ILLINOIS
CLIENT SERGIY ZAMULA
FIELDWORK DATE (CREW) 10/17/2023 (MD/PC)
DRAWN BY: RT REVISED: JOB NO. 23-10-0131

Application for Public Hearing
VARIANCE

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): NOT APPLICABLE

Address/Location of Property in Question: 820 SOUTH MAPLE AVENUE OAK PARK, ILLINOIS 60304

Property Identification Number(s)(PIN): 16-18-127-007-0000

Name of Property Owner(s): SERGIY ZAMULA

Address of Property Owner(s): 1324 FRANKLIN AVENUE RIVER FOREST, ILLINOIS 60305

E-Mail of Property Owner(s): ZSKLAN111@YAHOO.COM **Phone:** (630) 687-0420

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) NOT APPLICABLE

Name of Applicant(s) (if different than Property Owner): SAME AS OWNER

Applicant's Address: _____

Applicant's Contact Information: Phone _____ E-Mail _____

Other: _____

Property Interest of Applicant: X Owner _____Legal Representative _____Contract Purchaser _____Other

(If Other - Describe): _____

Property Type: ☐1 or 2 Family Residential ☒Multiple-Family ☐Commercial ☐Mixed-Use ☐Hospital ☐Institutional

Zoning District: ☐R-1 ☐R-2 ☒R-3(50) ☐R-3(35) ☐R-4 ☐R-5 ☐R-6 ☐R-7
☐DT (1 – 2 - 3) ☐GC ☐HS ☐MS ☐NA ☐NC ☐RR
☐H ☐OS ☐ I

Describe Variance Proposal: _____

Permit the construction of a basement accessory unit in the building of the existing non-conforming two-family unit a premises known as 820 S. Maple in the R-3-5 single family zoning district.

Size of Parcel (from Plat of Survey): 8,500 Square Feet

Adjacent:	**Zoning Districts**	**Land Uses**
To the North:	R-3-50	SINGLE FAMILY
To the South:	EISENHOWER EXPY	ROADWAY
To the East:	R-3-35	SINGLE FAMILY
To the West:	R-3-50	SINGLE FAMILY

Is the property in question currently in violation of the Zoning Ordinance? _____Yes X No

If *Yes*, how? _____

Is the property in question currently subject to any zoning relief? _____Yes X No

If *Yes*, how? _____

If *Yes*, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? _____ Yes X No

If Yes: ☐ Frank Lloyd Wright ☐ Ridgeland/Oak Park ☐ Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: 9.3 (B) (8)(a) **Section:** _____

Article: _____ **Section:** _____

Article: _____ **Section:** _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

This request is in harmony in that the cuurent property was built to accomodate three residential units.

Moreover, the existing neighborhood has multi-family, 2, 3 and four unit properties.
And the use is consistent with surrounding uses

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

SERGIY ZAMULA
(Printed Name) Applicant

(Signature) Applicant

6/4/2024
Date

SAME AS APPLICANT
(Printed Name) Owner

(Signature) Owner

Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

04 DAY OF June, 2024

M. Smolik
(Notary Public)

MALGORZATA SMOLIK
OFFICIAL SEAL
Notary Public, State of Illinois
My Commission Expires
October 14, 2024

Updated September 2017

December 12, 2024

820 South Maple Avenue

Narrative

Historic context

The Applicant's is requesting to permit the construction of a basement accessory unit in the building of the existing non-conforming two-family unit at the premises known as 820 S. Maple in the R-3-5 single family zoning district. Historically, the property was built as a two-family residence. However, over the years, prior to the current owner's purchase of the property, the lower level was converted into a dwelling unit

It is clear by even a cursory investigation into the property's condition today that the property has been in economic decline due to deferred maintenance. The interior needs extensive repair, some of the windows need replacement and the interior improvements such as kitchens and bathrooms are not up to leasing standards. The Applicant will demonstrate that the property in its current condition will not be financially viable without the relief sought.

The relief sought, in the Applicant's view, is aligned with the Village's policy maker's stated intention of increasing the density of housing in strategic areas in the Village. This property is a perfect candidate for that strategic growth. It essentially, until recently been functioning as a three-unit property. Allowing the ADU to be zoning compliant as per this request, will not negatively impact neighbors or roadways in any meaningful way.

Therefore, the Applicant seeks relief from current zoning restrictions to allow the property to function as a three-unit development.

820 South Maple Avenue

December 12, 2024

Section 14.3 Variation Standards

Approval Standards

1. The Zoning Board of Appeals decision must make findings to support each of the following:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

Historically, the documents show that the home was converted into a three-unit multi-family building most likely because of certain historic economic challenges of that time. An additional unit was added in the lower level (basement) the then owner's economic hardship. Currently the structure houses three residential units – the basement unit is non-conforming.

More specifically, the property has experienced years of disinvestment because of the financial realities. These realities will be detailed for the Board of Appeals through testimony and other evidence.

If a strict application of the terms of this Ordinance are applied, and the subject property is forced to operate as a two-unit rental property, then it will not be financially feasible.

The applicant will testify and submit financial information that will demonstrate that the property, if the relief sought is not granted, will not provide a reasonable return on investment.

Simply, the applicant is seeking relief which will allow to the re-investment in the property and return the property as a worthy contributor to the neighboring area.

Now therefore, given the stated facts in and the facts to be submitted, if a strict application of the terms of this Ordinance are applied, it will result in undue hardship to the property.

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

The current building's size, specifically the amount of square footage, shape of the building's footprint and building height, underpin the hardship. The applicant will demonstrate through diagrams and testimony that the size and configuration of the existing units does not meet current market rental standards.

Now therefore, given the stated facts and the facts to be submitted, if a strict application of the terms of this Ordinance are applied, the result will result in undue hardship to the property.

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

The plight of the owner and applicant related to this property are due to unique circumstances inherent to the subject property – specifically the property's location on a large lot that is over taxed for a two unit rental building, the building's footprint, unit sizes and configuration have not been created by any person presently having a proprietary interest in the property in question.

2. The Zoning Board of Appeals, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate:

a. The granting of the variation will not be detrimental to the public health, safety, and welfare in the neighborhood in which the property is located.

The proposed property will be constructed in accordance with all applicable codes and ordinances adopted by the Village of Oak Park including the IRC building codes which govern construction type for the property. In following these codes and ordinances, the development's maintenance, and operation of the requested variation will not endanger the public health, safety, or welfare.

b. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

Similarly, the property, more specifically the basement unit,will be constructed in accordance with all applicable codes and ordinances adopted by the Village of Oak Park including the IRC building codes which govern construction type for the property.

In following these codes and ordinances, the property with the requested variation will not impair an adequate supply of light and air to adjacent property nor increase the danger of fire, endanger the public safety.

In terms of congestion, given the property's prior use as a three-unit rental property, the proposed use for a three-unit rental, the development will not increase congestion in the public streets.

Finally, the proposed development will, in the applicant's experience, help support adjacent and neighboring property values given the applicant's statements that the additional revenue will be used to reverse the disinvestment and physical deterioration.

c. The proposed variation is consistent with the spirit and intent of this Ordinance and the adopted land use policies.

The proposed use is compatible with the general land use of adjacent properties and other property with the immediate vicinity in that it generally complies with the zoning ordinance for this zone district since the property is currently a non-conforming multi-family property.

Further, the development generally complies with Envision Oak Park as it relates to providing unique ways to add residential uses throughout the Village and Oak Park's comprehensive plan for land uses in this zone district.

END OF RESPONSES

General requirements

1. All construction shall be performed to comply with adopted by local municipality building & related codes, local amendments, regulations having jurisdiction and generally accepted industry standards. see A-1

2. These drawings indicate the general scope of the project in terms of architectural design concept, major architectural elements, dimensions of the site and buildings. The drawings do not necessarily indicate all work required for full performance and completion of all requirements of the contract documents. Approach of design describe performance - based building method, engineering & detailing and assume suitable soil condition.

3. This set of drawings does not include building material list. The owner/contractor is to provide products & assembly selection and coordinate installation.

4. The term "Contractor" referred to as the General contractor, prime contractor for separate trade or contractor's authorized representative.

5. Contractor are responsible to familiarize himself with local building codes, requirements for license, insurance, existing underground utilities, other facilities and current soil condition in the construction site.

6. Contractors shall inspect the site, examine existing conditions, verify all dimensions of the proposed construction, protection of adjacent areas, trees, shrubs, etc. The nature and location of the work and all matters which may in any way affect the work or its performance.

7. The Architect will review all notes, submittals given by the owner and incorporate them into the construction documents. The responsibility of the owner and contractor to verify all items on the drawings (sections, layout of walls, windows, features, etc.) Any discrepancy shall be resolved prior proceeding with construction.

8. Contractor shall have full responsibility for the coordination with mechanical, electrical, plumbing drawings, other trades, various underground utilities on the site which shall remain impact, expedition and general supervision of all construction, accuracy, fit and stability of all parts of the work. All trades are to coordinate their work with the size and location of all equipment prior to installation.

9. The contractor shall be responsible to furnish all material required for the proper execution and completion of the work include any items which are not indicated on drawings but are implied and can be reasonable assumed.

10. All labor, materials and installations shall meet the requirements of all adopted codes, ordinances, law regulations and safety orders and directives relating to the project. All work shall be performed in a good manner and to be complete and ready for use by the owner.

11. Mechanical, electrical, plumbing works, as practically in industry, to be done by design - build entity. Design - build contractor for specific area shall calculate and verify for all demand of required sources, size of selected equipment, devices, etc. for particular part of work.

12. Do not scale drawings. Written dimensions always take precedence over scaled dimensions. Verify all dimensions in the field, in the event of any discrepancies notify the architect and owner before proceeding with construction.

13. Drawing that represent existing plan conditions, if applicable, are shown diagrammatically. All dimensions shall be verified in the field and notified of any differences that will affect new work dimensions.

14. All transitions of new work to existing walls, floor, ceiling parts shall be carefully executed. Existing construction shall be repaired as needed and patched to match finishes of adjacent surfaces.

15. Before the start of any work the contractor shall notify utility companies (gas, water & sewer, electric, telephone etc.) for the location in the field of underground mains, cables an conduits.

16. Contractor shall locate and do not disturb utility lines or disconnect same unless proper precautions are taken to provide the same utilities on a temporary or permanent basis without loss of continuity, arrange for temporary water supply and electrical service to the project.

