



Application for Public Hearing **VARIANCE**

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (if Applicable): _____

Address/Location of Property in Question: 110 S. Austin Blvd, Oak Park, IL 60403

Property Identification Number(s)(PIN): _____

Name of Property Owner(s): Anthony Wells and Micheal Burkes

Address of Property Owner(s): 110 S. Austin Blvd, Oak Park, IL 60403

E-Mail of Property Owner(s): anthony@hartfordwellsinvestments.com Phone: 773-815-3243

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Name of Applicant(s) (if different than Property Owner): _____

Applicant's Address: _____

Applicant's Contact Information: Phone _____ E-Mail _____

Other: _____

Property Interest of Applicant: _____ Owner _____ Legal Representative _____ Contract Purchaser _____ Other

(If Other - Describe): _____

Property Type: 1 or 2 Family Residential Multiple-Family Commercial Mixed-Use Hospital Institutional

Zoning District: R-1 R-2 R-3(50) R-3(35) R-4 R-5 R-6 R-7

DT (1 - 2 - 3) GC HS MS NA NC RR

H OS I

Describe Variance Proposal: Increase in Dwelling Units from three (3) to Four (4) D.U.; Addition, Interior and Exterior Alterations, At an Existing 3-story brick residential building with basement, and repairs to existing 3-car brick garage.

Size of Parcel (from Plat of Survey): **3,720** Square Feet

Adjacent:	Zoning Districts	Land Uses
To the North: _____	R7	MULTI FAMILY
To the South: _____	R7	MULTI FAMILY
To the East: _____	N/A	N/A
To the West: _____	R4	SINGLE FAMILY

Is the property in question currently in violation of the Zoning Ordinance? ____ Yes **_X_** No

If Yes, how? _____

Is the property in question currently subject to any zoning relief? **X** Yes ____ No

If Yes, how? **TRANSIT ORIENTED DISTRICT**

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? ____ Yes **_X_** No

If Yes: Frank Lloyd Wright Ridgeland/Oak Park Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: 4.1 Purpose Statements **Section:** Table 4-1: Residential Districts Dimensional Standards

Article: _____ **Section:** _____

Article: _____ **Section:** _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

See Affidavit of Chuks Okwuje and Anthony Wells.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are

true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

(Printed Name) Applicant

(Signature) Applicant

Date

(Printed Name) Owner

(Signature) Owner

Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

_____ DAY OF _____, _____

(Notary Public)

AFFIDAVIT OF MICHAEL BURKES

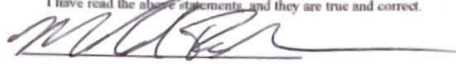
Re: 110 S. AUSTIN BLVD, OAK PARK, IL 60403

Michael Burkes under oath states as follows:

1. I am the co-owner of a residence commonly known as 110 S. Austin Blvd, Oak Park, Illinois.
2. I acquired this property in February, 2024, and will rent out units in addition to residing in it with my immediate and extended family.
3. The building is over 100 years old and is of masonry construction.
4. I seek to make certain improvements to the multi-family to accommodate the comfort and lifestyle of tenants and my immediate and extended family.
5. To this end I engaged the services of architect Chuks Okwuje to prepare plans for the rehab of the building.
6. In presenting plans to the village, it was determined that variations were required to proceed. Two variations are sought:
 - a. To allow a permanent addition to replace the existing 3-story enclosed wood porch, **Same Size, Same Location.**
 - b. To increase the number of dwelling units from three (3) to four (4) D.U.
7. The existing height of the basement will be increased from 82" to 90" (7'-6"). Top of Windowsills at sleeping rooms shall be not more than 44" Above Finished Floor (A.F.F)
8. Strick compliance with the standards of the Oak Park Zoning Ordinance creates a particular hardship for the subject property due to the fact that the existing construction already meets or exceeds the requested variations. This situation is unique and would not apply to other properties in the area.
9. This hardship was not brought about by our architect or myself, but the condition is that of the original construction of the building.
10. This request for the variations is not based on a desire to make profit out of the property. Petitioner is not a developer and has no plans to "flip" the property should relief be granted. A monetary return is not sought. The building improvement is sought to enable my immediate and extended family and I, myself, to more fully enjoy purchase.

designgroup Architects + Planners
6252 S. Constance Ave, Chicago, IL 60649 www.designgroupllc.com Phone: 312-718-1547

I have read the above statements and they are true and correct.



Michael Burkes, Property Owner

Subscribed and sworn to before me this 22
day of July 2024


Notary Public

Seal



Section 14.3 Variation Standards

A written response to each of the following standards that must be met in order for a variation to be granted (Section 14.3 E of the Village of Oak Park Zoning Ordinance) must be submitted. Each standard must be quoted from the Zoning Ordinance and then followed by a reasoned response to the standard. Please note that all three standards must be met in order for the ZBA to grant any variances.

Approval Standards

1. The Zoning Board of Appeals decision must make findings to support each of the following:

a. The strict application of the terms of this Ordinance will result in undue hardship unless the specific relief requested is granted.

Response: *Strict compliance with the regulations and standards of the Oak Park Zoning Ordinance would create practical difficulties or particular hardships for the subject property because: Anthony Wells, Michael Burkes, and Chuks Okwuje, AIA, NCARB, MBA, testify that strict compliance with the regulations and standards of the Oak Park Zoning Ordinance would create practical difficulties or particular hardships for the subject property because the original construction of the multi-unit residence built before 1910 is based on lot area/dwelling unit standard of less than the ordinance required 2,500 Sq. Ft./unit for the first two dwelling units, thereafter, 700/unit.*

The subject property has three (3), 2 bedroom, 1-bath dwelling units, each equal to ~1,413 Sq. Ft. (+/-) Also, the basement originally housed an apartment for the building engineer which the owner seeks to reuse for an increase in dwelling units as a matter of public record from three (3) to four (4) dwelling units.

b. The particular physical surroundings, shape or topographical conditions of the specific property impose a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.

Response: *The nonconforming aspects of the building's original construction impose a particular hardship upon the owner, as distinguished from mere inconvenience. Chuks Okwuje, AIA, NCARB, MBA, testifies these hardships were not brought about by an architect or myself, but it is how the building was constructed over 100 years ago. The actual buildable area of the subject property is 4,596 Sq. Ft., as compared to the Oak Park zoning ordinance maximum building area of 2,604 Sq. Ft. the this particular R-7 zoned lot.*

c. The plight of the owner is due to unique circumstances inherent to the subject property and not from the personal situation of the owner and has not been created by any person presently having a proprietary interest in the property in question.

Response: *Chuks Okwuje, AIA, NCARB, MBA, testifies that strict compliance with the standards of the Oak Park Zoning Ordinance creates a particular hardship for the subject property because of the existence of the original structure built prior to 1910. The Zoning Ordinance assumes a vacant, standard lot and there is no way to accomplish this. This matter will not apply to other property in the area.*

2. The Zoning Board of Appeals, in making its findings, may inquire into the following evidentiary issues, as well as any others deemed appropriate:

a. The granting of the variation will not be detrimental to the public health, safety, and welfare in the neighborhood in which the property is located.

Response: Chuks Okwuje, AIA, NCARB, MBA, testifies that the requested variations if granted, will not alter the essential character of the neighborhood because no additions are proposed at the existing multifamily building, and there are no planned exterior alterations to the structure. Also, even in the rear where the extensive remodeling will occur, there will be no deletion of open space.

b. The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, endanger the public safety, or impair property values within the neighborhood.

Response: It is my professional opinion this relief, if granted, will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood, nor will it impair an adequate supply of light or air to adjacent property, increase congestion to public streets, increase the danger of fire, endanger the public safety substantially diminish property value in the neighborhood because the construction and new improvements will meet all applicable code and safety standards.

c. The proposed variation is consistent with the spirit and intent of this Ordinance and the adopted land use policies.

Response: *The spirit and intent of the Oak Park Zoning Ordinance and its adopted land use policies focus on balancing community values, preservation, and growth. Key goals and principles include: Preservation of Character; Promoting Sustainable Development: Diverse, Inclusive Housing: Mixed-Use and Transit-Oriented Development: Community and Green Spaces; Smart Growth and Economic Development: and, Adaptation and Flexibility. In essence, the Oak Park Zoning Ordinance is about striking a balance between preserving what makes the Village of Oak Park, IL, unique and ensuring it remains vibrant and sustainable in the future.*

INCREASE IN DWELLING UNITS (D.U.) FROM 3 D.U. TO 4 D.U., ADDITION, INTERIOR, AND EXTERIOR REHABILITATION AT AN EXISTING 3-STORY, RESIDENTIAL BRICK BUILDING W/ BASEMENT, AND REPAIRS AT EXISTING 3-CAR BRICK GARAGE. NO CHANGE OF USE.



DRAWING INDEX

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 9 of 23 A3 CONSTRUCTION PLANS
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 11 of 23 A5 BUILDING SECTIONS A-A
 12 of 23 A5.1 BUILDING SECTION B-B
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 17 of 23 A7 DOOR WINDOW ROOM FINISH SCHEDULES
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 21 of 23 E2 ELECTRICAL POWER AND LIGHT PLANS
 22 of 23 P1 PLUMBING SCHEDULES NOTES DIAGRAMS
 23 of 23 P2 PLUMBING PLANS



Design Group JEDI, Inc
 6858 S. Constance Ave.
 Chicago, IL 60649-1506
 312.718.3547
 chuks@designgroupjedi.com

Consultant:

 Consultant:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

**110 S. AUSTIN BLVD
 OAK PARK, ILLINOIS**
 Increase in Dwelling
 Units from 3 to 4 &
 Interior Exterior
 Alterations Rehab to
 Existing 3-Story Brick
 Residential Building.

Owner:
 Anthony Wells & Michael Burkes
 Hartford Wells Investments LLC
 110 S. Austin Blvd
 Oak Park, IL 60304
 P: 773-815-3243

General Contractor:
THIRD MILLENNIUM INC
 6714 N. Drake Ave, LincolnWood, Illinois 60712
 P: 224-247-8611

ARCHITECT:
DESIGN GROUP JEDI INCORPORATED.
 6858 S. Constance Ave, Chicago, Illinois 60649
 P: 312.718.3547

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CODES AND ORDINANCES OF THE VILLAGE OF OAK PARK, IL.

ISSUED FOR PERMIT # xxxxxxxxxx

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 EXPIRES 11.30.2024

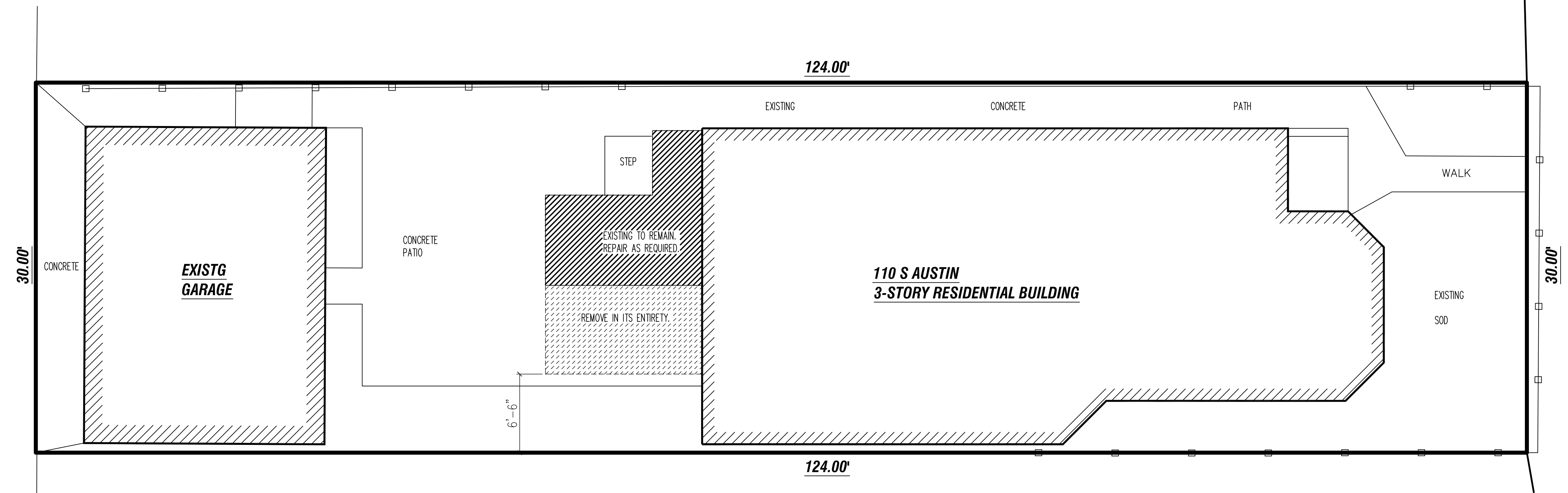
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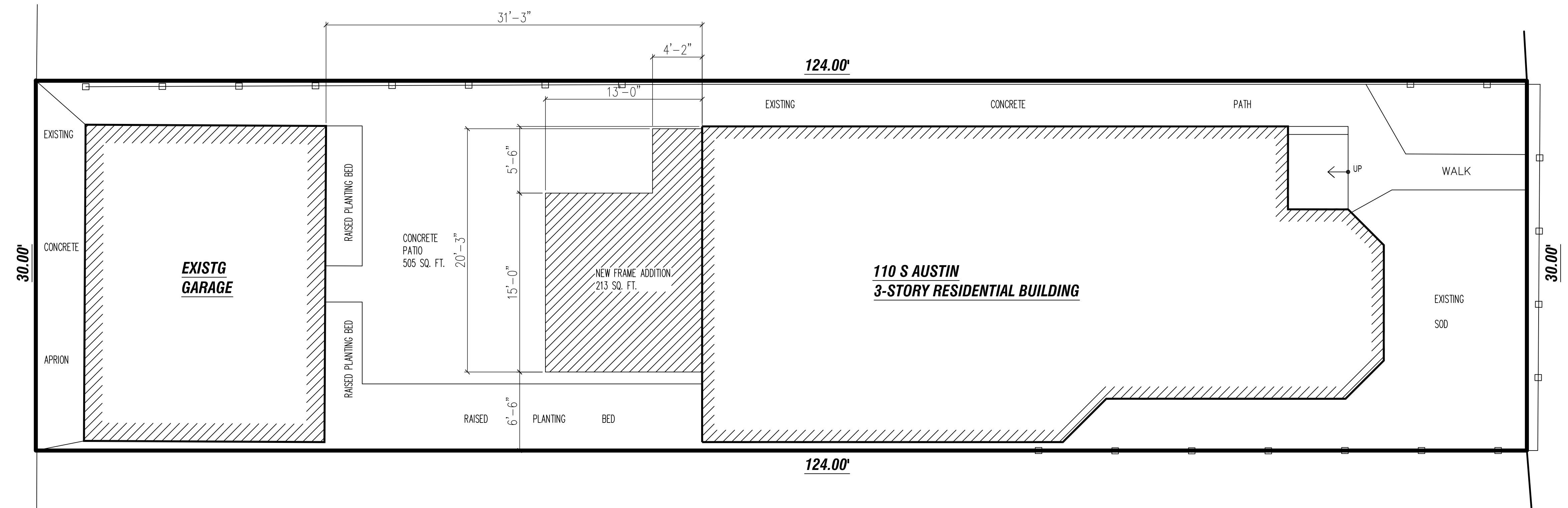
SHEET TITLE: **TITLE SHEET**

SHEET NO. **A00**

14 FT. PUBLIC ALLEY



14 FT. PUBLIC ALLEY
14' ALLEY



AUSTIN AVE

AUSTIN AVE



Design Group JEDI, Inc
6858 S. Constance Ave.
Chicago, IL 60649-1506
3127183547
chuks@designgroupjedi.com

Consultant:

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**110 S. AUSTIN BLVD
OAK PARK, ILLINOIS**
Increase in Dwelling
Units from 3 to 4 &
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Alterations Rehab to
Existing 3-Story Brick
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SHEET TITLE: **EXISTING AND PROPOSED SITE PLANS**

SHEET NO. **A02**



PANORAMIC VIEW WEST ELEVATION, 3RD FLOOR, BUILDING REAR @ PROPOSED BATHROOM



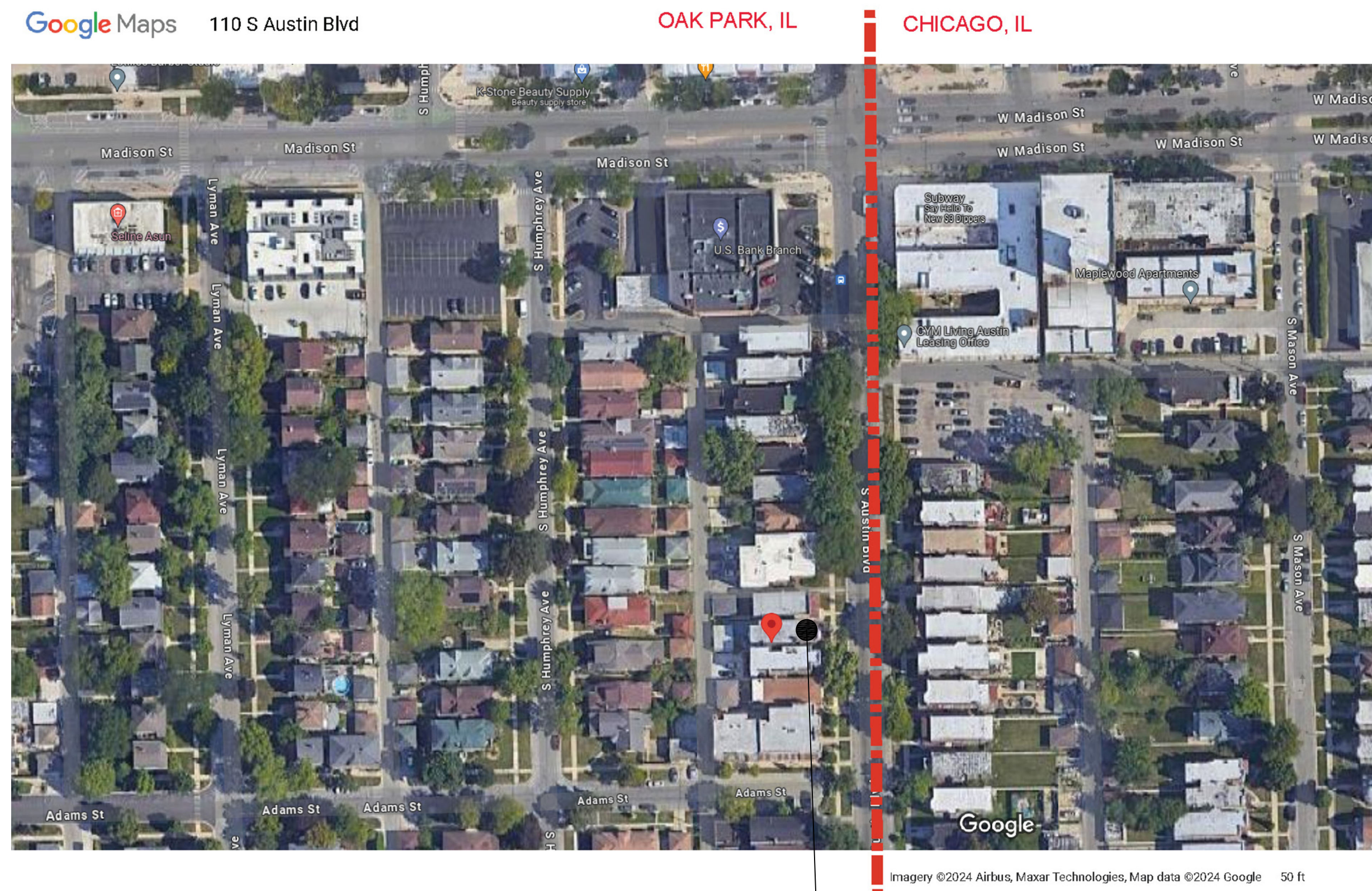
108, 110, & 112 S. AUSTIN BLVD, OAK PARK, IL



108 S. AUSTIN BLVD, OAK PARK, IL - BUILDING REAR



112 S. AUSTIN BLVD, OAK PARK, IL - BUILDING REAR



110 S. AUSTIN BLVD, OAK PARK, IL



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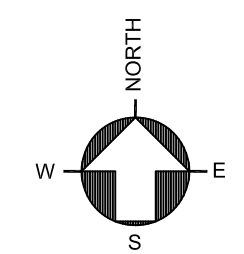
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SHEET TITLE: **PROPERTY ADJACENCY**

SHEET NO.: **A04**



DEMOLITION NOTES

1. PROVIDE TEMPORARY BRACING AND SHORING WITH CONNECTIONS OF SUFFICIENT STRENGTH TO BEAR IMPOSED LOADS, TO PROTECT ALL PERSONS AND PROPERTY, AND TO ENSURE PROPER ALIGNMENT, COMPLY WITH ALL STATE, O.S.H.A. AND LOCAL CODES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE BRACING OF EXISTING WALLS DURING DEMOLITION AND ERECTION TO PREVENT DAMAGE DUE TO HIGH WINDS OR OTHER LATERAL LOADS AND CONSTRUCTION IMPACTS. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR DAMAGE DUE TO HIS/HER FAILURE TO TAKE SUCH PRECAUTIONS.

2. FIELD VERIFY SCOPE OF WORK & EXISTING CONDITIONS CAREFULLY PRIOR TO COMMENCEMENT OF DEMOLITION WORK & NOTIFY ARCHITECT IF ANY DISCREPANCIES FOUND.

3. REROUTE/PRESERVE ANY ELECTRICAL LINES, PIPING, ETC. WHEREVER NECESSARY IN ORDER TO REUSE FOR NEW MECHANICAL / ELECTRICAL EQUIPMENT - REFER TO MECHANICAL & ELECTRICAL DRAWINGS

3. ALL DEMOLITION WORK IS SHOWN IN DASHED LINE.

4. G. C. TO COORDINATE SCOPE OF DEMOLITION W/ PROPOSED WORK.

5. ALL CONSTRUCTION DESIGNATED TO REMAIN TO BE PROTECTED FROM DAMAGE

6. CAP & SEAL ALL EXISTING DISTRIBUTION & RETURN GRILLES / DUCTS, HOT & COLD WATER PIPING, ETC. FOR REWORKING PER PROPOSED REMODELING AND/OR ADDITION

7. ALL MEP CONTRACTORS SHALL INSPECT ANY EXISTING EQUIPMENT SHOWN TO REMAIN AND VERIFY ALL ARE IN PROPERLY WORKING ORDER. THEY SHALL PROVIDE ALTERNATES FOR REPLACEMENT OF EQUIPMENT IF REQUIRED.

8. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIAL AND LABOR TO FULLY COMPLY WITH THE SCOPE OF WORK, WHETHER OR NOT SPECIFIED OR SHOWN IN THE PERMIT DOCUMENTS

9. CONTRACTOR TO COORDINATE WITH ALL APPLICABLE GOVERNING BODY DEPARTMENTS AND NOTIFY ALL UTILITIES IN ADVANCE OF ANY DEMOLITION WORK. IF ANY EXCAVATION IS TO BE DONE CONTRACTOR IS TO CONTACT CHICAGO CHICAGO UTILITY ALERT NETWORK WITHIN THE CITY OF CHICAGO AND 'JULIE' JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS ANY WHERE ELSE IN THE STATE OF ILLINOIS

10. CONTRACTOR SHALL INSTALL OPENINGS CREATED BY THE REMOVAL OF PIPES, CONDUITS, DUCKWORK, ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN REQUIRED FIRE RATINGS.

11. CONTRACTOR SHALL VERIFY AND COORDINATE PLACEMENT OF DUMPSTERS LOCATIONS, DUCKWORK, ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN REQUIRED FIRE RATINGS.

12. NO WORK SHALL BEGIN UNTIL CONTRACTOR IS IN FULL COMPLIANCE WITH INSURANCE/HOLD HARMLESS REQUIREMENTS, AND THE ARCHITECT IS HELD HARMLESS FOR ALL WORK SHOWN, ANY PROBLEMS WHICH ARISE BEFORE, DURING, AND/OR AFTER CONSTRUCTION

DIVISION 1 - GENERAL REQUIREMENTS

CONTRACTOR'S RESPONSIBILITIES

The scope of the Work described herein includes furnishing all materials, labor, tools, plant, supplies, equipment, transportation, supervision, insurance, taxes and all other services and facilities necessary to complete the construction as shown in the Construction Documents. Contractor shall visit the site prior to submitting their bid to determine actual field conditions presently existing, and identify any such conditions which may affect its bid. The submitting of a bid for the Project will serve as notice that Contractor has made aforesaid determinations, and no additional sums will be allowed for failure to do so. Contractor shall notify the Architect of any discrepancy or omission in the Construction Documents which affect the Work, prior to submitting their bid. Written instructions will then be issued by the Architect regarding any changes or clarifications to the Construction Documents. Contractor shall be responsible for all licenses & requirements by the governing municipality.

APPLICABLE STANDARDS

In procuring materials and installing same for this project, it shall be the responsibility of each Contractor to verify the detailed requirements of all applicable Codes and Standards, as well as manufacturer's recommendations and specifications, and comply fully with said requirements.

CONTRACTOR'S INSURANCE

Each Contractor shall submit, prior to commencing Work, Certificates of such Insurance naming Owner, Architect, and their agents as Additional Insured, for the following coverages:

A) Public Liability of not less than \$1,000,000.00 (including) Contractors' Protective Liability, covering explosion and collapse, completed operations coverages (covering a period of at least two years) and a date of acceptance of the work, including coverage from blanket/contractual liability coverage and shall insure against any and all claims for bodily injury, including death resulting therefrom and damage to the property of others and arising from its operations under the contract, whether such operations are performed by such contractors, or by anyone directly or indirectly employed by any one of them.

B) Workman's Compensation and Employers' Liability insurance as required by any Employee Benefit Acts or other statutes applicable where the work is to be performed as will protect Owner's Contractors from liability under the aforementioned acts.

C) Employers liability insurance with limits not less than \$500,000.00.

D) Commercial general liability insurance with limits of not less than ONE MILLION DOLLARS (\$1,000,000.00) combined single limit bodily injury, death, and property damage any one occurrence with an annual aggregate of not less than \$1,000,000.00. The commercial liability insurance shall include: a) manufacturers and contractors liability insurance with x.c. and u. exclusions deleted; b) completed operations; c) blanket contractual; d) personal injury, ALL providing coverage not less than the coverage under the standard insurance services organization form, with a specific per occurrence limit and a specific aggregate for this project.

E) Comprehensive Automobile Liability Insurance, including the ownership, maintenance and operation of any automotive equipment owned, hired and non-owned, \$500,000/ \$1,000,000.00 limits.

F) Contractor's protective with limits of not less than \$1,000,000.00 combined single limit bodily injury, death and property damage any one occurrence with an annual aggregate of not less than \$1,000,000.00.

G) Contractor agrees to hold aforesaid parties harmless on all O.S.H.A. and worker safety requirements, and shall fully comply with all such requirements as they apply to the methods and devices used in the execution of the work.

OPERATION AND MAINTENANCE DATA

Each contractor shall submit installation, operation and warranty manuals for all equipment furnished which requires periodic adjustment or maintenance in duplicate to owner prior to completion of the work and before final payment is issued.

GUARANTEE

All work performed and materials utilized shall be guaranteed for a period of one year after the date of substantial completion, against defects in workmanship and/or materials, and standard manufacturer's warranties on windows, appliances, and materials. Contractor agrees to remedy such defects in 30 days at no additional cost to Owner or Architect, unless agreed in writing by Owner/Architect. The Architect and their consultants do not warrant or guarantee the accuracy and completeness of the work product therein beyond a reasonable diligence. If any errors, omissions, or discrepancies are found to exist in the work product, the Architect shall be promptly notified so that they may have the opportunity to take whatever steps are necessary to resolve them. Failure to promptly notify the Architect of such conditions shall absolve the Architect from any responsibility of such failure. Action taken without the knowledge and consent of the Architect or in contradiction to the work product or the recommendations of the Architect shall become the responsibility of the parties responsible for taking such action.

SANITARY FACILITIES FOR WORKERS

Contractor shall provide and maintain suitable, weathertight, sanitary facilities for all workmen for the entire construction period. Comply with all requirements of applicable Health Authorities. When toilet facilities are no longer required, promptly remove from the site, disinfected and clean, or treat the area as required. Locate as directed. Owner's facilities shall not be used at any time. If any new construction surfaces in the project other than the toilet facilities provided herein are sited at any time, the entire area sited shall be completely removed from the project and rebuilt.

SMOKING

There shall be no smoking anywhere within the residence.

CLEAN-UP

Contractor shall keep their portion of the Project area reasonably clean at all times, and thoroughly remove waste materials, rubbish and debris resulting from their work at least every Friday during the course of the construction.

TEMPORARY FACILITIES

General Contractor shall provide all temporary heat, light and power, construction water, toilet facilities, temporary enclosures and telephone, and take adequate precaution to prevent damage to material and work installed in freezing weather. Provide adequate heat and covering in a manner approved by the Architect. Protect ground surface under footings, pipe lines and masonry against freezing and ice formation.

SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

The Contractor shall review, approve, and stamp with their company stamps for approval, then submit with reasonable promptness and in such sequence as to cause no delay in the Work or in the work of the Owner or any separate contractor, all Shop Drawings, Product Data and Samples required by the Contract Documents.

By approving and submitting Shop Drawings, Product Data and Samples, the Contractor represents that they have determined and verified all materials, field measurements, and field construction criteria related thereto, and that they have checked and coordinated the information contained within such submittals with the requirements of the Work and of the Contract Documents.

The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's review of Shop Drawings, Product Data or Samples unless the Contractor has specifically informed the Architect in writing of such deviation at the time of submission and the Architect has expressly concurred on the specific deviation. The Contractor shall not be relieved from responsibility for errors or omissions in the Shop Drawings, Product Data or Samples by the Architect's favorable comment thereon.

The Contractor shall direct specific attention, in writing or on resubmitted Shop Drawings, Product Data or Samples, to revisions other than those requested by the Architect on previous submittals.

No portion of the Work requiring submission of a Shop Drawing, Product Data or Sample shall be commenced until the submittal has been favorably commented on by the Architect. All such portions of the Work shall be fabricated and installed in accordance with approved submittals.

The Contractor shall submit in writing to the Architect any requests for modifications to the Drawings and Specifications. Shop Drawings that are submitted to the Architect for their review and comment do not constitute a "request in writing" unless it is brought to the attention of the Architect that specific changes are being suggested. In any event, changes to the Drawings and Specifications by means of Shop Drawings become the responsibility of the person initiating such requested changes.

Requirements and design data shall be followed entirely regardless whether they are given by both the specifications and drawings or by either one only.

Shop drawings prepared by suppliers and subcontractors shall be reviewed by the General Contractor prior to submitting to the Architect.

Contractor shall be reviewed by the Architect only for conformance with design concept. No work shall be started without such review.

Contractors to assume full responsibility unreleased by review of shop drawings and by supervision, or periodic observations of construction.

-For compliance with the Contract Documents
-For dimensions to be confirmed and correlated on the job site and between individual drawings or sets of drawings.
-For fabrication processes and construction techniques (including excavation, shoring, scaffolding, bracing, erection, formwork, etc.).
-For coordination of the various trades, and for safe conditions on the job site.

Unless otherwise noted, all details, sections and notes on the Drawings are intended to be typical for similar situations elsewhere.

Design loads, allowable stresses and structural capacities are based on the applicable building code in force at the location of this building.

DIVISION 2 - SITEWORK

SUBSURFACE CONDITIONS
Based upon information gathered, suitable subsurface conditions are anticipated on the site for foundation work and other needs, and bids shall be based on same. Bidders are encouraged to visit the site and acquaint themselves with all existing conditions. If unsuitable soils are encountered (less than 2500 psf bearing) at the depth shown on the Drawings, Contractor shall immediately notify Architect in writing so that written instructions may be issued.

EXCAVATING, FILLING AND GRADING

Supply and install all labor, materials and equipment necessary for all excavating, backfilling, grading and any fill material required under this section of work.

CONTROL JOINTS

Stake out location of house on site for before starting work, final location and offset staking to be performed by a registered surveyor.

Additional landscaping work shall be done by the Owner.

Work to include excavating for footings and foundations, filling and backfilling, rough grading, as required, furnishing and installing granular fill where required, including areas of removed subsurface conditions.

All granular fill below interior slabs shall be clean mineral aggregate 3/4" or smaller, or pea gravel.

Do not backfill until inspections have been made as required by code. Excavate footings to within 2" of depths shown on the Drawings. All footings are to rest on undisturbed soil or engineered fill. Perform all rough grading as required within 2" and final grading as required to attain the elevations required. Rough grade so that surface water drains away from the building foundation to drainage locations. Remove all excess material and debris from site, including all excavated soils.

Provide temporary trenches and/or berms to prevent flooding of sub grade. Backfilling of trenches under paved areas shall be accomplished by using sand fill or approved equal, compacting in 12" lifts.

Excavation, trenching, filling, etc. required by plumbing-sewer, mechanical and electrical trades, is the responsibility of trade requiring same, except for any debris or "spoils" removal, which shall be by the excavation contractor.

All foundation excavations shall be inspected, tested and certified by a qualified soils engineer, when deemed advisable by the consulting Structural Engineer, through the Architect.

All foundations shall be carried down to depths shown on Drawings, or deeper if necessary, to reach undisturbed soil of minimum design capacity.

Backfill against grade beams shall be placed evenly on both sides.

PLACEMENT OF FILL

Place and compact acceptable soils material in layers to achieve required elevations. Place backfill and fill materials in layers of not more the 12" and compact to required maximum density. Do not place materials on muddy or frozen surfaces. All fill supporting footings/foundations shall be compacted to a minimum 96% ASTM Specification G-1567-70 (Modified Proctor) density. Compact fill under proposed floor slabs on grade, parking and driveway areas to a minimum 96% of ASTM Specification G-1567-70 (Modified Proctor) density. Backfill beneath exterior walks, stoeps and patios shall be compacted granular backfill material.

TOP SOIL

To be provided by landscape contractor.

MASONRY OR CONCRETE PAVERS (if shown on drawings)
Pavers shall be set in a compacted sand bed, in a pattern as indicated on the Drawings. All pavers shall be mitered and saw cut as required. See driveway and walk plan for location. Provide plastic border edge, typical.

DIVISION 3 - CONCRETE

CONCRETE FORMWORK

Concrete Contractor shall not pour any concrete in adverse weather conditions or when such is forecasted for the time period following the pour, unless proper curing and protection is provided continuously until the concrete develops its design strength.

CONCRETE MATERIAL
All concrete work shall conform to ACI 301, "Specifications for Structural Concrete for Buildings" specifications, with the following criteria:

1. Strength of Design Mix: 3000 psi at 28 days for foundations (5 bag mix)
2. Strength of Design Mix: 4000 psi at 28 days for slabs (6 bag mix)
3. Strength of Reinforcing Steel: ASTM A615 Grade 60 (60,000 psi)

PLACING CONCRETE

Concrete Contractor shall not pour any concrete in adverse weather conditions or when such is forecasted for the time period following the pour, unless proper curing and protection is provided continuously until the concrete develops its design strength.

Install 6 mil. vapor barrier over fill in large sheets with 6" lapped joints turned up at 6" at walls and corners at all basement and crawl space locations, beneath concrete slab.

Install premoled joint filler for slabs on perimeter inside face of all exterior walls, around columns and as shown. Trim flush with top of slab.

Remove all excess materials and debris from site. Concrete required by plumbing, mechanical and electrical trades is the responsibility of the trade requiring same. All interior slabs shall be troweled smooth unless otherwise indicated on the Drawings.

Reinforcing bars shall conform to ASTM specifications A 615; 16s and stirrups, grade 40; all other bars, grade 60.

Detailing and accessories shall conform to the ACI detailing manual and to the CRSI Manual of Standard Practice, current editions, unless noted otherwise here, on Drawings, or in specifications.

Install anchor bolts at top of foundation where wood sill occurs, @ 4'-0" o.c., min. 6'-0" max., 12" min/max off of every corner. 2 bolts in any wall.

All beam pockets to be fully grouted.

PLACING CONCRETE DURING HOT AND COLD WEATHER
During placement of concrete, concrete shall be protected to maintain a temperature of at least 50 degrees F. in the freshly placed concrete during the curing period.

DAMP-PROOFING
Contractor shall excavate and crawl space foundation walls. Damp-proofing shall be fiberglass-reinforced asphaltic bitumen for sprayed on application, and shall extend from the top of footing (with extra heavy build up to footing) to within 6" of top of foundation. Slope top edge of damp-proofing material. Material to be applied in strict accordance with manufacturer specifications. Submit proposed materials and installation procedures.

CONCRETE SEALER

At garage slabs, provide separate optional bid for urethane "shop floor" coating, "water borne clear polyurethane coating or approved equal.

No frozen materials or materials containing snow or ice shall be used in the mix. No dependence shall be placed on salt or other chemicals for the prevention of freezing. No concrete shall be placed on frozen substrate. No admixtures will be allowed in concrete. During hot weather, where conditions exist which would seriously impair the quality and strength of concrete, place the concrete as follows:

1) Maintain concrete temperature at time of placement below 90 degrees F. Use chilled mixing water to control concrete temperature
2) Cover reinforcing steel with water-soaked burlap if the steel becomes too hot. Steel temperatures shall not exceed the ambient air temperature immediately prior to placement of concrete.

3) Wet forms thoroughly prior to placement of concrete
4) Use set-control admixtures in the mix

Protect all concrete work from drying out by covering with waterproof paper, polyethylene sheeling, wet burlap, or a coating of approved membrane curing compound. Do not use a curing compound membrane on any slabs scheduled for a sealer. Perform curing operations as soon as possible after concrete placement and in any event within 12 hours. Curing shall be maintained for at least 7 days.

CONTROL JOINTS

Provide saw-cut control joints to isolate slabs into Areas of 250 ± ft. or less. Saw-cut joints shall be minimum 1/3 slab depth, or as indicated on Drawings, and cut within 12 to 24 hours (maximum) of pour.

CUTTING AND SLEEVES

Opening sizes and locations for pipes, ducts, etc. when shown, are for general information only and shall be verified with mechanical contractor before forming. Coordinate with other trades for foundation work and other needs, and bids shall be based on same. Bidders are encouraged to visit the site and acquaint themselves with all existing conditions. If unsuitable soils are encountered (less than 2500 psf bearing) at the depth shown on the Drawings, Contractor shall immediately notify Architect in writing so that written instructions may be issued.

Provide 3-coat portland cement stucco application over frame construction totaling at least 1/2" thickness. Finish coat texture and color to match approved sample.

Finish samples shall be steel troweled to match approved sample. Submit color and texture sample to owner and architect (24"x24" for approval.

Protect stucco and substrate from excessive moisture, freezing temperatures, or frost-filled surfaces. All surfaces to be clean and structurally sound. Apply strictly according to manufacturer's specification to achieve approved finish.

Provide TYVEK brand "StuccoWrap" air infiltration barrier. Fasten, lap, and tape in accordance with manufacturer's recommendations.

WOOD DOORS AND FINISH HARDWARE

1) Provide 18" clearance at heads and jams, and 3/8" at door bottoms, above finish floor, except where indicated to be under or where required to clear thresholds or carpet.

2) Receive finish hardware and be responsible for safe storage and conditions.

3) Install all hardware in a neat and workmanlike manner and in strict accordance with manufacturer's recommendations. Upon completion, adjust and lubricate hardware for proper operation.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION
BUILDING INSULATION
1) At insulation shall be of the size and type described below and elsewhere on the Drawings, including:
2) Batt Insulation (Walls): 3-1/2" unfaced batts, R=13 and 6" unfaced batts, R=21, 3/4" foil-faced sheathing, R=5-2
3) Vapor Wall Barrier: Furnish and install 6 mil. polyethylene vapor barrier at warm side of all insulated surfaces, with lapped joints, 16" minimum.
4) At ceilings & roofs: 11 1/2" kraft-faced batts, as per plans. R=38 where possible. Provide minimum 1" continuous air space at eaves for ventilation. Provide baffles at all clipped ceilings
5) Furnish and install 2-1/4" thermal-fiber sound batt insulation in all bathroom walls, and below 2nd floor bathrooms in floor construction.

6) Install at specified insulation materials in accordance with manufacturer's recommendations.
7) Provide fire stopping per following specifications.

ROUGH CARPENTRY
1) Wall base plates: pressure-treated wood anchors with 1/2" diameter x 14"(min. 7" to conc.) long hooked galvanized anchor bolts at 4'-0" on center, maximum 1'-0" each way from corners. Provide minimum 2 bolts in any wall. Fiberglass sill sealer on all slip joints.

2) Connection lumber for exterior and interior walls and partitions: construction grade fir or equal. Material must be kn or air dried to 15%, or below Moisture Content. Material should be picked on basis of straightness and durability.

3) Roof framing, joists, beams, columns and ledgers: S4S, straight, sound well-seasoned lumber products in long lengths, bearing grade and trademark stamp of producing association. Extreme fiber in bending, F_b = 1,250 psi
Horizontal shear F_v = 95 psi
Modulus of elasticity, E = 1,600,000 psi

4) Glue laminated beams: American Institute of Timber Construction Standards bearing grade and trademark stamp. Combination Symbol - 22F or manufacturers standard

5) Wall sheathing shall be 3/4" CDX plywood at all walls. Cover with "Tyvek" building paper or approved equal, unless stucco wrap is required.

6) At joist/ceiling joists shall have solid bracing/bracing at 8'-0" o.c. maximum, unless otherwise noted. Bridging for TJI joists construction shall be installed in accordance with manufacturer's recommendations.

7) Roof sheathing shall be 4'-0" x 8'-0" x 5/8" APA EXT-SYP engineered grade identification index 3216.

8) Subfloor shall be 4'-0" x 8'-0" x 3/4" T&G CDX engineered grade identification index 3216.

9) Built-up tub platform and integral shower stall bench to be constructed of 2 x 4 wood studs and 1/2" CDX plywood decking as shown on plans. The contractor to provide "Wunderboard" underlayment as required for all ceramic tile applications.

10) All specified dimensions are finished.

11) This Contractor to provide all hardware, nails, screws, bolts, anchors, framing anchors, fasteners, etc. required to secure work.

12) Wood floor joists, headers and beams where noted on the drawings shall be "TJI," "Micro-Lam" or "LVL" lumber products as manufactured by the "Trus Joist" Corporation. All installation shall be in accordance with manufacturer's specifications. Include all necessary hardware and hanger supports for a proper installation.

13) Wood trusses (if noted on drawings) shall be pre-engineered to meet local code for live, dead and impact load requirements. Submit design with all calculations certified by an Illinois registered structural engineer. Submit to Local Authorities for review and approval prior to installation. Minimum design loads are 30 bsf/16 live load and 15 bsf/8 dead load.

14) Provide attic subpurling: 4'-0" x 8'-0" x 3/4" T&G CDX engineered grade identification index 3216 above grade above second floor for lumaca (see floor plans) and above garage for bonus room as per plan.

15) All wood in contact with concrete or masonry shall be pressure treated.

INSTALLATION
Cut out wood members for other trades' work, subject to Architect's review. Scribe and cope joints for accurate fit.
Double joists under parallel partitions, leaving space for ductwork passages.

Frame wood members to a close fit, set accurately to required lines and levels and secure rigidly in place in accordance with Drawings. Provide all blocking and backing in walls and half-hung cabinets and other items as required.

Keep premises neat and orderly at all times during execution of this portion of the work.

FINISH CARPENTRY
GENERAL
Provide all finish carpentry work as shown or required to complete the category. Receive and install all finish hardware. Install all doors, frames, and trim as indicated. All trim to be fitted tight and filtered wherever direction changes. Use only case hardened trim nails, set 1/8" deep, for mitering by others.

Install miscellaneous hardware as indicated on the Drawings and specified elsewhere.

Erect all work due to line and level, secure and permanently set in place. Receive those specialties built into or on work of this Section and install as necessary for each item. Upon completion of work of this Section, adjust all millwork and hardware to operate freely, properly and without undue stresses from binding.

Refer to Division 8, Doors & Hardware. Set all finish carpentry for putting by painting contractor.

FINISH CABINETS AND CASEWORK
Furnish and install cabinets where indicated on Drawings. Installation shall be made plumb and true, including matching filler strips as required, in accordance with manufacturer installation specifications and instructions. All work shall comply with applicable requirements and quality standards established by the Architectural Woodwork Institute (A.W.I.).

WOOD DOORS AND FINISH HARDWARE
1) Provide 18" clearance at heads and jams, and 3/8" at door bottoms, above finish floor, except where indicated to be under or where required to clear thresholds or carpet.

2) Receive finish hardware and be responsible for safe storage and conditions.

3) Install all hardware in a neat and workmanlike manner and in strict accordance with manufacturer's recommendations. Upon completion, adjust and lubricate hardware for proper operation.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION
BUILDING INSULATION
1) At insulation shall be of the size and type described below and elsewhere on the Drawings, including:
2) Batt Insulation (Walls): 3-1/2" unfaced batts, R=13 and 6" unfaced batts, R=21, 3/4" foil-faced sheathing, R=5-2
3) Vapor Wall Barrier: Furnish and install 6 mil. polyethylene vapor barrier at warm side of all insulated surfaces, with lapped joints, 16" minimum.
4) At ceilings & roofs: 11 1/2" kraft-faced batts, as per plans. R=38 where possible. Provide minimum 1" continuous air space at eaves for ventilation. Provide baffles at all clipped ceilings
5) Furnish and install 2-1/4" thermal-fiber sound batt insulation in all bathroom walls, and below 2nd floor bathrooms in floor construction.

6) Install at specified insulation materials in accordance with manufacturer's recommendations.
7) Provide fire stopping per following specifications.

ROUGH CARPENTRY
1) Wall base plates: pressure-treated wood anchors with 1/2" diameter x 14"(min. 7" to conc.) long hooked galvanized anchor bolts at 4'-0" on center, maximum 1'-0" each way from corners. Provide minimum 2 bolts in any wall. Fiberglass sill sealer on all slip joints.

2) Connection lumber for exterior and interior walls and partitions: construction grade fir or equal. Material must be kn or air dried to 15%, or below Moisture Content. Material should be picked on basis of straightness and durability.

3) Roof framing, joists, beams, columns and ledgers: S4S, straight, sound well-seasoned lumber products in long lengths, bearing grade and trademark stamp of producing association. Extreme fiber in bending, F_b = 1,250 psi
Horizontal shear F_v = 95 psi
Modulus of elasticity, E = 1,600,000 psi

4) Glue laminated beams: American Institute of Timber Construction Standards bearing grade and trademark stamp. Combination Symbol - 22F or manufacturers standard

5) Wall sheathing shall be 3/4" CDX plywood at all walls. Cover with "Tyvek" building paper or approved equal, unless stucco wrap is required.

6) At joist/ceiling joists shall have solid bracing/bracing at 8'-0" o.c. maximum, unless otherwise noted. Bridging for TJI joists construction shall be installed in accordance with manufacturer's recommendations.

7) Roof sheathing shall be 4'-0" x 8'-0" x 5/8" APA EXT-SYP engineered grade identification index 3216.

8) Subfloor shall be 4'-0" x 8'-0" x 3/4" T&G CDX engineered grade identification index 3216.

9) Built-up tub platform and integral shower stall bench to be constructed of 2 x 4 wood studs and 1/2" CDX plywood decking as shown on plans. The contractor to provide "Wunderboard" underlayment as required for all ceramic tile applications.

10) All specified dimensions are finished.

11) This Contractor to provide all hardware, nails, screws, bolts, anchors, framing anchors, fasteners, etc. required to secure work.

FIXED GLAZING

Install windows as shown on the Drawings. Provide double glazing with jamb extensions where applicable, standard muntins and clips, u.n.o. All fixed units to have same sash size as operable windows, direct set glass shall not be used, u.n.o.

Upon being awarded the contract, the window supplier is to provide contractor a print with all rough openings and associated dimensions to adjacent walls.

Verify locations of Tempered Glass.

FRENCH DOORS

(If shown on drawings) Furnish and install french doors; Provide low-e (0.37 or better) double glazing, tempered with hardware and jamb extensions, standard muntins, clips & weatherstripping in configuration shown on door schedule.

SKYLIGHTS

(If shown on drawings) Furnish and install skylights, "Velux" brand clad. Provide low-e (0.37 or better) glazing, venting and additional options as shown on drawings.

Install all windows, glass, and glazing as per manufacturer's specifications and shop drawings unless otherwise shown on Drawings.

WEATHERSTRIPPING

Furnish thresholds for all exterior doors. Threshold shall be latch track type, aluminum, 5/8" high. Install factory-applied weather-stripping on all exterior door jambs and head.

DIVISION 9 - FINISHES

GYPSUM WALLBOARD SYSTEM

Provide all necessary materials and labor to complete the proper installation of the work as shown on Drawings as required, and per manufacturer's specifications and recommendations. Contractor's Guarantee: Each Contractor to furnish a written guarantee that all requirements of the Drawings and specifications, including equipment capacities, have been complied with. Guarantee period shall be for a period of one (1) year from date of acceptance of work, unless a longer guarantee period is applicable from manufacturer. All warranties shall accrue to the benefit of the Owner. Manufacturer's Warranties: Furnish to the Owner standard manufacturer's warranties on all major items or equipment.

PAINTING

GENERAL

Provide complete painting work as shown on Drawings and specified herein. Comply with flame spread rating required by applicable codes.

MATERIALS:

Benjamin Moore or equal

COLORS:

Prior to beginning work the Contractor shall obtain approval of colors for all surfaces to be painted from the owner. Each coat of paint shall be slightly lighter or darker than the preceding coat.

Preparation and Installation:

1) Finishes shall not be applied in rain, snow, fog, or mist, or when the relative humidity exceeds 85%. Finishes other than water-thinned coatings shall be applied only to surfaces that are completely free of surface moisture as determined by sight or touch. Finishes shall not be applied when the temperature of the surfaces to be painted and of the surrounding atmosphere is below 50 degrees F. for other coatings, or when the temperature is expected to drop to 32 degrees F.

2) Inspect surfaces to be finished and conditions of building before starting work, and report to the Architect any defects that render any area or items unfit to receive finish. Use approved compound to "fish" and level any dents, marks, etc. Starting of work will constitute acceptance of conditions and substrates. Remove and protect all hardware, lighting fixtures, etc., before painting. Protect all finished surfaces, in areas where paint is being applied, with clean drop cloths and suitable masking. Clean all surfaces to be finished as required to remove loose or peeling paint, oil, grease, dust and dirt. Sand where necessary to properly prepare surfaces to receive finish.

3) Workmanship shall be first class in every respect with all materials evenly spread and smoothly flowed on without runs or sags. Employ only mechanics skilled in the particular type of work being performed. Finished work shall be free from brush marks, laps, streaks, sags, unfilled patches, or other blemishes. Brush out flow on each coat as required by the characteristics of the materials and/or recommended by the manufacturer. Priming coat shall be of suitable type for each surface and compatible in each case with the finish paint.

4) Allow each coat to dry thoroughly before applying next coat. Properly prepare and touch-up all scratches, abrasions or other disfigurements and remove any foreign matter before proceeding with the following coat. All spot priming or spot-coating shall be feathered into adjacent coatings to produce a smooth and level surface.

5) Final coats shall not be applied until after other trades whose operations would be detrimental to finish painting have finished their work in the areas to be painted.

6) Protect all work finished under this section and all adjacent work and materials by suitable coverings or other method during progress of the painting work.

7) The painting contractor shall fill all nail holes with suitable filler. Remove all spatter or surplus of paint on glass, floors and other finished surfaces. Paint exposed surfaces, doors, ductwork, grilles, etc., identical with room and/or ceiling color or adjacent surfaces unless specifically noted otherwise. Finish recesses the same as adjoining surfaces unless otherwise shown.

8) Finish tops, bottoms, and edges of all doors.

9) If metal has been shop primed omit first coat, except for touch-up. Primer for touch-up shall be the same composition as shop primed. If aluminum is to be painted, use zinc chromate primer.

HARDWOOD FLOORING

Furnish and install the wood flooring as shown on plans and specified. This contractor shall examine all conditions and surfaces to which the floor is to be applied and shall notify Construction Manager of any unsatisfactory conditions to the proper installation of his work. All flooring shall be blind nailed and installed in accordance with NOPMA specifications. Machine sand until floor is smooth, level and free of irregularities. Finish shall be free of bubbles, clumps, and other irregularities. Lightly sand finish between coats. Strain liquid urethane to collect impurities prior to application.

RESILIENT FLOORING (If shown on drawings)

General: Provide labor, materials, equipment and services required to complete resilient flooring work shown, specified or necessary. All installations shall be made in accordance with manufacturer's instructions for proper application.

1) Submit minimum of three samples of each type and color or pattern of resilient flooring and base material.
2) Mark samples with name of Contractor, project identification, and area where materials are to be used.

ENVIRONMENTAL REQUIREMENTS

Maintain temperatures in space to receive tile between 70-90 degrees F. for not less than 24 hours before and 48 hours after installation.

EXTRA STOCK

Furnish 5% of each floor tile used for the Owner's future use or for damaged items. Identify all extra materials.

Install tile in strict accordance with manufacturer's written instructions. Adhesive shall be as recommended by the tile manufacturer. Examine substrate conditions under which flooring is to be installed. Do not proceed with installation until unsatisfactory conditions have been corrected. Remove all paint, oils, waxes, sealers and curing compounds not compatible with the adhesives employed. Organic solvents are to be avoided.

Remove all excessive adhesives from the surface of the flooring and the cove. Perform initial maintenance on the completed installation as recommended by the flooring manufacturer. Protect the flooring as recommended by the flooring manufacturer from damage by other trades and by the placement of fixtures and furnishings.

ADHESIVES

Cement, primers, adhesives, underlayment and water proof compound per manufacturer's recommendations.

TILE, CERAMIC, TILE AND/OR PORCELAIN

Furnish and install all ceramic tile, walls and base as shown on the Drawings and as specified herein. Install tile in accordance with "Handbook for ceramic Tile Installation" published by the Tile Council of America.

DIVISION 11 - EQUIPMENT

Appliances shall be furnished by Owner and installed in place as follows:
Range: by plumber & electrician
Microwave: by electrician
Refrigerator: by carpenter & electrician & plumber
Dishwasher: by plumber
Disposal: by plumber
Kitchen exhaust hood & fan motor: by heating contractor
Washer/Dryer: by electrician & plumber.

DIVISION 15 - MECHANICAL

Coordinate rough-in and service size requirements with appliance supplier. Appropriate Contractor to provide final connections pertaining to his trades for all appliances.

DIVISION 15A - PLUMBING

General: Provide all materials, equipment, tools, cartage, transportation and perform all services and labor required to complete the plumbing work in accordance with the Drawings, these specifications, applicable codes and applicable building requirements. Such work shall include but not be limited to the following:

- 1) Arrange for and obtain necessary permits.
- 2) All trenching and backfilling for all underground work.
- 3) All inside and outside storm sewer work, including but not limited to; sump pit, pump valve & discharge piping.
- 4) All inside and outside sanitary work, including but not limited all drain lines, vent lines, floor drains, sanitary sump pumps, and connection of all devices into sanitary sewer system.
- 5) Installation of domestic water supply, extension of service into building walls.
- 6) All domestic hot and cold water lines.
- 7) Domestic water heaters.
- 8) All plumbing fixtures and trim.
- 9) Connections to equipment and appliances furnished by others.
- 10) Pipe insulation and covering where pipes run along outside walls, and as required to prevent condensation.
- 11) Valved water lines in basement for appliances and humidifiers, per local municipality plumbing codes.
- 12) All electric and outside gas piping, including connection to equipment of others requiring gas service, and, to fireplace. Locate fireplace valves as directed by Owner.
- 13) All inside and outside hose bibbs. (If shown on drawings)

All plumbing and drainage work shall be furnished and installed in accordance with all applicable state and federal codes and/or regulations and other authorities having jurisdiction, Drawings and Specifications notwithstanding, and Contractor shall make such adjustments as required to conform to such codes and/or regulations at no additional cost to the Owner. The Drawings are intended for scope purposes only. Contractor shall design complete storm, water and sanitary systems.

Plumbing engineer to supply drawings and specifications to owner and architect for approval on well specifications, gpm, pressure, and layout of system.

EXCAVATION AND BACKFILLING:

Each trade to do all required excavating and backfilling for work under its contract. Provide any necessary shoring, sheeting and removal of water. All storm and sanitary lines to be bedded in sand.

PIPING TRENCHES:

Excavate true to grade for pipes to rest on solid undisturbed earth. Provide depressions under pipe bells and coupling. All piping to be tested and approved before backfilling begins.

BACKFILLING:

Recede earth in 12" layers, each layer will be compacted by mechanical tamping. Under floor slabs and paving, backfill with clean sand, fully compacted. Under streets, meet the requirements of governing authorities. Trenches under or within 18" of footings or foundation walls to be filled with lean concrete to a point above bottom of such wall or footing.

SURFACE CONDITIONS:

Where finished surfaces have been disturbed by excavation, replace all to original conditions, unless specifically noted otherwise.

EXCESS EARTH AND "SPOILS":

Remove all from premises. Contractor shall be responsible for the pumping and draining of all his trenches and pits necessary for the installation of his work. Pumping or draining run off will be coordinated by construction manager and will not be ejected onto neighboring lots.

CUTTING AND PATCHING:

Cutting of existing work: Cutting to be by brace installing the work. No cutting of structural work or fireproofing without Architects written consent.

Patching: Unless otherwise noted, to be by each Contractor.

Contractor during the process of the work shall keep the premises reasonably free of all debris and waste materials resulting from the work under this section. All such debris and rubbish shall be removed from the site.

PIPE SLEEVES

Provide and be responsible for the location of proper sleeves for all pipes passing through floors, walls, partitions, or other building construction. Where sleeves occur in concrete construction, they shall be set before concrete is poured. Sleeves passing through foundation walls, or exterior walls, or where seepage may occur, shall be thoroughly water-proofed. All water-proofing must be done before any backfilling is done. Sleeves passing through walls or floors between rooms shall be filled from colors beta 11th ends with fiberglass insulation material and sealant. Penetrations through fire walls shall have fire rating and fire rated sealant.

SUMP PUMPS

Sanitary sump pump shall have 2" discharge, and connect to overhead line. Vent as required. Provide PVC basin with gasketed cover, check valve as required by code, and floor drain located near furnaces. Storm sump pump shall have 1 1/2" discharge pipe, gasketed cover, and check valve as required by code, extending to grade, 3' beyond foundation, (see Site Plan if applicable). Provide alternate bid for battery back-up.

WASTE, VENT AND WATER PIPING

Plumbing systems shall be of recent type and all soil, waste, vent, hot, hot recirculating and cold water piping shall conform to and be as per code. Waste lines shall be sized in accordance with the applicable codes. Copper water service per code. All bathrooms and kitchen shall be equipped with hot-water recirculating piping system loop with pump. All soil, waste, and vent piping within the building walls and in basement shall be as per code. Waste lines shall be cast iron throughout house. All soil and waste piping under concrete slabs on grade shall be service weight cast iron with poured leaded joints and cast iron fittings. All soil piping and sanitary sewer piping at exterior of the building shall be service weight cast iron with cast iron fittings and sealed joints or clay tile approved by local municipality. Hose bibbs shall be freeze proof type, "Woodford" copper, with vacuum breaker, 8" depth or approved equal. Floor drains in basement shall have "P" trap with stainless steel grate. Provide clean outs in horizontal sanitary sewer lines as they leave the building. Provide shutoff valves for all fixtures.

GAS PIPING

Coordinate with gas utility company to bring in gas line and meter to location shown. Furnish and install a complete system of fuel gas piping starting with connection to street main, including all meters, cocks, pressure regulators, and final connections to all items requiring gas service. Gas equipment shall include, but shall not be limited to, furnaces, water heaters, dryer, cook top, ovens, and gas log lighter.

WATER HEATERS

Install gas-fired, glass-lined fast recovery type water heater and gas fired commercial grade water heater in tandem, AGA approved, extruded magnesium anode rod protection, complete with piping, relief valve and controls. "State" high efficiency" type with electronic ignition.

WATER SOFTENER (If shown on drawings)

Furnish and install water softening system as required. Submit plumbing diagrams and specifications for architect and owners approval.

PIPE INSULATION

Insulate all horizontal cold water supply piping from main supply to branches in basement with 1/2" Armaflex pipe insulation or equal. Allow adequate space around all sides of pipes to install insulation without excessive cutting or crushing.

PLUMBING FIXTURES

Install all plumbing fixtures and appliances as called for on Drawings, Specifications, or as directed by construction manager, including those furnished by others. Submit to Owner, for review catalog of each fixture with trim. Furnish and install all materials specified or required to insure a complete operating plumbing installation.

DIVISION 15B - HVAC

GENERAL

All work under this section of the Specifications shall be furnished and installed in accordance with all applicable local, state and federal codes. Drawings and/or Specifications notwithstanding, and Contractor shall make such adjustments as required to conform to such codes and/or regulations at no additional cost to Owner. Furnish and install all labor and materials necessary to complete the heating, cooling, ventilation and humidification system as required for a properly operating system. All furnace wiring is by the electrical contractor, however, this contractor is responsible for proper supervision of the entire installation. Furnish and install all furnaces, humidifiers, cooling coils, refrigerant piping, venting units and required devices for a complete and operable system of heating, conditioning and air conditioning. Furnish and install fuses for equipment furnished and installed under this section and other sections. Furnish and install exhaust ductwork and dryer and bathroom vents. Install airtight kitchen exhaust fan systems, fans furnished by others. Install and make all ductwork connections so that system is complete and operable. Furnish and install all registers and grilles for work installed under this section. Install condensate drain piping for cooling coils, to sump pit or drain. Furnish and install all duct and pipe insulation and lining, where ducts run through crawl space and other unheated spaces.

Design, furnish and install, where shown on Drawings, "package" type air conditioning and natural gas-fired forced-air furnace system complete with outside compressor-condensator and evaporator-air-handling units, pre-wiring and pre-piped except for final wiring, refrigerant piping, fuel gas and drain connections which shall be job performed. Furnaces to be electronic ignition and high efficiency rating (min. SEER 13); York, Lennox, Carrier, or other approved equal. Compressor to be high efficiency, cooling capacity to match design requirements. Exhaust fans will be provided by electrical contractor for kitchen and baths. Return air grilles to be provided as per applicable codes and as per standard ASHRAE requirements, fully ducted sheet metal system, (one per each space minimum) provide high/low returns at 2nd floor and low returns at 1st floor where applicable. As an alternate price, provide "Apl-Aire" central humidification system for each furnace. All basement ductwork run locations to be approved by architect.

Insulate refrigeration suction lines with 3/4" Armstrong Armaflex. Insulate all supply and return ductwork in attic and unheated crawl-space areas.

CONTROLS (See Division 16)

Furnish and install programmable "honeywell" digital night setback thermostats (heating and cooling) for furnaces. Mount thermostat at 48" above finished floor. Furnish and install all temperature controls, humidity controls, and the like to operate heating and venting system. Furnish wiring diagrams for all control work, including furnaces, humidifiers, and fans. Humidifiers to be "Apl-Aire" with humidistats mounted adjacent to zone thermostats. Exact location of controls to be approved by owner.

PRE MANUFACTURED FIREPLACES (If shown on drawings)

Provide complete fireplace installation including all fireplace accessories, flue lining, spark arrester, fresh air intake vents, dampers, and metal and fabric masonry flashing where required for proper installation.

Furnish and install chimneys and flues of sizes shown on Drawings. Chimneys and flues shall be Type "B", double wall vent pipe. Chimney installation shall include roof flashing and storm collar, all necessary chimney supports, approved and U.L. listed.

WORKMANSHIP

All ducts shall be airtight with no open corners or seams. All registers and grilles shall be level and accurately set. Before turning over system to Owner for operation, Contractor shall perform the initial start-up and make all required adjustments to balance air system.

Cooperate and consult with other trades in the proper location of piping, outlets, and equipment before the installation of the same. Study Drawings and Specifications in connection with the work of other trades and coordinate thus.

Conform to ASHRAE code and local governing code. Remove rubbish caused by this work. The Construction Manager shall be responsible for making required arrangements with the Gas Utility Company. This will include easements, and having same executed by the Owner.

For all equipment, this Contractor shall verify and coordinate actual equipment voltages required to the actual voltages available prior to ordering any equipment.

DESIGN REQUIREMENTS AND GUARANTEE

Contractor shall guarantee to heat rooms served to a temperature of not less than 72 degree DB with outside temperature of -10 degrees F and cool all rooms served to not less than 75 degrees F when outdoor temperature is 95 degrees F. Additionally every dwelling unit shall be provided with heating facilities capable of maintaining a room temperature of 68 degrees F at a point 36" A.F.F. Contractor shall guarantee to adjust and service the system and repair or replace all defective parts without charge to Owner for a period of one year from date of final completion of the entire building. Contractor shall have emergency service available 24 hours per day, 7 days per week, at no extra cost to the Owner for a one-year period. If any equipment used for this work carries a guarantee for a period longer than one year, Contractor shall guarantee such equipment for the longer duration. All guarantees shall be given to Owner in writing. A complete set of operating instructions for this installation shall be given to the Owner, in writing, including a recommended service maintenance program schedule, prior to final payment.

DIVISION 16 - ELECTRICAL

All electrical work shall conform to all local, state and federal codes

Contract Drawings are diagrammatic and show general arrangements, sizes, and locations of equipment. All equipment shall be installed complete, furnishing any required disconnect switches, junctions boxes, etc. for a complete and operational installation.

All equipment furnished shall be NEMA standard, new, and UL listed. All local, state and federal taxes applicable to this project shall be included.

Electrical Contractor to design the complete electrical system as required for all equipment and fixtures.

Verify all equipment locations and power requirements with Utility Company, HVAC Contractor, Architect, and Owner prior to construction.

No branch circuit shall be over 1600 watts for 20 amp breakers and 1200 watts for 15 amp breakers. Each outlet shall be figured at 150 watts unless otherwise noted herein or shown on the Drawings. All breakers shall be 20 amp. All convenience outlets shall be mounted horizontally 15" above top of the floor to centerline of outlet unless otherwise noted or shown. Convenience outlets shall not be mounted "back to back" in a stud wall but shall be spaced a minimum of 12" apart horizontally. Furnish and install all disconnect switches, motor starters, contractors, relays, and all related devices.

Electrical Contractor shall cooperate with all other Contractors and subcontractors performing work on this project as necessary to achieve a complete, neatly fitted installation for each condition. To that end, the Electrical Contractor and subcontractor shall consult the Drawings and Specifications for all sections to determine nature and extent of work in other sections which attach or adjoin to their work or to which their work attaches or joins. Cost of repairs or alterations of work in place made necessary by failure to observe this requirement shall be paid for by the Electrical Contractor so failing.

All exposed conduits shall be run in straight lines, at right angles or parallel with beams or columns and shall be substantially supported by one hole malleable galvanized clamps or Grinnel #106 hangers to provide a rigid installation, but in no case shall conduit be fastened to other pipe or installed so as to prevent the ready removal of other pipe for repairs. Perforated strap hangers shall not be permitted.

Lighting Systems GENERAL Work includes furnishing and installing light fixtures and electrical material complete with lamps, lenses, and caps, mounting hardware, etc. to provide a complete and working system as specified herein and as indicated on the Electrical Drawings.

Shop Drawings or fixture cuts shall be submitted to the Owner for all lighting fixtures. Electrical Contractor shall verify and coordinate with the ceiling system manufacturer final lighting fixture selections with ceiling framing prior to the start of any work. Lighting in closets are required to have a completely enclosed lens. Surface mounted incandescent fixtures are not permitted.

FIXTURES

Contractors shall furnish and install all lighting fixtures indicated, complete with hanging materials, lamps, frames, junction boxes, and all miscellaneous materials necessary for complete installation. Contractor shall install all Owner-furnished fixtures, and shall furnish and install all necessary materials required for a complete fixture installation, for fixtures labeled "DEC" on Drawings. Submit to Architect cut sheets on all lighting fixtures and trim proposed.

Any outlet box within living spaces that could reasonably accommodate a ceiling fan shall be installed for ceiling fan support. Only boxes listed for this application shall be permitted as the sole means of support.

EXTERIOR LIGHTING

Install (if indicated on drawings) Owner supplied lights at wall, ceiling and driveway post light locations along with exterior low voltage wallguing lighting per plans.

BATHROOM EXHAUST FANS

Furnish and install exhaust fixture in bathrooms as shown. Venting ductwork by others. Install all plumbing in strict accordance with manufacturer's recommendations. Coordinate equipment, electrical and venting requirements with pertinent trades during roughing-in stage of construction. Submit all warranties and operation manuals to Owner prior to completion of work.

CODE REQUIREMENTS AND INSPECTION AUTHORITIES

All work shall be installed according to the rules and regulations of the latest applicable local and state codes. Contractor shall include in their proposal the cost of all such fees and all other costs in connection with the preparation, reproduction, and submittal of any drawings, diagrams forms or other material that may be required by the Inspection Authorities. At the completion of the work, Contractor shall obtain and turn over to the Owner a "Certificate of Inspection" indicating approval and acceptance of the work by the Inspection Authorities.

ARCHITECTURAL DRAWINGS

Contractor shall study the Architectural Drawings carefully in preparing their proposal and before installing any work. Contractor shall be responsible for positioning the switches on the proper side of the doors and locating receptacles and other outlets to match the positioning of cabinets, panels and other architectural features. Exact dimensions and locations of all outlets shall be verified on the job with the Owner.

MATERIALS AND WORKMANSHIP

Protect work at all times, cap conduit during installation. All completion, thoroughly clean all equipment, conduit, fixtures, etc. After all wiring, panels, fixtures, and equipment are in place, they shall be carefully tested together and separately to determine if that system is free from short circuits and other faults.

ELECTRICAL SERVICE (If indicated on drawings)

Furnish and install 120/240 volt, single phase 3 wire, 400 amp underground electrical service. All backfilling shall be done with compacted sand fill only. Arrange to install underground telephone conductors in same trench. Underground telephone service shall be sized for 8 separate lines minimum.

DISTRIBUTION PANELS

Circuit cabinets shall have an accurate, typewritten directory on the back of the door.

BALANCE LOADS AND TESTS

Contractor shall balance loads on all circuits and feeders by means of ammeter tests at the completion of the work. Contractor shall test all circuits for grounds and shorts at the completion of his work.