17. Contractor shall remove and dispose of all tools, equipment, surplus materials and rubbish pertaining to his work and cooperate with owner in final cleaning of the site.

18. Contractor is responsible for scheduling and following up on all inspections.

19. Contractor shall be responsible to carry sufficient insurance for the duration of the project. All work or corrective work shall be warranted for one year from the date of occupancy.

Energy conservation code

* Project shall comply with the 2021 International Energy Conservation Code.
* A permanent certificate shall be completed and posted on or in electrical distribution panel by the builder. The certificate shall list:
- the predominant R-values of insulation installed in ceiling/ roof, walls, floor, foundation (basement walls, slab, crawlspace wall0 and ducts outside of conditioned spaces.
- U-factor for fenestration
- Types and efficiencies of heating, cooling & water heating equipment s.

Insulation & fenestration requirements:
* climate zone - 5
* fenestration U-factor - 0.30
* sky lights U- factor - 0.55
* prescriptive R-value by components:
* ceiling - 60
* wood frame wall - 20+5ci or 13+10ci or 15ci
* mass wall (above grade) - 13/ 17
* basement wall - 15ci or 19 or 13+5ci
* crawl space wall (not vented) - 15ci or 19 or 13+5ci
* floor - 30, slab - 10ci (4 ft.)

* Where some or all of existing fenestration unit is replaced, new fenestration shall meet applicable requirements for U-factor.

* The components of the building thermal envelope shall be installed in accordance with the manufacturer's instruction. Joints, penetrations and all other such openings in the building envelope that are sources of air leakage must be sealed. The sealing methods between dissimilar materials shall allow for differential expansion and contruction. Vapor retarder required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

* Verify correct R-value and thickness of selected types of insulation for each location. vapor retarder & ventilation, adequate space for proper installation per manufacturer recommendations. Prevent damaging or compressing the insulation.

* Access hatches and doors to unconditioned spaces shall be weatherstripped and insulated to a level equivalent to the insulation of surrounding surfaces.

* The building shall be tested and verified as having an air leakage rate of not exeeding 5 air changes per hour. Blower door test shall be performed by 3 rd. party after creation of all fenestration of the building thermal envelope prior final inspection.

* Roof surface of low slopped roofs (2:12 or less) shall have an initial solar reflectance greater than or equal to 0.65 and emissivity greater than or equal to 0.9. Roof surfaces of medium sloped roofs (greater than 2:12 and less than or equal to 5:12) shall have an initial solar reflectance greater than or equal to 0.15 and emissivity greater than or equal to 0.9

* All lamps in permanently installed lighting fixtures shall be or contain only high - efficiency lamps. Recessed lights shall be type IC rated and sealed to limit air leakage or installed inside and appropriate air-tight assembly with a 0.5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

* Mechanical system piping capable of carrying fluids above 105 f. or below 55 f. shall be insulated to a min. of R-3. High efficiency tank to be insulated. For non-circulating systems heat traps to be provided as required per code. Insulation to be provided on 8 ft. of inlet/outlet pipes, at least 1 inch of R-4.0 insulation.

* Outdoor air intake and exhaust shall have automatic or gravity dampers that close when system is not operating.

Framing notes

All rough carpentry framing and materials shall comply with adopted codes on A-1.

1. All framing shall be 16" o.c. unless noted otherwise. All un-dimensioned partition are 3 1/2" rough.
All wall heights are assumed single 2x bottom plate and double 2x top plate. (u.n.o.)
All interior non - load bearing walls to be 2x4 studs @ 16" o.c. (u.n.o.)

2. Walls are dimensioned to face of stud.
All plumbing walls shall be 2" x 6" wood studs.
All angled partitions to be 45 degrees (u.n.o.)
Min. bearing of a wood joist on wood to be 1 1/2" min.
Min. bearing of wood joist or girder on concrete or masonry to be 3" min.

3. Install proprietary connections in conformance with manufactures installation requirements. No stud to be notched - drilled only. Utilize structural stud shoe.

4. Provide anchorage of walls and columns to roof and foundation to resist uplift and sliding forces. Refer to the fastening schedule of adopted codes. Nailing not shown on drawings.
Use fasteners of appropriate type and length. Space fasteners to comply with adopted codes and nailing schedule. Pre-drill members when necessary to avoid splitting wood.

8. Provide double joists under parallel partitions, kitchen granite counters and bath tubs above or blocking between floor trusses attached to upper cord and vertical web posts or diagonal braces in the area interrupted by pipe/ ducts. Split joists to allow for electric, plumbing and mechanical trades.

9. All exterior framing and framing in contact with concrete or masonry shall be pressure treated or decay resistant to exterior exposure. Provide hot dipped galvanized steel fasteners.

11. Provide a continuous 2x6 treated wood nailed on top of all steel beams except those used for supporting masonry.
All framing corners to be triple studs. Provide horizontal blocking in wall over 10'-0" ht., ladder type vertical connections for interior to exterior walls.
Provide 3-2x's between mulled windows with 3 or more units & min. 3-2x's stud post under all bearing points unless otherwise noted.

13. Verify mi. 6'-9" headroom before locating structural members above stair flight.

14. Provide blocking for kitchen & bath cabinets and applicable grab bars installation. Verify location.

15. Enclosed accessible space under stairs to be protected on the enclosed side with 5/8" type "X" drywall.

16. All beams and columns supporting fire rated wall/ceiling assembly shall be enclosed accordingly.

17. Fire stopping is to be provided at the following locations:
- concealed spaces of studs walls and partitions, including furred spaces, at the ceiling and floor level.
- at ten foot (10') intervals both vertical and horizontal.
- all interconnections between concealed vertical and horizontal spaces, such as occurs at soffits, drop ceilings voce ceiling etc.
- concealed spaces between stair stringers at the top and bottom of the run.
- opening around vents, pipes, ducts, chimney and fireplaces at ceiling and floor level, without noncombustibles. Use 4 psf. mineral wool. Provide fire caulk as per code. Energy seal foam around all windows, doors, outlets, conduit and penetrations.

19. Provide draftstop material behind tubs and showers on outside walls, insulate walls, floor & ceiling surrounding bathroom for sound, undercut door or transfer grill for fresh air intake fan.

20. All materials at stairwells for interior wall & ceiling finish shall be class 1 f.s.r. (index 0-25). Bath floor and walls with shower heads shall be with non-absorbent surface 6 ft. min. a.f.f.

21. Kitchen and bath design provided as a concept. Owner's selection of kitchen/ bath cabinets, fixtures & appliances, wall & floor finish materials, windows and doors to be coordinated by General contractor with shop drawings approved by Architect.

* see details for additional information *

Advanced Notice of the Developer - Architect agreement

* The documents and work as set out in the attached Proposal are the intellectual property of the Architect and are to be used for the particular project listed in the Proposal only. The project is to be built by a lawfully licensed Contractor, who is knowledgeable in the building trades and has experience in this type of construction. The term "Contractor" refers to General Contractor, Prime Contractor for separate trades or Contractors, and/or authorized representative.

* The architect is not supervising the construction.

The architect shall not have any control over, in charge of or responsibility for the construction means, methods, techniques, procedures or the safety precautions in connection with the construction process.

* Pursuant to the attached Proposal, the following areas are solely the Contractor's responsibility:
Each Contractor shall observe all local, state and federal rules and regulations regarding safety and shall provide all necessary equipment in order to safeguard or protect the health of all the workers on the construction site. The Contractor shall explain, instruct, and direct all workers under their control to follow all the necessary safety rules and regulations.

* The Developer and/or Contractor shall report to the Architect any structural, egress and fire protection system changes provided during construction. The Architect is not responsible for the Developer's directives, changes or substitutions, made without prior approval of the Architect.

* The Developer and/or Contractor shall promptly report to the Architect any errors, omissions, inconsistencies or nonconformity that are discovered during the construction process and/or as a result of a request for information. Failure to promptly notify of errors or omissions may result in liability for the Developer and/or Contractor for remediation costs.

* The Developer and/or Contractor shall submit to the Developer and copy to the Architect a Certificate of Commercial Liability Insurance, which includes the Developer and Architect as additional insured for claims caused by the Contractor's negligent acts and/or omissions during the Contractor's completion of the operation of this project.

* The Developer and/or Contractor shall indemnify and hold harmless the Architect from any and all claims against arising out of the Contractor's failure of performing any of the work.

* The Developer and/or Contractor, to the fullest extent permitted by law, agrees to protect and defend, indemnify and hold harmless the Architect of this project. It is intended to apply to any liability or causes of actions and/or other expenses, arising out of or the direct result of the negligence of the Developer and/or Contractor or their failure to perform any of their work.

* It is the responsibility of the Owner/ Developer to instruct the General Contractor and/or separate Prime Contractors with the information, as stated above.

Proposed work description:

Alteration - level 2

Basement floor:
basement storage to living room conversion and laundry room separation. Kitchen redesign, living room to bedroom conversion. New closets for bedrooms. Affected area - 338 sf
(exist. basement floor - 1400 sf)
1st floor:
kitchen redesign, living room to bedroom conversion, new loundry closet, master bath redesign, new closet for bedroom 2 and new mech closet.
Affected area - 397 sf (exis. 1st floor - 1400 sf)
2nd floor:
kitchen redesign, living room to bedroom conversion, new loundry closet, master bath redesign, new closet for bedroom 2.
Affected area - 397 sf (exis. 1st floor - 1400 sf)
-New AC and furnaces, existing mechanical ductwork.
-Existing electrical system with changes for redesign areas. New electrical service.
-Existing plumbing, and water service with changes for washer\dryer connection and new mech and laundry closets floor drains. New plumbing fixtures.

Building data:

*Building height	exist.
*Basement	1400 sf.
*First floor	1400 sf.
*Second floor	1400 sf.
* Total:	4,200 sf.

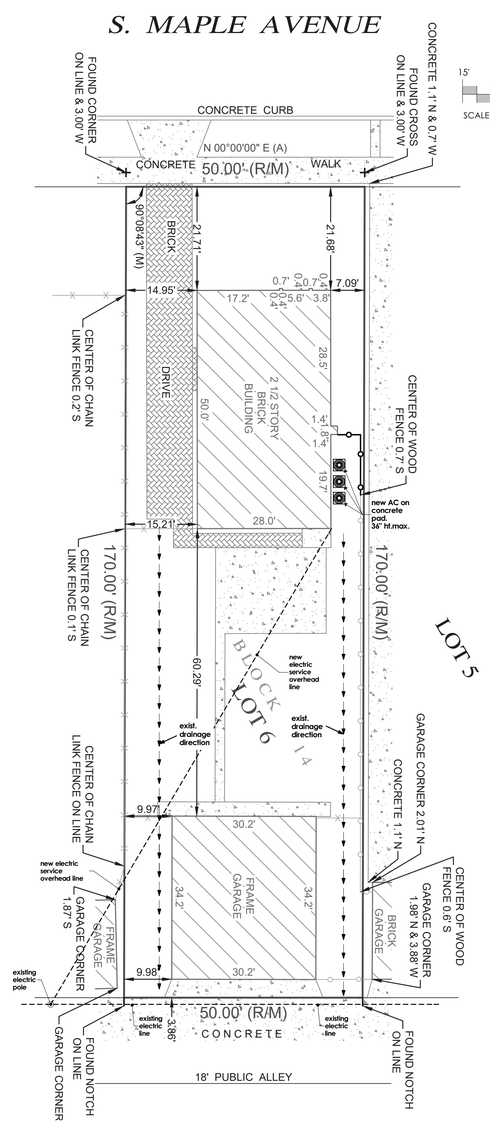
Occupancy Group Classification: R-2
Type of construction: Type IIIA

N Project location

ADOPTED CODES :
2021 International Building Code w/ amendments
2021 International Existing Building Code
2021 International Energy Conservation Code w/ amendments
2020 National Electrical Code w/ amendments
2021 International Mechanical Code w/ amendments
2014 Illinois Plumbing Code
2021 International Fire Code w/ amendments
2021 International Fuel Gas Code

State & Federal agency requirements
Local AHJ ordinances

Approved full size copy of Construction Documents shall be on site for all inspections **



N Architectural Site Plan
SCALE: 1" = 15'

15' 0 7'-5" 15' 30'
SCALE: 1" = 15'-0"

Design criteria (psf. typical)

Floor	- 40 #	LL 10# dl typical all areas
Wall	- 60	p.l.f. or actual load
Ceiling	- 20 #	LL 10# dl limited attic storage
Cathedral	- 30 #	LL 15# dl all slopes
Roof	- 30 #	LL 10# dl roof slope over 3/12
Balcony	- 40 #	LL 10# dl exterior
Deck	- 40 #	LL 10# dl exterior
Flat roof deck	- 40 #	LL 10# dl
Stairwell	- 40 #	LL 20# dl
Wind load	- 20	p.s.f.
Corners	- 30	p.s.f.
Parapets	- 40	p.s.f.
Snow load	- 30	p.s.f.

Soil bearing capacity - 1500 psf.
Concrete compressive strength - 3500 psi.
for flat work - 4000 psi.
Reinforcing steel: A.S.T.M. A615 - Grade 60
Structural steel : A992 - 50 ksi. for "W" Sections
Fy = 46 ksi. for Tube sections. A 36 for all other sections

Structural Framing Lumber:
Grade #2 species SPF Canadian Base FB = 875
Grade #2 species SYP domestic Base FB = 875 treat.
Grade #1 species hem - fir Base Fb = 1050
Manufacturer: Truss joist McMillan, Microlam LVL
size: 1 3/4" x Fb = 2,600 p.s.i. E = 1.9

Typical indications

- concrete foundation wall
- masonry wall
- existing partition
- new partition
- partition to be demolished
- tripple studs post
- beam/ header
- steel/ wood column
- load bearing partition

3-2x*

Floor finish materials: (per owner v.i.f.)
* hardwood - in living & common areas
* ceramic tiles - in bathrooms, laundry
* hardwood or carpet - in bedrooms, closets, basement area

Note:
- Provide a rapid entry lock box on front of building next to building entry door IFC 506.1

-No sprinkler system installed

Note:
If the electric service lines are within 10 feet of the proposed construction/excavation, or less than 3 feet above the roof ridge, or less than 8 feet above a flat roof, the service lines shall be moved or removed.

Note: Proper & correct address shall be mounted on the building, clearly visible from the street. Address characters to be at least 6" high & in Arabic numerals

sheet index:

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708-715-5005
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ALAN LESKIV
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LICENSE 001-022620

09.23. 2024

Expires: 11.30.2024

3 UNIT BUILDING ALTERATION

820 MAPLE AVE
OAK PARK *** ILLINOIS

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Revision 1:	.
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Sheet #

A-1

Scale: as shown

DEMOLITION KEYS

1. Remove existing partition, prepare opening for new door
2. Remove existing partition top to bottom
3. Remove and replace existing plumbing fixtures and cabinets
4. Repair or replace existing piping: supply branch and riser, waste branch, stack and vent as necessary
5. Refinish existing flooring material, replace with new flooring as needed
6. Remove and replace existing door with same size and location
7. Remove existing door
8. Remove existing door, prepare opening for new door
9. Remove and replace existing window with same size and location
10. Remove existing window, prepare opening for new window
11. Remove existing door, infill partition to mach existing
12. Remove existing partition, prepare opening for new window
13. Relocate existing electric panel
14. Relocate existing electric meter
15. Remove existing furnace, keep existing ductwork
16. Remove gas line back to source

Safety & Demolition notes

1. Contractor shall provide temporary safety fence around work area, debris dumpster and temporary toielt, before starting construction.

2. Provide all barricades or other temporary protection as may be required for general safety around all open pits or trenches in its vicinity.

3. Contractor shall erect and maintain all reasonable safeguards for safety and protection of the public including the posting of danger and other warning signs against hazards.

4. Contractor shall be responsible for adequately bracing to reach structural integrity and protecting all parts of work during construction against damage, breakage collapse, from weither due to frost, rain, wind, etc. and repair any portion of existing and newly added work. Must be braced: - all masonry walls which being laid during one working day for 8 ft. in height, frame walls until is connected to structural frame elements, floor or roof.

5. Drawings represents existing plan conditions that to be removed, relocated or to remain are shown diagrammatically and shall be verified in field by contractor.

6. Demolition contractor shall comply with all laws, ordinances, standards and regulations for the safety of persons or property to protect them from damages, injury or loss.

7. Contractor shall notify utility companies to disconnect service and obtain written notification of it.

8.Contractor shall demolish all items noted and associated in scope of work and responsible for complete removal within demolished area.

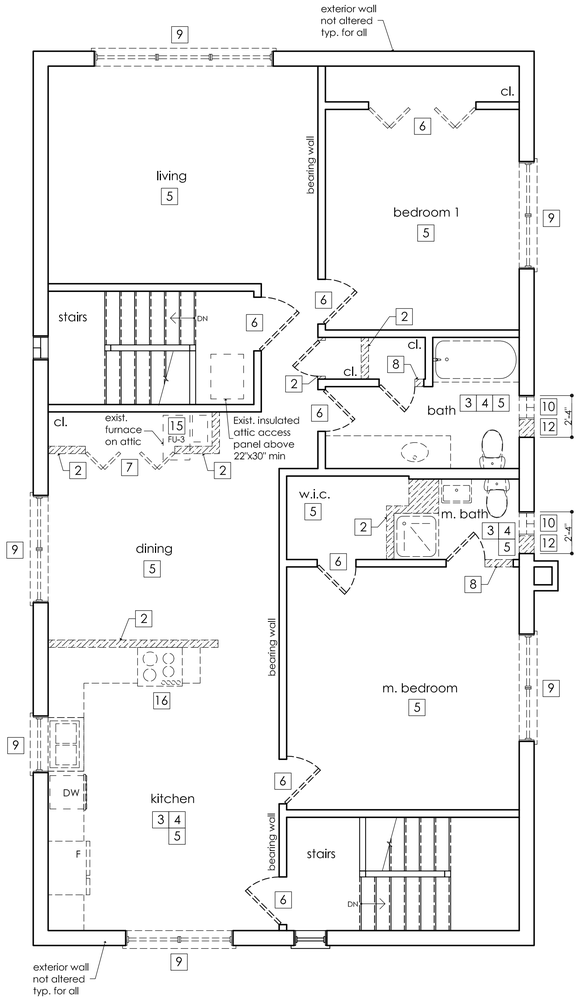
9. Demolition shall be accomplished with appropriate tools and equipment so as not to create damage to areas intended to remain, adjacent properties, underground utilities.

10. Contractor are fully responsible for the condition of existing building once construction begins and any damage caused by demolition.

11. In the event of removal of any load bearing partition or structure, appropriate shoring shall be provided as required to support the adjacent loads of structure. shoring shall be designed to support the full loads superimposed with the appropriate safety factors, comply with adopted local, state and federal codes & standards.

12. Notify Architect when structural members are to be cut or removed. Maintain necessary stability of the structure and remodeled work safe, inform the Architect if any cracks or other structural changes become visible or unstable after existing parts demolition.

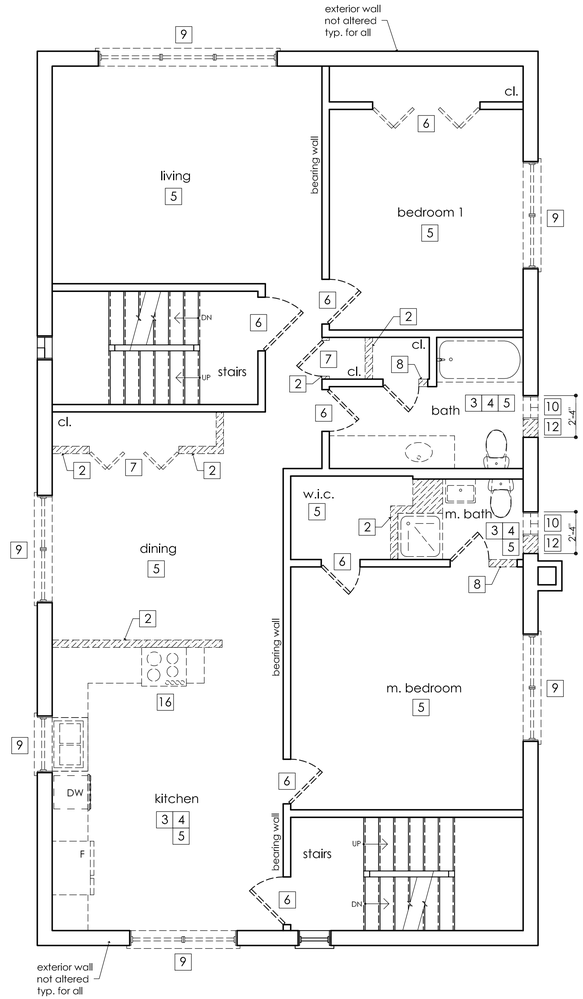
13. All openings made in exterior walls during demolition are to be covered by safety barriers as required by code, and to be secured against forced entry through the period that openings are under construction.