220 VOLT SERVICE OUTLET

Provide 220 volt connections for:
1. Air Conditioners (with outside disconnect)
2. Kitchen oven (where applicable)
3. Well pump (where applicable)
4. Electric dryer specialty outlets as indicated if used

GROUND FAULT INTERRUPTER OUTLETS

Furnish and install ground fault interrupter outlets in bathrooms, kitchen, garage and exterior as required by local and national codes. Individual outlets or group protected circuits may be used as allowed by codes.

EQUIPMENT AND APPLIANCES

Wiring direct or provide outlets for all equipment and appliances as shown on drawings whether furnished by this contractor or by others. Provide disconnects where shown or required by code.

FIRE ALARM (SMOKE & HEAT DETECTORS)

Contractor to furnish and install hard wired system (with battery back-up per municipal code). Provide sensors on all floors as shown on drawings and comply with all local, state and federal codes integrate this system with security system.

SECURITY

System (if indicated on drawings) shall consist of two (2) control pads located in master bedroom at bedroom door and at entry, contacts on each exterior door (including door from house to garage), and all 1st floor windows; install glass break detectors located appropriately to fully cover basement floor.

CABLE TV, TELEPHONES, INTERNET.

Locate, as shown on drawings. Each location shall be wired separately to location near main electrical panel, for final connections. Provide 8 line capable telephone wire. Location of phone jacks subject to final approval by owner. All cable t.v., telephone, and Internet wiring shall be to a central junction box located near the electrical panel. Daisy-chain connections are not to be allowed.

GUARANTEE

Contractor shall guarantee all work to be free from defects for a period of one year. See General Requirements.



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Consultant:

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OAK PARK, ILLINOIS
Increase in Dwelling
Units from 3 to 4 &
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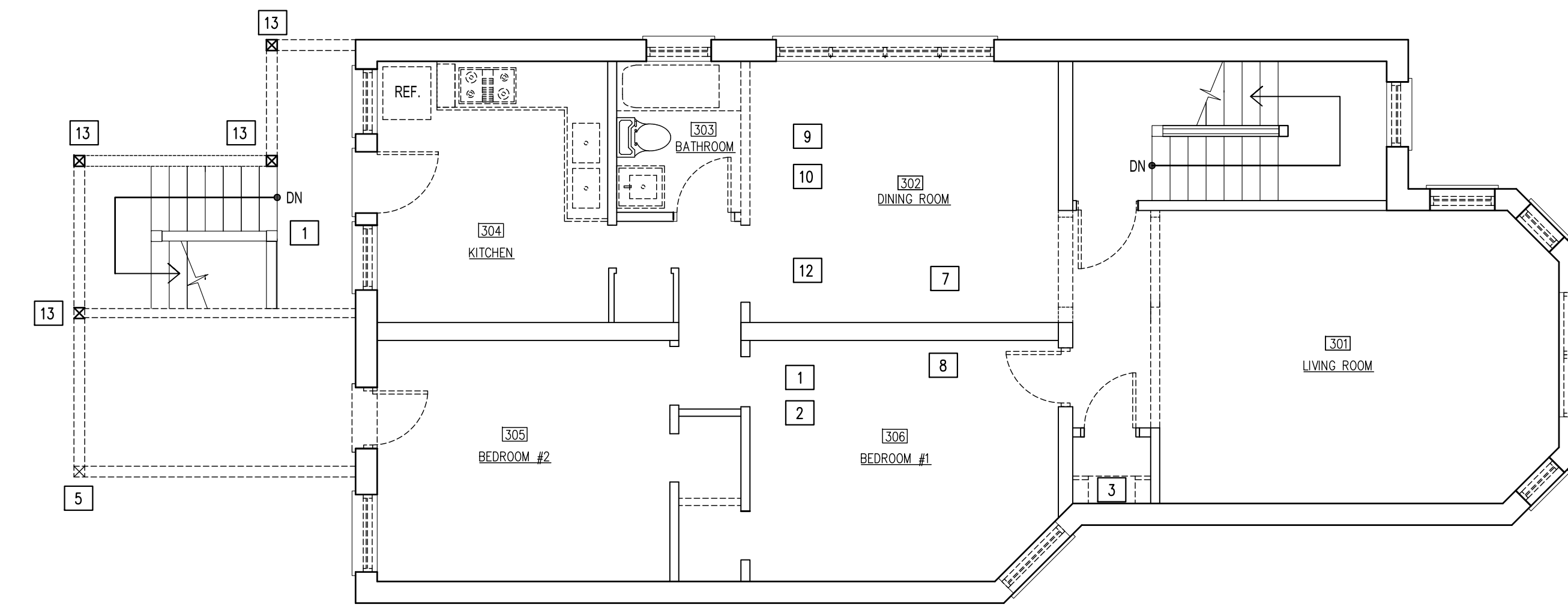
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NO.	DATE	ZONING VARIANCE DESCRIPTION

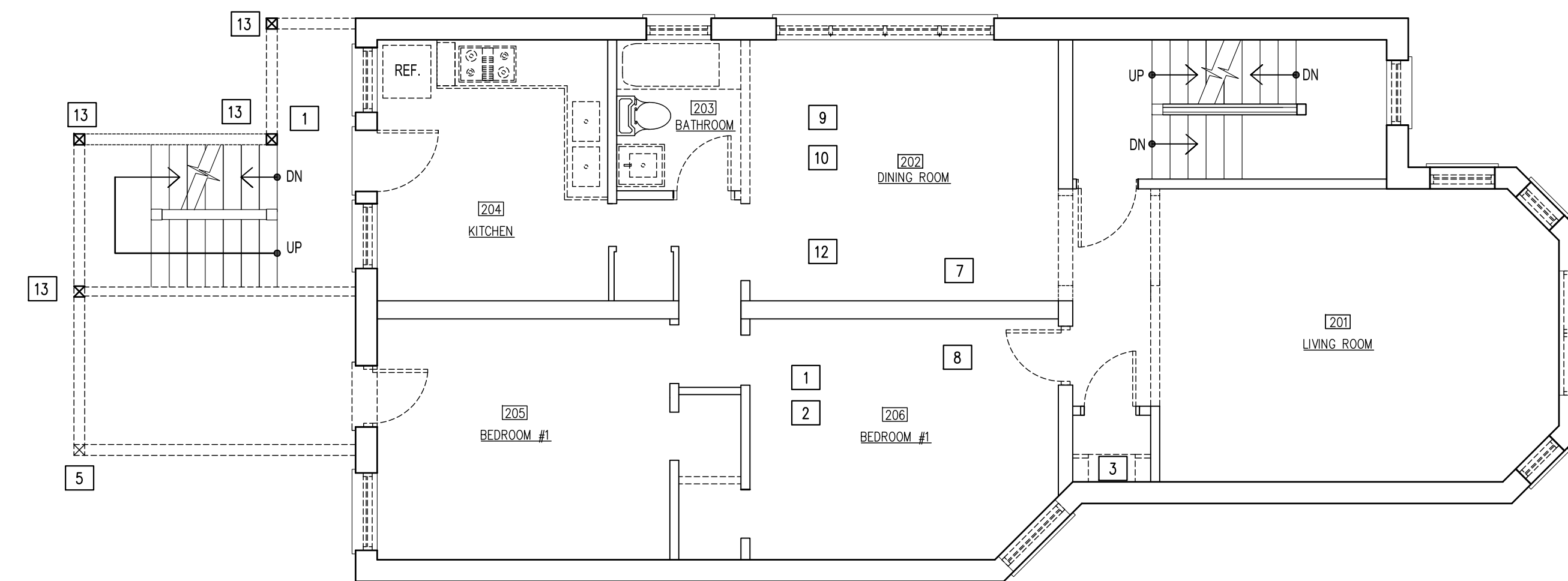
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SPECIFICATIONS

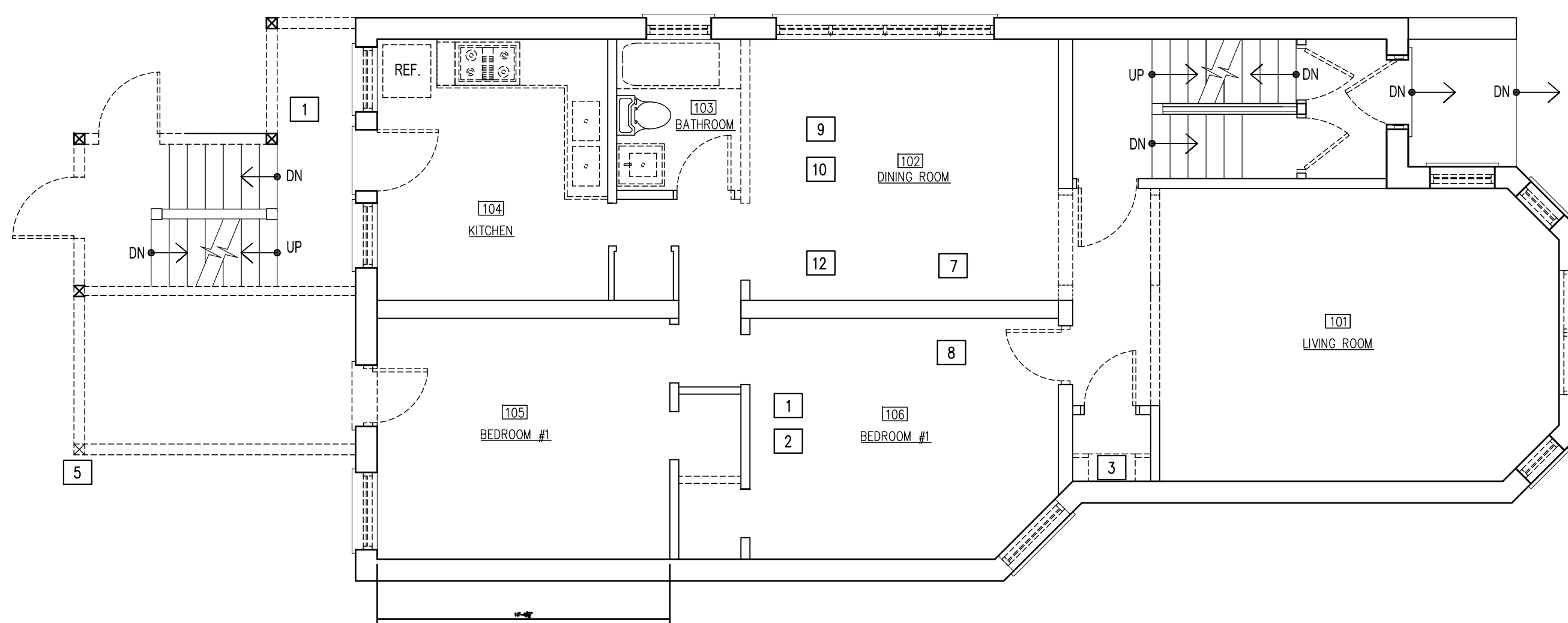
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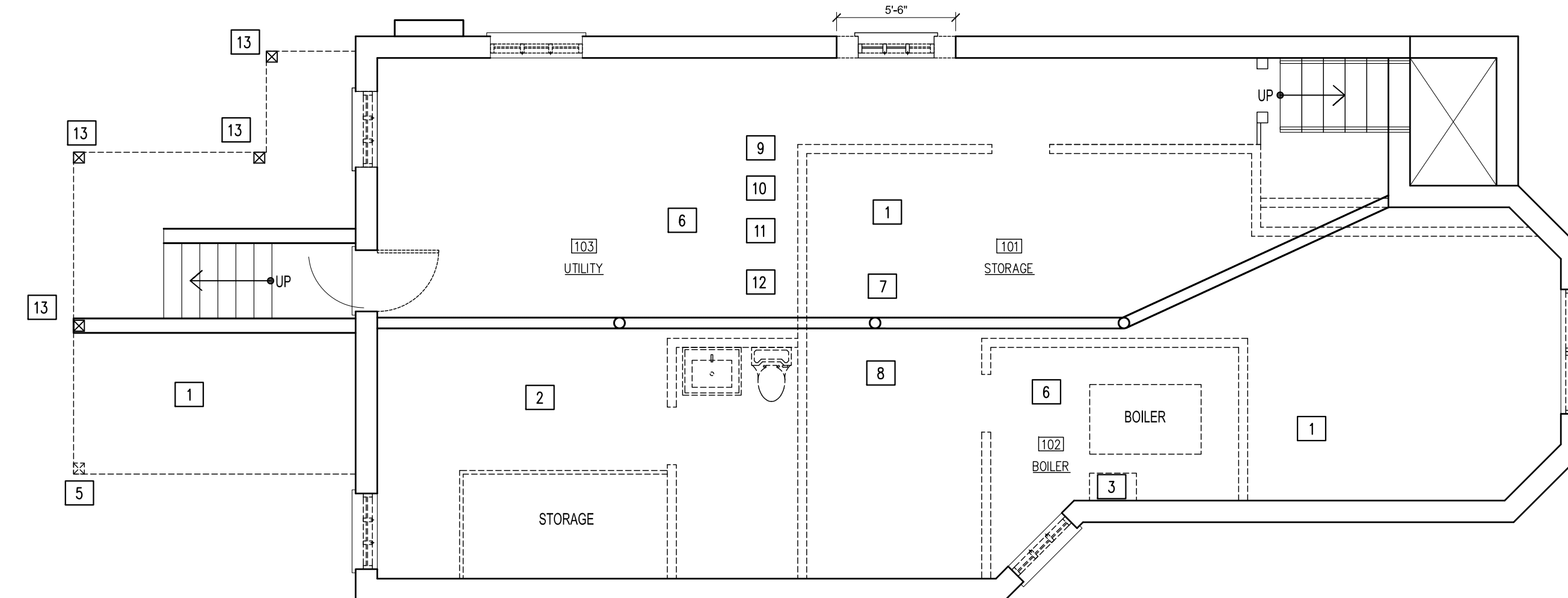
THIRD FLOOR DEMOLITION PLAN - UNIT 3
SCALE: 3/16" = 1'-0"



SECOND FLOOR DEMOLITION PLAN - UNIT 2
SCALE: 3/16" = 1'-0"



FIRST FLOOR DEMOLITION PLAN - UNIT 1
SCALE: 3/16" = 1'-0"



BASEMENT DEMOLITION PLAN - STORAGE/UTILITY
SCALE: 3/16" = 1'-0"

DEMOLITION SCHEDULE

- 1 REMOVE WALL CONSTRUCTION.
- 2 REPAIR/REPLACE EXISTING DOORS AND WINDOWS AS REQUIRED.
- 3 EXISTING BRICK CHIMNEY TO BE REMOVED.
- 4 REPAIR EXISTING WOOD STAIRS AND LANDINGS. 6X6 WOOD COLUMNS TO REMAIN.
- 5 REMOVE 6X6 COLUMN. SEE A3 CONSTRUCTION PLANS AND A6 WALL CONSTRUCTION TYPES.
- 6 REMOVE AND RELOCATE EXISTING GAS PIPING AND METER. SEE ELECTRICAL AND MECHANICAL PLANS FOR NEW LOCATION.
- 7 REMOVE EXISTING FURNACES, BOILERS, RADIATORS, PIPING, VALVES, AND ALL ASSOCIATED MECHANICAL DUCT, ELECTRICAL, AND PLUMBING DEVICES. CAP AND SEAL ALL EXISTING SERVICE CONNECTIONS THAT ARE NOT REQUIRED.
- 8 REMOVE DAMAGED FLOORING AND FINISHES.
- 9 REMOVE KITCHEN CABINETS AND APPLIANCES.
- 10 REMOVE PLUMBING FIXTURES AND DEVICES.
- 11 REMOVE EXISTING BASEMENT SLAB. EXCAVATE FOR NEW FINISHED FLOOR TO CEILING HEIGHT AT BASEMENT 7'-6". SEE A5 & A6/BUILDING SECTION A-A & B-B.
- 12 REMOVE INACTIVE MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT, MOTORS, SWITCHES, CONDUIT, VALVES, AND PIPING.
- 13 EXISTING 6X6 WOOD COLUMN AND STRUCTURAL FRAMING TO REMAIN.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT JOBSITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS AND/OR PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL PREPARE AN INVENTORY OF EXISTING ITEMS TO BE RELOCATED. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECT FOR ITEMS TO BE INVENTORIED AND FORMAT, REQUIREMENTS OF "ON SITE" STORAGE AREAS, AND SEQUENCE OF DEMOLITION PRIOR TO THE COMMENCEMENT OF WORK. EACH CONTRACTOR SHALL EXPLAIN, INSTRUCT, AND DIRECT ALL WORKERS UNDER HIS JURISDICTION TO OBSERVE ALL THE NECESSARY SAFETY RULES AND REGULATIONS. EACH CONTRACTOR SHALL MAKE DAILY INSPECTIONS TO VERIFY THAT ALL SAFETY RULES ARE BEING OBSERVED.
2. ALL CONTRACTORS TO TAKE OUT ALL NECESSARY INSURANCE TO INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT/ENGINEER AND AGENTS THEREOF FROM ANY DAMAGES RESULTING FROM CONTRACTORS EXECUTION OF WORK. ALL PROCEDURES REGARDING SAFETY ARE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROCURE AND PAY FOR INSURANCE TO INDEMNIFY AND HOLD HARMLESS THE OWNER, AND THEIR AGENTS, EMPLOYEES, AND CONSULTANTS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, RESULTING FROM INJURIES, DEATH, SICKNESS, DISEASES OF ANY KIND, OTHER PHYSICAL HANDICAP ARISING FROM NON-OBSERVANCE OF THE SAFETY RULES AND REGULATIONS. THE LIMITS OF THIS INSURANCE COVERAGE SHALL BE \$1,000,000 EACH OCCURRENCE, \$3,000,000 AGGREGATE TOTAL.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE BUILDING CODE WITH STATE OF ILLINOIS AMENDMENTS, OSHA AND ALL OTHER APPLICABLE CODES, AS ADOPTED BY THE CITY OF CHICAGO, COUNTY OF COOK, AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION. EACH CONTRACTOR SHALL OBSERVE ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS REGARDING SAFETY AND SHALL PROVIDE ALL NECESSARY EQUIPMENT, SCAFFOLDING, PLANKING, RAILING, SHEETING, ETC. IN ORDER TO SAFEGUARD AND PROTECT THE HEALTH AND WELL BEING OF ALL THE WORKERS EMPLOYED BY CONTRACTOR OF THE CONSTRUCTION SITE.
4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH THE SUBSEQUENT WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOR THE CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR RESPONSIBLE FOR DEMOLITION IS ADVISED TO FAMILIARIZE HIM/HER SELF WITH A COMPLETE SET OF BOTH PROJECT SPECIFICATIONS AND ARCHITECTURAL DRAWINGS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF INTERIOR CONSTRUCTION MATERIALS FROM THE PROJECT AREA AND TO A LOCATION OFF SITE.
7. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATIONS.
8. THE OWNER SHALL BE CONTACTED FOR RULES GOVERNING THE TIME AND CONDITIONS FOR DEMOLITION WORK. TRASH CONTAINERS AND PICKUP SHALL BE PROVIDED BY THE DEMOLITION CONTRACTOR. ALL DEBRIS IS TO BE REMOVED FROM THE JOBSITE AND NOT ALLOWED TO ACCUMULATE. THE SPACE SHALL BE LEFT IN A BROOM-CLEAN CONDITION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY SHORING, BRACING OR OTHER CONSTRUCTION IN ORDER TO SUPPORT AND PROTECT EXISTING EQUIPMENT, PERSONNEL AND ANY OTHER PROPERTY ON THE PREMISES DURING DEMOLITION WORK. SUBMIT SHORING OR BRACING PLAN DETAILS TO ARCHITECT FOR REVIEW. DO NOT REMOVE SHORING OR BRACING WITHOUT ARCHITECT'S APPROVAL.
10. DEMOLITION CONTRACTOR SHALL PROVIDE TEMPORARY SHORING WHERE LOAD BEARING WALLS AND/OR BEAMS ARE BEING REMOVED. REMOVAL OF WALLS AND CONSTRUCTION WHICH SEEMS OF A STRUCTURAL NATURE SHALL BE FIELD COORDINATED WITH ARCHITECT. THE SAME SHALL APPLY TO ACTIVE ELECTRICAL, MECHANICAL, AND PLUMBING FACILITIES.
11. IN ANY AREAS WHERE IT IS NECESSARY TO REPLACE ANY DEFECTIVE FLOOR AND/OR MEMBERS, THE SAME SIZE MEMBERS SHALL BE USED TO MATCH EXISTING CONDITIONS.
12. BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN SUCH AS FLOORS, WALLS, ELECTRICAL, CONDUITS AND CAST IRON WASTE PIPES SHALL BE PROTECTED WHILE DEMOLITION IS IN PROGRESS.
13. THE DEMOLITION CONTRACTOR SHALL REFER TO THE RESPECTIVE REFLECTED CEILING PLANS FOR THE EXTENT OF DEMOLITION REQUIRED. REFER TO THE RESPECTIVE CONSTRUCTION PLANS FOR THE LOCATION OF NEW FULL HEIGHT PARTITIONS OR CONSTRUCTION WHICH MAY REQUIRE ADDITIONAL CEILING DEMOLITION.
14. COORDINATE WITH THE PLUMBING AND ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL PLUMBING OR ELECTRICAL DEMOLITION REQUIRED.
15. WHERE BRANCH ELECTRICAL PANELS ARE TO BE REMOVED (SEE PLAN FOR LOCATION), THEY SHALL BE DISCONNECTED AT THE MAIN FIELD SUPPLY PANEL.
16. THE ELECTRICAL DISCONNECT OF THE LIGHT FIXTURES, SWITCHES, AND MISCELLANEOUS ELECTRICAL ITEMS SHALL BE AT THE SUPPLY JUNCTION BOX.
17. THE DEMOLITION CONTRACTOR SHALL REFER TO THE RESPECTIVE TELEPHONE AND ELECTRICAL OUTLETS TO REMAIN.
18. ALL LIGHT FIXTURES, WALL OUTLETS, SWITCHES AND THERMOSTATS OCCURRING ON EXISTING WALLS TO BE REMOVED SHALL BE DISCONNECTED AT THE SUPPLY JUNCTION BOX.
19. ALL FLOOR CORES NOT SHOWN AS EXISTING SHALL BE CAPPED FLUSH WITH FLOOR SLAB, WIRES TERMINATED AT NEAREST J-BOX, AND FIREPROOFED AS REQUIRED.



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NO.	DATE	ZONING VARIANCE	DESCRIPTION
1	07/25/24		

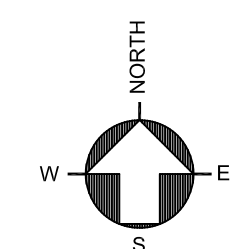
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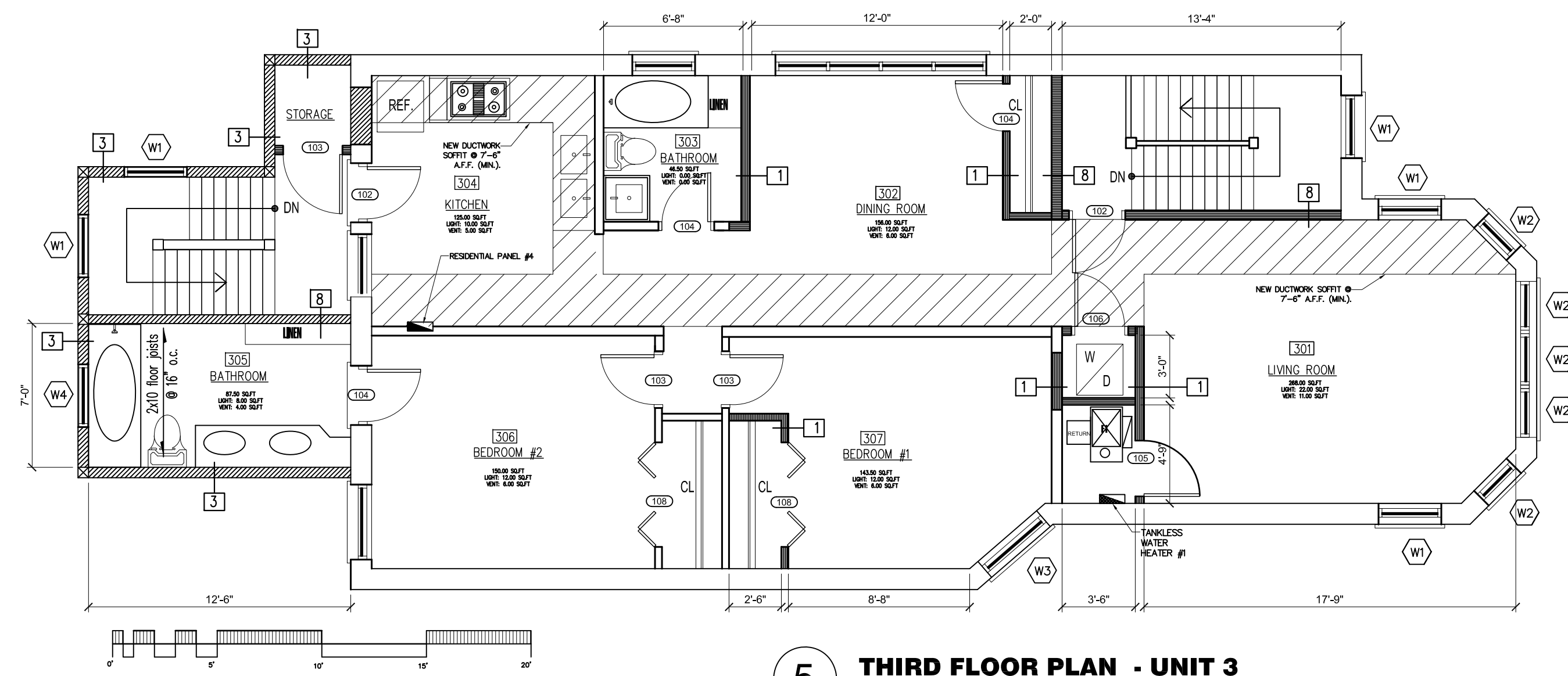
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DEMOLITION PLANS

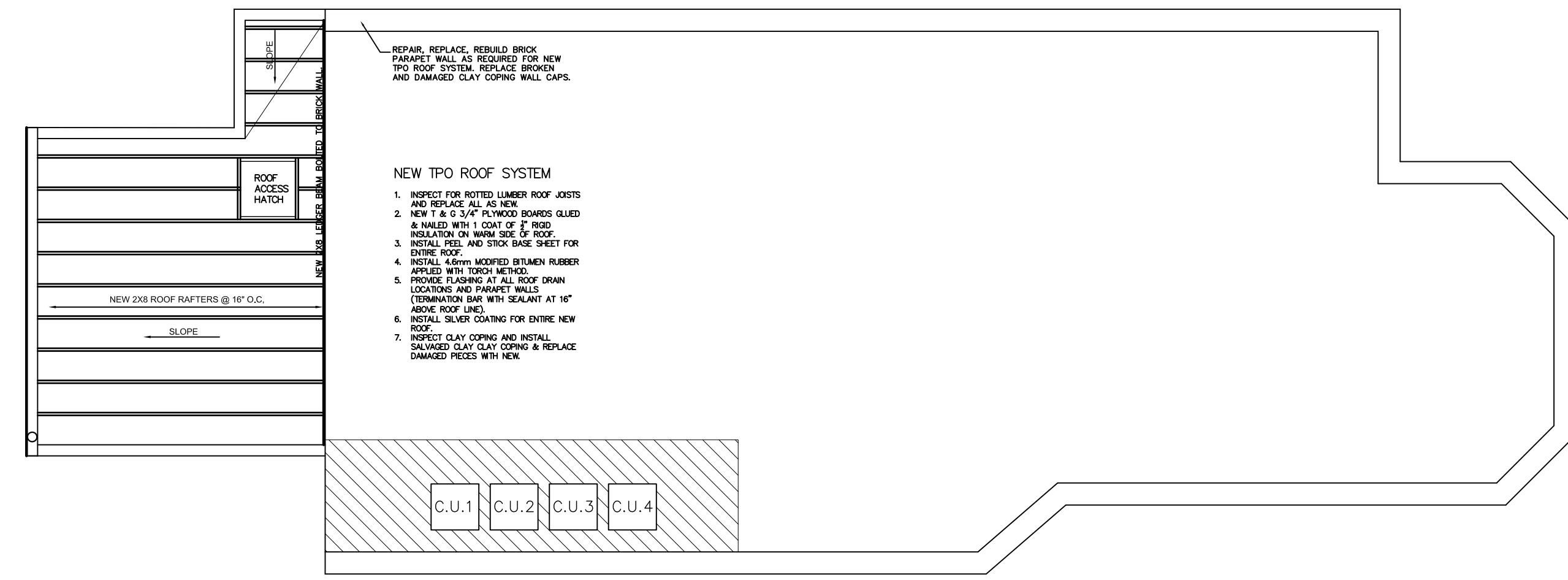
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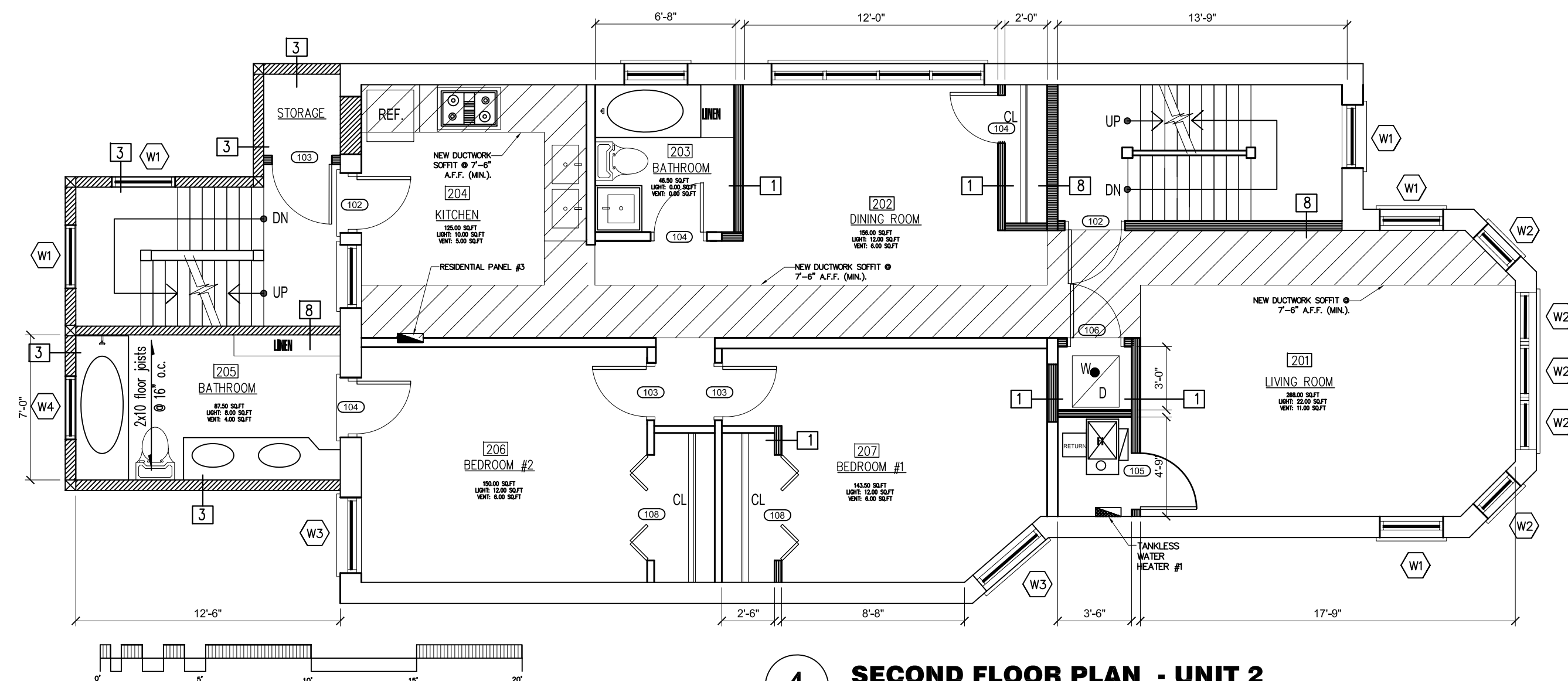




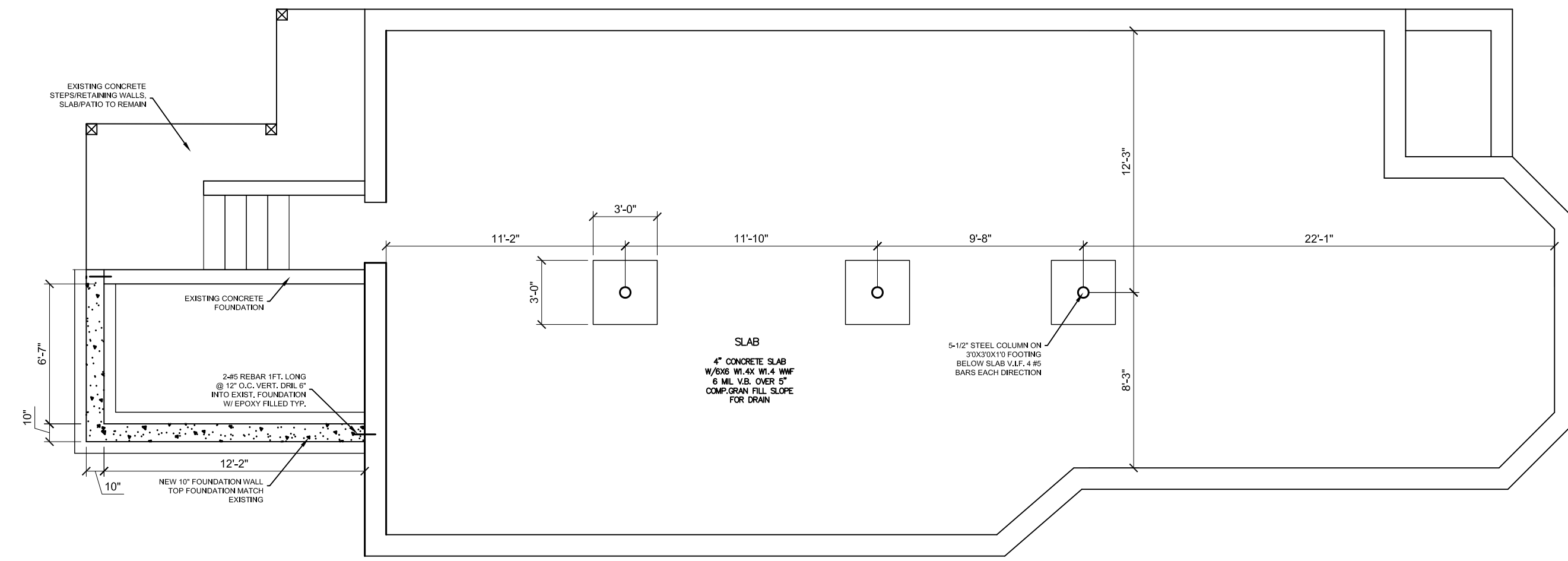
5 THIRD FLOOR PLAN - UNIT 3
SCALE: 3/16" = 1'-0"