N

Demo 2nd Floor Plan

SCALE: 1/4" = 1'-0"



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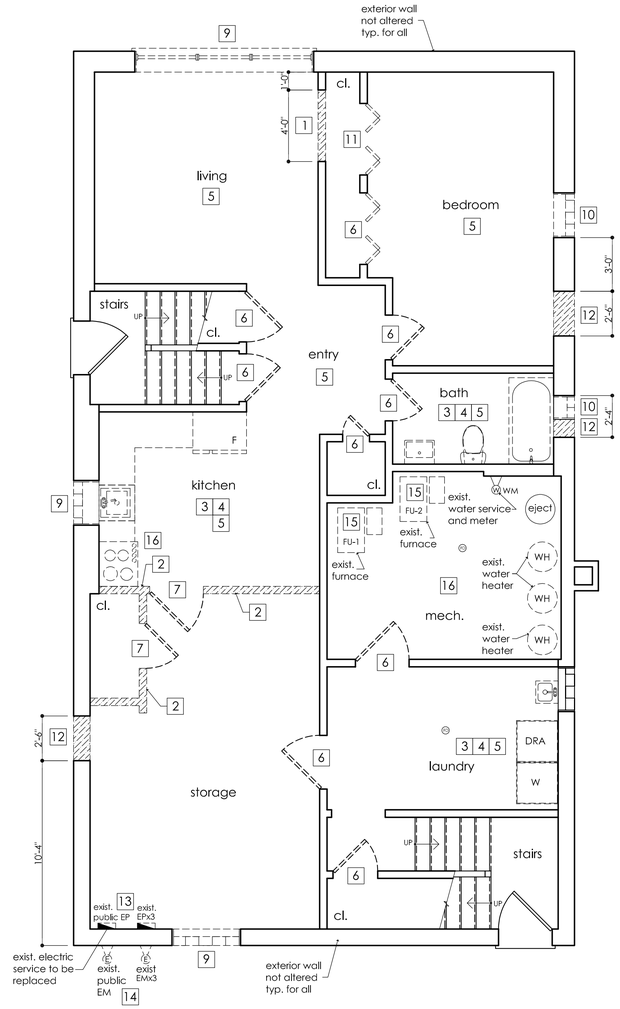
Demo 1st Floor Plan

SCALE: 1/4" = 1'-0"



N

Demo Basement Floor Plan

SCALE: 1/4" = 1'-0"

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09.23. 2024

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3 UNIT BUILDING ALTERATION

820 MAPLE AVE
OAK PARK *** ILLINOIS

Project #	24 - 124
Date:	09.23. 2024
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Revision 1:	.
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Revision 3:	.

Sheet #

A-2

Scale: as shown

DOOR SCHEDULE

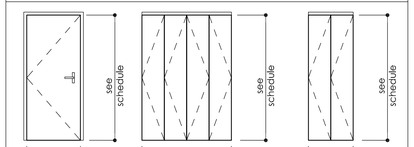
DOOR					FRAME		REMARKS			
TAG	TYPE	SIZE (WxHxTHK)	MAT'L	FINISH	MAT'L	FINISH	LABEL RATING	LOCATION	TYPE	HARDWARE
BASEMENT										
001	SWING	34"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	UNIT ENTRY	1	A,B
002	SWING	36"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	MECH ROOM	1	A,B
003	SWING	30"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BEDROOM	1	D
004	SWING	28"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BATH	1	D
005	BI-FOLD	4x12"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	2	E
006	SWING	34"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
007	SWING	18"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
008	SWING	34"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	LAUNDRY	1	C
009	SWING	30"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
FIRST FLOOR										
101	SWING	36"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	UNIT ENTRY	1	A,B
102	SWING	32"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	UNIT ENTRY	1	A,B
103	SWING	30"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BEDROOM	1	D
104	SWING	28"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BATH	1	D
105	BI-FOLD	4x12"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	2	E
106	SWING	26"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
107	SWING	24"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
108	BI-FOLD	2x14"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	LAUNDRY CL.	3	E
109	BI-FOLD	2x18"x80"x1¼"	SC	PM	WD	PM	NOT REQUIRED	MECH CL.	3	E
110	BI-FOLD	4x18"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	2	E
SECOND FLOOR										
201	SWING	36"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	UNIT ENTRY	1	A,B
202	SWING	32"x80"x1¾"	ML	PM	ML	PM	60 MINUTE	UNIT ENTRY	1	A,B
203	SWING	30"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BEDROOM	1	D
204	SWING	28"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	BATH	1	D
205	BI-FOLD	4x12"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	2	E
206	SWING	26"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
207	SWING	24"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	1	C
208	BI-FOLD	2x14"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	LAUNDRY CL.	3	E
209	BI-FOLD	4x18"x80"x1⅜"	HC	PM	WD	PM	NOT REQUIRED	CLOSET	2	E

HC - hollow core PM - primed SC - solid core WD - wood VL - vinyl GL - glass ML - metal AL - aluminium

DOOR HARDWARE SCHEDULE

A	Keyed deadbolt	D	Door lever with privacy lock
B	Door lever	E	Bi-fold pulls and track hardware
C	Door lever with ball catch	F	Door pulls and sliding track hardware

DOOR TYPE



1 Swing door SCALE: N.T.S.

2 Bi-fold door SCALE: N.T.S.

3 Bi-fold door SCALE: N.T.S.

NEW WINDOW SCHEDULE

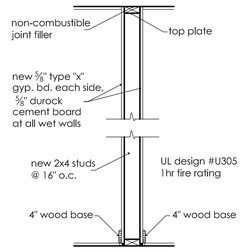
tag #	window type	rough opening width	rough opening height	quant.	light (sf)	vent (ft)
1	d. hung/ casement	10'-0"	2'-10"	1	25.47	12.74
2	d. hung	2'-6"	3'-0"	1	6.75	3.38
3	casement	2'-6"	3'-0"	1	6.75	6.75
4	d. hung	2'-4"	2'-6"	1	5.24	2.62
5	casement	3'-10"	3'-0"	1	10.34	10.34
6	d. hung	2'-6"	2'-6"	2	5.63	2.81
7	d. hung/ casement	6'-0"	3'-2"	8	17.1	8.6
8	d. hung/ casement	10'-0"	4'-2"	2	37.53	18.77
9	d. hung	2'-4"	4'-0"	4	8.39	4.19
10	d. hung	3'-2"	2'-8"	2	7.61	3.8

Note:
-All glass in hazardous location to be safety glass
-All new windows shall have a max. U-factor of 0.30

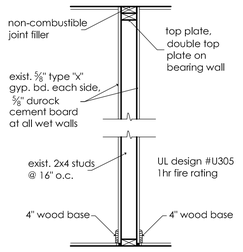
Note:
-Provide ⅝" durock cement board at all new wet walls, and ⅝" type "x" gyp. board at new walls
-Provide ⅝" type "X" gyp. board at ceiling in basement

Note for egress window:
-Verify min. 5.7st. clear open area w/ min. clear height of 24" & width of 20". The sill shall be max. of 44" above floor.

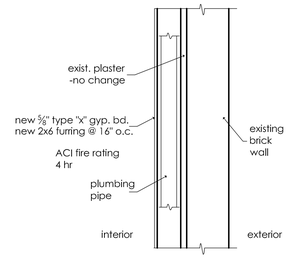
Attic notes:
-Attic accesses are required to areas exceeding thirty square feet (30 sq.ft.) and which have a vertical height of thirty inches (30") or greater. (Section: R807)
- Attic access required and shall be unobstructed twenty-two inches by thirty inches (22" x 30"). (Sections: R807)



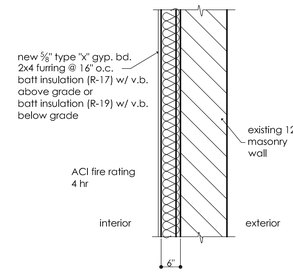
PARTITION TYPE A SCALE: N.T.S.



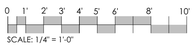
PARTITION TYPE A1 SCALE: N.T.S.



EXTERIOR WALL B SCALE: N.T.S.



EXTERIOR WALL C SCALE: N.T.S.



N 2nd Floor Plan SCALE: 1/4" = 1'-0"

N 1st Floor Plan SCALE: 1/4" = 1'-0"

N Basement Floor Plan SCALE: 1/4" = 1'-0"

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09.23. 2024

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3 UNIT BUILDING ALTERATION

820 MAPLE AVE
OAK PARK *** ILLINOIS

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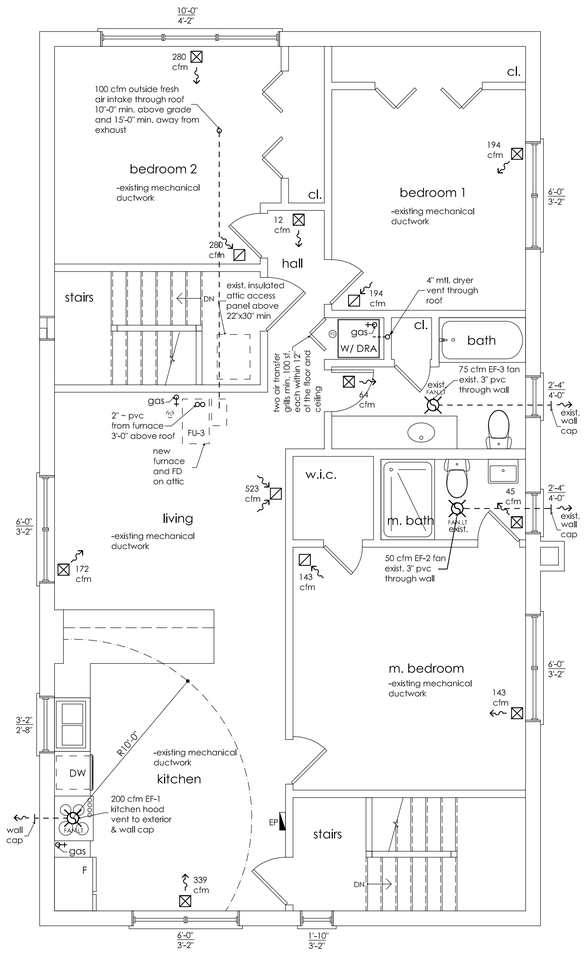
Sheet #

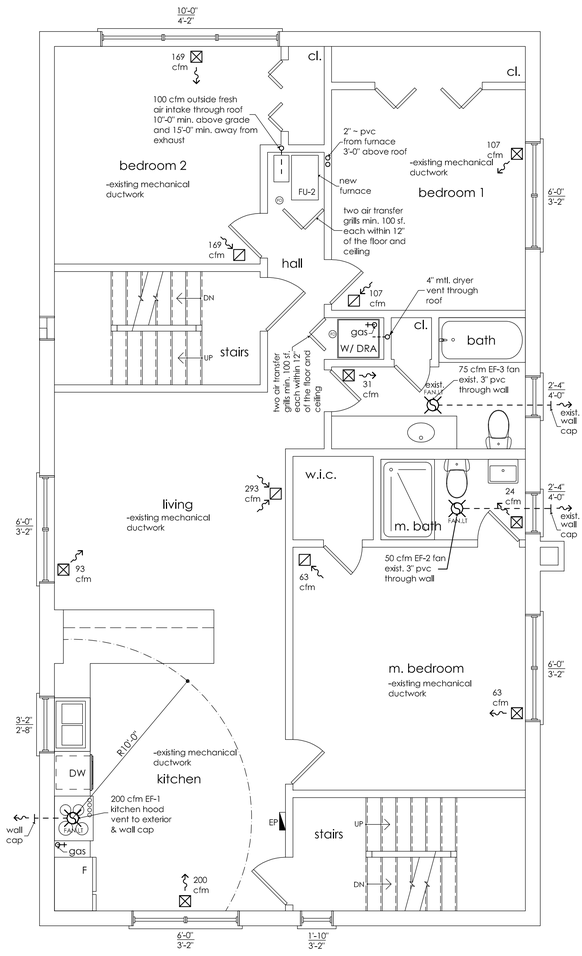
A-3

Scale: as shown



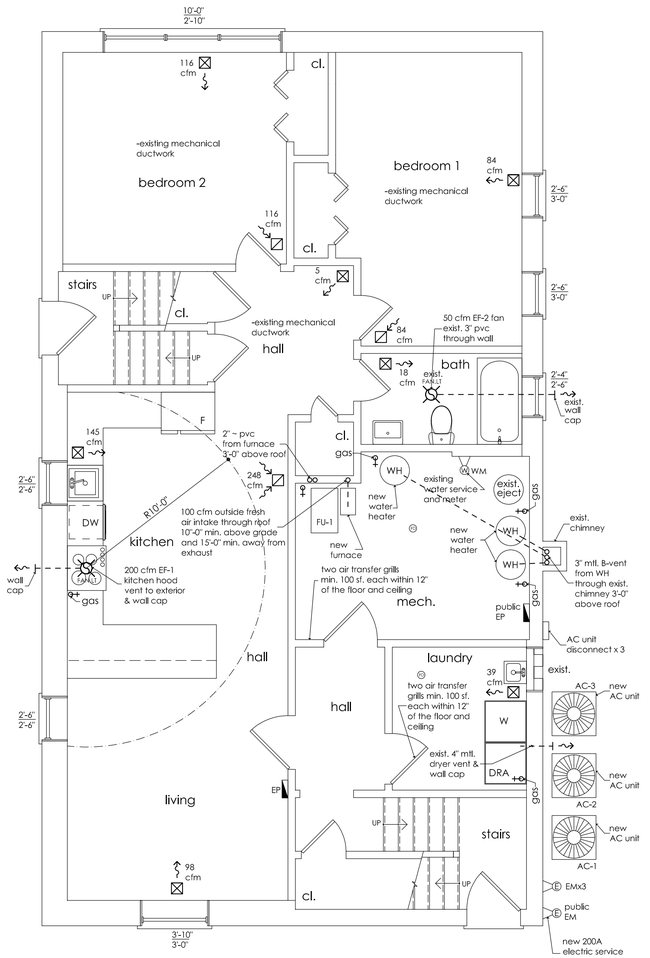
N Mechanical 2nd Floor Plan

SCALE: 1/4" = 1'-0"



N Mechanical 1st Floor Plan

SCALE: 1/4" = 1'-0"



N Mechanical Basement Plan

SCALE: 1/4" = 1'-0"

0 1' 2' 3' 4' 5' 6' 8' 10'

SCALE: 1/4" = 1'-0"

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Sheet #

A-4

Scale: *as shown*

VENTILATION SCHEDULE BASED ON ORDINANCE REQUIREMENTS									
		ORDINANCE REQ. SQ.FT.		ACTUAL SQ.FT.		ORDINANCE REQ. MECH. VENTILATION		ACTUAL MECHANICAL VENTILATION	
1st, 2nd floor	AREA (SF)	NATURAL LIGHT	NATURAL VENT	NATURAL LIGHT	NATURAL VENT	SUPPLY	EXHAUST	SUPPLY	EXHAUST
kitchen	205.0	16.40	8.20	41.86	20.93	39.74	100	100.00	200 CFM (EF-1)
living	170.0	13.60	6.80				N. R.		
bedroom 1	134.0	10.72	5.36	17.12	8.56		N. R.		
bedroom 2	150.0	12.00	6.00	37.53	18.77		N. R.		
m. bedroom	177.0	14.16	7.08	17.12	8.56		N. R.		
m.bath	36.0	N/R	N/R	8.39	4.20		50/ 20 cont.		50 CFM (EF-2)
bath	63.0	N/R	N/R	8.39	4.20		50/ 20 cont.		75 CFM (EF-3)
hall	39.0	N/R	N/R	0.00	0.00		N. R.		

VENTILATION SCHEDULE BASED ON ORDINANCE REQUIREMENTS									
		ORDINANCE REQ. SQ.FT.		ACTUAL SQ.FT.		ORDINANCE REQ. MECH. VENTILATION		ACTUAL MECHANICAL VENTILATION	
basement	AREA (SF)	NATURAL LIGHT	NATURAL VENT	NATURAL LIGHT	NATURAL VENT	SUPPLY	EXHAUST	SUPPLY	EXHAUST
kitchen	133.0	10.64	5.32	21.59	10.80	30.17	100	100.00	200 CFM (EF-1)
living	133.0	10.64	5.32				N. R.		
bedroom 1	164.0	13.12	6.56	13.50	6.75		N. R.		
bedroom 2	148.0	11.84	5.92	25.47	12.74		N. R.		
bath	46.0	N/R	N/R	5.24	2.62		50/ 20 cont.		50 CFM (EF-2)
hall	143.0	N/R	N/R	0.00	0.00		N. R.		

Refrigeration Schedule

Item	Quty	Manuf.	#Comp.	Ref. type	Tons	H.P.	Weight	Unit serv.	Location	Remarks
AC-1	1	American Standard	1 ea.	R-410A	1.5	1.5	3.0	bs	Grade	Rem./ Air
AC-2	1	American Standard	1 ea.	R-410A	1.5	1.5	3.0	1st	Grade	Rem./ Air
AC-3	1	American Standard	1 ea.	R-410A	3.0	3.0	6.0	2nd	Grade	Rem./ Air

Mechanical Notes

1. See Manual J and S calculations provided by HVAC contractor.
2. HVAC contractor upon completion of the project and before the final inspection, shall perform a complete testing and balancing of all equipment. Balance system to within +/-10% of air quantities and provide the owner and the building official with a complete, signed, and sealed balance report.
3. The maximum length of a 4" diameter clothes dryer exhaust vent shall not exceed 35'-0" from the dryer location to the wall or roof termination and shall terminate with a full opening exhaust hood. A reduction in maximum length of 2.5' for each 45-degree bend and 5' for each 90-degree bend shall apply. Installations, when this length is exceeded, shall be installed per the manufacturer's specifications.

Mechanical Equipment

EF-# * Broan or equal exhaust fan, gravity damper, duct to roof or wall cap (cfm per light/ vent schedule)

FU-1 *American Standard S9V2B040U3VS high efficiency gas fired furnace 40 Mbtu input, 39 Mbtu output w/ programmable thermostat, humidifier electronic air cleaner.

FU-2 *American Standard S9V2B040U3VS high efficiency gas fired furnace 40 Mbtu input, 39 Mbtu output w/ programmable thermostat, humidifier electronic air cleaner.

FU-3 *American Standard S9V2B060U4PS high efficiency gas fired furnace 60 Mbtu input, 58 Mbtu output w/ programmable thermostat, humidifier electronic air cleaner.

AC-1 * American Standard 4A7A3018H1 air cooled condensing unit w/ Puron R-410 A refrigerant, grade location

AC-2 * American Standard 4A7A5018N1 air cooled condensing unit w/ Puron R-410 A refrigerant, grade location

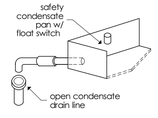
AC-3 * American Standard 4A7L5036N1 air cooled condensing unit w/ Puron R-410 A refrigerant, grade location

WH * Gas fired water heater 40 Mbtu input, 37 Mbtu output

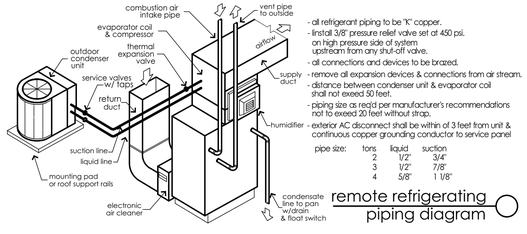
Note:
- Down-flow units and other coils that do not have secondary drain or provisions to install a secondary or auxiliary drain pan, a water level monitor device shall be installed inside the primary drain pan.