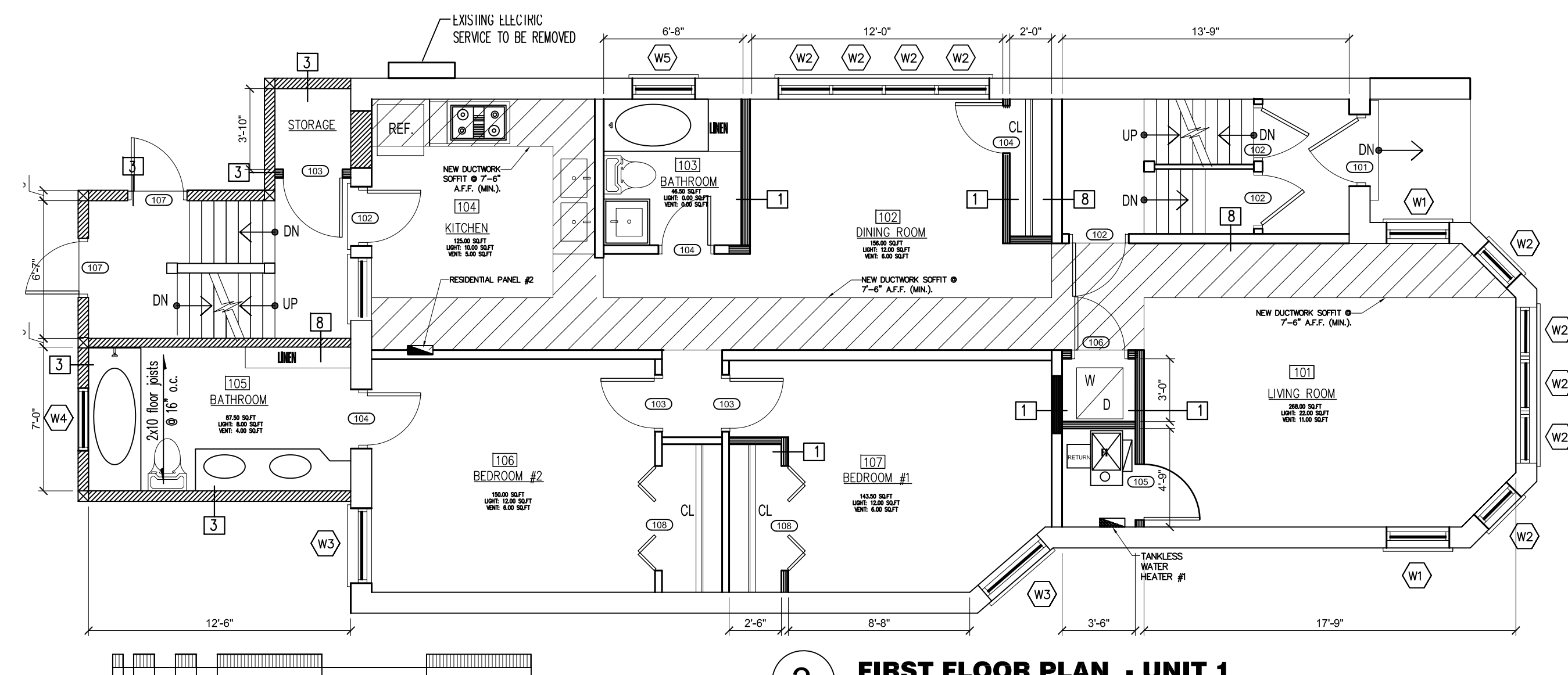
6 ROOF PLAN - STORAGE/UTILITY
SCALE: 3/16" = 1'-0"



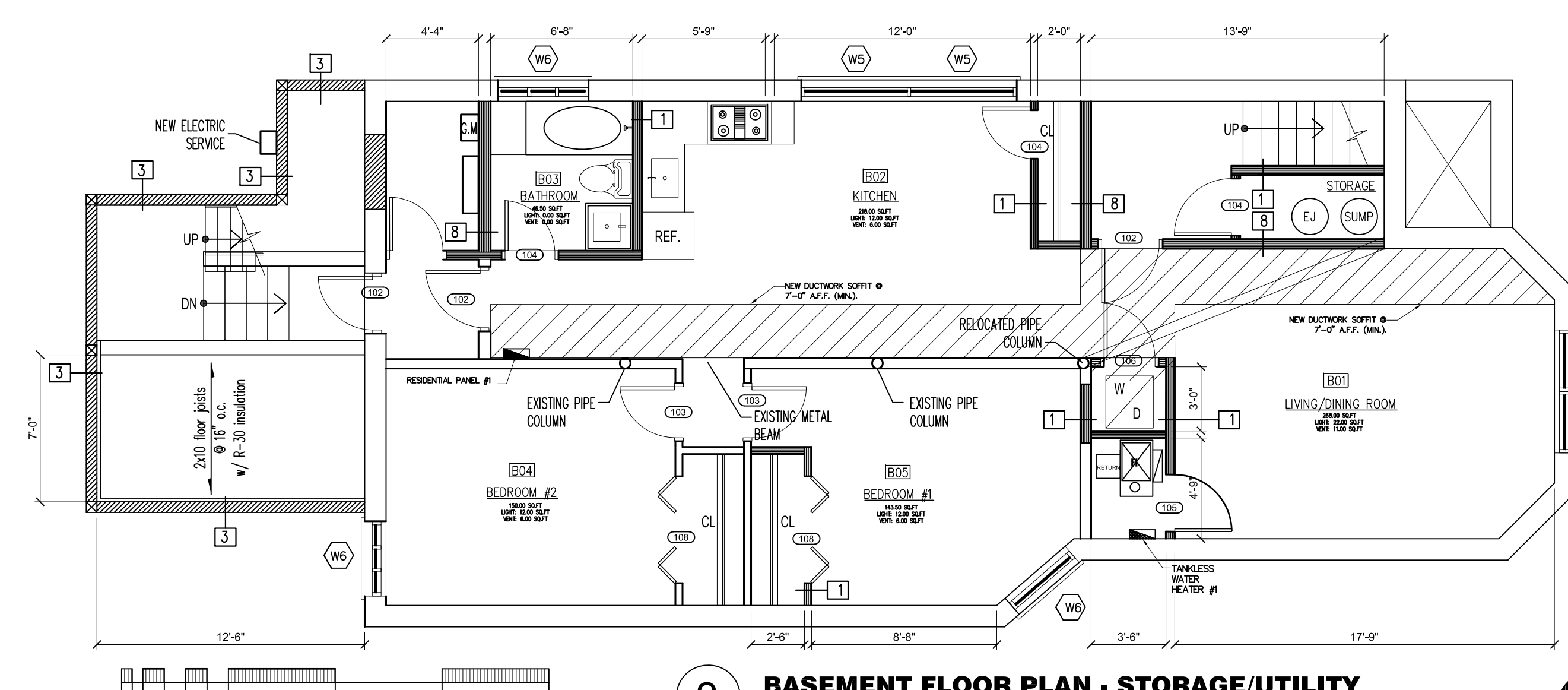
4 SECOND FLOOR PLAN - UNIT 2
SCALE: 3/16" = 1'-0"



1 FOUNDATION PLAN - STORAGE/UTILITY
SCALE: 3/16" = 1'-0"



3 FIRST FLOOR PLAN - UNIT 1
SCALE: 3/16" = 1'-0"



2 BASEMENT FLOOR PLAN - STORAGE/UTILITY
SCALE: 3/16" = 1'-0"



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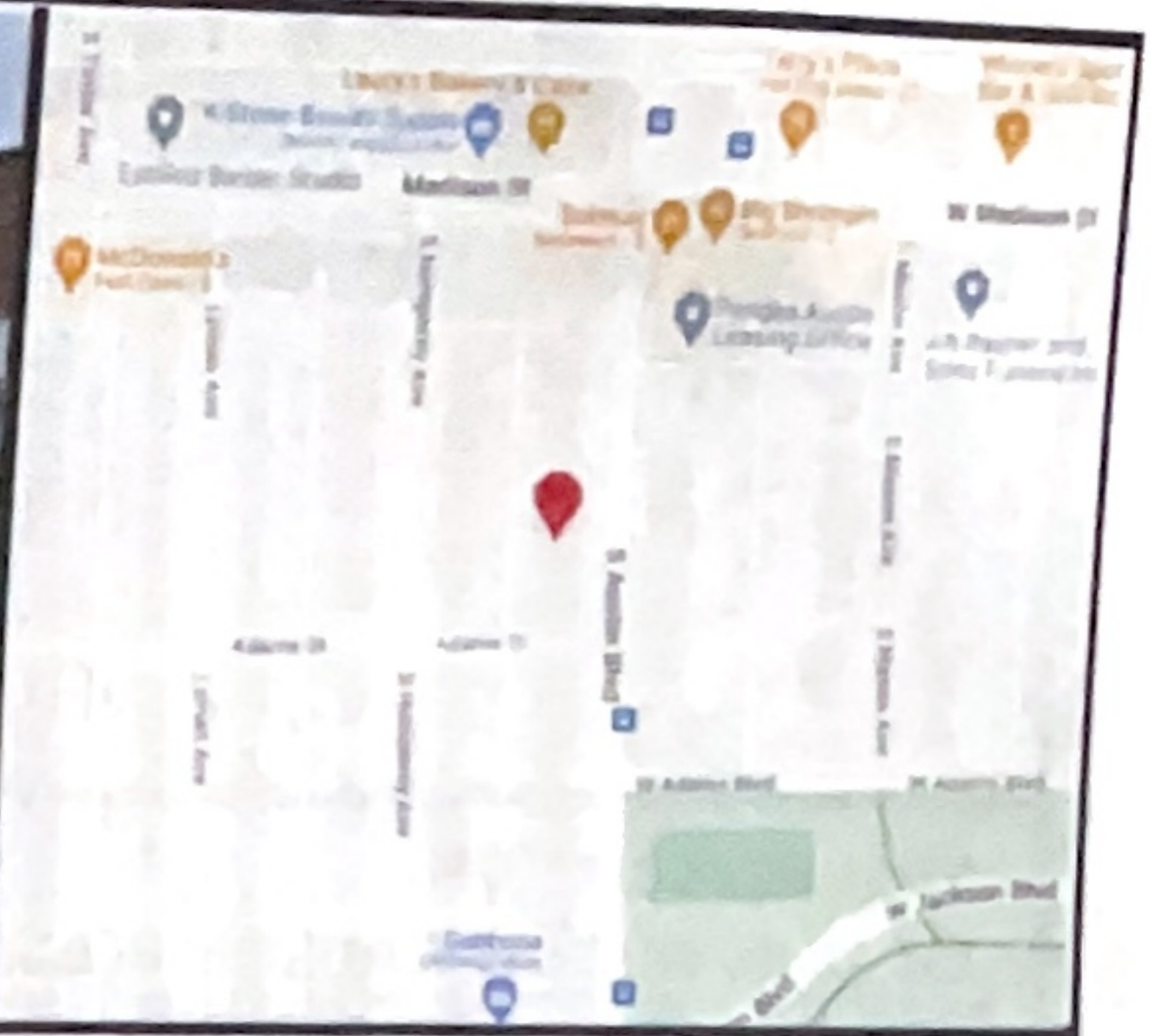
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CONSTRUCTION PLANS
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A3



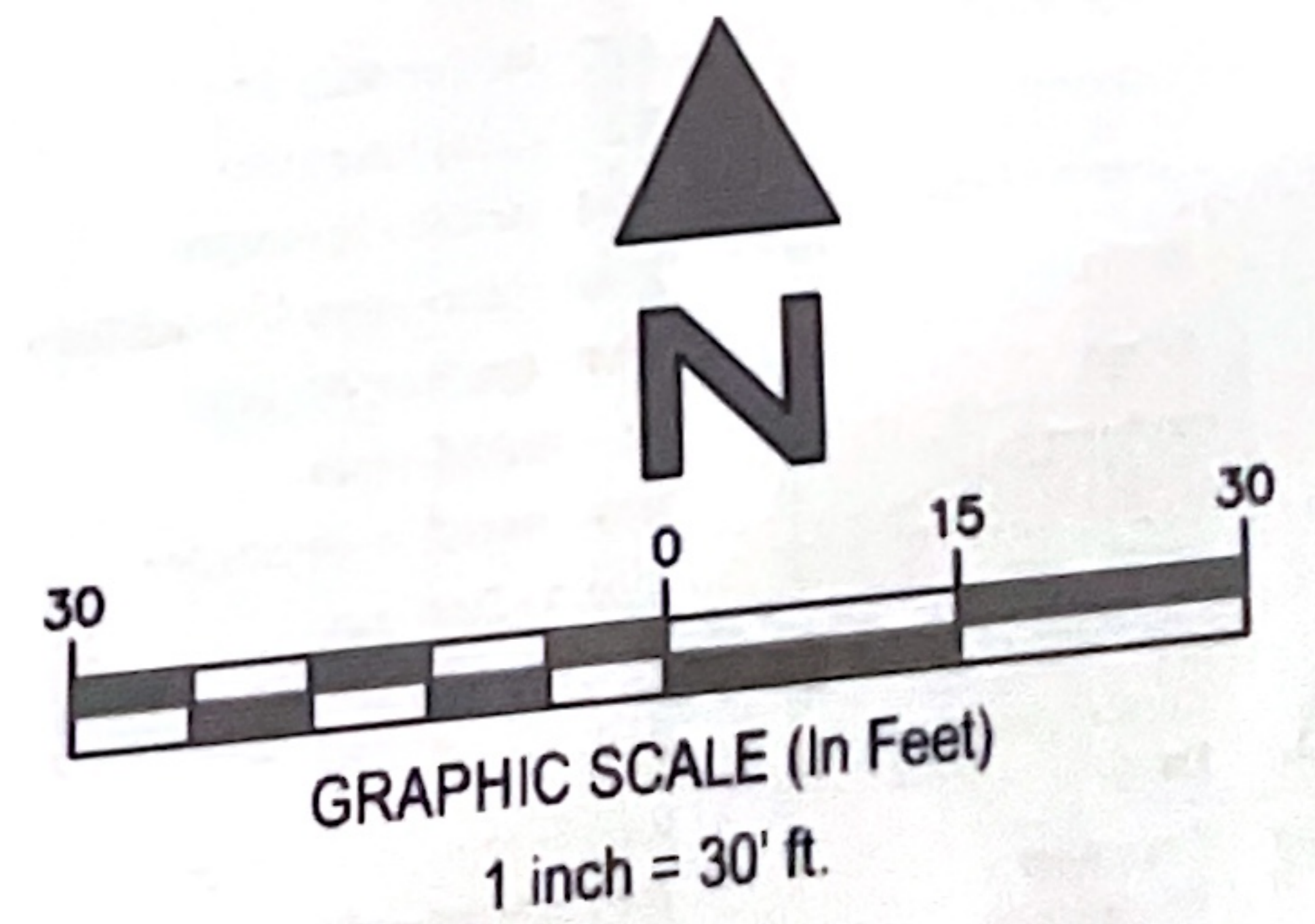
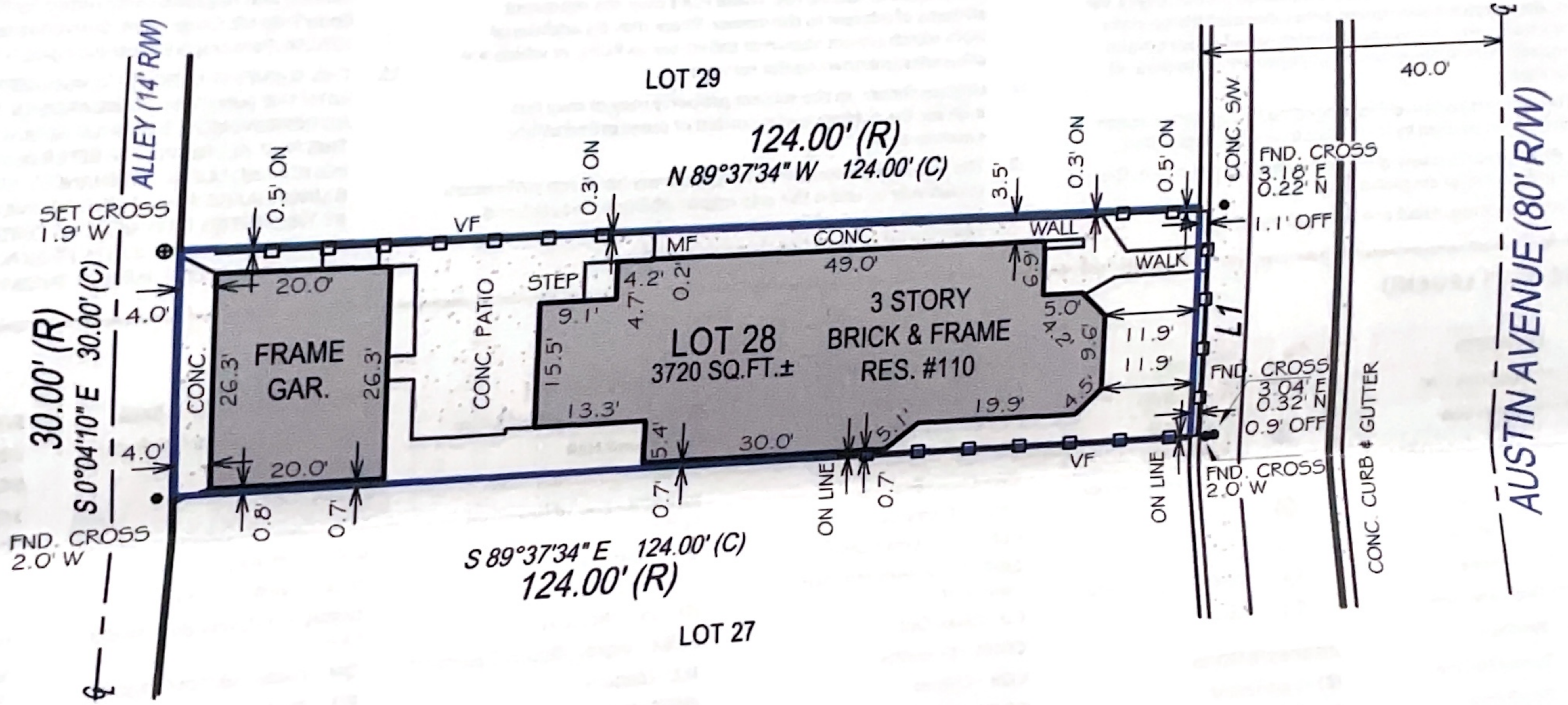
www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS: 110 S AUSTIN , OAK PARK, ILLINOIS 60304

SURVEY NUMBER: 2310.0575

2310.0575
BOUNDARY SURVEY
COOK COUNTY



LINE TABLE:
L1 30.00' (R)
N 0°04'10" W 30.00' (C)

STATE OF ILLINOIS } SS
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



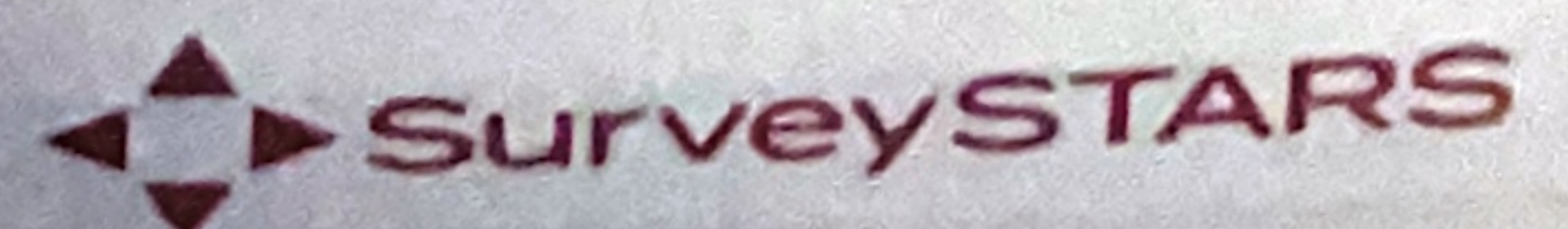
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2024
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

DATE OF SURVEY: 10/05/23
FIELD WORK DATE: 10/12/2023
REVISION DATE(S): (NONE), 10/15/2023

POINTS OF INTEREST:
NONE VISIBLE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

110 S. Austin Blvd, Oak Park, IL

Income and Expense 2025

	January	February	March	April	May	June	July	August	September	October	November	December	Annual Total
Gross Potential Income													
2 bedroom, 2 bath (4 @ \$2,500)	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$120,000.00
Residential vacancy 0%	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
TOTAL INCOME after vacancy	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$120,000.00
OPERATING EXPENSES													
Property Insurance	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$208.00	\$2,496.00
Property Taxes (2.0% x cost)	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$1,677.63	\$20,131.59
Management Fee (5%)	\$0.00	\$0.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$500.00	\$5,000.00
Janitorial Services, Bldg engineer operation)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Security Monitoring	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$7,200.00
Tyco Intergrated Security/guards	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
ComEd	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$340.00	\$4,080.00
Peoples Gas	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$450.00	\$5,400.00
Water & Sewer	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$250.92	\$3,011.04
Garbage/Rubbish Removal	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$200.00	\$2,400.00
Operating reserve	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Turn over Cost/ not required 1st year of occ	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Elevator Service Contract (Not needed 1st year)	\$0.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00	\$11,550.00
Landscaping, Lawn Care, snow removal	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$150.00	\$1,800.00
TOTAL EXPENSES	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$3,876.55	\$46,518.63
Net Operating Income (NOI)	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$6,123.45	\$73,481.37
Mortgage 6.25% for 30 years	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$5,243.00	\$62,916.00
Cash flow after mortgage	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$880.45	\$10,565.37

110 S AUSTIN BLVD, OAK PARK, IL RESIDENTIAL DEVELOPMENT FOR INCREASE IN DWELLING UNITS FROM THREE (3) TO FOUR (4) APARTMENTS, AT 3-STORY BRICK RESIDENTIAL BUILDING WITH BASEMENT, AND DETACHED 3-CAR GARAGE

Unit Mix

Location:	Description	Number	Sq. Ft./Unit
Basement	2 BR, 2bth	Unit 1	1416
1st Floor	2 BR, 2bth	Unit 2	1416
2nd Floor	2 BR, 2bth	Unit 3	1416
3rd Floor	2 BR, 2bth	Unit 4	1416

Total Units **4**

Dimensions

	Sq. Ft.	
Residential Gross	5,664	
Common Area	260	0
Total Building Gross Area	5924	

Construction Hard Cost

Construction: Building

Res Hard Cost	\$65	per sq. ft. blended (renovation and new construction)	5,924 sq. ft.	\$	385,060.00
Site, Utilities, construction fencing, Signage				\$	7,500.00
Total				\$	392,560.00

Sub total	Hard Cost		\$	392,560.00
Contingency	5% contingency		\$	19,628.00
Total Hard Cost			\$	412,188.00

Soft Costs

Soft Costs	Arch, Eng., Civil 4.5%	\$	15,457.05
	Legal, Accounting	\$	-
	Market Study	\$	-
	Appraisal Fee	\$	-
	Environmental Phase 1 Cleanup		
	Zoning, Legal, Land Use	\$	5,870.00
	Affordable Housing Fund 20% , all affordable on site/ not required	\$	-
	Traffic Study, Rendering, Misc printing	\$	-
	Soil Borings, Report	\$	-
	Closing Costs, Misc Fees, Legal, 1% x 2.5M-2421 S Wabash + City Land	\$	-
	Closing survey, Alta with Topo	\$	-
	Recording document	\$	-
	Title Insurance	\$	-
	Construction Escrow Draw payout fee	\$	-
	Signage/ in construction budget	\$	-
	Working Capital Escrow/ in first draw	\$	-
	Permit Fees	\$	3,500.00
	Model Apt, Lease Agents (\$2,300/Apt)	\$	-
	Building Risk Insurance	\$	-
	Const Interest/ 2.0 year	\$	-
	Lease up reserve	\$	-
	Funding application fees (Const. Loan)	\$	-
	Funding application fees (Perman Loan)	\$	-
Total	Soft Costs	\$	24,827.05

Total Project Cost	Hard Costs	\$	412,188.00
	Contingency 10%	\$	41,218.80
	Land acquisition	\$	485,000.00
	Soft Costs	\$	24,827.05
	Developer Fee	\$	43,345.52
	Project Cost: TOTAL	\$	1,006,579.37

PAGE 2

Gross income

Residential 4-Two (2) BR, 2BTH unit at \$2,500 for 12 mo (1416sf) 1.77 /sf

Garage: 3 cars 400sf

Total

Net Income after 0% vacancy See Cash Flow

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Synopsis

Total	Project Cost, Total	\$	1,006,579.37
Total	Permanent Loan 85% Equity	\$	855,592.47
		\$	150,986.91

Oak Park, Illinois

Oak Park is a village in Cook County, Illinois, United States, adjacent to Chicago. It is the 26th-most populous municipality in Illinois, with a population of 54,318 as of the 2020 census.^{[4][5]} Oak Park was first settled in 1835 and later incorporated in 1902, when it separated from Cicero.^[6] It is closely tied to the smaller town of River Forest sharing a chamber of commerce and a high school, Oak Park and River Forest High School.

Architect Frank Lloyd Wright and his wife settled in Oak Park in 1889, and his work heavily influenced local architecture and design, including the Frank Lloyd Wright Home and Studio.^[7] Over the years, rapid development was spurred by railroads and streetcars connecting the village to jobs in nearby Chicago. In 1968, Oak Park passed the Open Housing Ordinance, which helped devise strategies to integrate the village rather than re-segregate.^[8]

Today, Oak Park remains ethnically diverse, and is known for its socially liberal politics, with 80% or higher voter turnout in every presidential election since 2000.^[9] Oak Park has several public transportation links to Chicago with Chicago Transit Authority access via the Green Line and Blue Line "L" train lines, as well as the Metra Union Pacific West Line Oak Park station downtown.

History

In 1835, Joseph and Betty Kettlestrings, immigrants from Yorkshire, England, staked out a farm and built a house near Lake Street and Harlem Avenue, west of Chicago. Once their children were born, they moved to Chicago for the schools in 1843, and moved back again in 1855 to build a more substantial home a bit east on their quarter section of land. More farmers and settlers had entered the area. Their land was called by several names locally, including Oak Ridge, Harlem, and Kettlestrings Grove. When the first post office was set up, it could not use the name Oak Ridge, as another post office was using that name in Illinois, so the post office chose Oak Park, and that name became the name for the settlement as it grew, and for the town when it incorporated in 1902.^[10]

By 1850, the Galena and Chicago Union Railroad (after that, the Chicago & Northwestern and now Union Pacific) was constructed as far as Elgin, Illinois, and passed through the settlement area.^[11] In the 1850s the land on which Oak Park sits was part of the new Chicago suburb, the town of Cicero. The population of the area boomed during the 1870s, with Chicago residents resettling in Cicero following the Great Chicago Fire of 1871 and the expansion of railroads and streetcars to the area. "In 1872, when Oak Park received its own railroad depot on the Chicago and Northwestern Railway, its rapid emergence as a residential suburb of Chicago began. In 1877, the railroad was running thirty-nine trains daily between Oak Park and

Oak Park, Illinois

Village



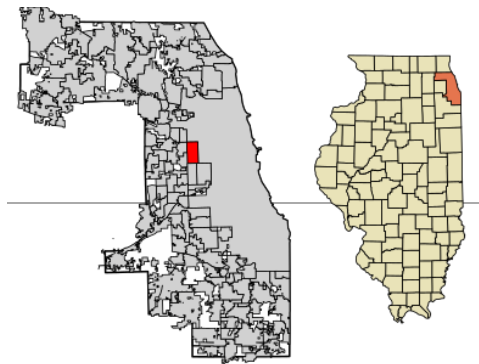
Lake Street at dusk



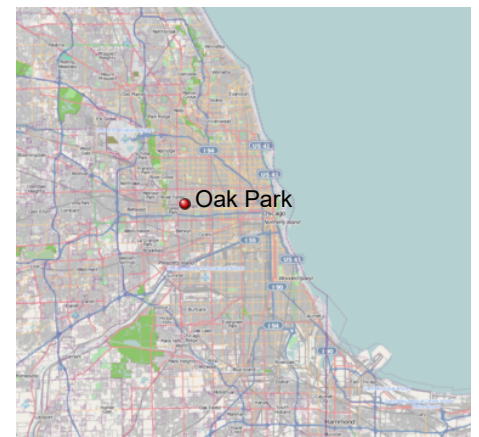
Flag



Oak Park
Logo



Location of Oak Park in Cook County, Illinois



- Show map of Greater Chicago
- Show map of Illinois
- Show map of the United States
- Show all

Coordinates: 41°53′18″N 87°47′22″W﻿ / ﻿﻿ / ﻿

Country

United States

Chicago; in the subsequent year, more railroads and streetcar lines, with increased service, came to link Oak Park and Chicago. As Chicago grew from a regional center to a national metropolis Oak Park expanded – from 500 residents in 1872 to 1,812 in 1890, to 9,353 in 1900, to 20,911 in 1910, to 39,585 in 1920. Oak Park thus emerged as a leading Chicago suburb."^[12]

A review of Oak Park's history by Wiss, Janny, Elstner Associates in 2006 further explains the importance of railroads and streetcars in the development of Oak Park:

As suburban residential development continued in the 1880s and 1890s, streetcars and elevated trains supplemented the original main line steam railroads to connect Oak Park commuters to jobs in downtown Chicago. One of the first streetcar lines was the Chicago, Harlem, & Batavia "dummy" line, which ran approximately along the present-day route of the Eisenhower Expressway. The "dummy" trains used a miniature steam locomotive with a false cladding designed to conceal most of the moving parts and avoid startling horses. This line first began operation in 1881, but did not provide direct commuter service to downtown Chicago until June 1888. A more extensive streetcar network throughout Oak Park was opened in 1890. In the future village of Oak Park, this system ran east-west on Madison Street and Lake Street, with a north-south connection on Harlem Avenue. Streetcar service was discontinued in 1947, to be replaced by buses. The Lake Street Elevated Railroad (today's CTA Green Line) was extended into Oak Park in 1899–1901, although the trains ran at ground level until the 1960s. The Metropolitan West Side Elevated Railroad (today's CTA Blue Line) was extended into Oak Park in 1905, providing local service over tracks originally placed by the Chicago Aurora & Elgin electric interurban train. The "Met" line moved onto new tracks along the Congress (Eisenhower) Expressway in 1958.^[13]

State	Illinois
County	Cook
Township	Oak Park
Settled	1835
Incorporated (village)	1902
Government	
• Type	Oak Park Board of Trustees
Area ^[2]	
• Total	4.70 sq mi (12.17 km ²)
• Land	4.70 sq mi (12.17 km ²)
• Water	0.00 sq mi (0.00 km ²)
Elevation ^[3]	620 ft (190 m)
Population (2020)	
• Total	51,282 ^[1]
• Density	11,613.40/sq mi (4,484.14/km ²)
Demonym	Oak Parker
Time zone	UTC−6 (CST)
• Summer (DST)	UTC−5 (CDT)
ZIP code(s)	60301 to 60304
Area code	708
FIPS code	17-54885
Website	www.oak-park.us (http://www.oak-park.us)

The Village of Oak Park was formally established in 1902, disengaging from Cicero following a referendum. According to the local historical society, "The period 1892–1950 saw the construction of almost all of the housing stock in Oak Park, and most of the village's current buildings."^[10] The village population grew quickly, and "by 1930, the village had a population of 64,000, even larger than the current population,"^[10] while cherishing a reputation as the "World's Largest Village".^[10] Chicago grew rapidly in the 19th century, recording 4,470 residents in the 1840 census, reaching 1,099,850 in 1890, and 1,698,575 in 1900. Chicago surpassed Philadelphia to be the second-largest US city, and in that year, the fifth-largest in the world. Chicago's location on the shores of Lake Michigan was good for transport; after the fire of 1871, Chicago rebuilt its center. Oak Park grew along with its neighbor to the east, having location and railroad and streetcar connections in its favor.

After World War II, "Oak Park was affected by larger developmental trends in the Chicago Metropolitan area. The construction of the Eisenhower Expressway cut through the southern portion of the Village in the mid 1950s. Starting in the 1960s and 1970s, Oak Park has made a conscious effort to accommodate changing demographics and social pressures while maintaining the suburban character that has long made the Village a desirable residential location."^[13] Beginning in the 1960s, Oak Park faced the issue of racial integration with effective programs to maintain the character and stability of the Village, while encouraging integration on racial basis. This included passage of The Open Housing Ordinance in 1968 which has helped maintain the ethnically diverse population seen in the village still today.^[14]

Oak Park has a history of alcohol prohibition. When the village was incorporated, no alcohol was allowed to be sold within its village limits. This law was relaxed in 1973, when restaurants and hotels were allowed to serve alcohol with meals, and was further loosened in 2002, when select grocery stores received governmental permission to sell packaged liquor. Today,

alcohol, such as beer and wine, is easily accessible, with many bars and cocktail lounges around the village.^[15]



The business entrance of Frank Lloyd Wright's Home and Studio in Oak Park

In 1889, Frank Lloyd Wright and his wife settled in Oak Park. He built many homes and the Unity Temple, his own church, in the village, before he left in 1911 to settle in Wisconsin. Oak Park attracts architecture buffs and others to view the many Wright-designed homes found in the village, alongside homes reflecting other architectural styles. The largest collection of Wright-designed residential properties in the world is in Oak Park.^[16] A distinct focus on historic preservation of important architectural styles began in the 1970s and continues, with many buildings marked as historically significant, and so far, three historic districts defined. Other attractions include Ernest Hemingway's birthplace home and his boyhood home, the Ernest



Ernest Hemingway in Oak Park, 1919

Hemingway Museum, the three Oak Park homes of writer and Tarzan creator Edgar Rice Burroughs, Wright's Unity Temple, Pleasant Home, and the Oak Park-River Forest Historical Society.

Oak Park and River Forest High School is a comprehensive college preparatory school, with a long list of alumni who have made major or notable contributions to their fields of endeavor. Among these are Nobel Prize-winning author Ernest Hemingway, writer and author Michael Gerber, the founder and editor-in-chief of Rookie magazine Tavi Gevinson, football Hall-of-Famer George Trafton, McDonald's founder Ray Kroc, city planner Walter Burley Griffin, comedian Kathy Griffin, basketball player Iman Shumpert, mathematician and computer scientist Thomas E. Kurtz, and the voice of cartoon character Homer Simpson, Dan Castellaneta.

Geography

Oak Park is located immediately west of the city of Chicago.^[17] The boundary between the two municipalities is Austin Boulevard on the east side of Oak Park and North Avenue/Illinois Route 64 on the village's north side. Oak Park borders Cicero along its southern border, Roosevelt Road/Illinois Route 38, from Austin to Lombard; and Berwyn from Lombard to Harlem Avenue. Harlem/Illinois Route 43 serves as its western border, where between Roosevelt and South Boulevard, it borders Forest Park and between North Boulevard and North Avenue to the west it borders River Forest.

The entire village of Oak Park lies on the shore of ancient Lake Chicago, which covered most of the city of Chicago during the last Ice Age, and was the forerunner to today's Lake Michigan. Ridgeland Avenue in eastern Oak Park marks the shoreline of the lake, and was once an actual ridge. As with the geographical setup of the Chicago River, which connects to the present day Lake Michigan just north of the city's Loop, the ancient Des Plaines river once emptied into glacial Lake Chicago, making prehistoric Oak Park a "Plains river Delta" system. One of North America's four continental divides runs through Oak Park. This divide, a slight rise running north–south through the village, separates the Saint Lawrence River watershed from the Mississippi River watershed, and is marked by one plaque on Lake Street at Forest Avenue and another in the northwest corner of Taylor Park.

According to the 2010 census, Oak Park has a total area of 4.7 sq mi (12.17 km²), all land.^[18]

Transportation

Public transit

Oak Park is accessible from Chicago by service on the Green Line and the Blue Line at five CTA stations in Oak Park. Oak Park also has a station for Metra's Union Pacific West Line. Bus transit service within Oak Park and to other suburbs is also provided by the CTA and Pace.

Streets, addresses, and expressways

The Eisenhower Expressway is the primary expressway between Chicago and Oak Park. The highway also provides connections to O'Hare International Airport. Major east-west streets in Oak Park continue east into Chicago.

The streets are laid out in a grid pattern, occasionally with local streets ending in a cul-de-sac to maintain local character. Oak Park has its own street-numbering system that begins, for east-west streets, at Austin Boulevard (no east or west designation), and for north-south streets, at the elevated train tracks located just south of Lake Street, which divides the numbers, getting larger going north or south from there, and requiring north or south designation on addresses. The border streets do not follow the Oak Park numbering system; rather, they match the address system with the cities sharing those border streets. For example, addresses on Austin Boulevard match the Chicago system, with the zero line at Madison Street, and along North Avenue, addresses match the Chicago system, with Austin Boulevard at 6000 W and Harlem at 7200 W. Additionally, Elizabeth Court, located within the Frank Lloyd Wright Historic District, maintains its original numbering. The houses on that cul-de-sac start at 1 and go up to 12.

Bicycles

Augusta Boulevard through the village is part of the Grand Illinois Trail; the trailhead of the Illinois Prairie Path is less than 1-mile (1.6 km) from Oak Park. With several cycle clubs and groups, Oak Park is considered a bicycle-friendly community, and the tree-lined streets of the community, as well as its proximity to trails in nearby communities, attract cyclists to Oak Park, easily accessed by the Green Line, Blue Line, or Metra. Bicycle lanes are marked on many streets throughout Oak Park, though no fully segregated cycle facilities have been put in place.

Divvy bike sharing, which serves the city of Chicago, came to Oak Park in 2016.^[19] Oak Park's Village Board cancelled the Divvy program in 2017, after the program was determined not to be cost-effective.^[20]

Demographics

As of the 2020 census^[24] there were 54,583 people, 21,701 households, and 12,774 families residing in the village. The population density was 11,613.40 inhabitants per square mile (4,483.96/km²). There were 25,953 housing units at an average density of 5,521.91 per square mile (2,132.02/km²). The racial makeup of the village was 60.18% White, 18.69% African American, 0.05% Native American, 5.39% Asian, 0.02% Pacific Islander, 0.52% from other races, and 5.84% from two or more races. Hispanic or Latino of any race were 9.31% of the population.

There were 21,701 households, out of which 30.4% had children under the age of 18 living with them, 45.56% were married couples living together, 9.89% had a female householder with no husband present, and 41.14% were non-families. 35.33% of all households were made up of individuals, and 13.35% had someone living alone who was 65 years of age or older. The average household size was 3.14 and the average family size was 2.38.

The village's age distribution consisted of 23.8% under the age of 18, 6.1% from 18 to 24, 27% from 25 to 44, 27.5% from 45 to 64, and 15.7% who were 65 years of age or older. The median age was 40.6 years. For every 100 females, there were 87.7 males. For every 100 females age 18



Harlem/Lake station on the Chicago 'L' Green Line



931 Lake Street looking eastward. Calvary Memorial Church is featured on the right.

Historical population		
Census	Pop.	%±
1910	19,444	—
1920	39,858	105.0%
1930	63,982	60.5%
1940	66,015	3.2%
1950	63,529	−3.8%
1960	61,093	−3.8%
1970	62,511	2.3%
1980	54,887	−12.2%
1990	53,648	−2.3%
2000	52,524	−2.1%
2010	51,878	−1.2%
2020	54,583	5.2%

U.S. Decennial Census^[21]
2010^[22] 2020^[23]

and over, there were 83.5 males.

The median income for a household in the village was \$96,945, and the median income for a family was \$142,785. Males had a median income of \$79,284 versus \$54,639 for females. The per capita income for the village was \$58,262. About 3.3% of families and 7.0% of the population were below the poverty line, including 3.7% of those under age 18 and 8.7% of those age 65 or over.

Oak Park village, Illinois – Racial and ethnic composition

Note: the US Census treats Hispanic/Latino as an ethnic category. This table excludes Latinos from the racial categories and assigns them to a separate category. Hispanics/Latinos may be of any race.

Race / Ethnicity (NH = Non-Hispanic)	Pop 2000 ^[25]	Pop 2010 ^[22]	Pop 2020 ^[23]	% 2000	% 2010	% 2020
White alone (NH)	34,767	33,076	32,846	66.19%	63.76%	60.18%
Black or African American alone (NH)	11,685	11,023	10,200	22.25%	21.25%	18.69%
Native American or Alaska Native alone (NH)	61	65	29	0.12%	0.13%	0.05%
Asian alone (NH)	2,171	2,474	2,944	4.13%	4.77%	5.39%
Pacific Islander alone (NH)	16	15	12	0.03%	0.03%	0.02%
Other race alone (NH)	185	178	285	0.35%	0.34%	0.52%
Mixed race or Multiracial (NH)	1,265	1,526	3,187	2.41%	2.94%	5.84%
Hispanic or Latino (any race)	2,374	3,521	5,080	4.52%	6.79%	9.31%
Total	52,524	51,878	54,583	100.00%	100.00%	100.00%



Unity Temple, designed by Frank Lloyd Wright in 1905 and finished in 1908, is part of The 20th-Century Architecture of Frank Lloyd Wright, a World Heritage Site.

In the 1960s, Oak Parkers began a concerted effort to avoid the destructive racial housing practices occurring in nearby communities. Racial steering and block-by-block panic peddling caused rapid racial change on Chicago's west side, including the Austin Community Area adjacent to Oak Park. Whites left west-side neighborhoods based on concerns of property value losses and crime increases, and some businesses left, as well. The Village of Oak Park passed a fair housing ordinance in 1968 (in the same year as the federal Fair Housing Act) to ensure equal access to housing in the community. In 1972, the Oak Park Housing Center was founded by Roberta "Bobbie" Raymond to promote integration in the community, by ensuring equal access and discouraging white flight.^{[26][27]} Part of this effort included banning "for sale" signs on houses. Although this law became unconstitutional with the decision in *Linmark Associates, Inc. v. Township of Willingboro*, use of the signs is still strongly discouraged by local realtors.^[28]

An evaluation of the policy in Oak Park to promote integration, written in the early years of the 21st century, noted the gradual increase in the share of village population that is Black, at 22% in 2000, and further observed:

As late as 2000, there were no resegregated census tracts, with tracts ranging from 7% black to 36% black ... this was not because the pattern of rapid westward resegregation had run its course, because events in neighboring suburbs showed that segregation trends were still operating. Instead, the pattern in a sense leaped over Oak Park to other suburbs farther west, including Bellwood and Maywood, which resegregated in a relatively short time.^[29]

Government

Village

Since 1951, Oak Park has been organized under the council-manager form of municipal government. The village government includes an elected president and an elected village board, which hires a village manager to conduct the day-to-day affairs of the administration. Oak Park also has five additional governments which levy real estate taxes. These include the Oak Park Township, the high school district (which also levies from adjacent River Forest), the elementary school district, the library district, and the park district.

The United States Postal Service operates the main Oak Park Post Office at 901 Lake Street and the Oak Park South Post Office at 1116 Garfield Street.

Elections

Oak Park's village board, village president, and other elected officials are elected through a two-stage election process. A primary election is used to nominate party candidates, and a general election is used to elect government officials. Oak Park's election turnout varies greatly depending on whether it is a municipal or national election. In the 2012 presidential election, Oak Park had the highest voter turnout in suburban Cook County; 79.8% of registered voters cast a ballot.^[30] Municipal elections for the board of trustees and village clerk generally have much lower voter turnout, averaging around 20% and are held in spring, consistent with state law. The municipal elections are considered nonpartisan, as the national political parties do not put up the candidates. Candidates step forward, or are found by a citizens group that works to find people to have new candidates for each election cycle, encourage participation in local issues.

Schools

The public primary schools (Lincoln, Mann, Longfellow, Beye, Irving, Holmes, Whittier, and Hatch) and the middle schools, Percy Julian Middle School (formerly Nathaniel Hawthorne) and Gwendolyn Brooks Middle School (formerly Ralph Waldo Emerson) are operated by Oak Park Elementary School District 97.^[31] These ten schools serve the entire city limits.^[32] There are also multiple private schools.

Performance ratings for schools in Oak Park (as evaluated by standardized statewide tests) are released periodically, known as the school report cards.^[33]

The renaming of the junior high schools, now middle schools, after prominent African-Americans rather than famous American literary figures was done in part to motivate minority students in their educational pursuits. A gap in school performance, referred to as "this intolerable and persistent inequity,"^[34] remains, as of the date of the report.^[35]

Oak Park is the home of two high schools: Oak Park and River Forest High School, the sole school in educational District 200, which also serves the entire city,^[32] and Fenwick High School. Oak Park and River Forest High School is a public school with its district including both Oak Park and neighboring River Forest, and Fenwick High School is a Catholic college preparatory school run by the Dominicans, affiliated with the Roman Catholic Archdiocese of Chicago. Both high schools have a long history of high academic standards. Oak Park and River Forest High School bestows the Tradition of Excellence Award to distinguished alumni, including Ernest Hemingway, Ray Kroc, Dan Castellaneta, football Hall-of-Famer George Trafton, actress Mary Elizabeth Mastrantonio, astronomer Chad Trujillo, geochemist Wally Broecker, and environmental leader Phil Radford. Oak Park and River Forest High School is one of seven secondary educational institutions in Illinois with the ability to induct students into the Cum Laude Society.

Park District

The Park District of Oak Park was first organized in 1912 as the Recreation Department of the Village of Oak Park. Under the direction of Josephine Blackstock and her successor, Lilly Ruth Hanson, it embarked on a vigorous program of recreation for villagers. The playgrounds were named by Blackstock after famous children's writers.



Oak Park Public Library

In the late 1980s, the Recreation Department was dissolved, and the Park District of Oak Park was created as a separate tax-levying body. It comprises thirteen parks scattered throughout the village, for a total of 80 acres (320,000 m²) of parkland, a historic house available for functions with payment of fees, the Oak Park Conservatory, and two outdoor pools. The Park District also provides dog exercise areas where dog owners may bring their pets with payment of fees. A second outdoor pool, an official-sized ice rink, a green roof and synthetic-turfed playing fields are at Ridgeland Common at the corner of Lake Street and Ridgeland Avenue, originally built in 1962. It was completely renovated from March 2013 to June 14, 2014.^{[36][37]}

Public library

Founded as a public library in 1903, after electing its first board of trustees, the Oak Park Public Library has a rich and celebrated history. The library has a main campus overlooking Scoville Park at the corner of Oak Park Avenue and Lake Street, and two branches, the Dole Branch Library (at Dole Community Center) and the Maze Branch Library.^[38] As a member of the SWAN library consortium, the Oak Park Public Library offers its cardholders access to nearly 8 million items.

Fire

Providing fire protection and emergency medical services, the Oak Park Fire Department currently operates from three fire stations, located throughout the village, Fire Station #1 (headquarters), Fire Station #2 (north), and Fire Station #3 (south) under the command of a battalion chief per shift. The Oak Park Fire Department operates three ALS engines, one ALS truck, three ALS ambulances, one ALS paramedic squad, one command unit, and several specialized MABAS divisional apparatus.^[39]

Fire station locations and apparatus

Engine company	Truck company	Ambulance	Special unit	Command unit	Address
	Truck 631	Ambulances 612–614	618 (pick-up truck), Squad 611, the MABAS Division 11 T.R.T. Unit and MABAS Division 11 Hazmat Unit 1100	Command Unit 620 (battalion chief)	100 N. Euclid Ave.
Engine 602					212 Augusta St.
Engines 603 and 604			MABAS Division 11 Air Support Unit		900 S. East Ave.

Police

The village is protected by the Oak Park Police Department employing roughly 118 officers, with 23 sworn officers per 10,000 residents.^[40]

Crime

In 2019, Oak Park's reported violent crime rate per 100,000 residents was 298, 28% lower than that of Illinois as a whole. The reported property crime rate, at 3,047, was 50% higher.^{[41][42]} In 2020 the village experienced a ten percent increase in reported crimes, including more thefts, robberies, and aggravated assaults/batteries, but fewer burglaries, compared to 2019.^[43]

Arts and culture

Oak Park has an active arts community, resulting in part from its favorable location adjacent to Chicago (7 miles (11 km) west of the "Loop") as well as the village's connections to international figures in the visual, literary, and performing arts such as Ernest Hemingway, Frank Lloyd Wright, Betty White, and Tymoteusz Karpowicz. This tradition continues into the

present, as Oak Park is home to numerous theater, music, dance, and fine-arts professionals. The arts district on Harrison Street, bounded by Austin Avenue to the east and Ridgeland Avenue to the west, features boutique galleries, shops, and restaurants.

Oak Park is home to several professional dance and theatre companies, including Circle Theatre, Oak Park Festival Theatre, Laurel Theater (<https://abausa.com/what-to-see-and-do-in-oak-park-illinois/>), and Momenta (<http://momentadances.org/>) resident dance company of The Academy of Movement and Music (<http://www.academyofmovementandmusic.com/>). Oak Park, with neighboring River Forest, also plays host to the Symphony of Oak Park and River Forest, which celebrated its 75th anniversary in 2009. *See also: Bellissima Opera*

Oak Park is also home to WEUR, broadcasting from the former Oak Park Arms Hotel at 1490 AM since 1950. Formerly WPNA and run by the Polish National Alliance, the station's programming serves the diverse linguistic and cultural communities in the Chicago metropolitan area (in the late-1960s, WPNA had the only "underground" disc jockey in Chicago, Scorpio). The Oak Park Art League (OPAL), a nonprofit visual arts center founded after World War I (renamed in 1970), provides classes, workshops, lectures, demonstrations, and exhibitions.^[44] Since 1921, OPAL has been providing opportunities for arts engagement and cultural enrichment. Over 4,500 artists participate in OPAL's events each year.

Oak Park has been home to numerous festivals and holiday observances. The July 4 celebration featuring fireworks draws thousands to the Oak Park-River Forest High School football stadium. A Day in Our Village, held in June, allows local groups to set up tables to seek members.

Born an Abomination, an act in the depressive metal genre, originated from Oak Park. It disbanded in 2018.^[45] Their album Fires in the Night Hour... from the year 2016 includes a song titled 'Oak Park' in dedication to the band's home.^[46]

Architecture and historic districts



Frank Lloyd Wright's 1902 Arthur Heurtley House on Forest Avenue

Frank Lloyd Wright spent the first 20 years of his 70-year career in Oak Park, building numerous homes in the community, including his own and the Walter Gale House. He lived and worked in the area between 1889 and 1909. One can find Wright's earliest work here, such as the Winslow House in neighboring River Forest, Illinois. Also, examples of the first prairie-style houses are in Oak Park. He also designed Unity Temple, a Unitarian-Universalist church, which was built between 1905 and 1908. Several well-known architects and artists worked in Wright's Oak Park Studio, including Richard Bock, William Eugene Drummond, Marion Mahony Griffin, and Walter Burley Griffin.

Many buildings in Oak Park were built by other Prairie School architects, such as George W. Maher, John Van Bergen, and E.E. Roberts.^[47]

Oak Park's housing stock reflects the decades of its rapid growth while it was part of the town of Cicero, and since 1902, when it became a village. Historic preservation has been a priority since an ordinance passed in 1972 and since revised.^{[48][49]} There are 2,400 historic sites in Oak Park, the majority of which are homes built in the Queen Anne, Prairie School and Craftsman styles of architecture.^[50] The Village of Oak Park displays these online on an interactive website.^[51] Three historic districts recognize the variety of styles often standing next door to each other. The three districts are Frank Lloyd Wright, Ridgeland-Oak Park, and Seward Gunderson,^[52] outlined on a map from the village.^[53] A fourth district is under consideration as of 2015, of 176 homes built by Thomas Henry Hulbert.^{[50][54]}

Ernest Hemingway spent the first six years of his life at 339 N. Oak Park Ave. The house was returned to its original 1890s Victorian heritage after restoration in 1992 and is open to the public for tours through The Ernest Hemingway Foundation of Oak Park.^[55]

The Art Deco-style main post office on Lake Street was designed by White and Weber in 1933. It is part of the Ridgeland-Oak Park Historic District.^[56]

Points of interest

- Birthplace of Ernest Hemingway
- Frank Lloyd Wright Home and Studio
- Unity Temple, designed by Frank Lloyd Wright
- Frank Lloyd Wright–Prairie School of Architecture Historic District
- Ridgeland–Oak Park Historic District
- Edgar Rice Burroughs homes
- Oak Park Conservatory
-

Notable people

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External links

- Village of Oak Park official website (<http://www.oak-park.us/>)
 - Visit Oak Park – Official Tourism Site for Oak Park and Western Cook County Illinois (<http://www.visitoakpark.com/>)
 - Oak Park – River Forest Chamber of Commerce (<http://www.oprfchamber.org/>)
 - Oak Park Public Library (<http://www.oppl.org/>)
-

Retrieved from "https://en.wikipedia.org/w/index.php?title=Oak_Park,_Illinois&oldid=1257654592"

Search Analytics

INVENTORY UNITS

7,878 +3.5%

Prior Period 7,614

UNDER CONSTRUCTION UNITS

0 -100.0%

Prior Period 264

12 MO ABSORPTION UNITS

177 +81.1%

Prior Period 98

VACANCY RATE

4.4% +1.0%

Prior Period 3.4%

MARKET RENT/UNIT

\$1,695 +1.8%

Prior Period \$1,666

MARKET SALE PRICE/UNIT

\$194K -1.1%

Prior Period \$196K

MARKET CAP RATE

7.0% +0.2%

Prior Period 6.8%

Key Metrics

Availability	
Vacant Units	347 ↑
Asking Rent/SF	\$2.22 ↑
Concession Rate	0.7% ↑
Studio Asking Rent	\$1,252 ↑
1 Bedroom Asking Rent/Unit	\$1,527 ↑
2 Bedroom Asking Rent/Unit	\$2,267 ↑
3 Bedroom Asking Rent/Unit	\$2,459 ↑

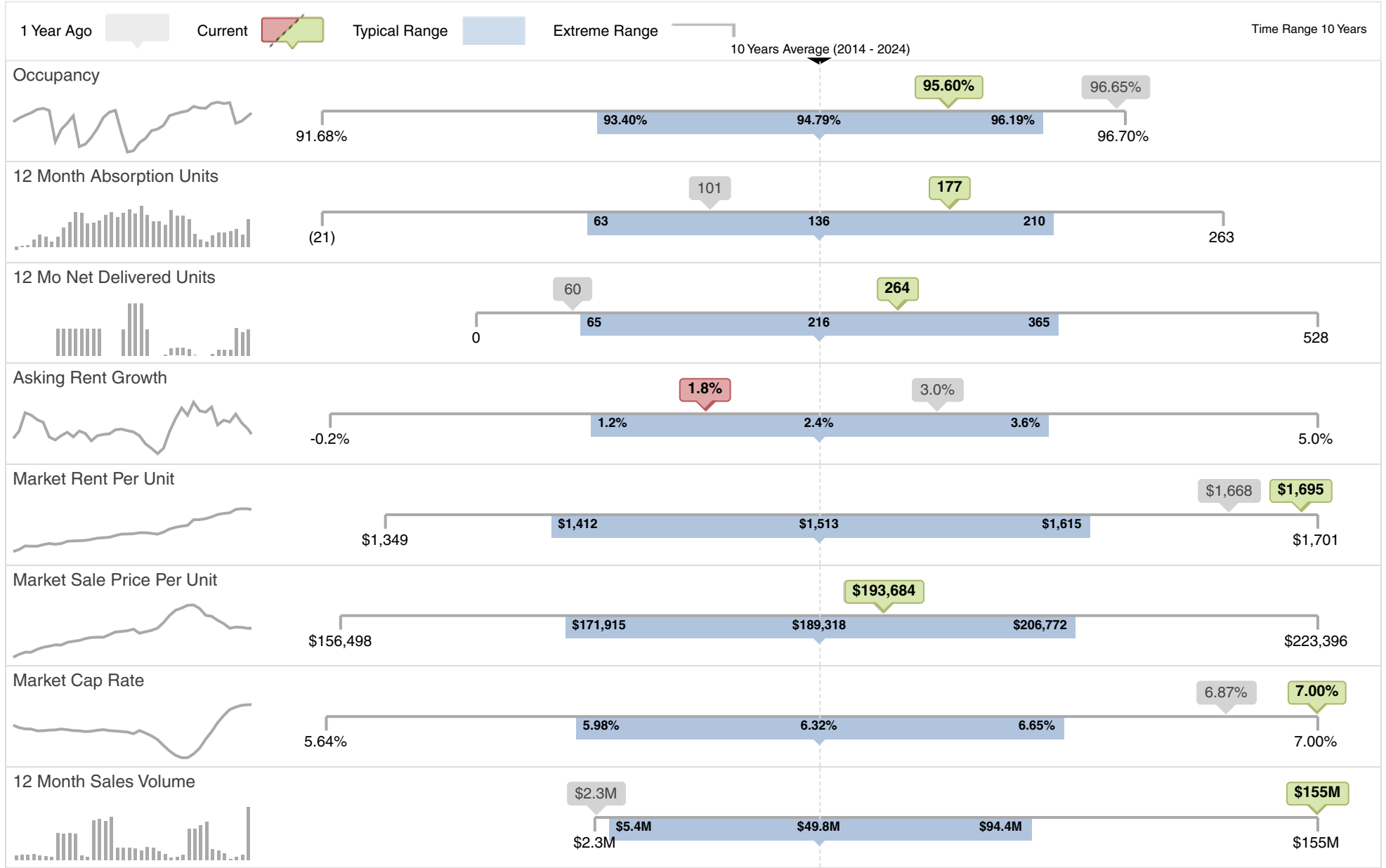
Inventory	
Existing Buildings	281 ↑
Average Units Per Bldg	28 ↑
12 Mo Demolished Units	0 ↓
12 Mo Occupancy % at Delivery	27.7% ↓
12 Mo Construction Starts Units	0 ↓
12 Mo Delivered Units	264 ↑
12 Mo Avg Delivered Units	88 ↑

Sales Past Year	
Asking Price Per Unit	\$151,613
Sale to Asking Price Differential	-14.4%
Sales Volume	\$155M ↑
Properties Sold	10 ↑
Months to Sale	5.6
For Sale Listings	5 ↑
Total For Sale Units	67 ↑

Demand	
12 Mo Absorp % of Inventory	2.2% ↑
Median Household Income	68.3K
Population Growth 5 Yrs 20-29	-5.8%
Population Growth 5 Yrs 30-39	-9.8%
Population Growth 5 Yrs 40-54	-5.7%
Population Growth 5 Yrs 55+	1.5%
Population Growth 5 Yrs	-4.7%

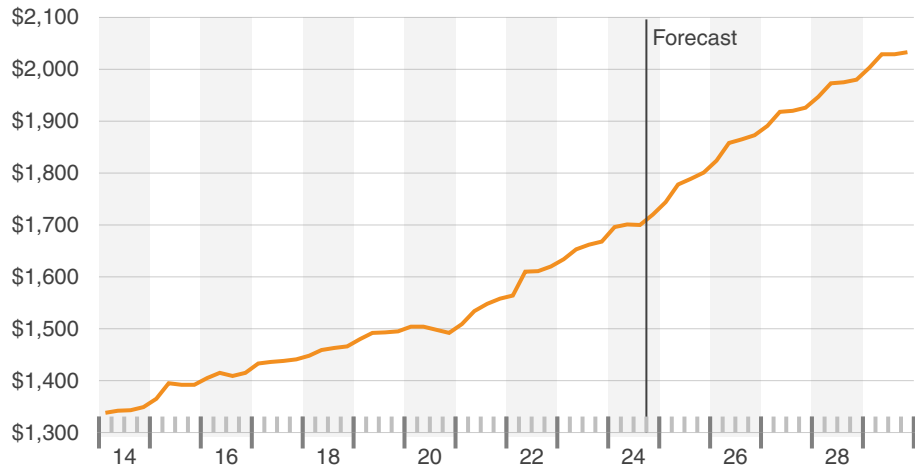
Search Analytics

Key Performance Indicators

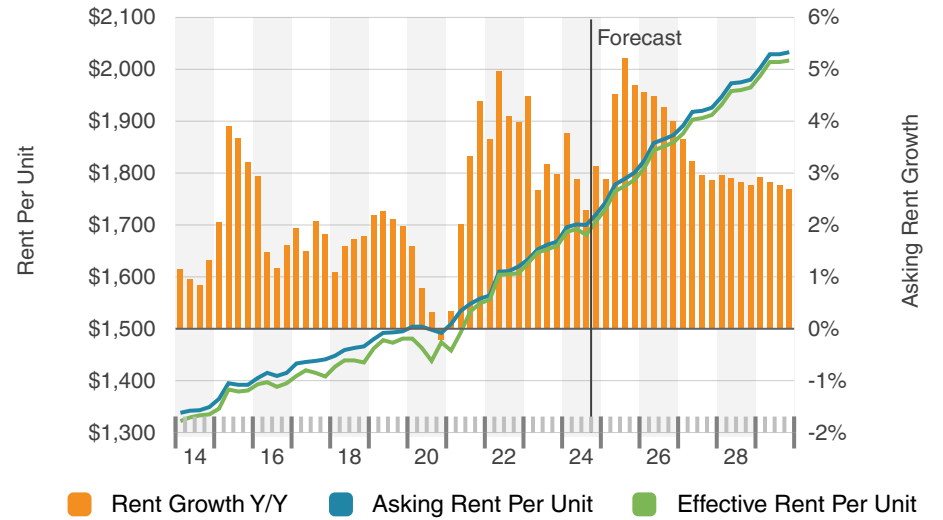


Search Analytics

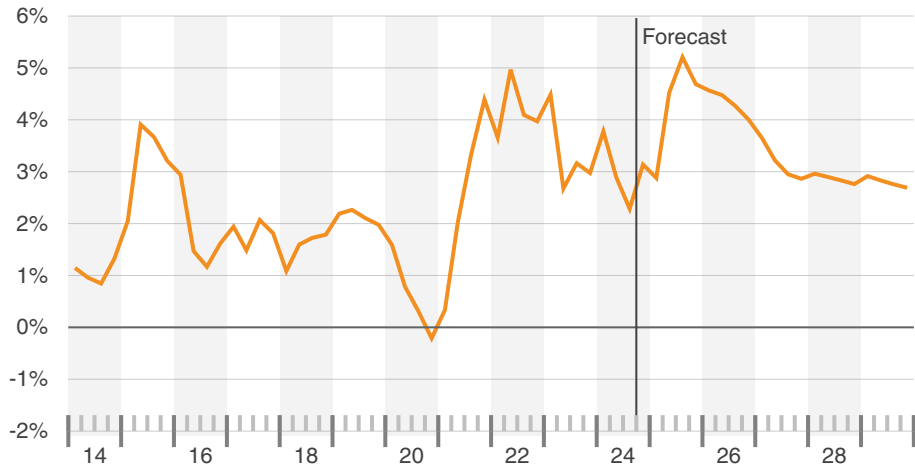
Market Asking Rent Per Unit



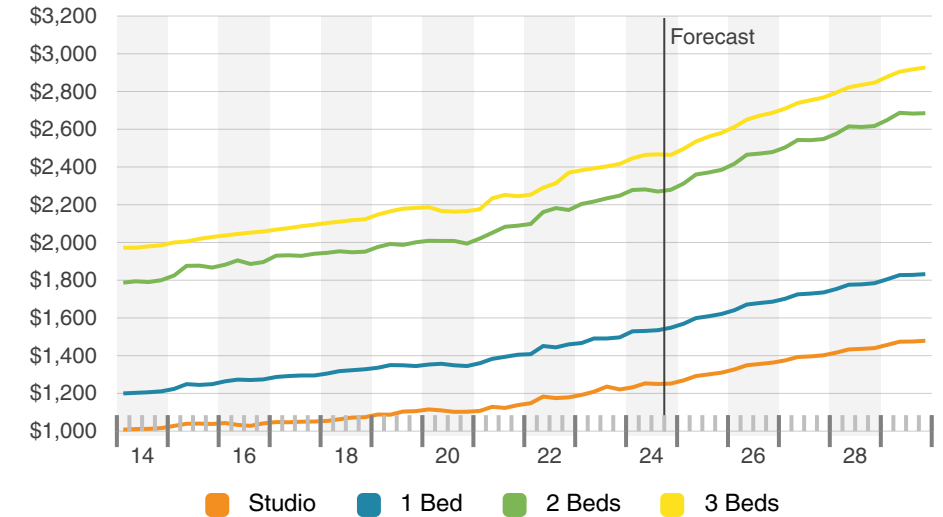
Market Rent Per Unit & Rent Growth



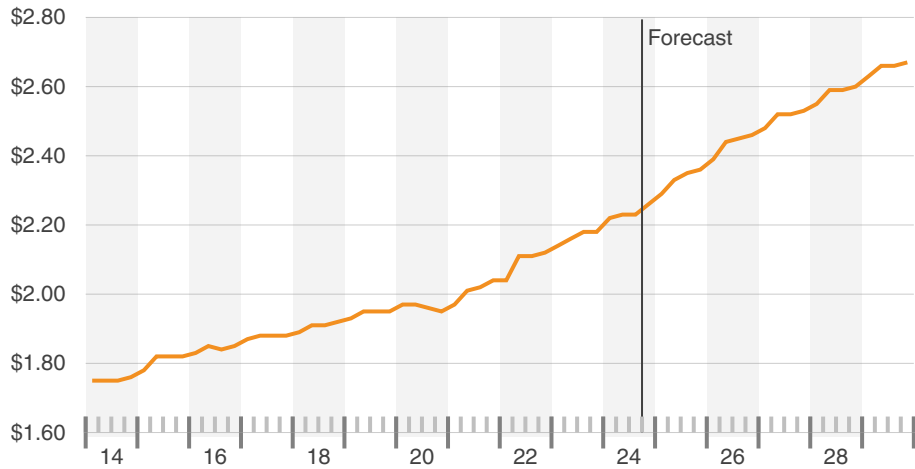
Market Rent Growth (YOY)