-Any HVAC testing performed, required or not, shall be submitted to the Village of Oak Park or inclusion into the permanent building file. (Section 106.3.1)
-The termination points of exhaust outlets and ducts discharging to the outdoors shall be located a minimum 10-feet (10') from property lines; 10-feet (10') from operable openings into buildings; 3-feet (3') from exterior walls, windows, and roofs and a minimum of 10-feet (10') above adjoining grade. (Section 501.3.1(2)
- Thermostat shall be programmable and shall have setback capabilities (Section: R403.1.1)

Note:
The minimum efficiency level for split-system central air conditioners requires units to be at least 14 SEER (Seasonal Energy Efficiency Ratio)



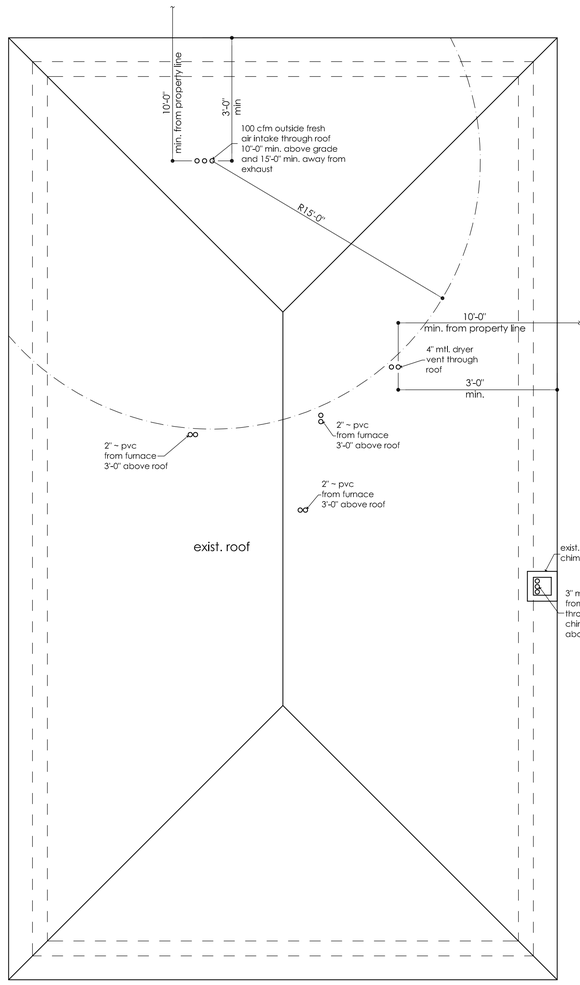
open - leg condensate drain line



- all refrigerant piping to be "K" copper.
- Install 3/8" pressure relief valve set at 450 psi. on high pressure side of system upstream from any shut-off valve.
- all connections and devices to be brazed.
- remove all expansion devices & connections from air stream.
- distance between condenser unit & evaporator coil shall not exeed 50 feet.
- piping size as req'd per manufacturer's recommendations not to exeed 20 feet without strap.
- exterior AC disconnect shall be within of 3 feet from unit & continuous copper grounding conductor to service panel

pipe size:	tons	liquid	suction
	2	1/2"	3/4"
	3	1/2"	7/8"
	4	5/8"	1 1/8"

remote refrigerating piping diagram



N

Roof Plan
SCALE: 1/4" = 1'-0"

-The termination points of exhaust outlets and ducts discharging to the outdoors shall be located a minimum 10-feet (10') from property lines; 10-feet (10') from operable openings into buildings; 3-feet (3') from exterior walls, windows, and roofs and a minimum of 10-feet (10') above adjoining grade. (Section 501.3.1(2)

Mechanical notes:

1. All work shall comply with 2021 International Mechanical Code w/ amendments

2. Contractor shall be required to furnish all labor, materials, equipment etc., necessary to make a complete mechanical system.

3. HVAC contractor shall check all calculated heating and cooling loads and verify that HVAC equipment, devices, ducts, registers are adequate.

4. All materials, devices, equipments and appliances shall be certified by an acceptable listing agency.

5. Fit all work into available space meet the requirement and coordinate with other trades and follow the structural elements of the building as closely as possible.

6. Contractor shall cut and patch as required for a complete installation of the HVAC system.

7. Structural members shall not be unnecessarily or carelessly weakened by cutting or notching. Structural members which are modified shall be repaired in an acceptable manner as to guarantee the structural integrity of the design.

8. Complete and test rough-in work before any finish work installed and make any required adjustments to assure a safe operating system.

9. All work shall be installed as recommended by "ASHRAE" & "SMACNA" and in accordance with the requirements of adopted codes, regulations and standards.

10. HVAC contractor is to confirm equipment location and advise if an alternate location is requested.

12. Pipes and shall be fire caulked when penetrate rated enclosure. Pipe that penetrate fire resistance rated floor, wall assembly shall have approved fire damper.

13. Mechanical contractor shall provide humidifier w/ drain & programmable thermostats as required and as specified with the equipment.

15. All bathroom exhaust fans to be UL approved 3" dia. PVC insulated (R-6) pipe discharge to exterior thru wall or roof.

16. Mechanical system piping capable of carrying fluids shall be insulated to a min. R-3. Heating contractor to run all condensate lines to floor drain or other drain provided.

17. Install pressure relief valve on high pressure side of system, upstream of any intervening valves, remove expansion valves, devices, & connections from air stream.

18. Refrigeration piping to be type "K" copper. All connections and devices to be brazed. Copper tube used for the refrigerant piping erected on the premises shall be seamless copper tube of type ACR.

19. HVAC contractor is to provide a complete system and start up with setting and adjusting of all controls, adjust input, blower speed and dampers. Contractor is responsible for final control wiring hook up all equipment, scheduling and following up on .

0 1' 2' 3' 4' 5' 6' 8' 10'
SCALE: 1/4" = 1'-0"

eco design, Ltd
LEADER ARCHITECTS
1701 s. First avenue
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708-715-5005
Leader. architect @ gmail. com
License 184.007210

I hereby certify that these drawings were prepared under my responsible control and to the best of my knowledge, complies with the Village of Oak Park adopted Codes

Architects seal

STATE OF ILLINOIS
ALAN LESKIV
ARCHITECT
LICENSE 001.022500

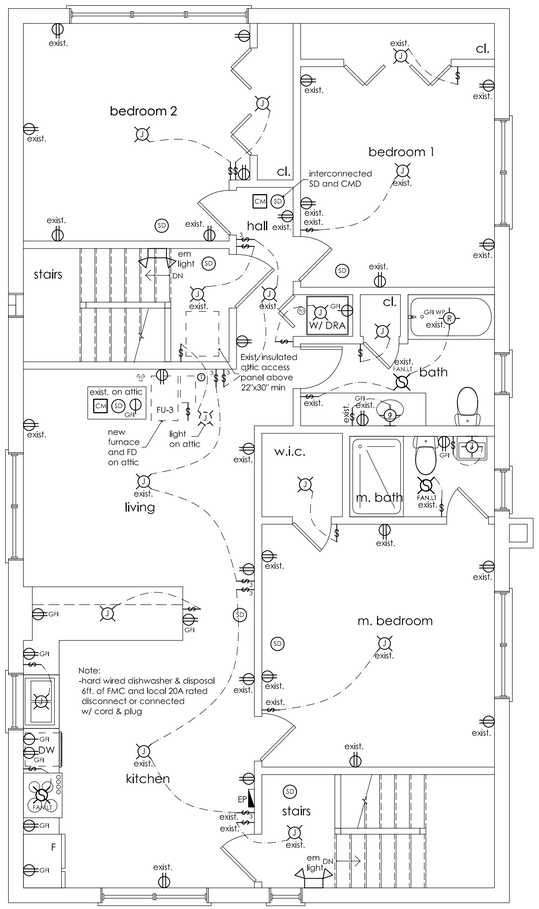
09.23. 2024

Expires: 11.30.2024

3 UNIT BUILDING ALTERATION
820 MAPLE AVE
OAK PARK *** ILLINOIS

Project #	24 - 124
Date:	09.23. 2024
Drawn by:	AL
Checked:	LA
Revision 1:	.
Revision 2:	.
Revision 3:	.

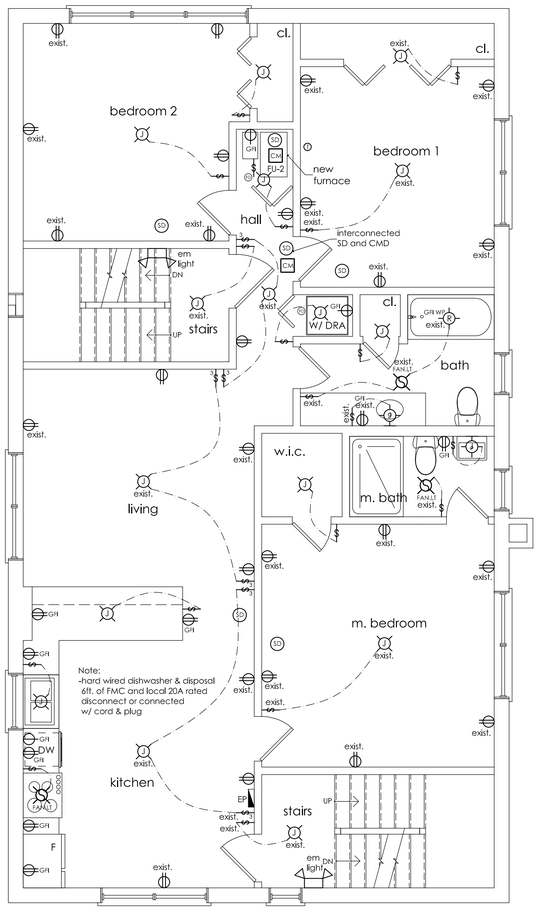
Sheet #
A-5
Scale: as shown



N

Electrical 2nd Floor Plan

SCALE: 1/4" = 1'-0"



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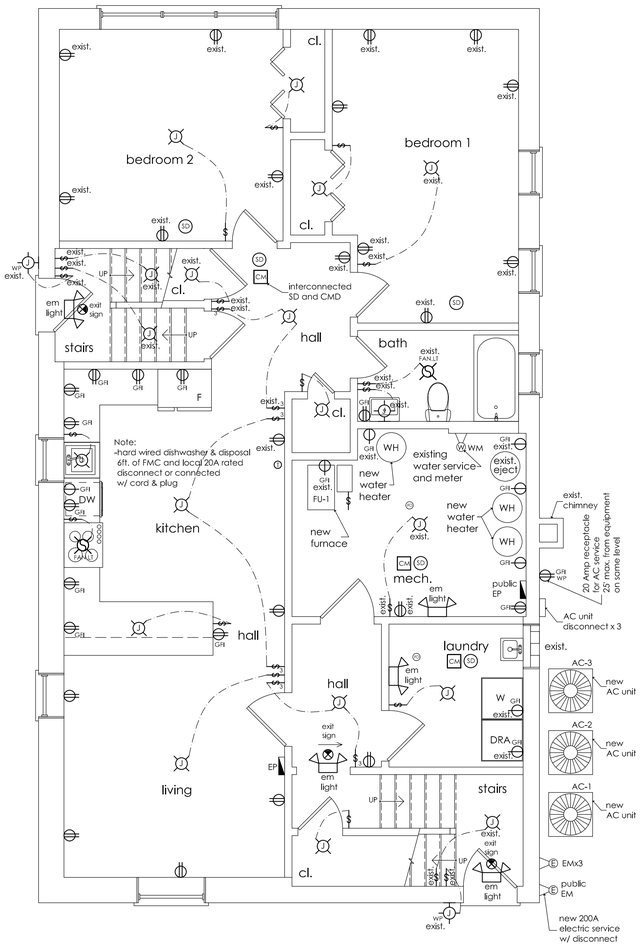
Electrical 1st Floor Plan

SCALE: 1/4" = 1'-0"



N

Electrical Basement Plan

SCALE: 1/4" = 1'-0"

0 1' 2' 3' 4' 5' 6' 8' 10'

SCALE: 1/4" = 1'-0"

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Architects seal

STATE OF ILLINOIS
ALAN LESKIV
ARCHITECT
LICENSE 001.022220
09.23. 2024
Expires: 11.30.2024

3 UNIT BUILDING ALTERATION

820 MAPLE AVE
OAK PARK *** ILLINOIS

Project #	24 - 124
Date:	09.23. 2024
Drawn by:	AL
Checked:	LA
Revision 1:	.
Revision 2:	.
Revision 3:	.

Sheet #

A-6

Scale: as shown

Electrical notes:

1. Electrical contractor is to coordinate his work with local utility companies and governmental agencies, supply any temporary services required during the entire period of construction.

2. All work shall comply with 2020 National Electric Code w/ amendments.

3. Electrical as shown on plans is schematic only. Contractor shall include in proposal any electrical items which are not indicated on drawings but are implied and can be reasonable assumed. All work shall be coordinated with the other trades and the local companies as to avoid interferences.

4. Electrical materials, devices, fixtures shall be listed for the application, bear label of approved agency & installed in accordance with manufacturer.

4. Contractor shall cut and patch as required any floor, wall, ceiling, etc. that necessary for a complete installation of the electrical system.

6. All electrical conductors shall be copper unless noted otherwise. Rigid galvanized conduit shall be used in, through or under all interior concrete slab construction and foundation wall penetrations. Overhead service conductor shall have min. 10.0 ft. vertical clearance at electric service entrance.

7. Electrical contractor shall verify conditions and size of existing electrical panels. Existing panel to be updated by electrical contractor, complete grounding electrode system w/ water pipe electrode, bonding jumper around meter & rod electrode. UFFER ground per adopted code, verify.

8. Electrical panel shall have sufficient access & unobstructed working space min. 2.5w. x 6.5'h. to 3.0' d. in the front of panel.

9. All services shall be installed with a main breaker panel. Contractor shall locate and install main breaker panel and house panels of size and capacity as required, label all devices, circuits etc. If the meter is more than 5'-0" from the panel, an outside service disconnect breaker is required at the meter. Electric service shall be provided with a surge protector at the panel.

10. Electrical contractor shall verify final outlet, switch, and fixture locations with homeowner prior to installation. All electrical equipment shall be UL approved & to have disconnect means.

11. All entries and doorways must have exterior light fixtures UL approved for wet or dump locations, including front, rear, side, patio doors, outside basement stairs and garage doors. Exterior outlets shall be GFCI & weatherproof. All low voltage for doorbells and HVAC must be conduit.

12. All closet light fixtures shall be encased - recessed lights with lenses or fluorescent - 6" min. or incandescent with 12" min. from storage space Provide p.c. light at all access openings.

13. Outlets shall be tamper - resistant, auto ground & installed along the wall, starting 6.0' from doorway at 12.0' horizontally, 2.0' apart at kitchen countertops, 3.0' min. of edge of basin in bathrooms. Newly wired section of structure shall have tampered resistant outlets, surge protector at the panel.

14. At kitchen, laundry, garage, exterior provide GFCI receptacles. All attached garages shall have a min. of two outlets and one additional in ceiling for each garage overhead door.

15. All switches, outlets and light fixtures in bathroom, powder room, shower, wet locations etc. shall be GFCI protected.

16. All lights and outlets shall have arc-fault circuit interrupters (AFCI). Ceiling boxes shall be fan rated.

17. Minimum two 20 Amp small appliance circuits for receptacles in the kitchen serving the countertops are required.

18. Outlets in dining room, and laundry room shall have 2 or more separate 20 amp circuits.

19. All equipment rooms shall have a switch, surface mounted light fixture and a GFCI outlet. Directly connected HVAC, kitchen appliances, and miscellaneous equipment or fixtures and all low voltage to be directly wired by the electrician. Provide a readily accessible on-off switch and disconnect on heating and cooling systems within 3.0 feet from unit.

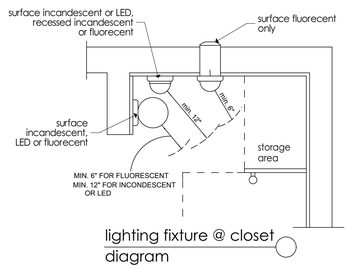
20. Heating and cooling systems, sump pumps, sewage ejectors shall be installed on their own separate dedicated circuits. AC units & water containment containers shall have a continuous copper equipment grounding conductor to the service panel.

21. Provide interconnected and hardwired for 110v. photo-electric smoke detectors with battery back-up each bedroom & within 15 feet of all sleeping rooms. Carbon monoxide detectors at all required areas each level (top stair each level & heating unit location)

22. Contractor is responsible for scheduling and following up on all of their own inspections.

symbol Legend

- two - way switch
- three - way switch
- O.S. occupancy sensor switch
- single wall outlet
- duplex wall outlet
- GFI ground fault interrupter duplex outlet
- GFI WP water resistant ground fault interrupter
- duplex floor outlet
- telephone outlet
- J ceiling junction box
- R recessed can light DC-IC rated for exter. ceiling
- GFI WP R water resistant reces. can
- J wall junction box
- FANLT exhaust fan/ light
- T programmable thermostat
- SD CM interconnected smoke & CM detector



lighting fixture @ closet diagram

Electrical Symbol Legend

T	Programmable Thermostat
	Exit Sign
	Emergency Light
	Typ. elec. receptacle, duplex outlet mtd. @ 12" AFF unless noted otherwise
W.P. GFI	Water proof special purpose exterior grade receptacle
GFI	Ground fault interrupter outlet mtd. @ 12" AFF unless noted otherwise
J	Ceiling junction box
	Ceiling mounted light fixture t.b.d. by the owner high efficiency incandescent or led light fixture
	Wall sconce to be selected by tenant/owner for high efficiency incandescent or led light fixture
O.S.	Occupancy sensor switch
	Single pole one way switch mtd., @ 48" AFF
3	Three way switch, 2 switches for the same light fixture/ outlet
CM	Carbon monoxide detector U.L. listed and labeled, hardwire 120V
SD	Smoke/Heat detector U.L. listed and labeled, hardwire 120V
FANLT	Exhaust fan w/ light - CFM as noted on mechanical drawings
R	5" RECESSED CAN LIGHT FIXTURE
	Electrical panel
	Disconnect Switch

Exit Sign Schedule

Single Face Underwriters Laboratory Approved Exit Sign

Tag #	Description
	Wall mounted direct exit sign viewing pane
	Ceiling mounted direct exit sign
	Exit sign combo with emergency light
2	Exit through corridor
	Exit sign with directional arrow

ALKCO RGLO-FL2 SERIES	(2) 8W-T5 LAMPS	120V	Underwriters Laboratory Approved (U.L. Appr'd'd) Exit Sign

Emergency Lighting Notes

1) Verify exact circuit load prior to connecting new signs or lighting.
2) Coordinate all exit signs with door swing, obstructions, etc to avoid conflicts.
3) Refer to architectural plans for general lighting fixture locations.
4) Exit sign and emergency lighting shall be based on the plans. Submit exiting and emergency lighting layout to city per specifications and adjust locations if so directed.
5) Coordinate the exact mounting of all exit signs with architect prior to ordering.
6)The branch circuit feeding the battery operated equipment shall be the same branch circuit as that serving the normal illumination and emergency lighting in the area and connected ahead of any local switches.
7) Emergency exit sign with lights must be U.L. approved battery operated, hard wired by Cooper 'Sure-Lites' model LPXC or CHX series.
8.) Emergency lighting and exit signs shall be circuited to the existing base building emergency panel. Utilize existing 15A-1P plug fuse circuits where possible.
9.) Emergency light fixtures must be U.L. approved, battery operated hard wire, 90 minute duration Copper Sure Lites model SEL or XR-6-C.
10.)Provide separate neutral wires for emergency lighting and exit sign circuits.
11.) Exit Sign Lettering to at least 4-1/2" (H) with 9/16' stroke.
12.) Directional Sign lettering to be at Least 3-3/8" (H) with 9/16" stroke.
13.) Arrows to be 1/2" wide and as long as the lettering.
14.) All such lettering and arrows shall be RED on a white translucent field.