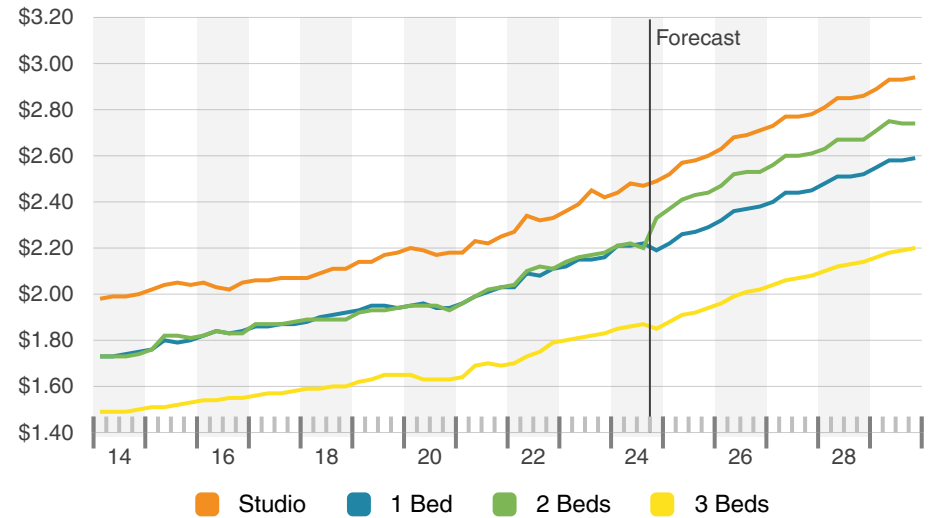
Market Asking Rent Per Unit By Bedroom



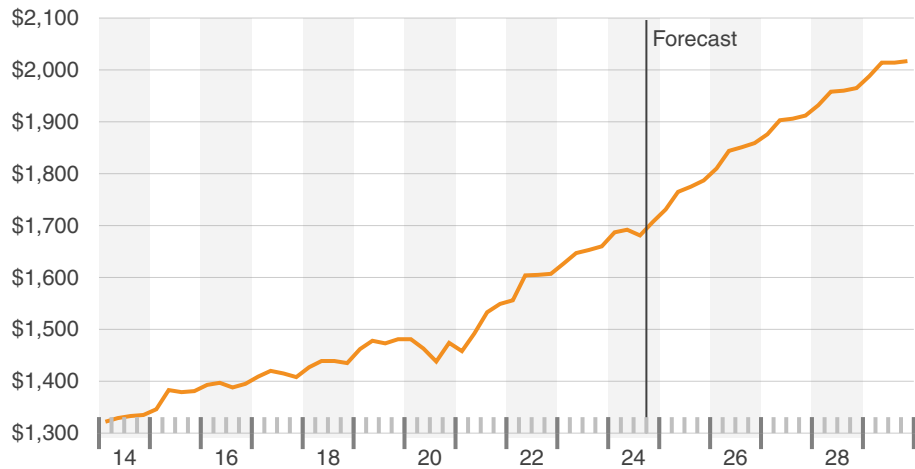
Market Asking Rent Per SF



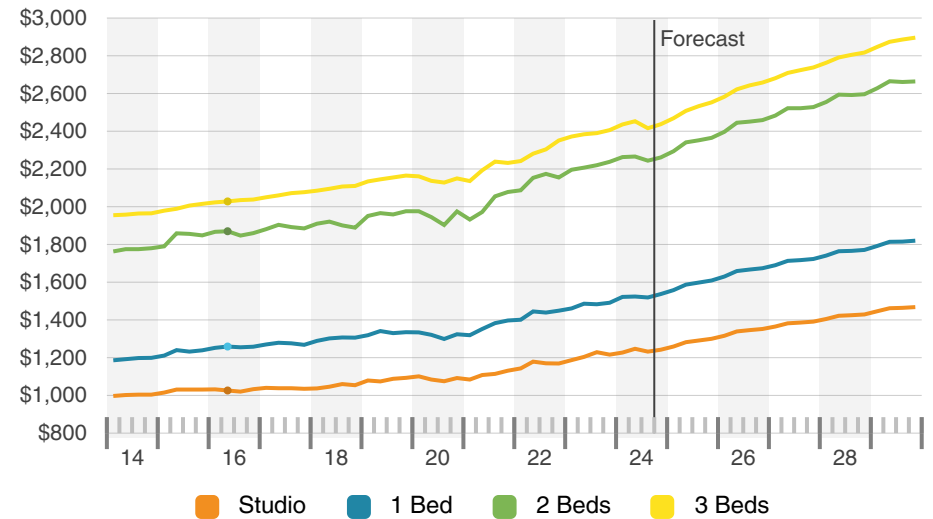
Market Asking Rent Per SF By Bedroom



Market Effective Rent Per Unit

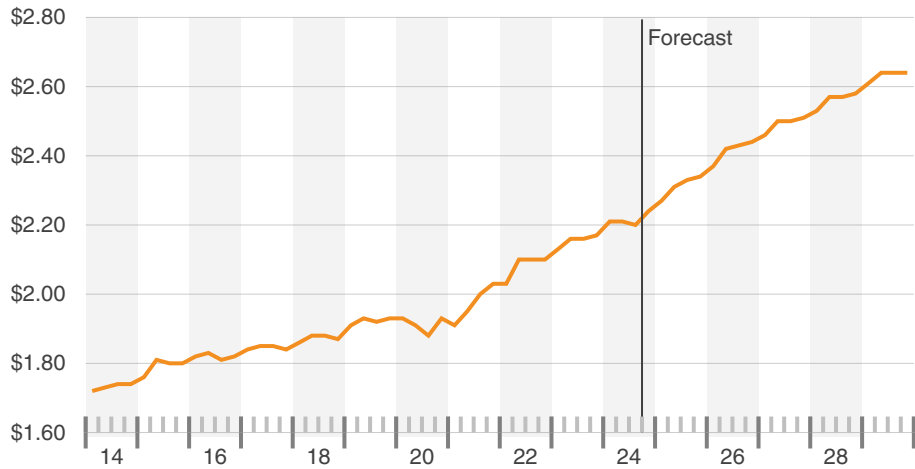


Market Effective Rent Per Unit By Bedroom

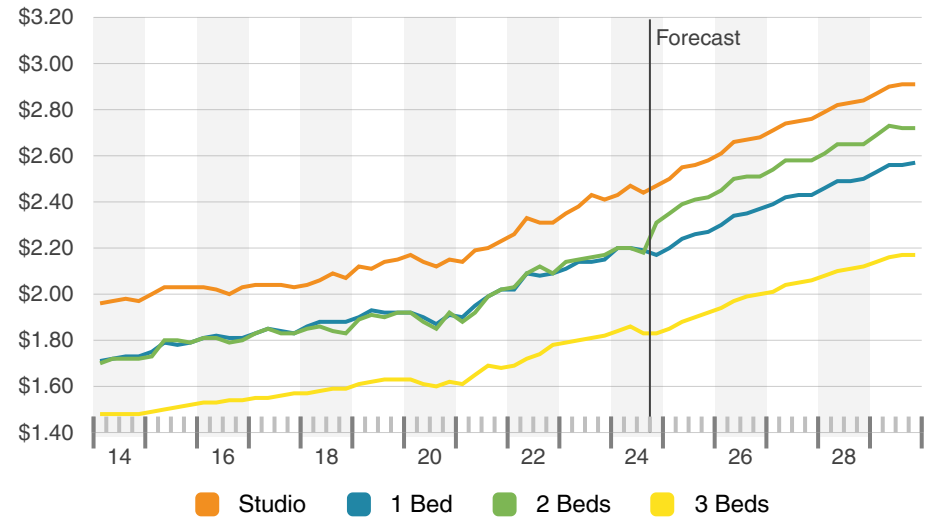


Search Analytics

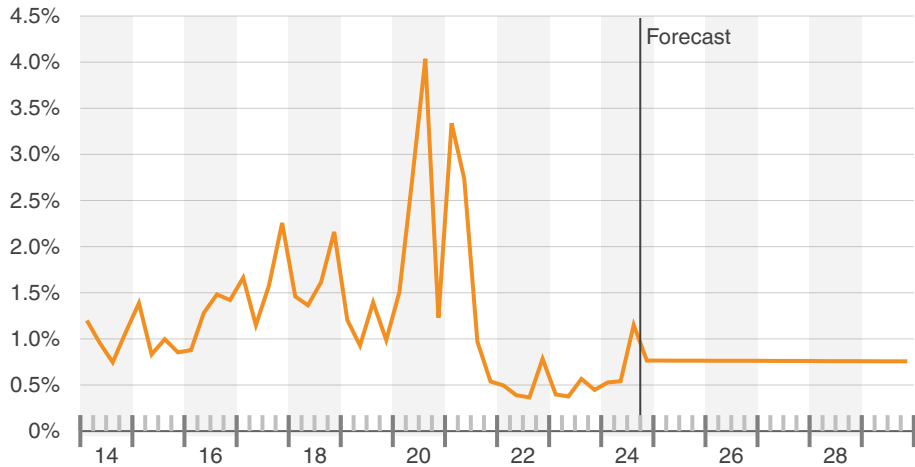
Market Effective Rent Per SF



Market Effective Rent Per SF By Bedroom



Concession Rate

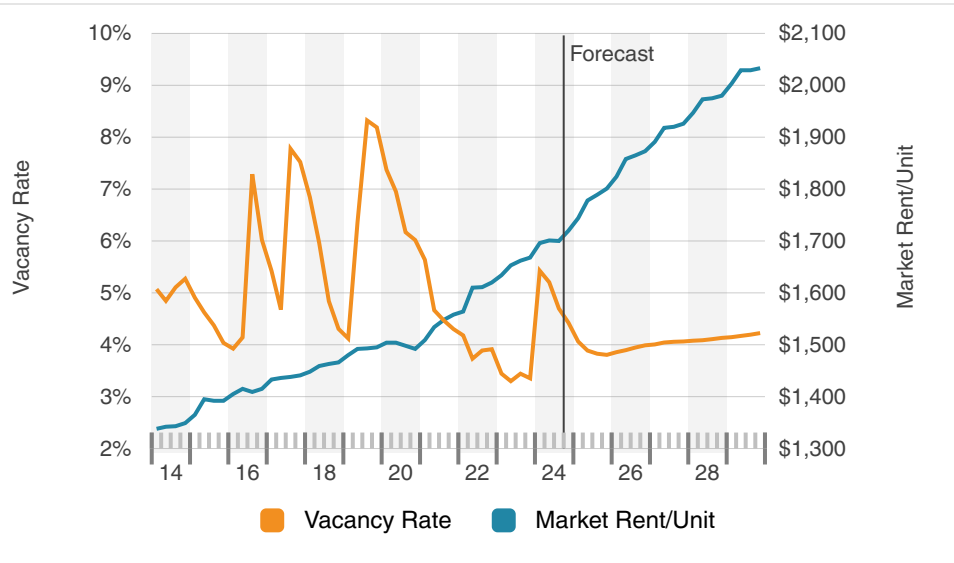


Daily Asking Rent Per SF

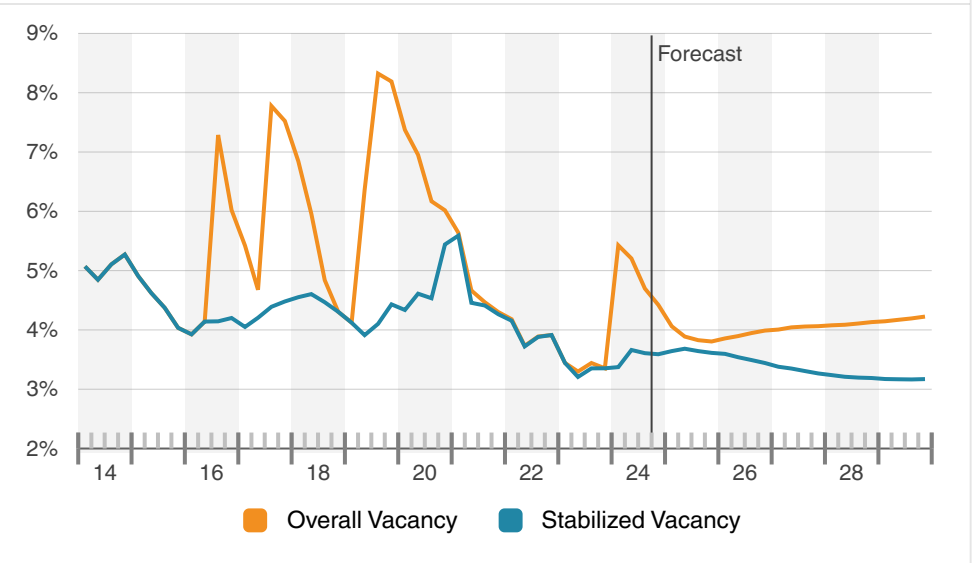


Search Analytics

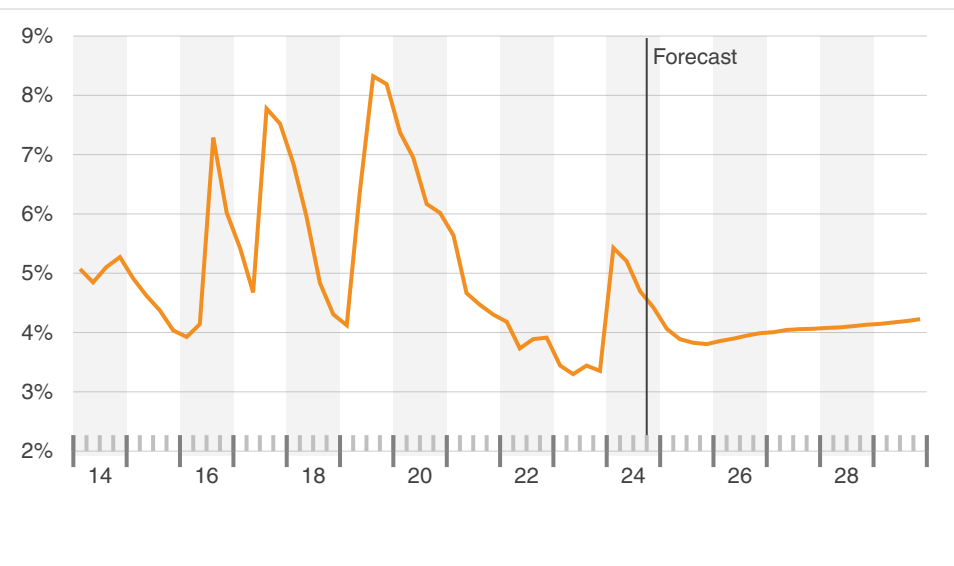
Vacancy & Market Asking Rent Per Unit



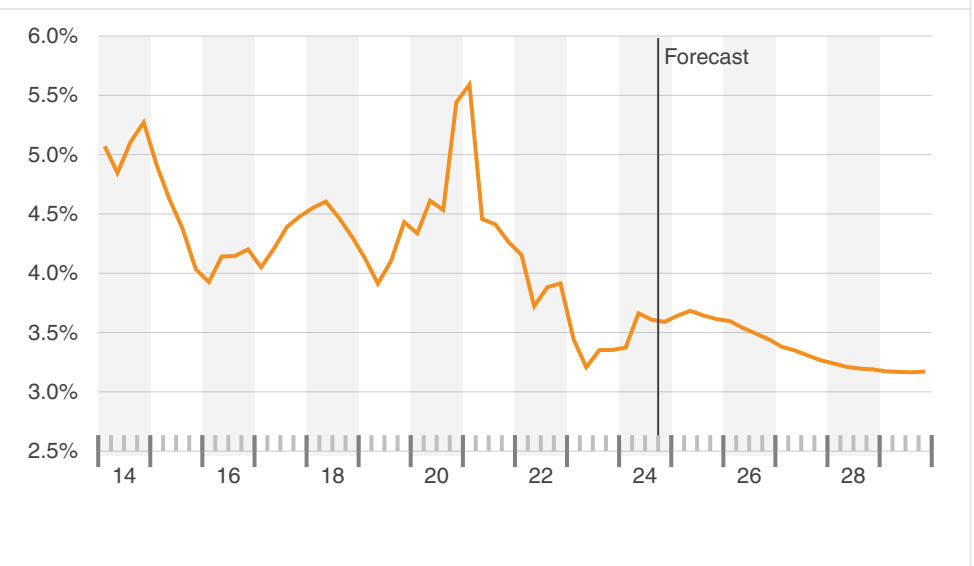
Overall & Stabilized Vacancy



Vacancy Rate

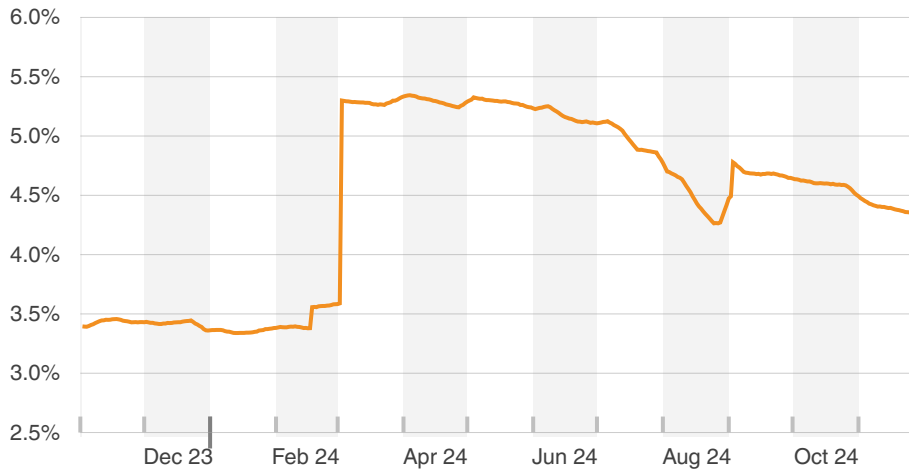


Stabilized Vacancy Rate

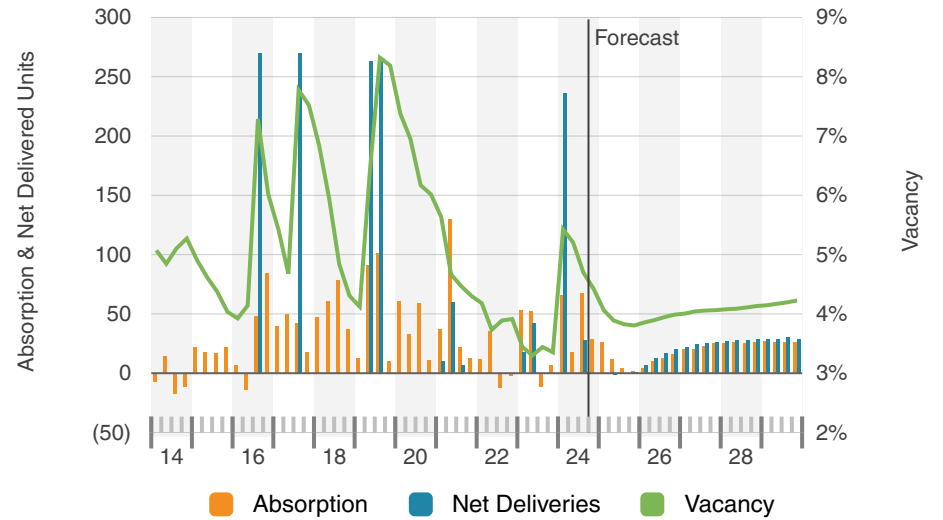


Search Analytics

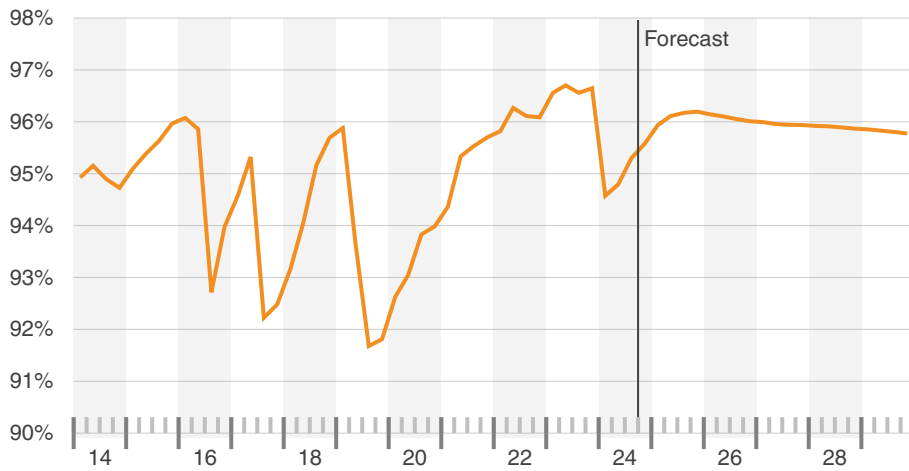
Daily Vacancy Rate



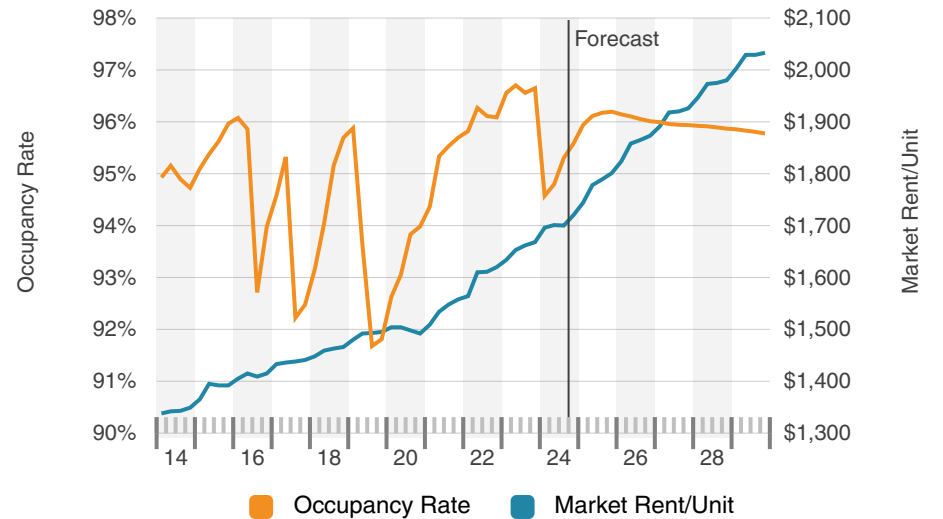
Absorption, Net Deliveries & Vacancy



Occupancy Rate

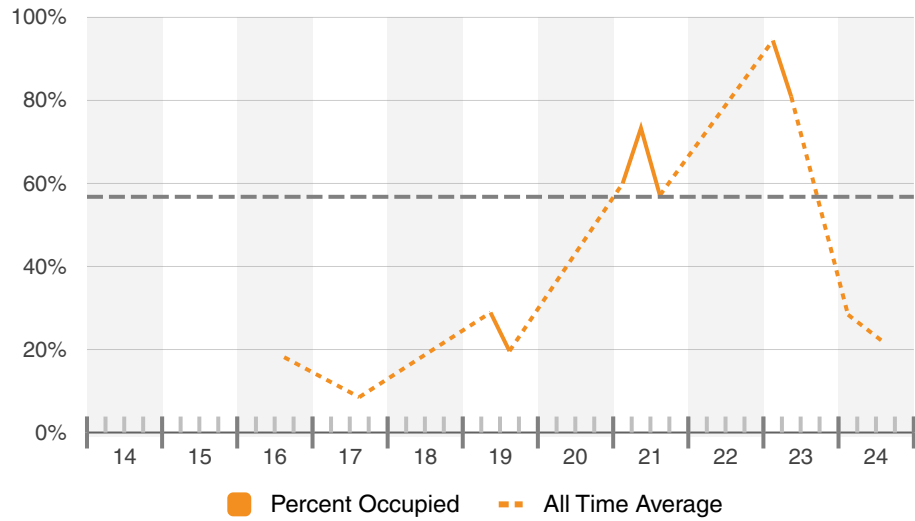


Occupancy & Market Rent Per Unit

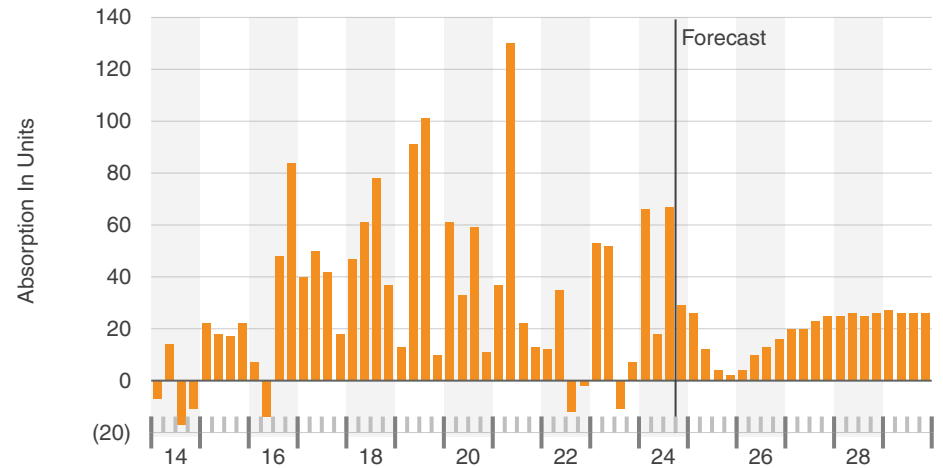


Search Analytics

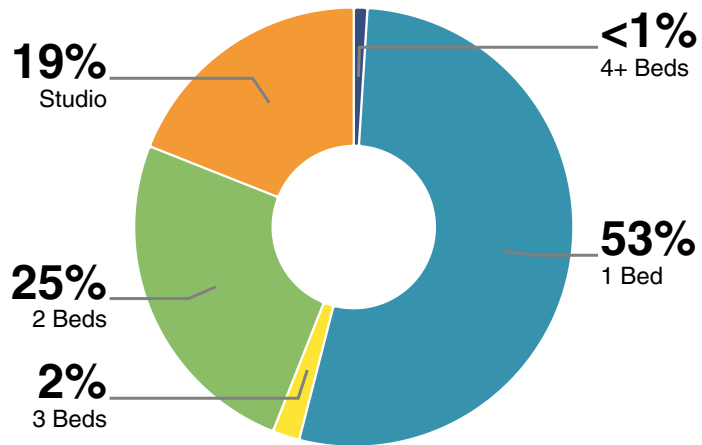
Occupancy At Delivery



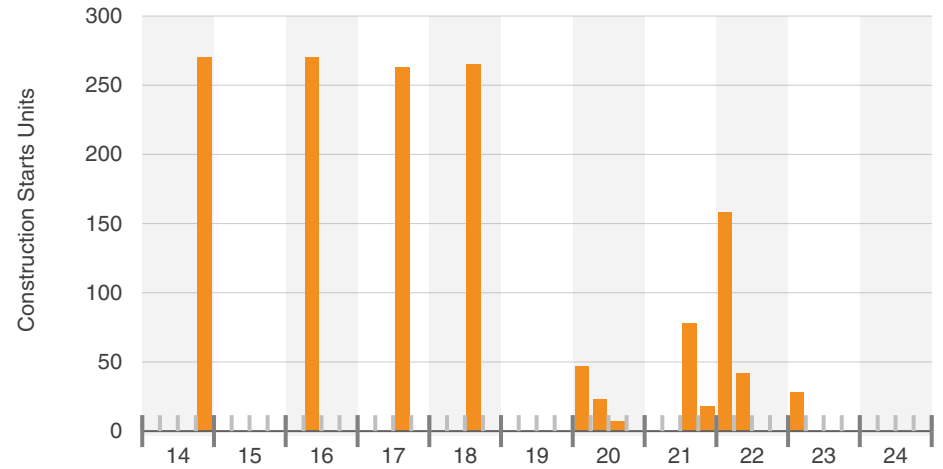
Absorption Units



Total Units By Bedroom

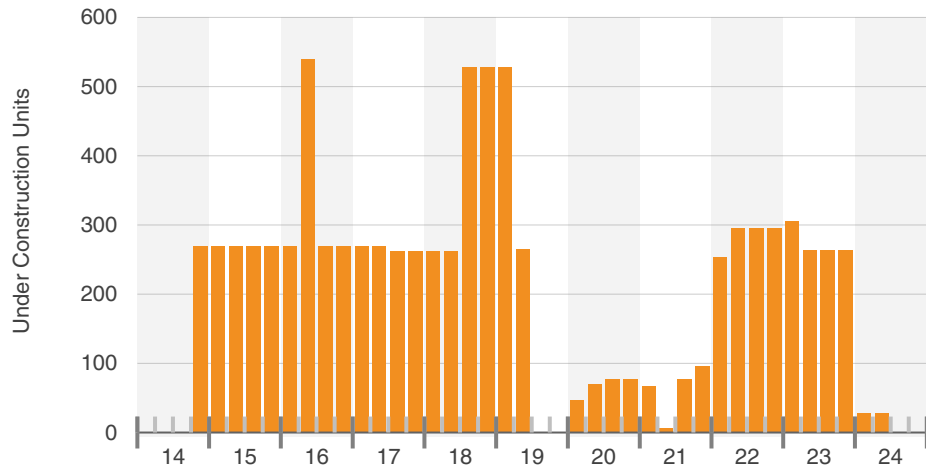


Construction Starts

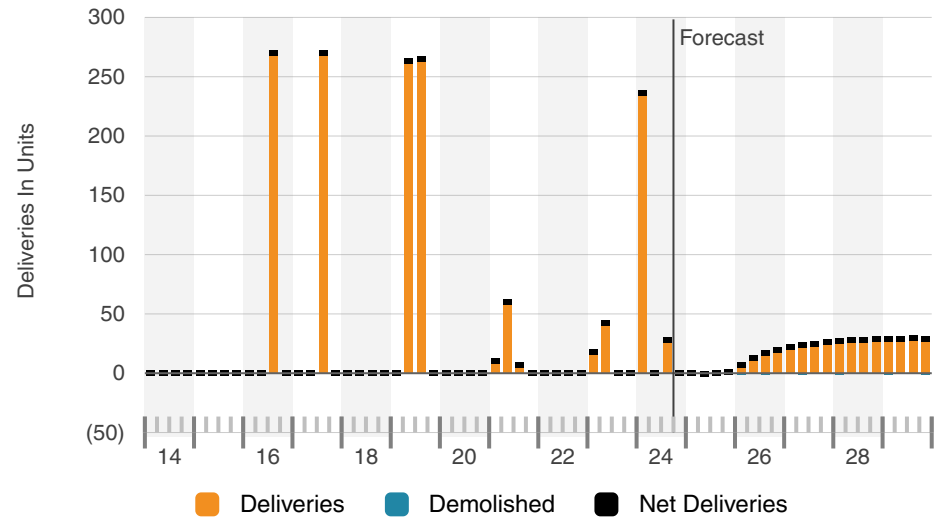


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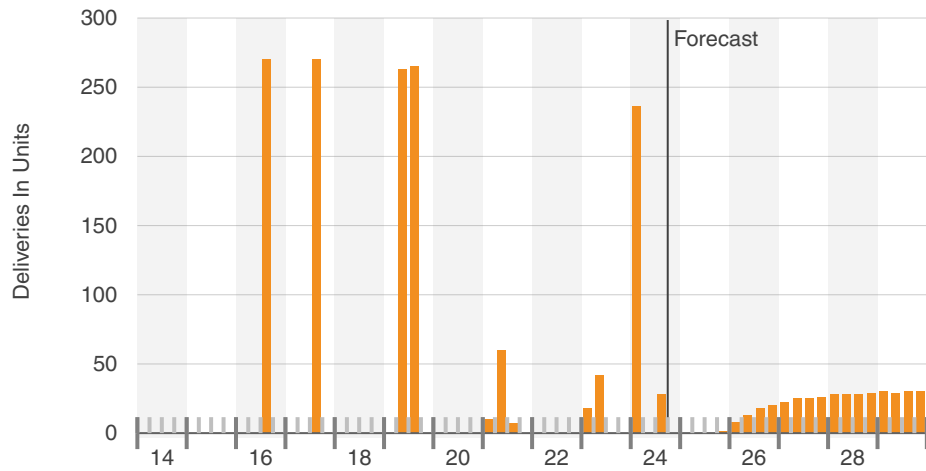
Under Construction



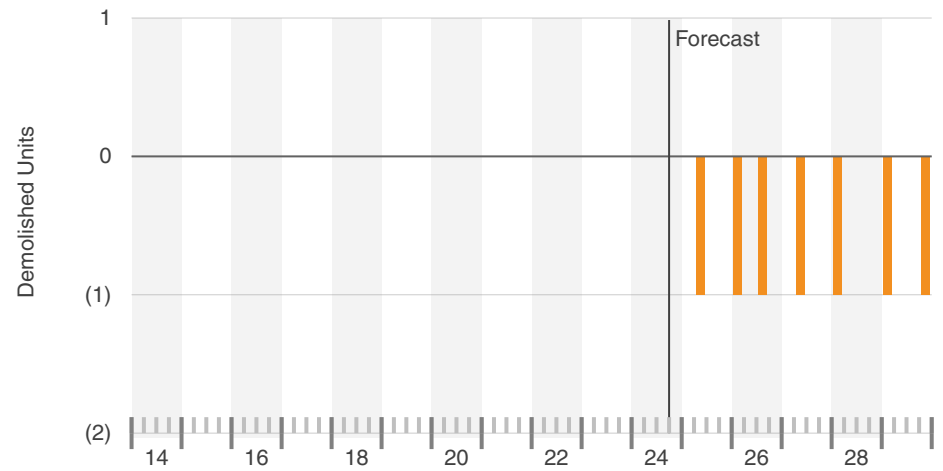
Deliveries & Demolitions



Deliveries

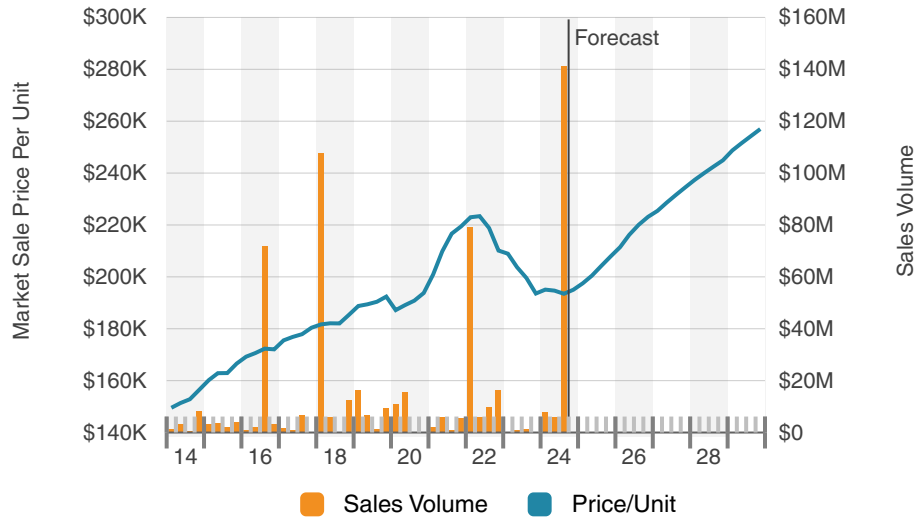


Demolitions

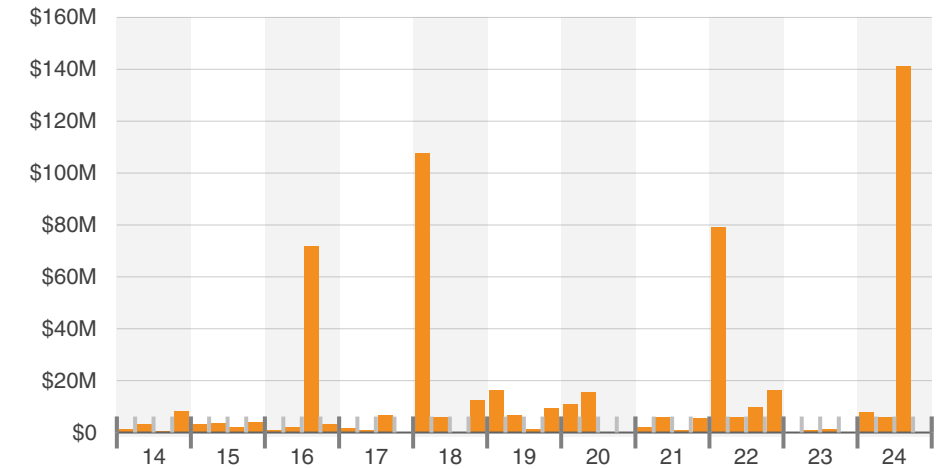


Search Analytics

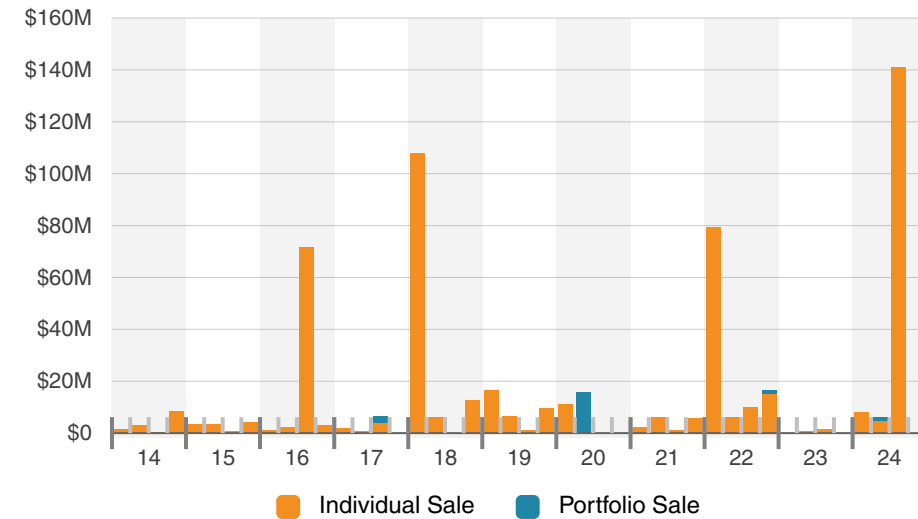
Sales Volume & Market Sale Price Per Unit



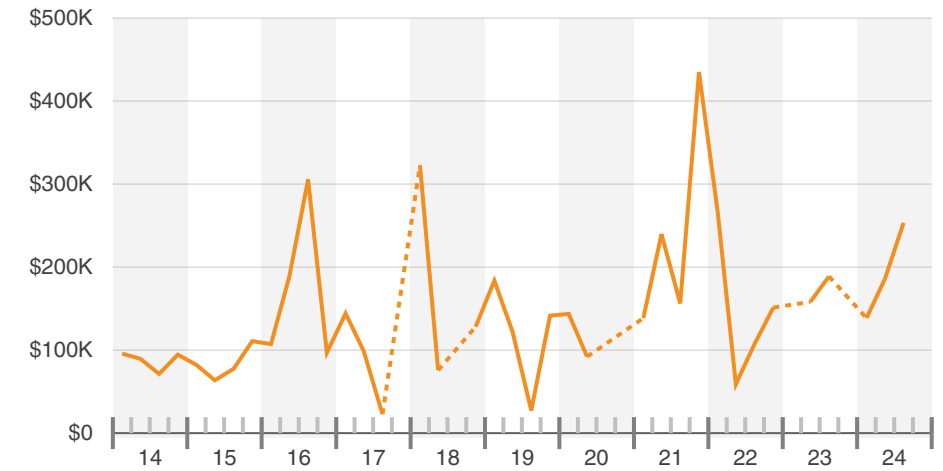
Sales Volume



Sales Volume By Transaction Type

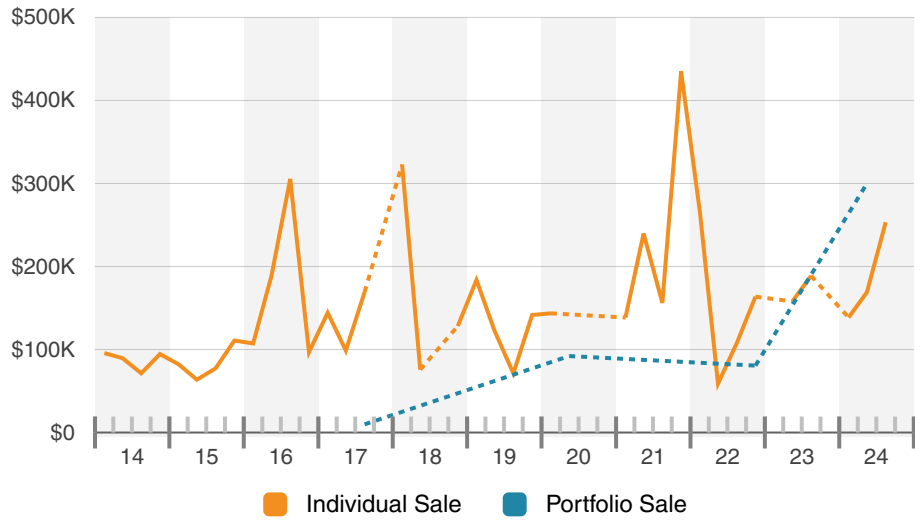


Sale Price Per Unit

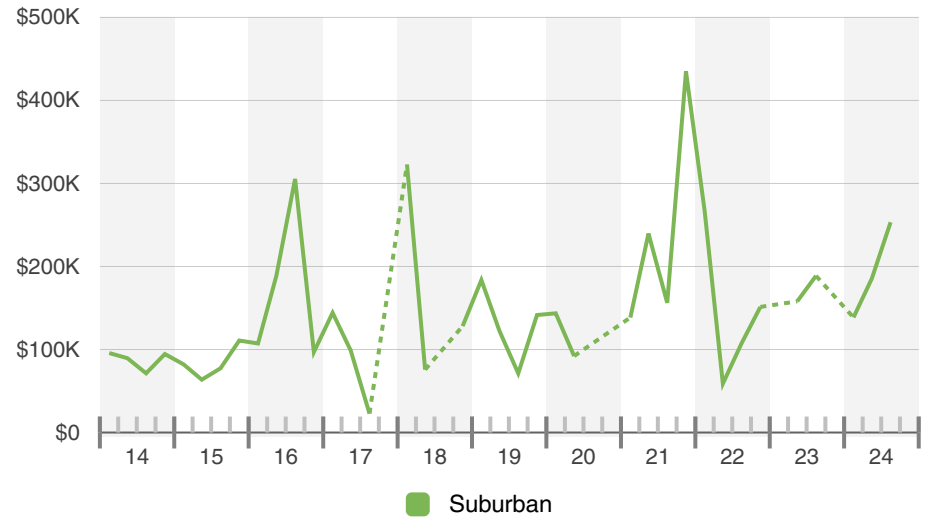


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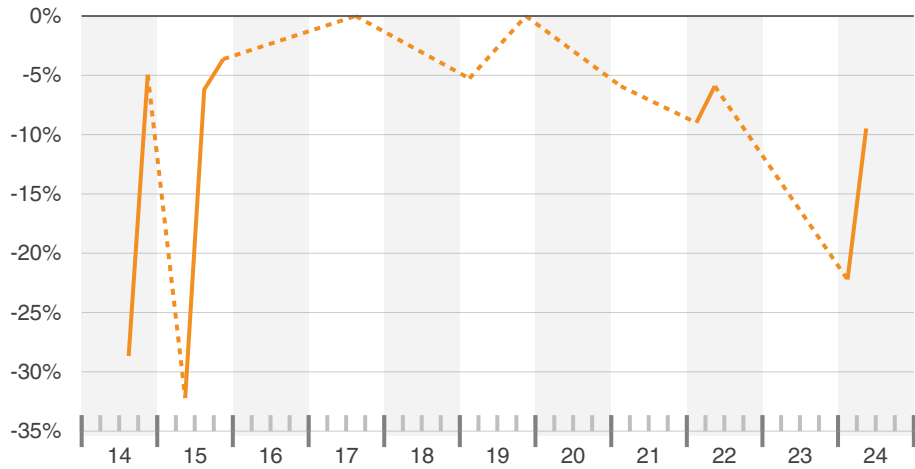
Sale Price Per Unit By Transaction Type



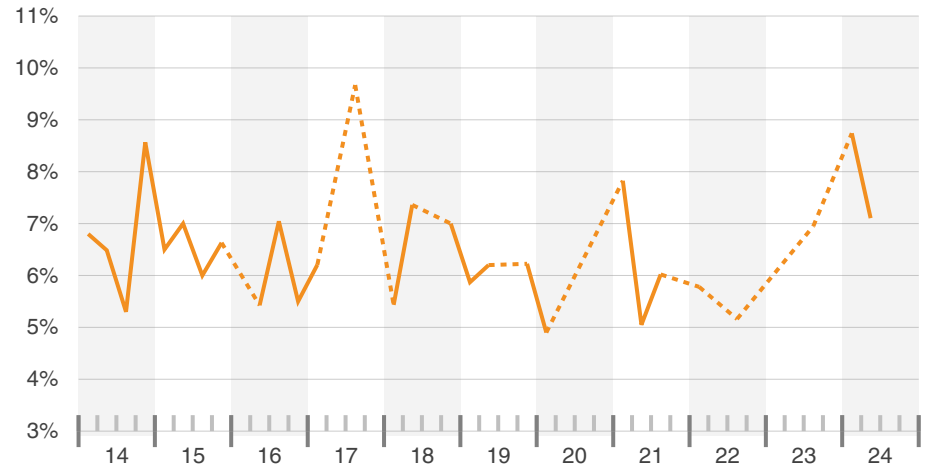
Sale Price Per Unit By Location Type



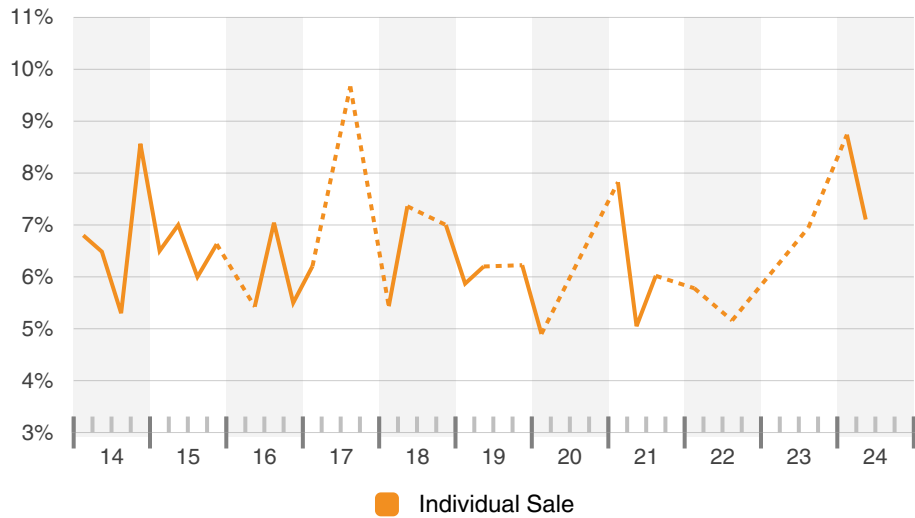
Sale To Asking Price Differential



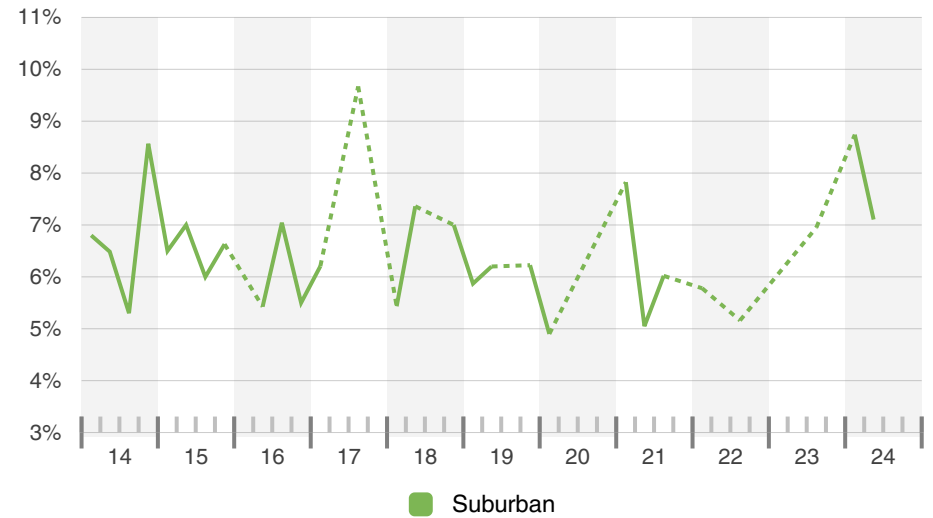
Cap Rate



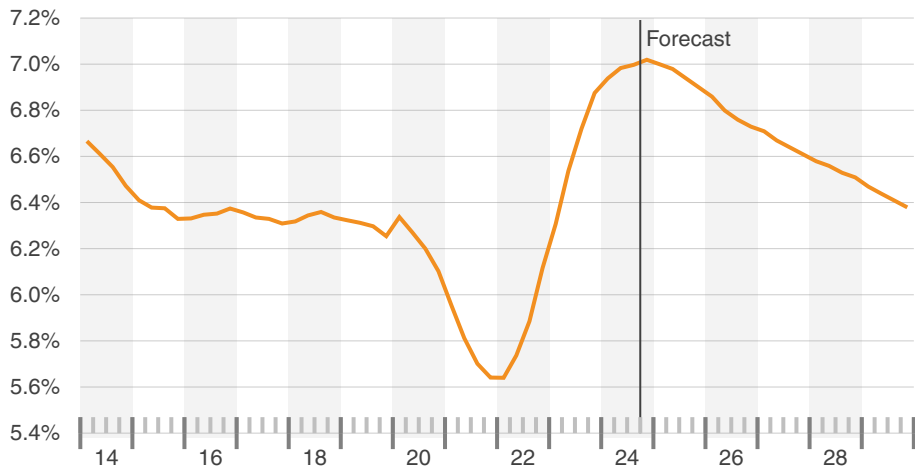
Cap Rate By Transaction Type



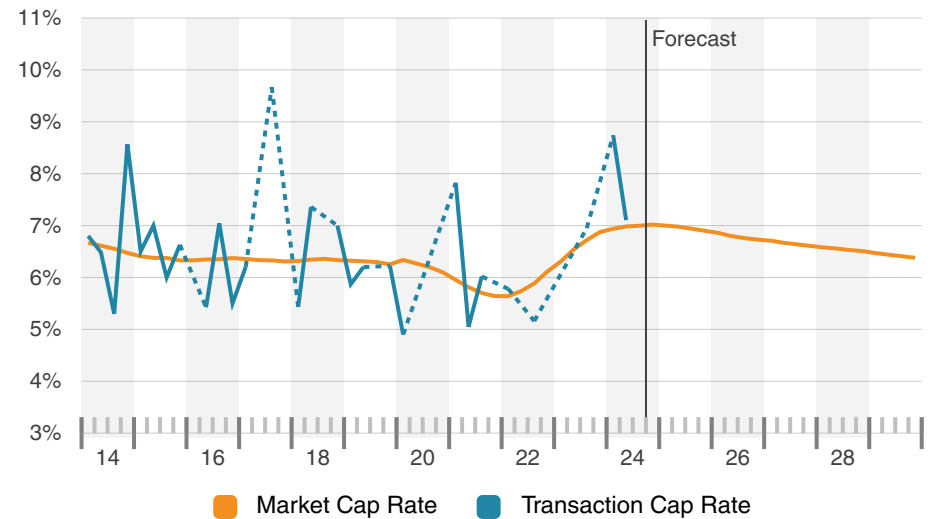
Cap Rate By Location Type



Market Cap Rate

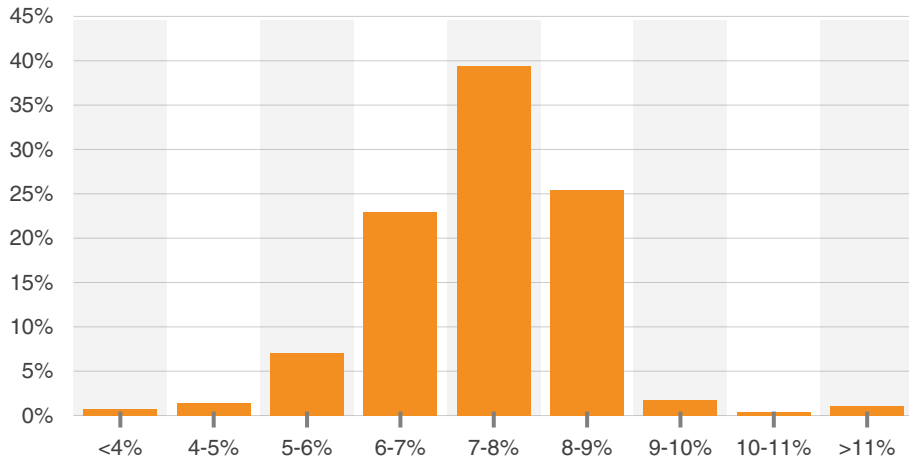


Market Cap Rate & Transaction Cap Rate

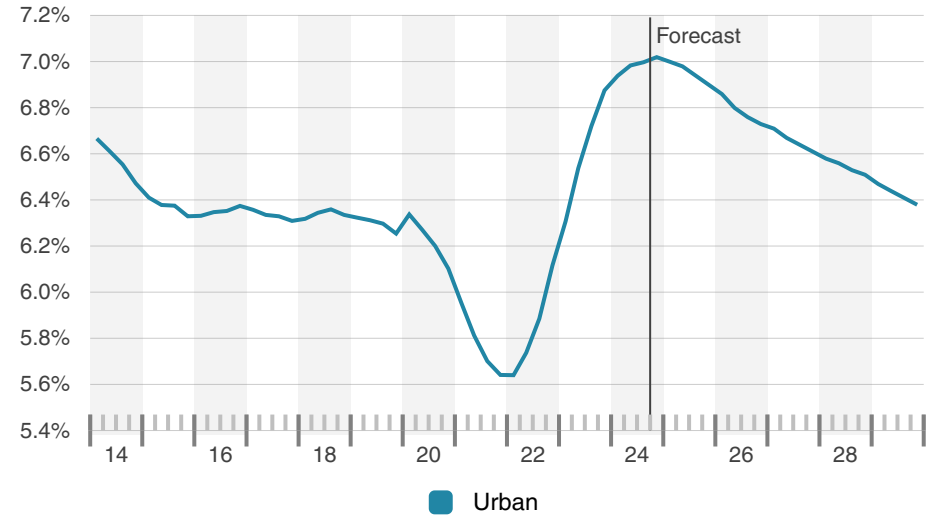


Search Analytics

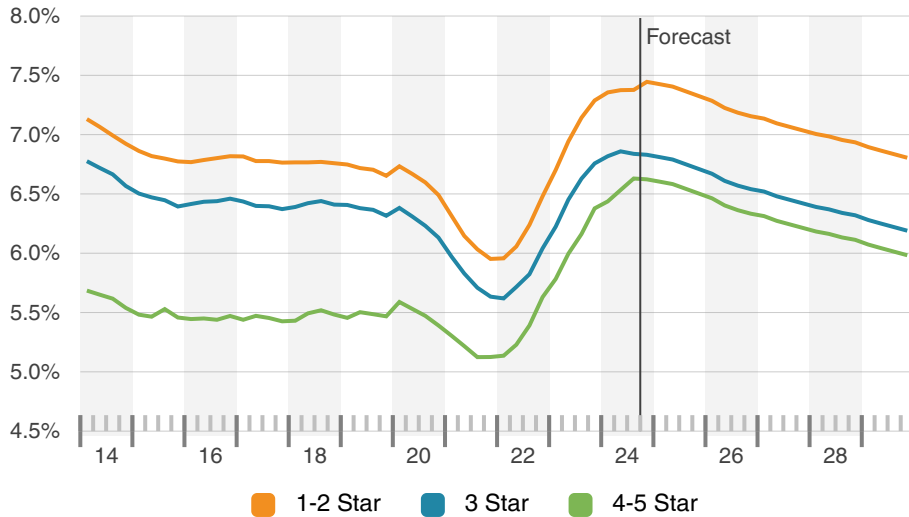
Market Cap Rate Distribution



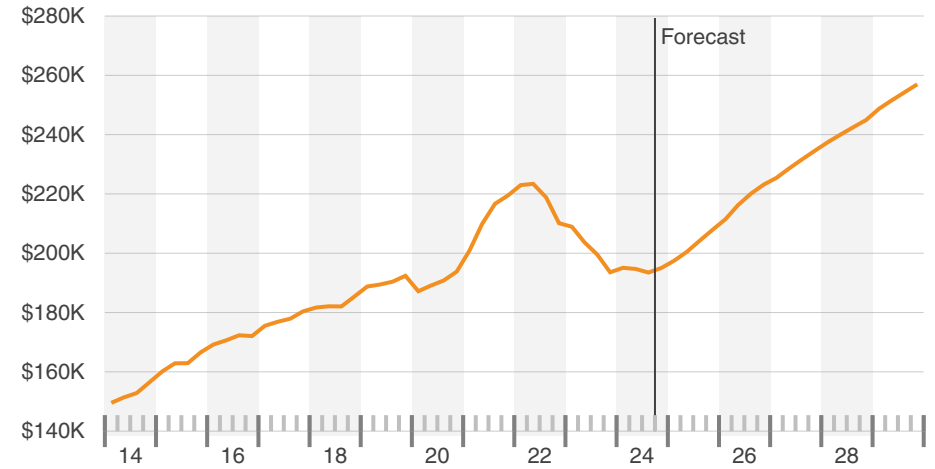
Market Cap Rate By Location Type



Market Cap Rate By Star Rating

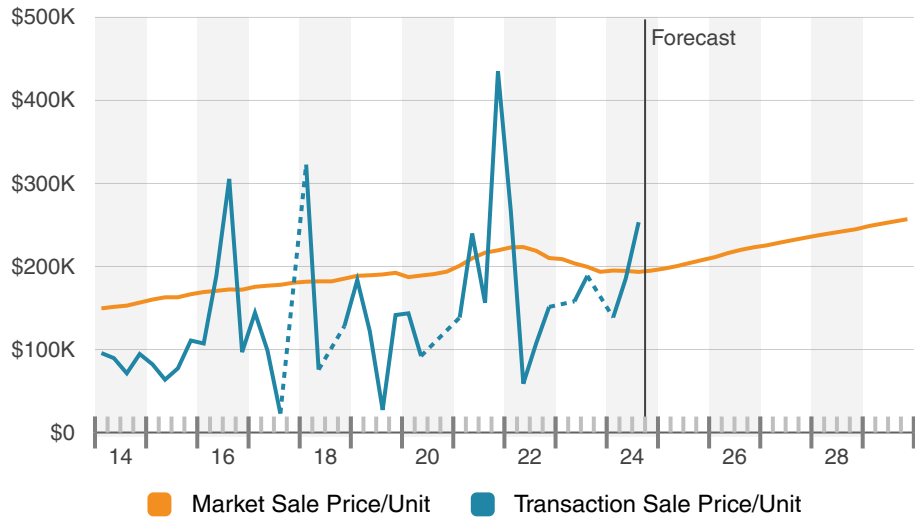


Market Sale Price Per Unit

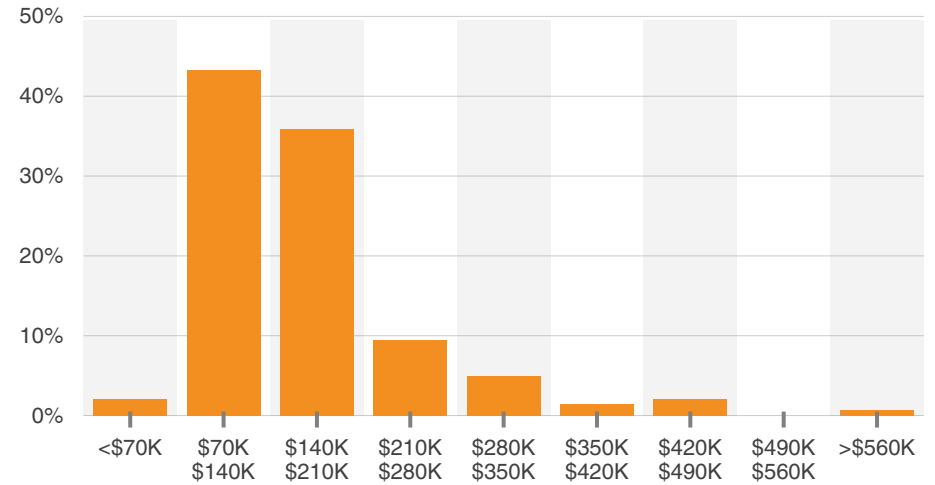


Search Analytics

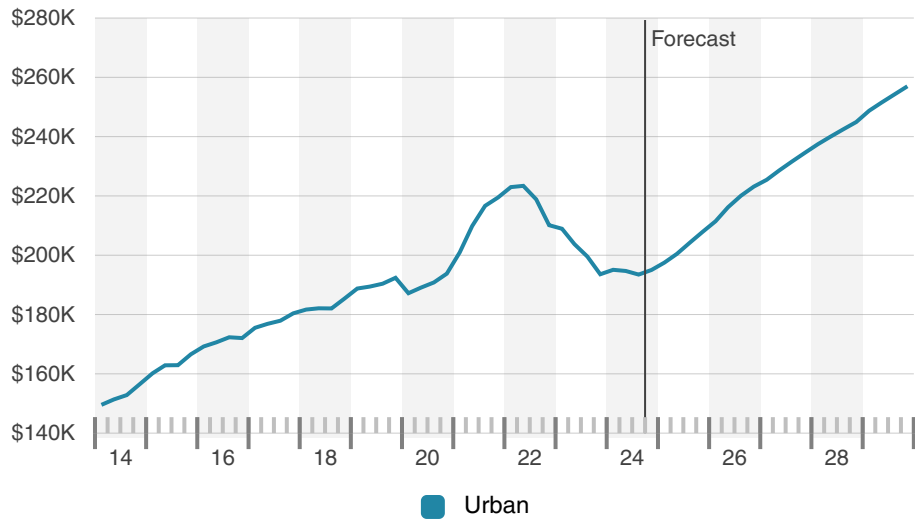
Market Sale Price & Transaction Sale Price Per Unit