UNIT PANEL EP (typical)

Panel loc.- Unit Panel type: NEMA
Main: 100A/2P MCB Mounting: surface
Voltage: 240/120V (1P 3W)

APPLIANCE	CIRCUIT BREAKER	APPLIANCE	CIRCUIT BREAKER
KITCHEN OUTLET	20A	LIVING LIGHT	15A
KITCHEN OUTLET	20A	LIVING OUTLET	15A
KITCHEN LIGHT	20A	M. BEDROOM LIGHT	15A
REFRIGERATOR	20A	M. BEDROOM OUTLET	15A
DISHWASHER	20A	BEDROOM 1 LIGHT	15A
RANGE	20A	BEDROOM 1 OUTLET	15A
MICROWAVE	20A	BEDROOM 2 LIGHT	15A
BATH LIGHT	20A	BEDROOM 2 OUTLET	15A
BATH OUTLET	20A	HALL LIGHT	15A
M. BATH LIGHT	20A	HALL OUTLET	15A
M. BATH OUTLET	20A	SD	15A
LAUNDRY	20A	CMD	15A
AIR COND.	30A	FURNACE	15A
SPARE		SPARE	
SPARE		SPARE	

Note:
-Provide spare for min. of 10% spare breakers

PUBLIC PANEL

Panel loc.- Mech. room Panel type: NEMA
Main: 100A/2P MCB Mounting: surface
Voltage: 240/120V (1P 3W)

APPLIANCE	CIRCUIT BREAKER	APPLIANCE	CIRCUIT BREAKER
STAIRS LIGHT	15A	MECH ROOM LIGHT	20A
EXTERIOR LIGHT	20A	MECH ROOM OUTLET	20A
EXTERIOR OUTLET	20A	SD	15A
GARAGE LIGHT	20A	CMD	15A
GARAGE OUTLET	20A	SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	
SPARE		SPARE	

Note:
-Provide spare for min. of 10% spare breakers

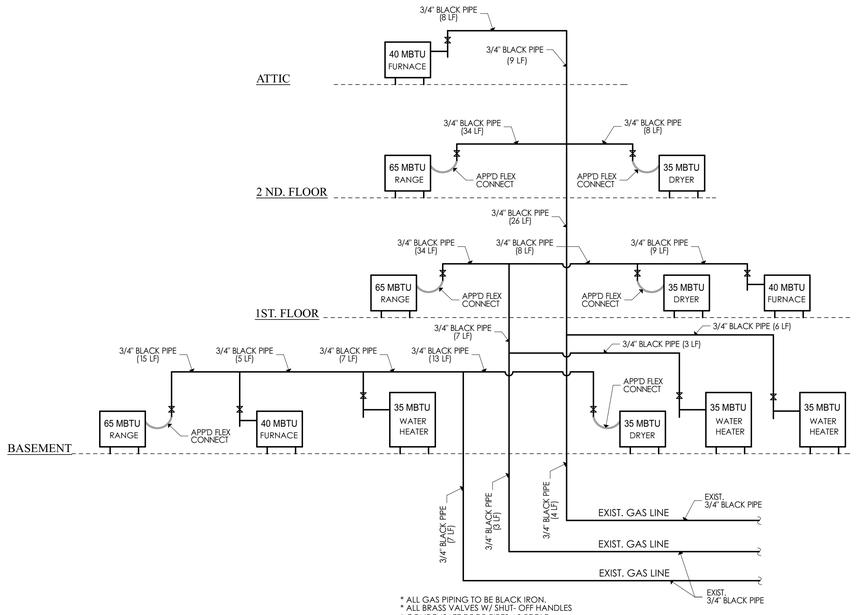
Note:
Smoke detectors shall be located a minimum of 3' from the blades of a ceiling fan. (Per NFPA 72-29.8.3.4(8) as referenced in section: R314.7.1)

Note:
Disconnecting means shall be capable of disconnecting air-conditioning and refrigerating equipment, including motor-compressors and controllers, from the circuit conductors. If the disconnecting means is readily accessible to unqualified persons, any enclosure door or hinged cover of a disconnecting means enclosure that exposes energized parts when open shall require a tool to open or be capable of being locked.
- Provide at least one wall switch controlled light fixture within 3-feet of the attic space accessible opening. (Article: 210.70(A)(3))
- No pull chain activated lights allowed.

Note:
- All branch circuits supplying outlets or devices in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas require AFCI protection. (Article 210.12(A))
- The clothes closet surface mounted fixtures (incandescent or LED) must be mounted a minimum of twelve inches (12") away from the nearest point of storage. Recessed incandescent, recessed fluorescent and surface mounted fluorescent fixtures must be mounted a minimum of six inches (6") away from the nearest point of storage. Light fixtures in closets must have a completely enclosed lamp. (Article: 410.16(C)(1,2,3))
- The branch circuit feeding the emergency lights shall be the same branch circuit as that feeding the normal lighting fixtures in the area. (Article 700.12)
- Thermostat shall be programmable and shall have setback capabilities (Section: R403.1.1)
-All lamps in permanently installed light fixtures shall be high efficiency lamps (Section: R404.1)
-Along exit access stairways, exit stairways, and at their required landings, the illumination level shall not be less than 10 footcandles at the walking surface when the stairway is in use (Section 1008.2.1)
- Emergency exit lighting circuits shall supply no loads other than those
-Restroom receptacles outlets shall be supplied by at least one 20 Amp branch circuit. Such circuits shall have no other outlets
-Hard wired dishwasher & disposal 6ft. of FMC and local 20 Amp rated disconnect or connected w/ cord & plug

Note:
- The gas piping materials, valves, regulators, joints, and connections must be in accordance with the quality control standards referenced in the 2021 International Fuel Gas Code.
- Black steel pipe must comply with ASTM A53.
- Gas pipe must be indetified at 5 foot intervals.
- Gas piping installed in concealed locations shall not have unions, tubing fittings, right and left couplings, bushings, compression couplings or swing joints.

Natural gas distribution piping shall be schedule 40 black pipe with class 150 malleable iron fittings. Gas piping greater than 2" inside diameter or carrying more than 5 pounds (PSIG) shall be schedule 40 standard weld fittings.



* ALL GAS PIPING TO BE BLACK IRON.
* ALL BRASS VALVES W/ SHUT- OFF HANDLES
* CONDENSATE DROP PIPES AS REQ' D

New gas riser diagram
SCALE: nts.

Plumbing notes:

1. All work shall comply with 2014 Illinois Plumbing Code.

2. Plumbing contractor is to coordinate his work with local utility companies and goverrnmental agencies, supply any temporary services required during the entire period of construction.

3. Contractor shall be required to furnish all labor, materials, equipment etc. necessary to make a complete plumbing system. Plumbing work included shall consist of a complete system of supply, soil, waste, vent, floor drains, ejector pump, gas and drain piping to each fixture, device, connected to the existing municipal system, including required meters, and sump discharge to sewer.

4. All plumbing materials, devices, fixtures, equipments, appliances shall be certified by an acceptable listing agency. Existing lead pipe water service lines must be updated to type "k" copper.

5. Fit all work into available space meet the requirement and coordinate with other trades and follow the structural elements of the building as closely as possible. Run pipe concealed throughout the finished portions of the building.

6. Contractor shall cut and patch as required any floor, wall, ceiling, etc. that necessary for a complete installation of the plumbing system.

7. Structural members shall not be unnecessarily or carelessly be weakened by cutting or notching. Structural members which are modified shall be repaired in an acceptable manner as to guarantee the structural integrity of the design.

8. Exterior openings around piping and equipment shall be properly sealed as to resist the entrance of vermin or moisture. Pipes and ducts shall be fire caulked when penetrate rated enclosure.

9. All water supply lines shall be copper type "L" above ground and type "K" below ground. Water supply and waste are not permitted in exterior walls or other unheated spaces.

10. Min. fixture supply shall be 1/2" dia. copper.
Install water hammer arrestors in water pipes to prevent water hammer.
Adjust flush valves for min. noise.
Provide non-frost sill cock & Anti-Siphonvacuum breaker.

11. Use standard flexible pipe insulation (R-3) for all cold & heated water pipes. Apply insulation after piping has been tested, dry and clean.

12. Piping shall be installed without undue stress and with provisions for expansion, contraction and structural settlement. Drain and waste piping shall be supported at 4 ft. max. intervals as required.
Vents shall rise vertically or with 45 degrees of vertical from the fixture tee.

13. Install horizontal vent lines with max. possible pitch back to fixture, tie all vents together where possible before extending through roof. Vents shall not terminate less than 3 ft. from any motor-driven air intake into habitable room.

14. Min. main vent stack shall be 3" dia. w/ 4" increaser through roof and shall be made weatherproof. Provide approved flashing for all waste vents penetrations. Sewage ejector shall have check valve on discharge line and to be vented separately from other fixtures.

15. All underground & under floor branch vents shall be 2" min. Floor drains shall be individually vented. Traps shall be located as close as possible to their vents and shall be accessible for repair or inspection. Provide sufficient space for access & maintain all devices.

16. Min. waste lines:
1-1/2" dia.- lavs., 2" dia. - shower, 2" dia. - fd,
2" dia. - bathtub, 4" dia.- wc, 2" dia. - laundry,
4" dia - all underground
Provide clean outs as required per code at least 12" of unobstructed clearance of the opening.

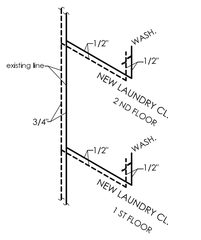
17. All underground sanitary sewer lines beneath the concrete slab inside the building wall shall be 4" dia. min. PVC schedule 40.

18. Provide 1/2" conduit from water meter through outside wall for remote meter reader.
Provide shut-off valves both side of water meter and at each hot and cold water line at every fixture. All tub and shower faucets shall be scaled.

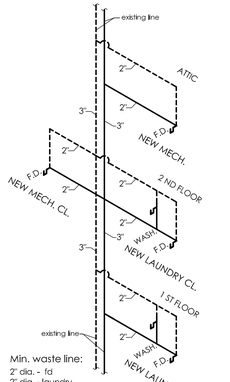
19. No two dissimilar metals shall be in contact. Use fitting of the same material and finish as the pipe in which they are installed. install dielectric unions where dissimilar materials connect.

20. Complete and test rough-in work before any finish work installed and make any required adjustments to assure a safe operating system. Entire plumbing system shall be tested under pressure prior to enclosing.

Contractor is responsible for scheduling and following up on all of their own inspections.



supply diagram
HOT WATER
COLD WATER
Plumbing fixtures to be American standard or equal

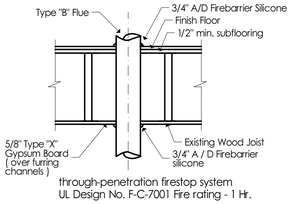


partial waste diagram
see plans & coordinate for stacks location

Note:
-Plumbing fixtures to be American standard or equal
-Provide isolation valves on water pipe
-No water piping shall be installed in any exterior wall, garage wall, attic or other unconditioned area or chase unless installed in a separate isolated secondary wall or chase
-Insulation alone shall not be used for isolation of water piping
-All hot water piping to be insulated to minimum R-3

* All Plumbing fixtures are to comply with the Water Sense program requirements and shall have a conspicuous Water Sense label upon final plumbing inspection or a list of installed Water Sense compliant plumbing fixtures shall be provided to the plumbing inspector prior to final plumbing approval

through-penetration firestop system
UL Design No. F-C-5028 Fire rating - 1 Hr.
for water pipes
typical SCALE: nts.



through-penetration firestop system
UL Design No. F-C-7001 Fire rating - 1 Hr.
for flues
Typical SCALE: nts.

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Architects seal

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3 UNIT BUILDING ALTERATION

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