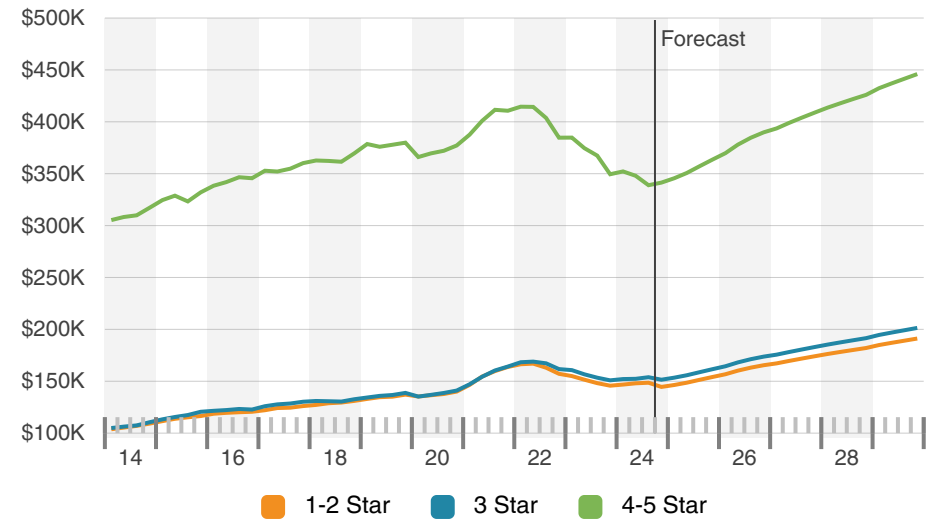
Market Sale Price Per Unit Distribution



Market Sale Price Per Unit By Location Type

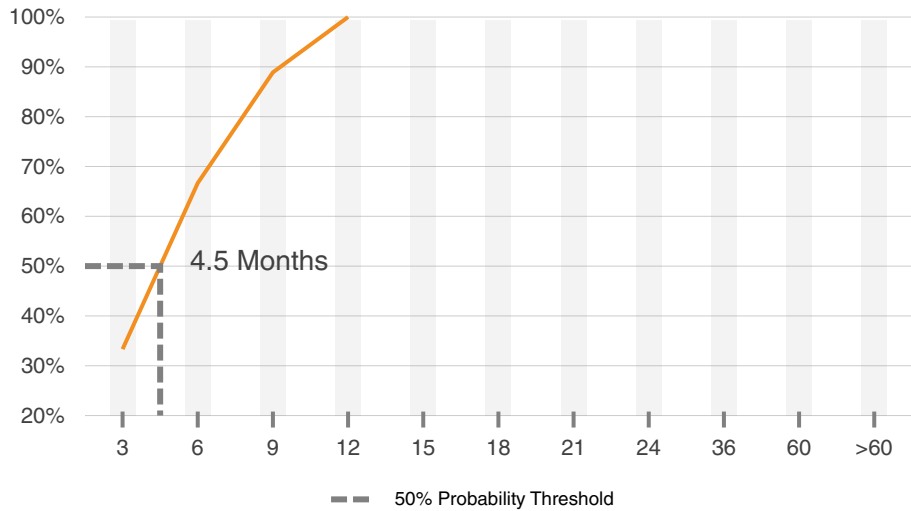


Market Sale Price Per Unit By Star Rating

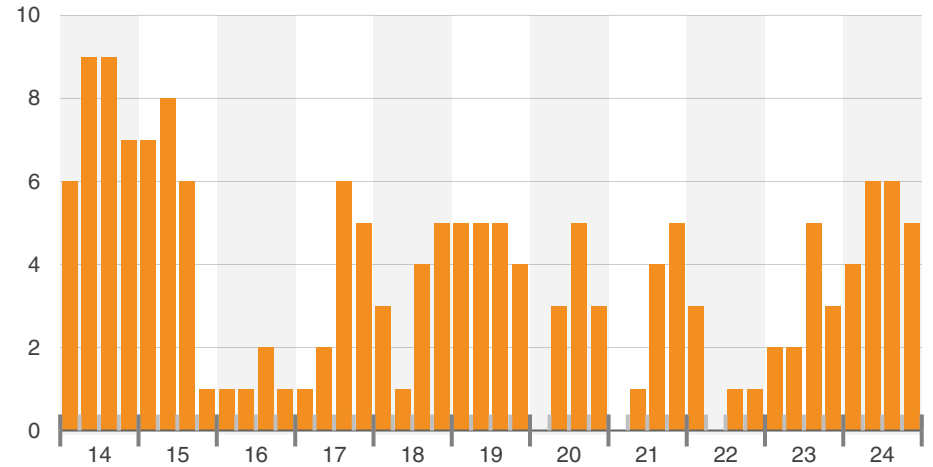


Search Analytics

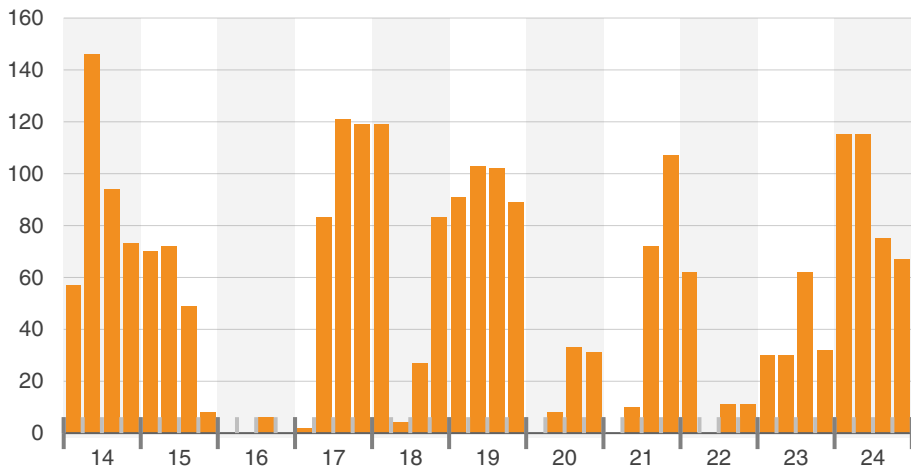
Probability Of Selling In Months



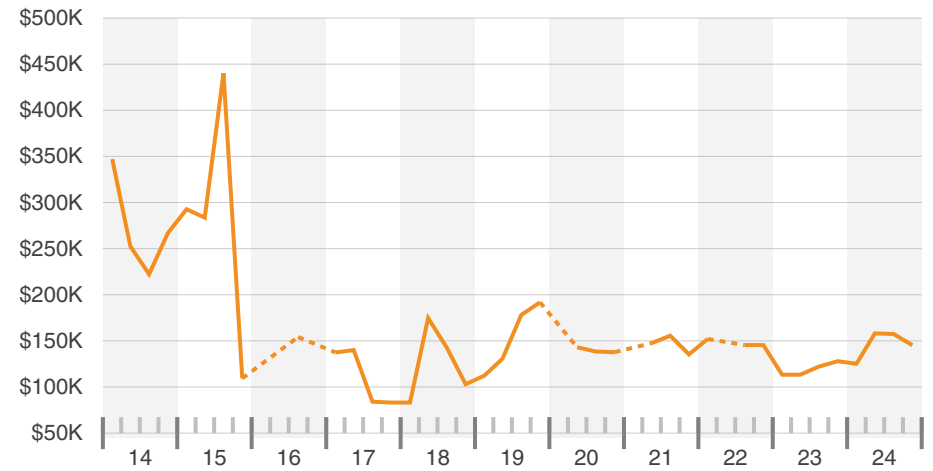
For Sale Total Listings



For Sale Total Units

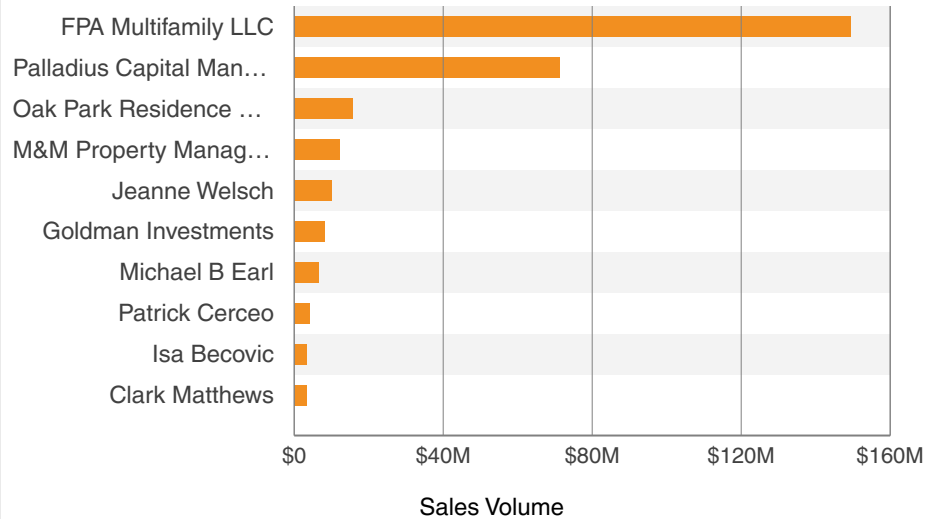


For Sale Asking Price Per Unit

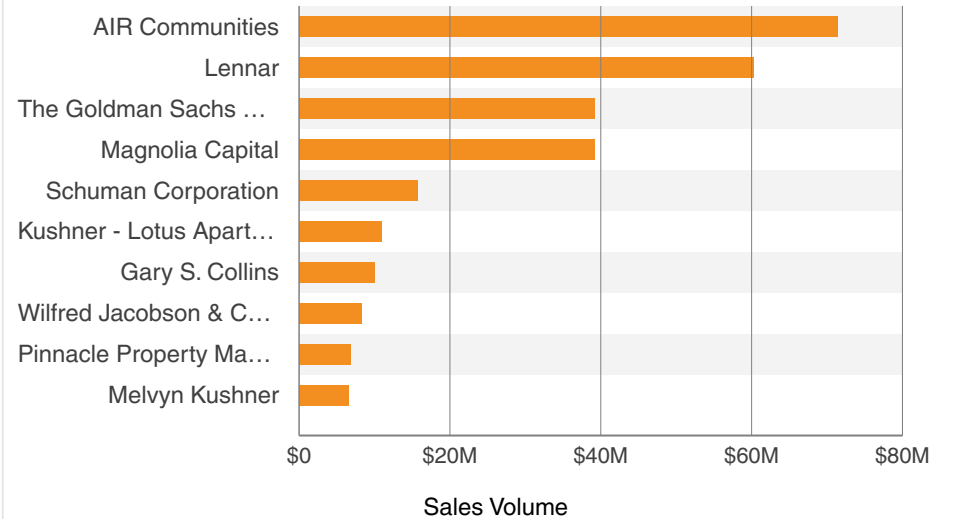


Search Analytics

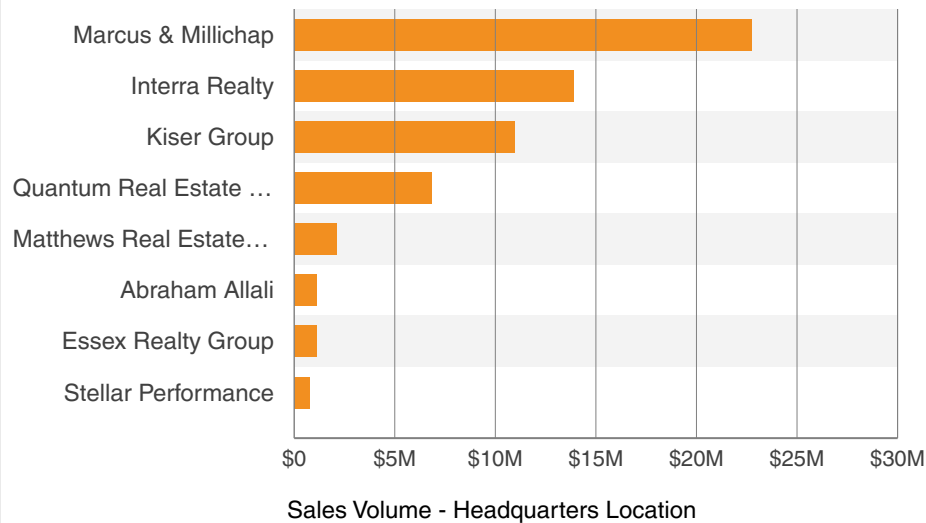
Top Buyers



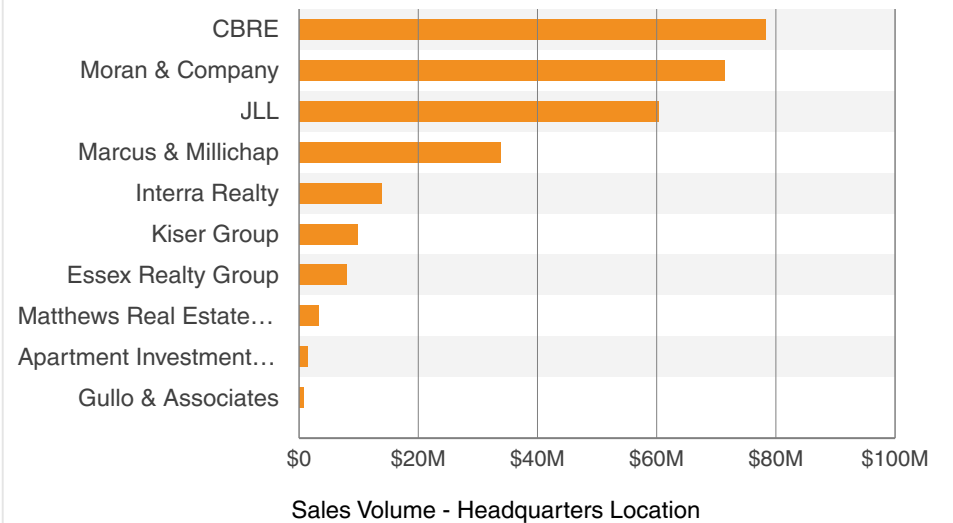
Top Sellers



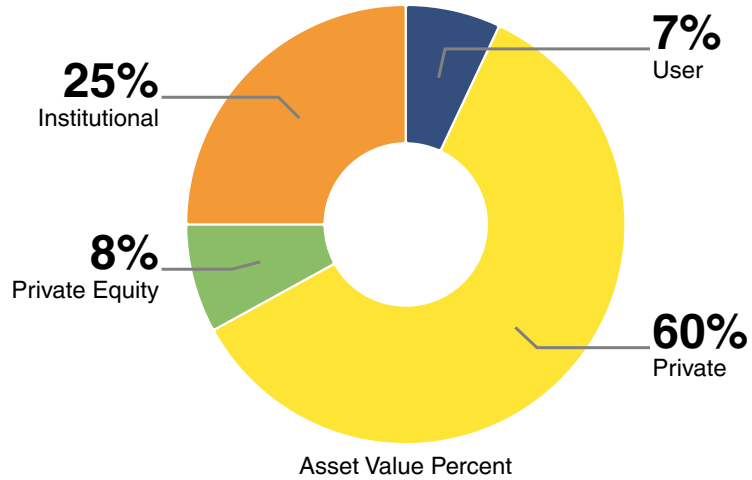
Top Buyer Brokers



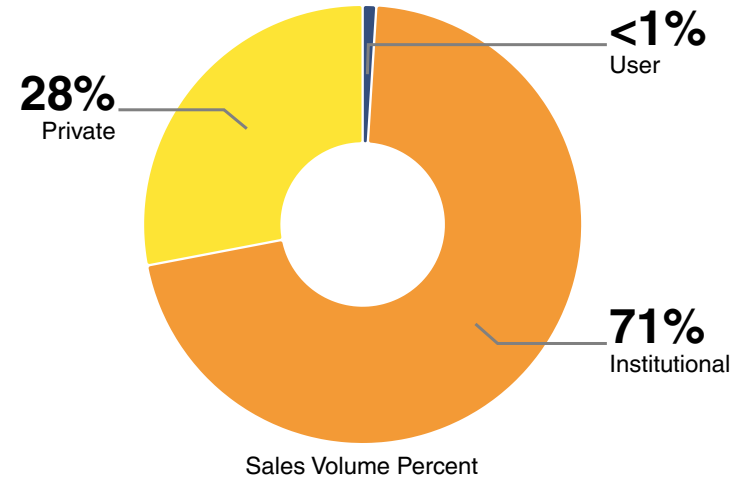
Top Seller Brokers



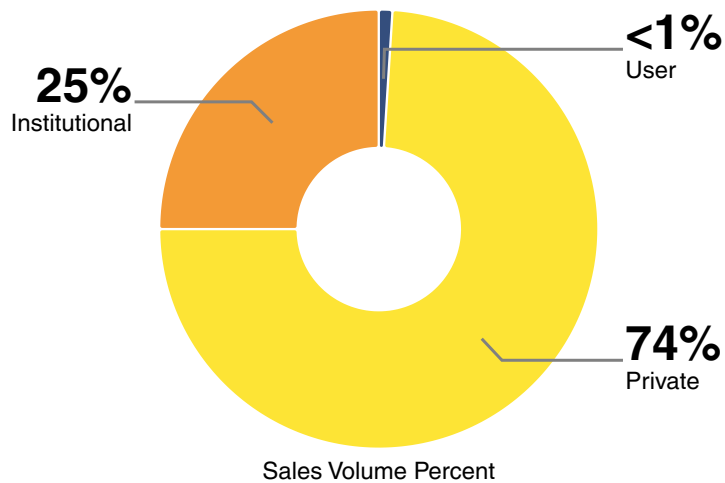
Asset Value By Owner Type



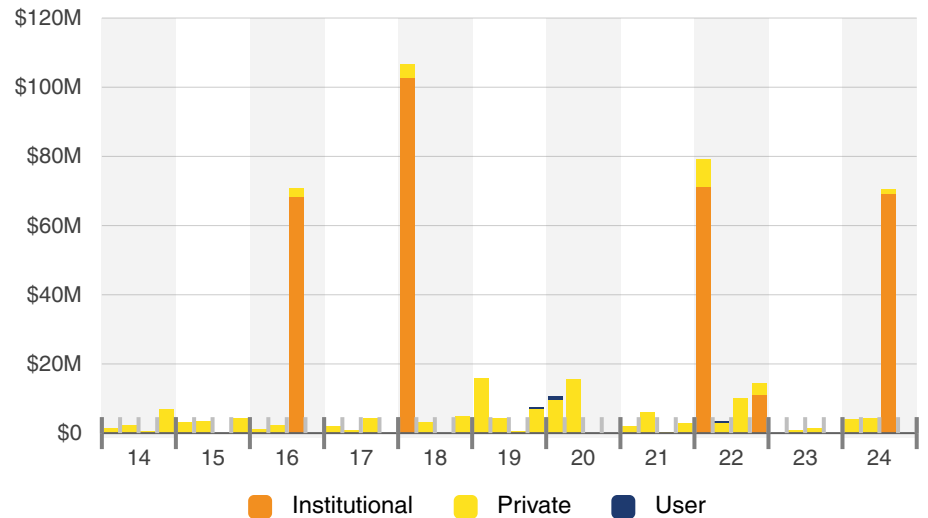
Sales By Buyer Type



Sales By Seller Type

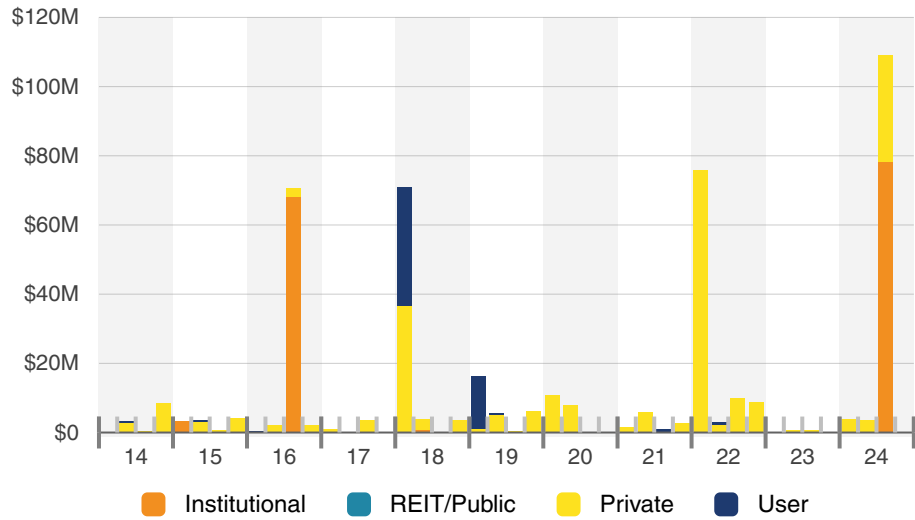


Sales Volume By Buyer Type

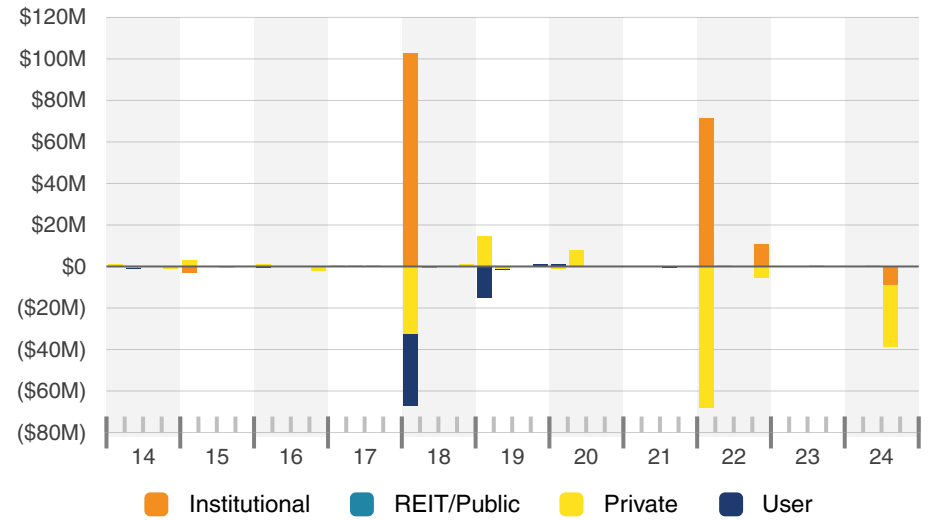


Search Analytics

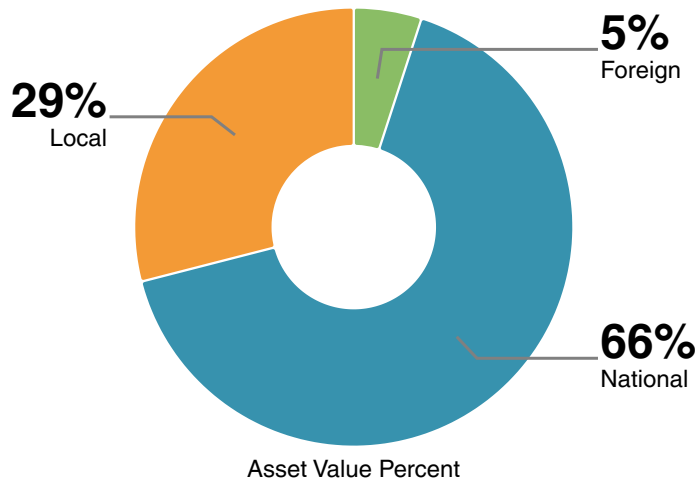
Sales Volume By Seller Type



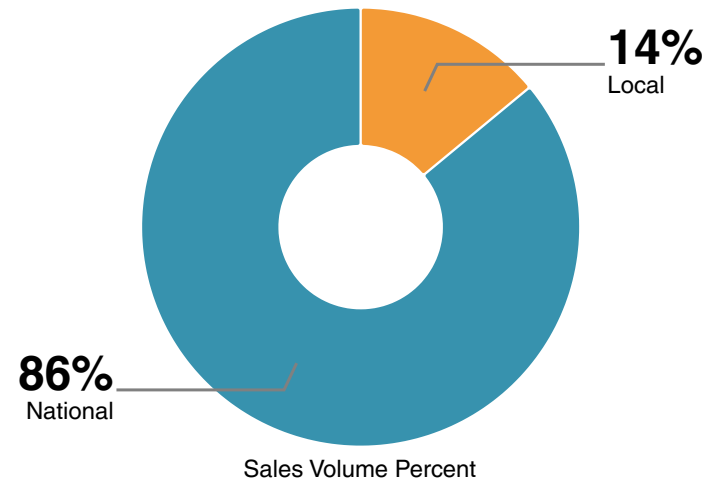
Net Buying & Selling By Owner Type



Asset Value By Owner Origin

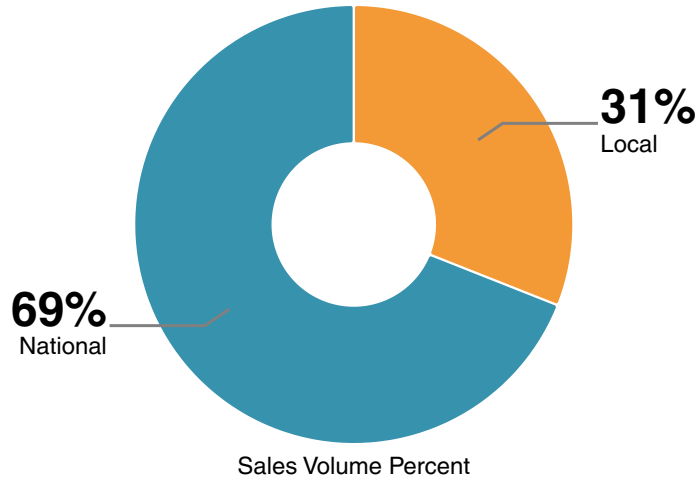


Sales Volume By Buyer Origin

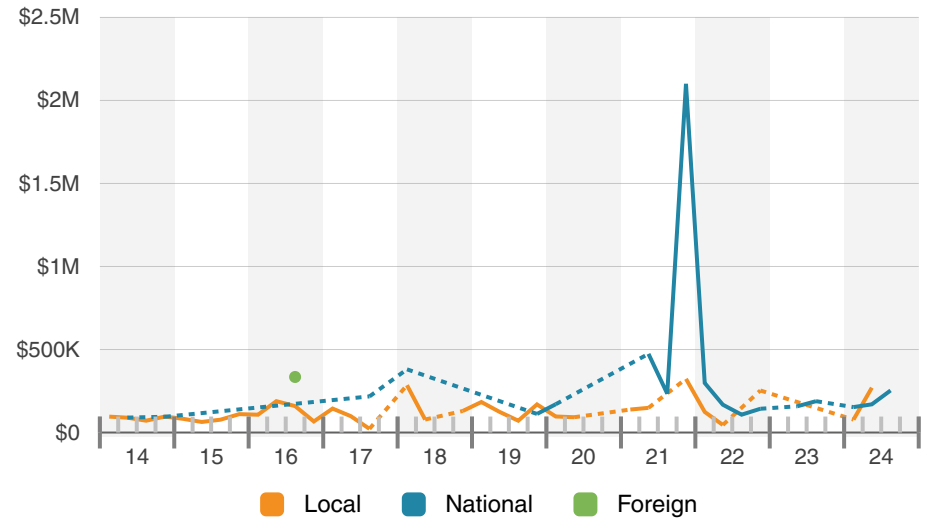


Search Analytics

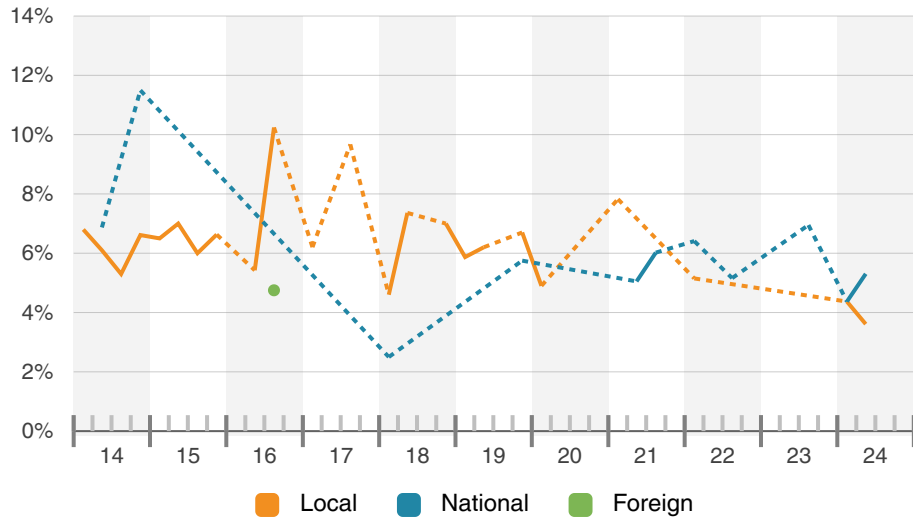
Sales Volume By Seller Origin



Average Price Per Unit By Buyer Origin



Average Cap Rate By Buyer Origin



Report Criteria

- 285 Properties / 8 Spaces
- Exclude: Residential Condos
- Exclude: Co-Ops
- City: Oak Park, IL



Oak Park

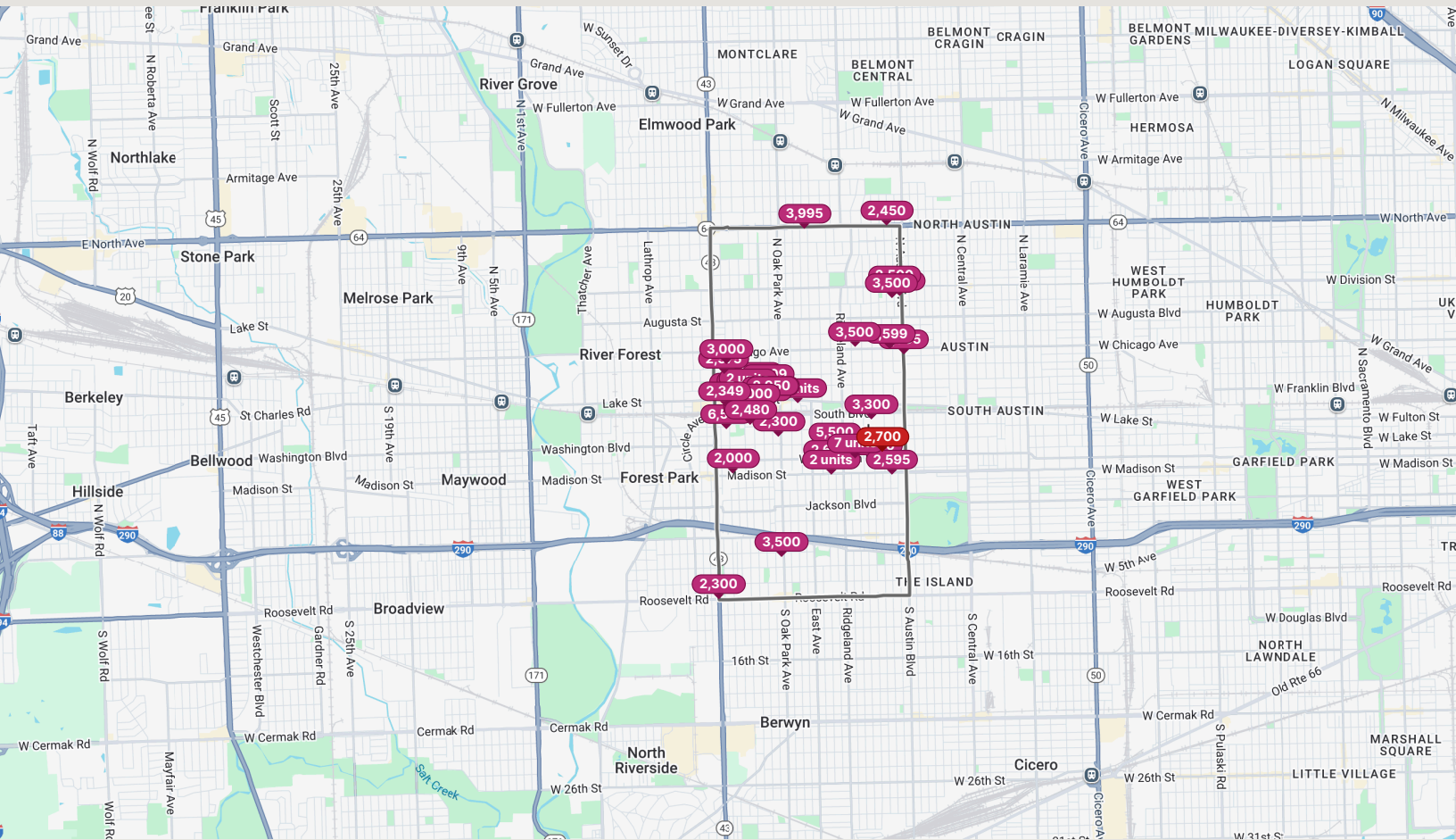
For rent

All filters • 2

Save search

54 of 54 rentals

- Draw
- Options
- Map



Remove outline



For rent

All filters • 2

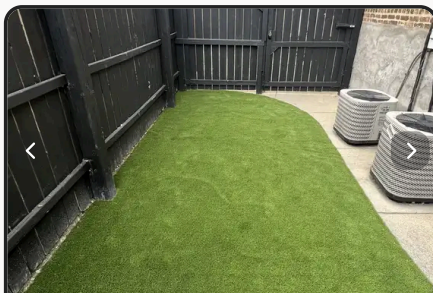
Save search

Oak Park, IL apartments for rent

54 of 54 rentals

Sort: Recommended

View: Photos



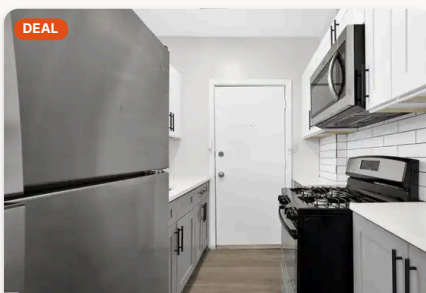
\$2,700/mo



3 beds 2 baths — sq ft
102 Washington Blvd Unit 339-1, Oak Park, IL 60302
Available 12/01 • Pets welcome

Request a tour

(844) 939-3310



DEAL

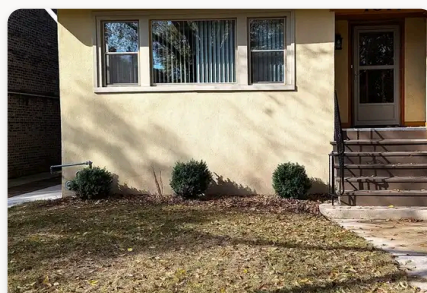
\$1,905/mo



3 beds 2 baths 1,350 sq ft
735 N Austin Blvd, Chicago, IL 60644
1 unit match • Laundry in unit • Parking

Request a tour

(872) 341-4181



\$3,500/mo



4 beds 3 baths 1,860 sq ft
1017 S Oak Park Ave, Oak Park, IL 60304
Pets welcome • Parking • A/C

Request a tour



\$1,599+/mo



3 beds 2 baths 1,400-1,700 sq ft
Oak Park Apartme... | 35 Chicago Ave, Oak Park, IL 60...
1 unit match • Pets welcome • Laundry in unit

Request a tour

(630) 394-9626



\$2,350/mo



2 beds 2 baths 1,000 sq ft
414 S Lombard Ave, Oak Park, IL 60302
Pets welcome • Parking • A/C

Request a tour

(888) 244-6696



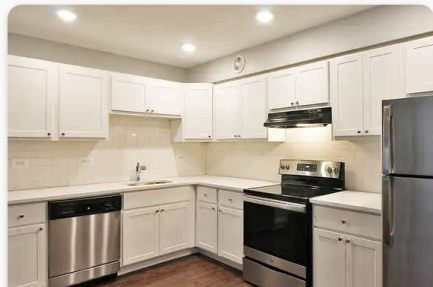
\$5,500/mo



5 beds 3.5 baths 2,340 sq ft
310 S Elmwood Ave, Oak Park, IL 60302
Parking • A/C • Very walkable

Request a tour

(630) 452-3108



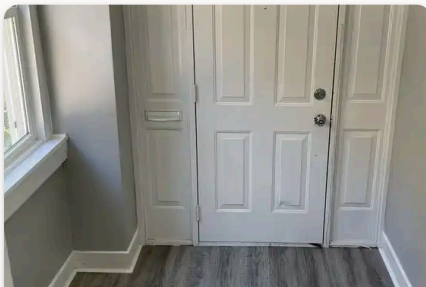
\$2,639/mo



3 beds 2 baths 1,350 sq ft
421 S. Elmwood ... | 421 S Elmwood Ave, Oak Park, IL ...
Pets welcome • Very walkable • Good transit

Request a tour

(844) 292-2678



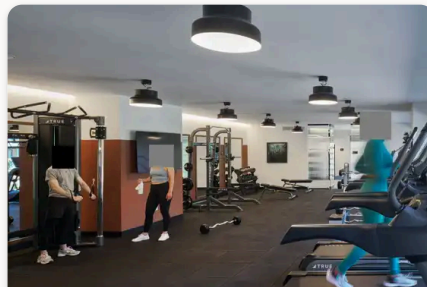
\$2,900/mo



4 beds 2 baths 1,750 sq ft
1118 N Austin Blvd Unit 2, Oak Park, IL 60302
Dogs welcome • A/C

Request a tour

(773) 236-7510

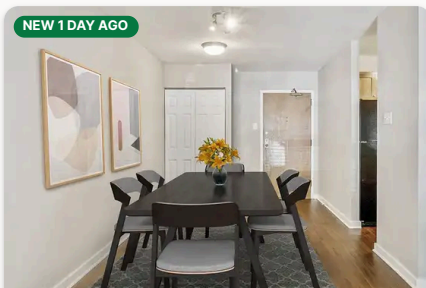


\$6,550/mo

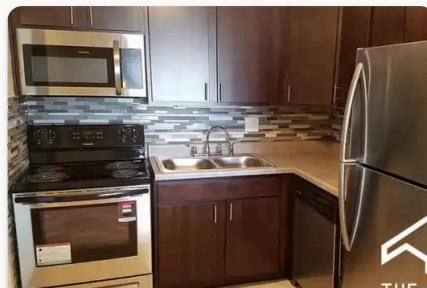


2 beds 2.5 baths 1,692 sq ft
207 S Marion St, Oak Park, IL 60302
Pets welcome • Parking • A/C

Request a tour



NEW 1 DAY AGO





For rent

Oak Park, IL apartments for rent

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\$2,500/mo

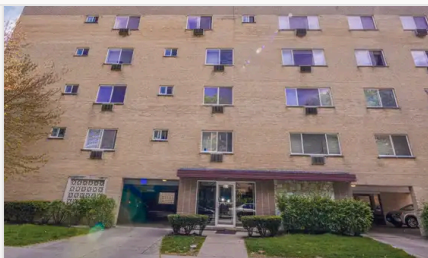


4 beds 2 baths — sq ft
834 N Humphrey Ave, Oak Park, IL 60302

Very walkable • Good transit

Request a tour

(903) 708-1508



\$1,975/mo



3 beds 2 baths 1,577 sq ft
901 Ontario St, Oak Park, IL 60302

Laundry facility • Parking • A/C

Request a tour

(847) 626-0888



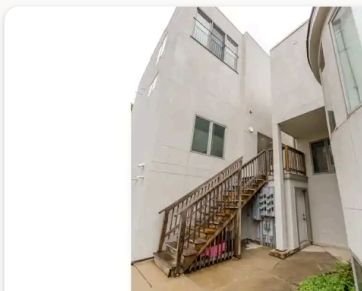
\$3,500/mo



4 beds 2 baths 864 sq ft
809 N Humphrey Ave, Oak Park, IL 60302

Pets welcome • Parking • A/C

Request a tour



\$3,500/mo



3 beds 2.5 baths 2,305 sq ft
254 Chicago Ave Unit E, Oak Park, IL 60302

Parking • A/C • Very walkable

Request a tour



\$4,795/mo

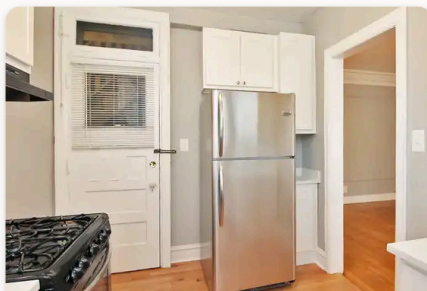


2 beds 2 baths — sq ft
1010 Lake St Unit 1904, Oak Park, IL 60301

Pets welcome

Request a tour

(312) 445-9583



\$3,099/mo



3 beds 3 baths 1,693 sq ft
173 N Grove Ave, Oak Park, IL 60301

Pets welcome • Parking • AT&T fiber

Request a tour

(844) 292-2678



\$3,022/mo



2 beds 2 baths 1,021 sq ft
150 Forest Ave Unit 612, Oak Park, IL 60301

Walker's paradise • Good transit • AT&T fiber

Request a tour

(312) 445-9583



\$3,154/mo



2 beds 2 baths 1,175 sq ft
150 Forest Ave Unit 601, Oak Park, IL 60301

AT&T fiber

Request a tour

(312) 445-9583



\$3,278/mo



2 beds 2 baths 1,159 sq ft
150 Forest Ave Unit 1913, Oak Park, IL 60301

AT&T fiber

Request a tour

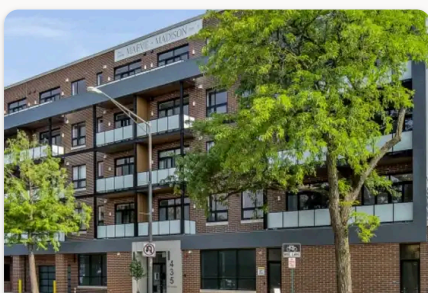
(312) 445-9583



\$3,219/mo



2 beds 2 baths 1,175 sq ft



\$2,795/mo



2 beds 2 baths 1,184 sq ft



\$3,048/mo



2 beds 2 baths 1,101 sq ft



For rent

Oak Park, IL apartments for rent

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\$4,195/mo



2 beds 2 baths — sq ft
1010 Lake St Unit 1603, Oak Park, IL 60301
Pets welcome

Request a tour

(312) 445-9583



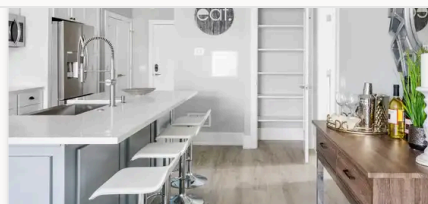
\$3,159/mo



2 beds 2 baths 1,081 sq ft
150 Forest Ave Unit 709, Oak Park, IL 60301
AT&T fiber

Request a tour

(312) 445-9583



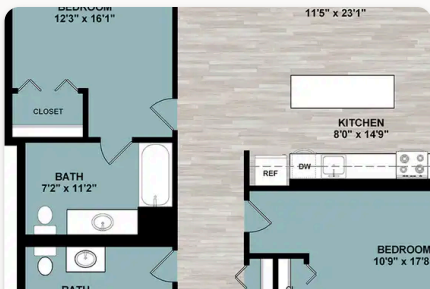
\$2,595/mo



2 beds 2 baths 1,015 sq ft
504 Lyman Ave Unit 207, Oak Park, IL 60304
Parking • A/C • Dishwasher

Request a tour

(773) 704-7376



\$3,257/mo



2 beds 2 baths 1,150 sq ft
150 Forest Ave Unit 2015, Oak Park, IL 60301
AT&T fiber

Request a tour

(312) 445-9583



\$3,283/mo



2 beds 2 baths 1,159 sq ft
150 Forest Ave Unit 2013, Oak Park, IL 60301
AT&T fiber

Request a tour

(312) 445-9583



\$2,450/mo



2 beds 2 baths — sq ft
6035 West North Ave Unit 3E, Chicago, IL 60639
Pets welcome • Parking • A/C

Request a tour

(312) 792-9541

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

Welcome home to this fantastic brand new 2 bed 2.5 bath lower level apartment in the desirable Frank Lloyd Wright district of Oak Park. No stone was left unturned from the exterior to the interior to

\$2,575/mo



2 beds 2.5 baths 1,250 sq ft
1111 Erie St Unit 4, Oak Park, IL 60302
Pets welcome • Laundry in unit • Parking

Request a tour

(773) 704-7376

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

This historic Oak Park residence welcomes you home! Formerly an electric streetcar generator station, this charming duplex-up three bedroom two bath situated on a lush tree-lined street, offers you so

\$3,300/mo



3 beds 2 baths 3,200 sq ft
117 S Lombard Ave Unit 2, Oak Park, IL 60302
Laundry in unit • Parking • A/C

Request a tour

(773) 640-1089

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

Maeve on Lake - Oak Park's newest apartment community! Lake Street living with features and amenities designed for today's living. Stunning CORNER 2 bed/2 bath floorplan in our boutique elevator build

\$3,525/mo



2 beds 2 baths 1,153 sq ft
835 Lake St Unit 501, Oak Park, IL 60301
Pets welcome • Laundry in unit • Parking

Request a tour

(773) 704-7376

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

Maeve on Lake - Oak Park's newest apartment community! Lake Street living with features and amenities designed for today's living. Stunning CORNER 2 bed/2 bath floorplan in our boutique elevator build

\$2,950/mo



2 beds 2 baths 1,106 sq ft
835 Lake St Unit 214, Oak Park, IL 60301
Laundry in unit • Parking • A/C

\$3,175/mo



2 beds 2 baths 979 sq ft
1010 Lake St Unit 622, Oak Park, IL 60301
Pets welcome

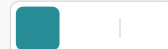
\$3,495/mo



2 beds 2 baths — sq ft
1010 Lake St Unit 1218, Oak Park, IL 60301
Pets welcome



For rent



Oak Park, IL apartments for rent

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amenities designed for today's living. Stunning CORNER 2 bed/2 bath floorplan in our boutique elevator build

\$2,995/mo

2 beds 2 baths 1,153 sq ft
835 Lake St Unit 217, Oak Park, IL 60301
Pets welcome • Laundry in unit • Parking

[Request a tour](#) [\(773\) 704-7376](#)

the corner of Wisconsin and Madison, this unit is so convenient, you should never have to use the sta

\$2,000/mo

2 beds 2 baths 1,200 sq ft
1041 Susan Collins Ln #102, Oak Park, IL 60302
Dogs welcome • Laundry in unit • Parking

[Request a tour](#) [\(630\) 470-0580](#)

**Advertised price reflects a concession that has already been applied to a 19 month lease. Gross rent before concession is \$2,850. The I

\$2,700/mo

3 beds 2 baths 1,376 sq ft
954 Pleasant St Unit 2F, Oak Park, IL 60302
Pets welcome • Walker's paradise • Fitness Center

[Request a tour](#) [\(773\) 709-6562](#)

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

THE EDGE OAK PARK TOWNHOMES - Modern & spacious Oak Park townhome available!...3Beds/2.5 baths on 3 levels - GREAT Unit with patio...Chefs kitchen w large island, plus dining room, stainless steel app

\$3,995/mo

3 beds 2.5 baths 2,300 sq ft
6605 W North Ave Unit 6605-3, Oak Park, IL 60302
Pets welcome • Laundry in unit • Parking

[Request a tour](#) [\(773\) 704-7376](#)

ABOUT THIS HOME

Oak Park, IL Apartments for Rent

Maeve on Lake - Oak Park's newest apartment community! Lake Street living with features and amenities designed for today's living. Stunning CORNER 2 bed/2 bath floorplan in our boutique elevator build

\$3,250/mo

2 beds 2 baths 1,153 sq ft
835 Lake St Unit 401, Oak Park, IL 60301
Pets welcome • Laundry in unit • Parking

[Request a tour](#) [\(773\) 704-7376](#)

Viewing page 1 of 2

1 2 >

Redfin > Illinois > Oak Park



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